



**FLORISSANT CITY COUNCIL AGENDA**  
*City Hall*  
*955 Rue St. Francois*  
**MONDAY, MARCH 25, 2024**  
**7:00 PM**  
*Karen Goodwin, MMC/MRCC*



**I. PLEDGE OF ALLEGIANCE**

**II. ROLL CALL OF MEMBERS**

**III. APPROVAL OF MINUTES**

3-11-2024	Regular Meeting Minutes	
3-11-2024	Executive Meeting Minutes	

**IV. HEARING FROM CITIZENS**

**V. COMMUNICATIONS**

**VI. PUBLIC HEARINGS**

24-03-010	Request to amend Special Use Permit No. 7155 as amended for Dairy Queen to allow for a second drive-through lane for the property located at 2678 N Highway 67.	
24-03-011	Request to amend Special Use Permit No. 8909 for Sugarfire Barbeque to allow for exterior changes for the property located at 1290 N Highway 67.	

**VII. OLD BUSINESS**

	<b>BILLS FOR SECOND READING</b>	
9944	Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.	Siam
9959	Ordinance authorizing an amendment to Ordinance No. 7965 for Walmart to allow for exterior modifications in a	Siam

	'B-5' Planned Commercial District located at 3390 N Highway 67.	
9962	Ordinance authorize a Special Use Permit for Erika Sharp Massage Therapy to allow for a massage business for the property located at 1020 rue St. Francois.	O'Donnell
9963	Ordinance to authorize a Special Use Permit for Green Haven Adult Day Program, LLC to allow for an adult day care for the property located at 695 Graham Rd.	O'Donnell

### **VIII. NEW BUSINESS**

	BOARD APPOINTMENTS	
Ward 5	Cole Loftus - Property Maintenance Board of Appeals	
	BILLS FOR FIRST READING	
9965	Ordinance authorizing an amendment to Special Use Permit No. 7155 as amended for DBG Enterprises d/b/a Dairy Queen to allow for a second drive-through lane for the property located at 2678 N Highway 67.	Siam
9966	Ordinance to authorize an amendment to Special Use Permit No. 8909 for Sugarfire Realty LLC d/b/a Sugarfire Barbeque to allow for exterior changes for the property located at 1290 N Highway 67.	O'Donnell
9967	Ordinance to approve changing paint colors on an existing masonry building located at 1180 N. Highway 67 according to Section 505.060 (D) (3) in an existing "B-3" Extensive Business District .	O'Donnell

### **IX. COUNCIL ANNOUNCEMENTS**

### **X. MESSAGE FROM THE MAYOR**

### **XI. ADJOURNMENT**

***THIS AGENDA WAS POSTED ON THE BULLETING BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON JANUARY 5<sup>TH</sup>, 2022 BY 12:00 PM.***

***ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MONDAY, MARCH 25, 2024***

# CITY OF FLORISSANT



## COUNCIL MINUTES Monday, March 11, 2024

The Florissant City Council met in regular session at Florissant City Hall, 955 Rue St. Francois on Monday, March 11, 2024 at 7:00 PM with Council President Eagan presiding.

### **I. PLEDGE OF ALLEGIANCE**

The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

### **II. ROLL CALL OF MEMBERS**

On Roll Call the following Councilmembers were present: Harris, Manganelli, Eagan, Caputa, Schildroth, O'Donnell, Pagano, Parson, and Siam. Also present was Mayor Timothy Lowery, Human Resources Director Sonya Brooks-White, and City Attorney Jackie Graves. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

### **III. APPROVAL OF MINUTES**

#### **2-26-2024. Regular Meeting Minutes Executive Session Minutes**

Councilwoman Pagano made a motion to approve the City Council Minutes of February 26, 2024, seconded by Caputa. Motion carried.

Councilwoman Pagano made a motion to approve the City Council Executive Minutes of February 26, 2024, seconded by Caputa. Motion carried.

### **IV. HEARING FROM CITIZENS**

Attached letter from Mark Bredenkoetter.

### **V. COMMUNICATIONS**

There were none.

### **VI. PUBLIC HEARINGS**

**24-03-008.** Request to authorize a Special Use Permit to allow for a massage business for the property located at 1020 rue St. Francois (Erika Sharp Massage Therapy).

The City Clerk reported that Public Hearing 24-03-008 for the Request to authorize a Special Use Permit to allow for a massage business for the property located at 1020 rue St. Francois (Erika Sharp Massage Therapy). The Chair declared the Public Hearing to be open.

Erika Sharp, petitioner, noted she is wanting to move her business from 525 St. Francois to 1020 St. Francois with her hours of operation from 10am to 4pm Monday through Saturday. She stated she wants to add another therapist to her business.



Being no further comments, Councilman O'Donnell made a motion to close the public hearing, seconded by Harris. Motion carried.

**24-03-009.** Request to authorize a Special Use Permit to allow for an adult day care for the property located at 695 Graham Rd (Green Haven Adult Day Program, LLC)

The City Clerk reported that Public Hearing 24-03-009 for the Request to authorize a Special Use Permit to allow for an adult day care for the property located at 695 Graham Rd (Green Haven Adult Day Program, LLC). The Chair declared the Public Hearing to be open.

Tiffany Green, petitioner, stated she would be moving her adult day care business from Hazelwood to Florissant. The business is at maximum capacity at their current location where they serve adults 18 and over with physical and mental learning disabilities. Ms. Green wants to move to allow for 50 participants at her adult day care. She noted she has been in the adult day care business for about 10 years and has continued to grow her business. The business would have updates to the bathroom and the kitchen on the main floor of the building along with outdoor maintenance. Ms. Green noted the business would be open from 7am to 5pm and many of the participants will be dropped off by an individual or a bus. The business will have two nurses on staff, additionally, Ms. Green has CPR and Crisis Prevention Training.

Annie Eck, resident, welcomed Ms. Green to Florissant and noted she is proud of the work she does.

Being no further comments, Councilman Schildroth made a motion to close the public hearing, seconded by Siam. Motion carried.

**CDBG** Community Development Block Grant Fiscal Year 2024 Annual Plan

The City Clerk reported that the Public Hearing to approve the Community Development Block Grant (CDBG) annual action plan for Fiscal Year 2024. The Chair declared the Public Hearing to be open.

Carol O'Mara, Community Development Director, stated the Citizen's Participation Commission met in December and approved the CDBG budget which would continue to fund the established needs of the city as determined in the 5-year Consolidated Plan. She noted changes and the funding received from HUD.

Being no further comments, Councilman Parson made a motion to close the Public Hearing, seconded by Schildroth. Motion carried.

## **VII. OLD BUSINESS**

### **BILLS FOR SECOND READING**

**9944.** Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Councilman Eagan made a motion to postpone Bill No. 9944 to the March 25, 2024 City Council Meeting at the petitioner's request, seconded by Pagano. Motion carried.

**9957.** Ordinance to authorize a Special Use Permit to Premier Auto Service & Body, Inc. to allow for automotive service garage for the property located at 1180 N Highway 67 in a ‘B-3’ Extensive Business District.

Councilman O'Donnell moved that Bill No. 9957 be read for a second time, seconded by Parson. Motion carried and Bill No. 9957 was read for a second time.

Councilman O'Donnell moved that Bill No. 9957 be read for a third time, seconded by Eagan. Motion carried and Bill No. 9957 was read for a third time and placed upon its passage.

Before the final vote was taken, all interested persons were given the opportunity to be heard. Being no further comments, on roll call, the Council voted as follows:

**VOTING**

Motion by: Councilman O'Donnell, Thomas

Second by: Councilman Eagan, Joseph

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9957 to have passed and became Ordinance No. 8962.

**9958.** Ordinance to authorize a Special Use Permit for Florissant Auto Sales, Inc. to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a ‘B-3’ Extensive Business District.

Councilman O'Donnell moved that Bill No. 9958 be read for a second time, seconded by Manganelli. Motion carried and Bill No. 9958 was read for a second time.

Councilman O'Donnell moved that Bill No. 9958 be read for a third time, seconded by Caputa. Motion carried and Bill No. 9958 was read for a third time and placed upon its passage.

Before the final vote was taken, all interested persons were given the opportunity to be heard. Being no further comments, on roll call, the Council voted as follows:

**VOTING**

Motion by: Councilman O'Donnell, Thomas

Second by: Councilman Caputa, Jeff

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				

Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9958 to have passed and became Ordinance No. 8963.

**9959.** Ordinance authorizing an amendment to Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Councilman Eagan made a motion to postpone Bill No. 9959 to the March 25, 2024 City Council Meeting at the petitioner's request, seconded by Parson. Motion carried.

**VIII. NEW BUSINESS**

**BOARD APPOINTMENTS**

**Council.** Ward 2 - Keith Hoormann, Property Maintenance Board of Appeals  
Ward 9 - Kellyn Holliday, Property Maintenance Board of Appeals  
Ward 9 – Ephriam Todd, Property Maintenance Board of Appeals

Councilman Manganelli made a motion to appoint Keith Hoormann, 1582 Estes Dr, to the Property Maintenance Board of Appeals with a term expiring on March 11, 2027. Seconded by Schildroth, motion carried.

Councilman Siam made a motion to appoint Kellyn Holliday, 1610 Aqueduct Dr, to the Property Maintenance Board of Appeals with a term expiring on March 11, 2027. Seconded by Caputa, motion carried.

Councilman Siam made a motion to appoint Ephriam Todd, 1465 Thoroughbred Ln, to the Property Maintenance Board of Appeals with a term expiring on March 11, 2027. Seconded by O'Donnell, motion carried.

**Mayor.** Ward 2 - Talya Perry - Arts Commission  
Ward 5 - Kim Jones - Arts Commission  
Ward 9 - Wendy Gordon - Arts Commission  
Ward 8 - Richard L. Rapp - Environmental Quality Commission  
Ward 9 - Samuel Word - Diversity and Inclusion Commission

Councilman Schildroth made a motion to accept the mayor's appointment of Talya Perry, 120 Florisota Dr, to the Arts Commission with a term expiring on March 11, 2027, seconded by Pagano. Motion carried.

Councilman Schildroth made a motion to accept the mayor's appointment of Kim Jones, 310 St. Patrick, to the Arts Commission with a term expiring on March 11, 2027, seconded by Pagano. Motion carried.

Councilman Schildroth made a motion to accept the mayor's appointment of Wendy Gordon, 3785 Estates Dr, to the Arts Commission with a term expiring on March 11, 2027, seconded by Pagano. Motion carried.

Councilman Parson made a motion to accept the mayor's appointment of Richard L. Rapp, 1370 Arlington, to the Environmental Quality

Commission with a term expiring on March 11, 2027, seconded by Caputa.  
Motion carried.

Councilman Siam made a motion to accept the mayor's appointment of Samuel Word, 1485 Stallion Dr, to the Diversity and Inclusion Commission with a term expiring on March 11, 2027, seconded by Harris.  
Motion carried.

**Mayor.** Ward 8 - Charles Beam - Citizen Police Review Board

Councilman Manganelli made a motion to accept the mayor's reappointment of Charles Beam, 610 Crestone Dr, to the Citizen's Police Review Board with a term expiring on April 26, 2027, seconded by Parson.  
Motion carried.

## **RESOLUTIONS**

**1057.** Resolution of the Florissant City Council supporting the inclusion of communities with radioactive waste exposure, into the Federal Radioactive Waste Exposure Compensation Amendment (RECA).

Councilman Caputa introduced Resolution 2057.

Councilman Caputa made a motion for a second reading, seconded by Schildroth. Motion carried; Resolution 1057 was read for a second time.

Councilman Schildroth made a motion for a third reading, seconded by Pagano. On roll call, the Council voted as follows: Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, Pagano yes, Parson yes, and Siam yes. Motion carried, Resolution 1057 was read for the third time in its entirety.

Before the final vote, all interested parties were given an opportunity to be heard.

Ashley Bernaugh, 523 Chapel Cross Dr, stated the Resolution sets a standard for other municipalities. Ms. Bernaugh noted stipulations inside the Resolution, her support, and her intention to make certain the county, state, and federal government are aware of the Resolution.

Councilman Caputa thanked Ms. Bernaugh for all her hard work and dedication to the City of Florissant. He noted the State Senate approved the compensation plan recently.

On roll call, the Council voted as follows:

## **VOTING**

Motion by: Councilman Schildroth, Keith

Second by: Councilwoman Pagano, Jackie

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Motion carried, Resolution 1057 was passed.

**BILLS FOR FIRST READING**

**9962.** Ordinance authorize a Special Use Permit for Erika Sharp Massage Therapy to allow for a massage business for the property located at 1020 rue St. Francois.

Bill No. 9962 was read for the first time.

**9963.** Ordinance to authorize a Special Use Permit for Green Haven Adult Day Program, LLC to allow for an adult day care for the property located at 695 Graham Rd.

Bill No. 9963 was read for the first time.

**9964.** Ordinance authorizing an appropriation of \$80,000 from the Park Improvement Fund to Account # 209-55024-400-00000 "Professional Services Park Improvement" to complete a Parks Master Plan.

Bill No. 9964 was read for the first time.

Councilman Schildroth made a motion to suspend the rules to speak with the Parks and Recreation Director, seconded by Caputa. Motion carried.

Cheryl Thompson-Stimage, Parks and Recreation Director, noted when applying for many grants the parks department is getting rejected for not having a master plan in place for the parks. She stated it is important to look at implementing the plan to allow for more grant access, but also have an overall plan for all the city parks.

Councilman Schildroth moved that Bill No. 9964 be read for a second time, seconded by Pagano.

Motion carried and Bill No. 9964 was read for a second time.

Councilman Caputa moved that Bill No. 9964 be read for a third time, seconded by Manganelli.

On roll call, the Council voted: Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, and Pagano yes, Parson yes, and Siam yes.

Having received a unanimous vote of all members present Bill No. 9964 was read for a third and final time and placed upon its passage.

Before the final vote, all interested persons were given an opportunity to be heard. Seeing none, on roll call the Council voted as follows:

**VOTING**

Motion by: Councilman Caputa, Jeff

Second by: Councilman Manganelli, Paul

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				

Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9964 to have passed and become Ordinance No. 8964.

**IX. COUNCIL ANNOUNCEMENTS**

Councilwoman Pagano thanked the St. Patrick’s Parade Committee for a beautiful day and she cannot wait until next year.

Councilman Manganelli thanked the St. Patrick’s Parade Committee for a wonderful parade in Florissant. He reminded residents of St. Joseph’s Day in the upcoming weeks.

Councilman Caputa stated the St. Patrick’s Day was wonderful and thanked the Committee for their hard work and for making the festival appealing to people of all ages.

Councilman Schildroth congratulated the St. Patrick’s Parade Committee on a wonderful event. He congratulated BJ’s Bar and Restaurant and Pirrone’s Restaurant on being named as two of the top five pizza places in St. Louis.

Councilman O’Donnell echoed his appreciation for the St. Patrick’s Parade Committee and their hard work throughout the year.

Councilman Eagan noted how blown away he is with support of the St. Patrick’s Parade Committee and the Pink Sisters. He thanked the mayor for his support and the residents of Florissant for their participation. He stated St. Ferdinand had their opening weekend for the Charity Basketball Tournament and will be donating to Erica Bailey. Erica Bailey is a mother of seven kids who has been diagnosed with cancer. Councilman Eagan asked everyone to participate, eat barbeque and show support.

**X. MESSAGE FROM THE MAYOR**

Mayor Lowery thanked the St. Patrick’s Parade Committee for a wonderful day and festival in town.

The 62nd Annual Valley of Flowers Festival will take place from May 3 to May 5, 2024. Mayor Lowery noted there are several opportunities for sponsorships available on the festival website.

The Electronics Recycling Event will take place on Saturday, April 6<sup>th</sup> from 9am to 1pm at St. Ferdinand Park and more information can be found on the City of Florissant website.

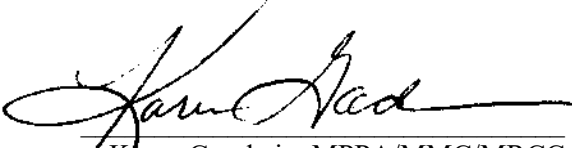
**XI. ADJOURNMENT**

The Council President stated the next regular City Council Meeting will be Monday, March 25, 2024, at 7:00 pm.

Councilman Siam moved to adjourn the meeting, seconded by Caputa. Motion carried.

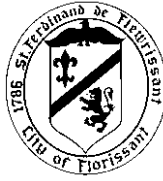
Adjourned at 7:40 PM

Respectfully submitted,



Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

Bill No. 9957      Ord. No. 8962  
Bill No. 9958      Ord. No. 8963  
Bill No. 9964      Ord. No. 8964  
                    Reso. 1057



**CITY OF FLORISSANT**  
**CITY COUNCIL**  
**OPEN EXECUTIVE SESSION**

March 11, 2024

The City Council of the City of Florissant met in open Executive Session on Monday, March 11, 2024, at 6:15 pm. in the Council Chambers with President Eagan presiding. On Roll Call the following Council members were present: Siam, Eagan, Caputa, Schildroth, Manganelli, Pagano, Parson, and O'Donnell. Harris was excused. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, City Attorney Jackie Graves, and Building Commissioner Debra Irvin.

The council discussed the possible regulation of food trucks. Mrs. Irvin stated that there is a need for regulation of food trucks such as where to park them, state licensing, health inspections which would be St. Louis County Health department and when they would be allowed. Do we want to allow them anytime or just during special events. There is also a need for a definition of Food Truck and Commercial kitchen.

Ms. Graves stated that she has a model ordinance.

Councilman Eagan stated that he would like to see three examples of ordinances from other cities.

The question was also raised that if a business license fee is proposed, would it need to go to the vote of the people. The council also discussed what type of rate would be charged, per year or otherwise.

There being no further business to discuss, Councilman Eagan motioned to adjourn, seconded by Caputa. Motion carried and the meeting adjourned at 6:45 p.m.

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Karen Goodwin  
City Clerk



# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 25, 2024 at 7:00 p.m. on the following proposition:**

**To amend Special Use Permit No. 7155 as amended for Dairy Queen to allow for a second drive-through lane for the property located at 2678 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

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**MEMORANDUM**



**CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners                      Date: February 27, 2024  
From: Debra Irvin, Building Commissioner                      c: Director Public Works  
Deputy City Clerk  
Economic Development  
Applicant  
File

Subject: A request from DPG Enterprises Inc to amend an existing Special Use Permit under **Ordinance No. 7869** to add a 2<sup>nd</sup> drive-thru menu board **2678 N. Hwy 67 (Dairy Queen)** in 'B-3' Extensive Business District.

**STAFF REPORT**  
**CASE NUMBER PZ-03042024-02**

**I. Applicant:**

DPG Enterprises Inc, d/b/a Dairy Queen, 2678 N. Hwy 67, Florissant, Mo 63033, a local chain restaurant, located at the SW corner of Lindbergh & Trotter Way.

**II. PROJECT DESCRIPTION:**

The request before the commission is to review and consider approving an additional drive-through menu board, with a new concrete curb, and a new parking exit at Dairy Queen, 2678 N. Hwy 67. This second drive through lane does not impact the traffic within this shopping mall.

Attached plans, used with permission granted by signs and Graphics (SGS).

**III. SITE CONDITIONS:**

The existing property at **2678 N. Hwy 67** is in Florissant Meadows Shopping Center built in 1967 according to County records. The twin drive through does not impact the required 14 parking spaces, total parking spaces 18.

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**IV. STAFF ANALYSIS:**

Plans received from the applicant include open letter signage designs for wall signs for the business.

The stated wind load provided by the designer is 110 mph for this new 2<sup>nd</sup> menu board.

**V. STAFF RECOMMENDATIONS:**

**Suggested Motion:**

I move to recommend approval to the City Council to amend the Special Use Permit, and allow for a 2<sup>nd</sup> menu board, creating a twin drive-through, with a new concrete curb, and a new parking exit at 2678 N. Hwy 67 with the following conditions:

1. Construction shall start within 90 days of the issuance of building permits for the project and shall be completed within 6 months of the start of construction.

**(End of report and suggested motion)**

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works  
314-839-7648**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

Council Ward \_\_\_\_\_ Zoning \_\_\_\_\_

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

SPECIAL PERMIT FOR Dairy Queen

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR 2nd Drive-Thru board

ordinance #

Statement of what the amendment is for.

LOCATION 2678 N Hwy 67, Florissant, MO 63033

Address of property.

1) Comes Now DPG Enterprises Inc DBA Dairy Queen (David Greer)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) DPG Enterprises Inc.

State legal interest in the property. (i.e., owner of property, lease).

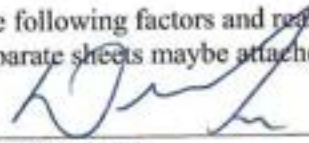
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Dairy Queen Grill & chill and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

David Greer



DQDavidG@aol.com (314-803-3688)

PRINT NAME

SIGNATURE

email and phone

FOR DPG Enterprises Inc, DBA Dairy Queen

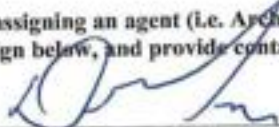
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
  2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE



ADDRESS 2678 N Hwy 67 Florissant, MO 63033

STREET

CITY

STATE

ZIP CODE

TELEPHONE / EMAIL 314-803-3688

BUSINESS

I (we) the petitioner (s) do hereby appoint David Greer as  
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.



Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.



## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation  DPG Enterprises Inc \_\_\_\_\_

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners David Greer 1109 St Theresa Ln, Dardenne Prairie, MO 63368 \_\_\_\_\_
- (2) Telephone numbers **314-803-3688** \_\_\_\_\_
- (3) Business address **2678 N Hwy 67 Florissant, MO 63033** \_\_\_\_\_
- (4) State of Incorporation & a photocopy of incorporation papers **MO** \_\_\_\_\_
- (5) Date of Incorporation **1992** \_\_\_\_\_
- (6) Missouri Corporate Number **43-1617946** \_\_\_\_\_
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. DPG Enterprises Inc \_\_\_\_\_
- (8) Name in which business is operated **Dairy Queen** \_\_\_\_\_
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

**Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.**

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner \_\_\_\_\_

Location of property \_\_\_\_\_

Dimensions of property \_\_\_\_\_

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (I.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Building Commissioner or Staff Signature



1 INTRODUCED BY COUNCILMAN HERNANDEZ  
2 MARCH 12, 2012

3  
4 BILL NO. 8810

ORDINANCE NO.

7869

5  
6 **AN ORDINANCE AMENDING SPECIAL USE PERMIT NO. 7155**  
7 **GRANTED TO DPG ENTERPRISES INC. D/B/A DAIRY QUEEN TO**  
8 **ALLOW FOR AN ELECTRONIC READER BOARD ON THE EXISTING**  
9 **POLE SIGN FOR THE PROPERTY LOCATED AT 2678 N. HWY 67.**

10  
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and  
13 operation of a restaurant; and

14 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to  
15 the DBG Enterprises Inc. d/b/a Dairy Queen for the location and operation of a restaurant on the  
16 property described in Ordinance No. 7155; and

17 WHEREAS, an application has been filed by the DBG Enterprises Inc. for an  
18 amendment to the said Special Use Permit heretofore granted under Ordinance No. 7155 to  
19 authorize the addition of certain conditions; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their  
21 meeting on February 21, 2012 has recommended that the said Special Use Permit be amended;  
22 and

23 WHEREAS, due notice of public hearing no. 12-03-006 on said application to be held on  
24 the 12<sup>th</sup> of March, 2012 at 7:00 P.M. by the Council of the City of Florissant was duly published,  
25 held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful  
27 consideration, has concluded that the granting of an amendment to the Special Use Permits  
28 authorized by Ordinance No. 7155, as hereinafter provided would be in the best interest of the  
29 City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32  
33 Section 1: The Special Use Permit heretofore granted to the DBG Enterprises Inc. d/b/a  
34 Dairy Queen under Ordinance No. 7155 is hereby amended to allow for an electronic  
35 reader board on the existing pole sign located at 2678 N. Highway 67.

36  
37 Section 2: Said Special Permit shall be conditioned on and shall remain in full force and  
38 effect so long as the conditions set out in Ordinance . 7155, as now amended, are adhered to.

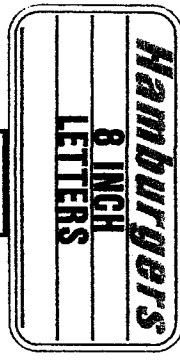


9'-6"

7 8 69

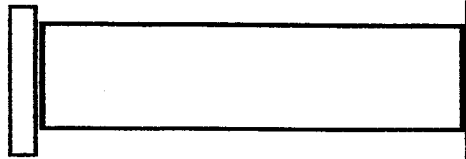


6'



89 sq. ft

9'-8"



20'

10'



6'



37"

85 Sq. ft.

9'-8"

8'-3"



grade

20'

- DQ sign from others
- Watchfire electronic messag
- 25 mm color
- Matrix 32 x 96
- Size 37 X 8'-3"
- 1-15 Quintillion colors
- 5 year parts warranty
- Radio control
- Time & temp

**DTS** 2002 Wenden Rd  
St. Louis, MO 63114  
2678 N. Linderbergh  
Florissant, MO

**Bill Youitt**  
SIGN and GLASS  
2002 Wenden Rd  
St. Louis, MO 63114  
PH: 314-423-2833  
FAX: 314-423-8856  
www.billyouittsigns.com

PRODUCT	CONTACT	SIGNED AS	APPROVED AS IS
CUSTOMER	SALES PERSON	SCALE	APPROVED AS NOTED
JOB LOCATION	DRAWN BY	PAGES	REUSE & REBURST
	DATE	REVISIONS	
THE CUSTOMER REPRESENTATIVE HAS REVIEWED THIS DRAWING AND APPROVES THE INFORMATION CONTAINED HEREIN. THE CUSTOMER REPRESENTATIVE'S SIGNATURE IS REQUIRED FOR THIS DRAWING TO BE USED FOR CONSTRUCTION.			

Existing sign

Proposed sign



**Parking Mandate:**  
 1 space per 2 seats  
 1 for each 3 employees

**Dairy Queen requirement:**  
 28 seats = 14 spaces  
 6 employees = 2 spaces  
 16 total spaces

**As Shown:**  
 16 spaces

1. New lane stripes and arrows  
Two 10ft wide traffic lanes
2. New 3ft x 16ft x 6" concrete curb
3. New 4.5' x 10' menu board



4. Employee Only Parking

This print and design is exclusive property of Bill Yount Signs & Electric. Any unauthorized use or duplication will result in a 20% charge per occurrence per the value of the display.

**CUSTOMER**  
Dairy Queen

**DATE**  
3/8/2024

**SALESPERSON**  
David Williams

**BASIC SPECS**  
New twin drive-thru lanes and parking plan

**LOCATION**  
2678 N Hwy 67  
Florissant, MO

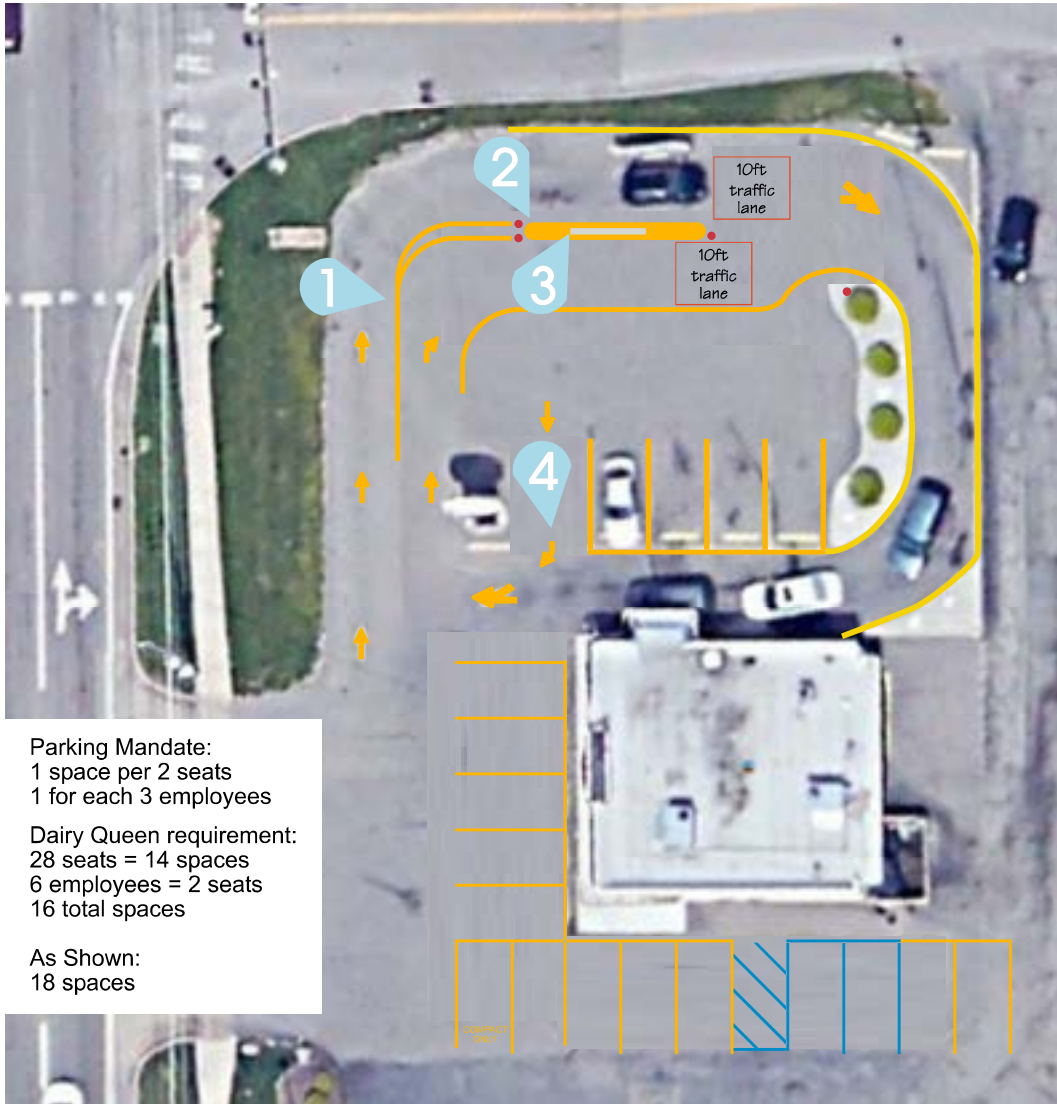
**CONTACT**  
David Greer

**DESIGNER**  
David Williams

<input type="checkbox"/>	Approved As Is
<input type="checkbox"/>	Approved As Noted
<input type="checkbox"/>	Rewrite & Resubmit



2002 Woodson Rd., St. Louis, MO 63114  
 (314) 423-2933 ph (314) 423-8056 fax  
[www.BillyountSigns.com](http://www.BillyountSigns.com)



Parking Mandate:  
 1 space per 2 seats  
 1 for each 3 employees

Dairy Queen requirement:  
 28 seats = 14 spaces  
 6 employees = 2 seats  
 16 total spaces

As Shown:  
 18 spaces

1. New lane stripes and arrows  
Two 10ft wide traffic lanes
2. New 3ft x 16ft x 6" concrete curb
3. New 4.5' x 10' menu board
4. New parking exit



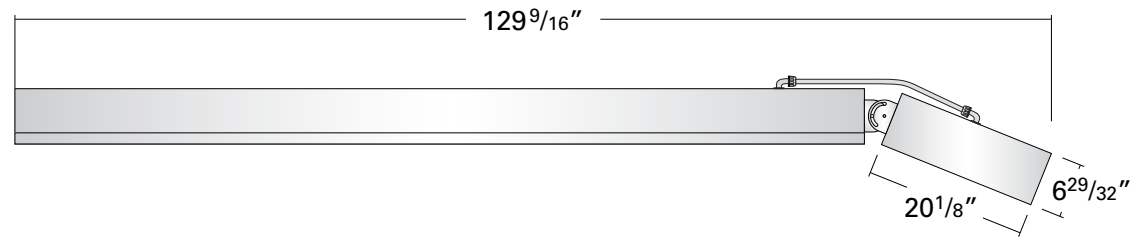
This print and design is exclusive property of Bill Yount Signs & Electric. Any unauthorized use or duplication will result in a 20% charge per occurrence per the value of the display.

<b>CUSTOMER</b> Dairy Queen	<b>DATE</b> 1/24/2024	<b>SALESPERSON</b> David Williams	<b>BASIC SPECS</b> New twin drive-thru lanes and parking plan	<input type="checkbox"/> Approved As Is	
<b>LOCATION</b> 2678 N Hwy 67 Florissant, MO	<b>CONTACT</b> David Greer	<b>DESIGNER</b> David Williams	<input type="checkbox"/> Approved As Noted	2002 Woodson Rd., St. Louis, MO 63114 (314) 423-2933 ph (314) 423-8056 fax <a href="http://www.BillYountSigns.com">www.BillYountSigns.com</a>	
			<input type="checkbox"/> Revise & Resubmit		





# 4 Door LED Drive Thru with LED Adder



**Square Footage:**

**MENU BOARD:**

40.19 sqft

**ADDER:**

7.62 sqft

**Volts:**

**MENU BOARD:**

3.0 Amps. @ 120 VAC 60Hz

**ADDER:**

.50 Amps. @ 120 VAC 60Hz

**LED Color Temperature:**

5000K

Drawing Type Art Creative

Customer Dairy Queen

Project Description 4 Door LED DT w/ LED Adder

Drawn By: DL

Proj. Man.:

Date: 01/14/20

Proj. No.:

Note:



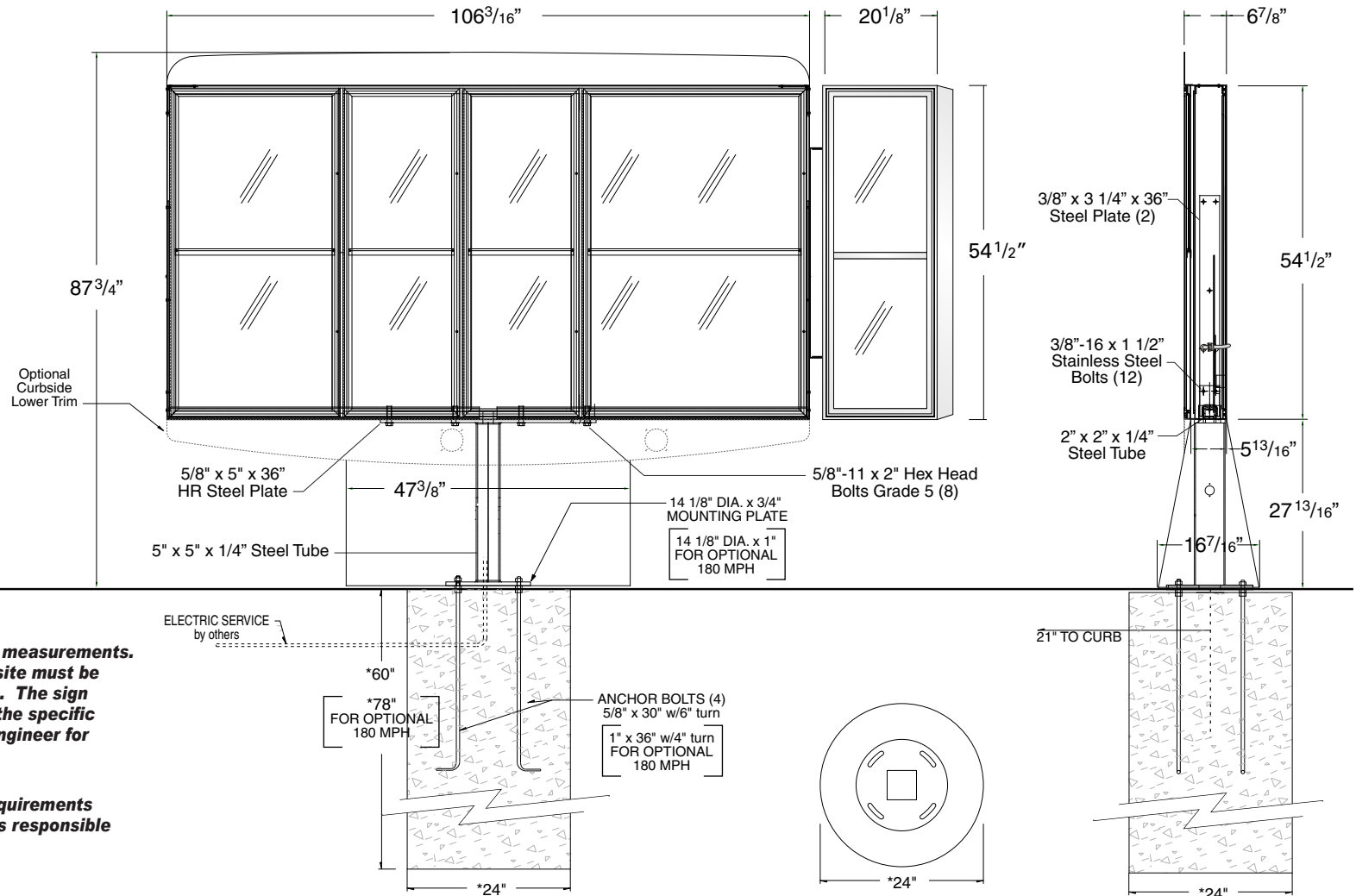
# LED Drive-Thru Menu Board with Adder

**NOTES:**  
 1) Housing Constructed of Aluminum Extrusion Welded  
 2) Door Frames Will Be Extruded Aluminum  
 3) Door Plex Will Be 1/8" Non Glare Acrylic  
 4) Entire Board Powder Coat Silver

**NOTES:**  
**MATERIALS:**  
 All Joints To Be Welded All Around  
 Grade A36 Steel Shapes  
 Grade A500 B Steel Tube

MICROPHONE AND SPEAKER FOR CURBSIDE OPTION ONLY

**THIS SIGN IS UL/CSA LISTED**  
**STANDARD WIND LOAD: 110 mph**



**\*NOTE: These are approximate foundation measurements. The soil bearing capacity at the erection site must be considered when designing the foundation. The sign manufacturer is not able to predetermine the specific needs of each location. Consult a local engineer for design specifications.**

**\*NOTE: This is a suggested plan. Local requirements may exceed this design. The contractor is responsible to verify this plan.**

## Drive Thru

**VOLTS: 3.0Amps. @ 120 VAC 60Hz**

## Adder

**VOLTS: .50Amps. @ 120 VAC 60Hz**

Drawing Type Art Creative

Customer Dairy Queen

Project Description 4 Door LED DT Spec

Drawn By: DL

Proj. Man.:

Date: 06/22/18

Proj. No.:

Note:



# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 25, 2024 at 7:00 p.m. on the following proposition:**

**To amend Special Use Permit No. 8909 for Sugarfire Barbeque to allow for exterior changes for the property located at 1290 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**



1

**MEMORANDUM**



2

**CITY OF FLORISSANT**

3

4

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

5

6

7

To: Planning and Zoning Commissioners Date: February 27, 2024

8

9

From: Debra M. Irvin, Building Commissioner c: Director Public Works  
Deputy City Clerk  
Economic Development  
Applicant  
File

10

11

12

13

14

15

Subject: Request to amend the existing Special Use Permit issued under Ordinance No. 8909 at **1290 N Highway 67 (Sugarfire)** in a 'B-3' Zoning District.

16

17

18

**STAFF REPORT**

19

**CASE NUMBER PZ- 03042024-03**

20

21

**I. PROJECT DESCRIPTION:**

22

This is a request to amend Special Use Permit **Ordinance 8909** to allow for additional uses, i.e. parking, placement of animal statute, outdoor dining, increase occupant load, outdoor cooking; erect a rear fence, and install an artist painting on the fence at 1920 N, Hwy 67, currently zoned 'B-3'.

23

24

25

26

27

**II. EXISTING SITE CONDITIONS:**

The property at 1920 N Hwy 67 is occupied. The site is paved, with outdoor cooking grills at the rear of the building. The grassy area along N. Hwy 67 is in the right-of-way.

28

29

30

The property is approximately 2550 square feet under roof, with indoor dining, counter line food service, and kitchen. The walls of the building are CMU (concrete units) painted. There are parking spaces around the building and off-street parking off N. Lafayette, a total of 23 spaces. Occupancy requires 25. Applicant has an unofficial agreement with U-Haul (see plan page A106) for additional 5-spaces. An official agreement is outlined in Section 405.225 (f) (13) on **line 38** in this report.

31

32

33

34

35

36

37

38 **SHARE PARKING REQUIREMENTS – SECTION 405.225 (F)(13):**

39 All parking spaces required herein shall be located on the same parcel of land as the use  
40 to be served except as follows:

41 a. Parking for one (1) or more uses in a commercial or industrial district may be  
42 provided on a separate lot when said separate lot is within a similar zoning district type  
43 and within three hundred (300) feet of the use or uses to be served, as measured along a  
44 pedestrian walkway designed to allow pedestrians to safely access the use.

45 b. When two (2) or more owners agree to provide their required parking spaces  
46 jointly, the number of joint parking spaces shall be equal to the number of parking spaces  
47 required if each were to provide parking separately, unless otherwise stated herein.

48 (1) The applicants for joint parking shall submit a joint parking plan and an  
49 appropriate legal instrument of agreement among the involved property owners for  
50 review by the Building Commissioner and approval by the City Attorney.

51 (2) Such joint parking plan and agreement shall include language binding  
52 the owners of the properties and their successors and assigns to the agreement  
53 and limiting and controlling use of land to those uses and conditions approved by  
54 the City.

55 (3) The applicant shall record the joint parking agreement with the County  
56 Recorder of Deeds.

57

58 **Reference Ord No. 8235 (U-Haul) lines 114-116** states U-Haul must always have 10  
59 parking spaces available. Currently, the city staff considers the parking agreement as a  
60 non-binding, “handshake” agreement that has relieved parking pressure on SugarFire’s  
61 lot. An official parking agreement would not place U-Haul in violation of Ord. 8235; their  
62 required 10 parking spaces would not be impacted.

63

64 **III. SURROUNDING PROPERTIES:**

65 The property to the west 1920 N Highway 67 and the property to the South are both  
66 located in a B-3 District, it is also across N Lafayette from U-Haul at 1350 N Highway 67  
67 in a B-5 Zoning District.

68

69 **IV. STAFF ANALYSIS:**

70 The application is accompanied by CAD drawing for the fence sign, parking spaces and  
71 patio dining. *Work previously done without zoning approval is the privacy fence at rear*  
72 *enclosing outdoor grills, and curbside pickup.*

73

74 The current zoning allows for a restaurant if a Special Use Permit is granted by the City  
75 Council.

76

77 **VI. STAFF RECOMMENDATIONS:**

78 Approve the applicant’s request to amend the existing Special Use Permit, Ordinance  
79 8909.

80

81

82 **Suggested Motion for 1920 N Highway 67- Sugarfire**

83  
84 I move to recommend approval to the City Council to amend the Special Use  
85 Permit to allow for parking, curbside pickup, placement of animal statute, outdoor  
86 dining, increased occupant load, outdoor cooking; erect a rear fence, and install an  
87 artist painting on the chain-link fence, subject to the conditions set forth below  
88 with these conditions being part of the record.

- 89  
90 1. Parking spaces shall remain at 23 with 5 spaces at U-Haul  
91 2. Parking agreement shall be presented as required in code section  
92 405.225 (F)(13)  
93 3. Relocate the “curbside pickup” sign to the front parking lot.  
94 4. Outdoor dining patrons shall be protected from vehicles entering  
95 parking lot with rails that will meet with architecture of the surrounding  
96 area.  
97 5. No Lafayette access entrance is strictly for trash vehicle (no other  
98 vehicles permitted)  
99 6. Fence mural shall be maintained during the life of its use. If tattered or  
100 torn, mural must be removed and replaced with a new mural subject to  
101 Building Commissioner’s approval.  
102 7. Trash and debris shall always be picked up.  
103 8. Complete the screening for the roof top units (RTU). RTU should not be  
104 visible.  
105 9. Paint exterior brick walls shall be maintained at times.  
106 10. Install a **“no parking”** sign on the gate for the dumpster enclosure.  
107 11. Special Use Permit shall remain in full force and effect and subject to  
108 all of the ordinances of the City of Florissant.  
109 12. When Sugar Fire BBQ discontinues the operation of the business for  
110 longer than one hundred and eighty days (180) days, the Special Use  
111 Permit herein granted shall no longer be in force and effect.

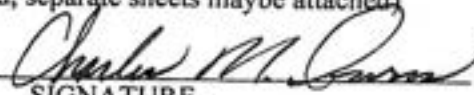
112  
113 **(End report and suggested motion)**  
114



- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

Charles M Downs  cdowns@sugarfiresmokehouse.com

PRINT NAME SIGNATURE email and phone

Sugarfire Barbecue, LLC

FOR \_\_\_\_\_  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

- 1. I (we) have a legal interest in the herein above described property.
- 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE \_\_\_\_\_

ADDRESS \_\_\_\_\_  
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL \_\_\_\_\_  
BUSINESS

I (we) the petitioner (s) do hereby appoint \_\_\_\_\_ as  
my (our) duly authorized agent to represent me (us) in regard to this petition.  
Print name of agent.

\_\_\_\_\_  
Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual \_\_\_\_\_ Partnership   X   Corporation \_\_\_\_\_

(a) If an individual:

(1) Name and Address \_\_\_\_\_

(2) Telephone Number \_\_\_\_\_

(3) Business Address \_\_\_\_\_

(4) Date started in business \_\_\_\_\_

(5) Name in which business is operated if different from (1) \_\_\_\_\_

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

Please see attached 1290

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers 314 852-1897

(3) Business address 1290 North Highway 67

(4) Name under which business is operated Sugarfire Smokehouse

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers \_\_\_\_\_

(3) Business address \_\_\_\_\_

(4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_

(5) Date of Incorporation \_\_\_\_\_

(6) Missouri Corporate Number \_\_\_\_\_

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_

(8) Name in which business is operated \_\_\_\_\_

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner \_\_\_\_\_

Location of property \_\_\_\_\_

Dimensions of property \_\_\_\_\_

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

---

**OFFICE USE ONLY**

Date Application reviewed 2/22/2024

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Debra N. Jan  
Building Commissioner or Staff Signature







KAEMMERLEN  
FOODSERVICE  
SOLUTIONS



1290 N. HWY 67, FLORISSANT, MO

# SUGARFIRE - FLORISSANT

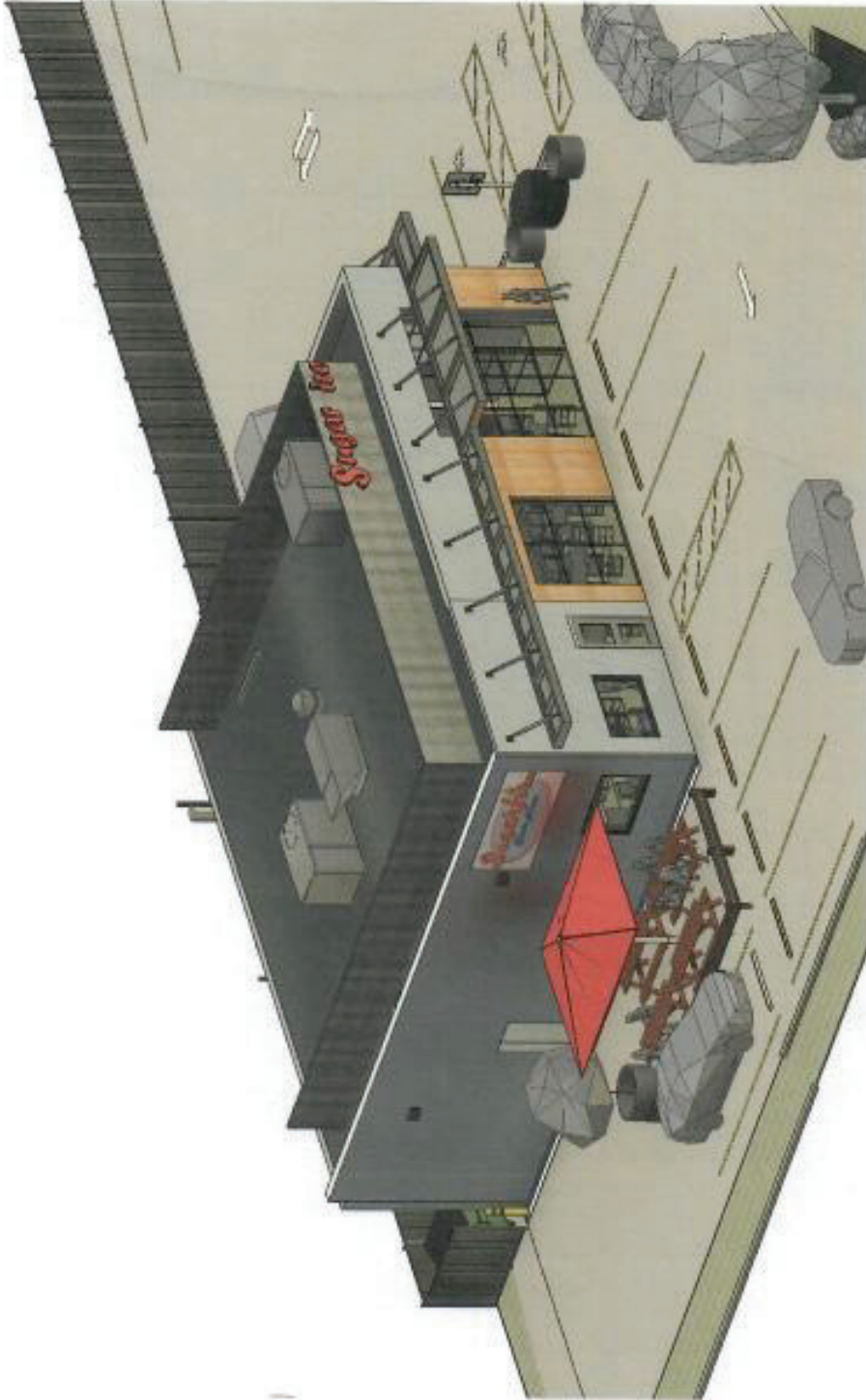
REVISION

SCALE

ISSUE DATE  
REVISION

A107

3D SITE



1 3D BUILDING

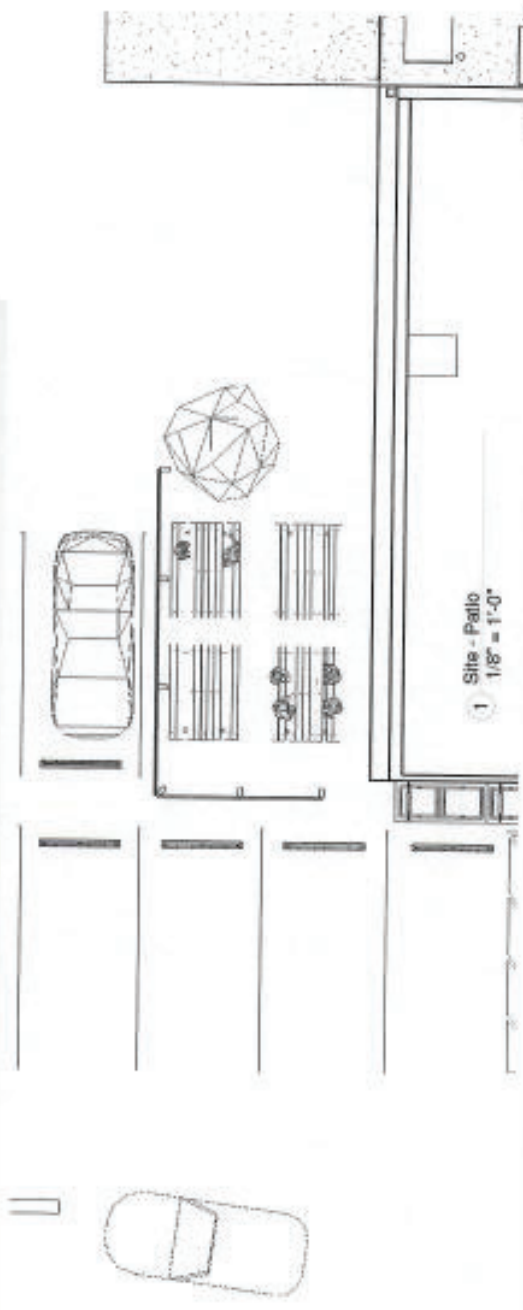
SCALE AS NOTED WHEN PRINTED ON 11X17 SHEET





**PARKING / SEATING ANALYSIS**

INDOOR SEATING	42
OUTDOOR SEATING	16
58 SEATS / 3 (ROUND UP)	29
EMPLOYEE SPACES REQ.	5
TOTAL PARKING NEEDED	25
PARKING AVAILABLE	28 (25+3 @ LEHALL)



SCALE AS NOTED WHEN PRINTED ON 11X17 SHEET









Rear of Building before fence  
and roof over hang.

12/18/2023 Site Inspection

Sugar Fire  
1290 N. Hwy 67











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4. TRASH ENCLOSURES

Any exterior trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawing attached and shall include the entire property, trash enclosures, landscape, lighting, legal description and building setbacks.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

(1) Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on the Final Development Plan indicating existing parking.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 10 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks

(1) There shall be a modification of the sidewalk area to include burning bush plantings, trees, walks, tree wells and lighting per the Lindbergh Improvement Plan, provided on the highway frontage of the property.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting shall be a minimum of 0.5 fc on the property and shall not project light or glare onto adjacent residentially zoned property.

(2) All site lighting and exterior building lighting shall be directed down and inward



# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 12/4/2023

Open  Closed

Report No. 91/2023

**Date Submitted:**

**To:** City Council

**Title:** Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

**Prepared by:** Administrator

**Department:** Public Works

**Justification:**

Please see attachments

**Attachments:**

1. PH 3390 N Hwy 67
2. Staff Report
3. Application
4. Plans

INTRODUCED BY COUNCILMAN SIAM  
JANUARY 8, 2024

BILL NO. 9944  
ORDINANCE NO.

**ORDINANCE AUTHORIZING AN AMENDMENT ORDINANCE NO. 7965  
FOR WALMART TO ALLOW FOR PAINTING OF THE EXTERIOR AND  
NEW TRESPA FILM IN A ‘B-5’ PLANNED COMMERCIAL DISTRICT  
LOCATED AT 3390 N HIGHWAY 67.**

WHEREAS ordinance no. 7965 was passed in April of 2012 approving the rezoning of 3350 & 3400 N. Hwy 67 and 3605 Seville to a B-5 Planned Commercial District to allow for the construction of a new retail center; and

WHEREAS the St. Louis County Assessor’s office now identifies this property as 3390 N. Highway 67; and

WHEREAS BRR Architecture, Inc has applied on behalf of Walmart store #5927 for an amendment to the B-5 development plan authorized by ordinance 7965 to allow for the painting of the exterior and new Trespa Film;

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of December 4<sup>th</sup>, 2023 that an amendment to B-5 ordinance no. 7965, to allow for the painting of the exterior and new Trespa Film located at 3390 N. Highway 67; and

WHEREAS, due and lawful notice of a public hearing no. 24-01-003 on said proposed change was duly published, held and concluded on 8th day of January 2024 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no. 7965 to allow for the painting of the exterior and new Trespa Film located at 3390 N. Highway 67 is in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1:

B-5 ord. no. 7965, is hereby amended to allow for minor changes to the site development plan of the ‘B-5’

Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry Unit (CMU), and parapet caps; also apply film on front trespa panels, and install new signs at **3390 N Highway 67 (Wal-Mart)**

Related drawings are attached. The exterior modifications depict minor changes in the development plan, which is not in conflict with the nature of the development and meets all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this 'B-5' Planned Commercial District, and the following additional requirements:

1. PROJECT COMPLETION.

Construction shall start within 60 days issuance of building permits and the project and shall be developed in accordance of the approved amendments to the final development plan within 180 days of start of construction.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2024.

---

Joseph Eagan

President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2024..

---

Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

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Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:**

**To amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

1

**MEMORANDUM**



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**CITY OF FLORISSANT**

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*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

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To: Planning and Zoning Commissioners Date: November 8, 2023

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From: Debra Irvin, Building Commissioner cc: Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Applicant  
File

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Subject: Request an amendment of the B-5, minor ratification of the Building  
Commissioner to allow painting exterior rear of the building Concrete  
Masonry Unit (CMU), and parapet caps; apply film on front trespa panels,  
and install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5'  
Zoning District

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**STAFF REPORT**

**CASE NUMBER PZ-120423-4**

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**I. PROJECT DESCRIPTION:**

Request an amendment of the B-5f , minor ratification of the existing ordinance to paint  
exterior rear building CMU, and parapet caps; apply film on front trespa panels, and  
install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District,  
Ordinance No. 7965.

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**II. EXISTING SITE CONDITIONS:**

The existing property at 3390 N Highway 67 is a high traffic retail chain store. The  
property is currently zoned 'B-5'.

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**III. SURROUNDING PROPERTIES:**

The property to the West is 3200 N Highway 67 in a 'B-3' District, the properties to the  
South are in an 'R-4' District. The East is bounded by Coldwater Creek.

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**IV. STAFF ANALYSIS:**

Under the Zoning Code, Section 405.135 (for a 'B-5' District only), minor changes to a  
previously recorded development plan may be approved without a public hearing if the



41 Building Commissioner deems the changes to be minor in nature and is ratified by P&Z,  
42 the Building Commissioner submits the proposed amendment to P&Z for review and  
43 approval by motion to ratify approval by staff. **The attached plan was submitted for**  
44 **review and consideration of approval to paint exterior rear of building CMU and**  
45 **parapet caps; apply film on front trespa panels, and install new signs at 3390 N**  
46 **Highway 67 (Wal-Mart)** in a ‘B-5’ Zoning District

47  
48 Excerpt from Zoning Code, section 405.135. para. L2c.:

49 *“c. Initial determination of consistency/minor changes. If the Building Commissioner determines that the*  
50 *proposed amendment to the previously approved site plan is minor in nature and is not in conflict with the*  
51 *nature of the proposal as originally or previously advertised for public hearing and meets all of the*  
52 *conditions of the pertinent Planned Commercial District ordinance, the Building Commissioner shall notify*  
53 *the Planning and Zoning Commission thereof and may conditionally approve such proposed amendment,*  
54 *which approval shall be deemed ratified by the Planning and Zoning Commission unless five (5) or more*  
55 *members thereof thereafter request at the first (1st) regularly scheduled and conducted meeting after*  
56 *notification that such proposed amendment be submitted to the Planning and Zoning Commission for*  
57 *review. In lieu of a grant of conditional approval, the Building Commissioner or designated representative*  
58 *may submit the proposed amendment to the Planning and Zoning Commission for review. In case of*  
59 *disapproval of the proposed amendment by the Building Commissioner, the applicant shall be notified and*  
60 *may thereafter request review thereof by the Planning and Zoning Commission...”*

61  
62 The application is accompanied by attached plan.

63  
64 Comments on plans: Owner shall provide color samples for CMU

65  
66 See the following suggested motion:

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68 **V. STAFF RECOMMENDATION AND SUGGESTED MOTION:**

69 I move to amend the B-5 for minor changes to the site development plan of the ‘B-5’  
70 Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry  
71 Unit (CMU), and, parapet caps; also apply film on front trespa panels, and install new  
72 signs at **3390 N Highway 67 (Wal-Mart)**

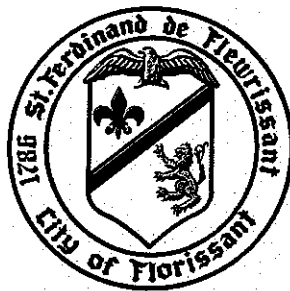
73  
74 Related drawings are attached. The exterior modifications depict minor changes in the  
75 development plan, which is not in conflict with the nature of the development and meets  
76 all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this  
77 ‘B-5’ Planned Commercial District, and the following additional requirements:

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80 1. PROJECT COMPLETION.

81 Construction shall start within 60 days issuance of building permits and  
82 the project and shall be developed in accordance of the approved  
83 amendments to the final development plan within 180 days of start of  
84 construction.

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86 **(End of suggested motion and staff report)**

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant, while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 3390 N. Highway 67

Property Owners Name: THF Florissant Development LLC Phone/email:

Property Owners Address: PO Box 8050 Bentonville, AR 72712

Business Owners Name: Walmart Real Estate Business Trust Attn Realty Manager Store #5927 Phone/email: zach.luensmann@walmart.com

Business Owners Address: 2608 SE J St. Bentonville, AR 72716

DBA (Doing Business As) Walmart Store #5927

Authorized Agents Name: BRR Architecture, Inc. Co. Name: Kristi Burk (Authorized Agent to Appear Before The Commission)

Agents Address: 8131 Metcalf Ave. Suite 300 Phone/email: 479-286-2936

Request: Paint exterior rear building CMU and parapet caps. Apply film on front trespa panels.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Kristi Burk

Digitally signed by Kristi Burk, DN: c=US, e=kristi.burk@brrarch.com, o="BRR Architecture, Inc.", CN=Kristi Burk Reason: I have reviewed this document Date: 2023.10.30 13:59:15 -0500

10/30/23

Applicant's Signature

Date

OFFICE USE ONLY

Received by: Receipt # Amount Paid: Date:

STAFF REMARKS: COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION





# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 2/26/2024

Open  Closed

Report No. 12/2024

**Date Submitted:**

**To:** City Council

**Title:** Ordinance authorizing an amendment to Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

**Prepared by:** Administrator

**Department:** Public Works

**Justification:**

Please see attachments

**Attachments:**

1. Ph Notice 3390 N Hwy 67
2. Staff Report
3. B-5 Application
4. Plans

INTRODUCED BY COUNCILMAN SIAM  
FEBRUARY 26, 2024

BILL NO. 9959  
ORDINANCE NO.

**ORDINANCE AUTHORIZING AN AMENDMENT TO ORDINANCE NO. 7965  
FOR WALMART TO ALLOW FOR EXTERIOR MODIFICATIONS IN A 'B-5'  
PLANNED COMMERCIAL DISTRICT LOCATED AT 3390 N HIGHWAY 67.**

WHEREAS ordinance no. 7965 was passed in April of 2012 approving the rezoning of 3350 & 3400 N. Hwy 67 and 3605 Seville to a B-5 Planned Commercial District to allow for the construction of a new retail center; and

WHEREAS the St. Louis County Assessor's office now identifies this property as 3390 N. Highway 67; and

WHEREAS BRR Architecture, Inc has applied on behalf of Walmart store #5927 for an amendment to the B-5 development plan authorized by ordinance 7965 to allow for exterior modifications;

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of February 5, 2024 that an amendment to B-5 ordinance no. 7965, as to allow for exterior modifications located at 3390 N. Highway 67.

WHEREAS, due and lawful notice of a public hearing no. 24-02-007 on said proposed change was duly published, held and concluded on the 26<sup>th</sup> day of February 2024 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no 7965 to allow for exterior modifications located at 3390 N. Highway 67 in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Changes to the site development plan at 3390 North Highway 67, in an existing 'B-5' development under Ordinance No. 7965 is hereby approved to allow for the relocation of the curbside pickup with additional parking spaces, new

wall signs, additional directional signage; new concrete pavement; a canopy extension, and proposed replacement of sidewalk at 3390 N Highway 67 (Walmart).

Related drawings are attached. The modifications depict changes in the development plan, which is not in conflict with the nature of the development and meets all the conditions of Ordinance No. 7965. Recommend City Council approval, with the following additional requirement:

1. Project Completion.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2024.

Joseph Eagan

President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, February 26, 2024 at 7:00 p.m. on the following proposition:**

**To amend Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**



1

**MEMORANDUM**



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**CITY OF FLORISSANT**

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*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

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To: Planning and Zoning Commissioners Date: January 24, 2024

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From: Debra Irvin, Building Commissioner cc: Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Economic Development  
Applicant  
File

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Applicant's Representative: Scott Pfeifer with BRR Architecture.

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Subject: Request a ratification for exterior changes at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District:

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**STAFF REPORT**

**CASE NUMBER PZ-020524-03**

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**I. PROJECT DESCRIPTION:**

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This is a request for a ratification of the existing ordinance as listed in the subject line at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District, Ordinance No. 7965. Wal-Mart desires to remodel and make exterior changes to the existing site, much of the site detail is closing the current curbside pickup and returning the space to general store use; and creating a new more visible pickup area at the front parking lot with additional spaces, signage, lighting and concrete. The initial approval for the main logo sign and clearcoat on the CMU wall at rear of the building was approved by the commissioners December 4, 2023 meeting.

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Below is a brief outline of the exterior changes for the commissioners to consider:

- New Wall Signs schedule - Sheet -A2.1 (across the front of the building)
- Relocate the entire curbside pickup from existing location to two rows at the front parking lot near garden entry creating 26 pickup spaces– Sheet OSP-1
- Relocate directional signs to new pickup area.

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- 41 • Install lighting poles in new designated pickup area. Lighting Detail –
- 42 Sheet DTL-2
- 43 • Add permanent banner signs “PICK UP” to light poles in new
- 44 designated pickup area.
- 45 • Sawcut and replace concrete throughout certain areas of the main
- 46 parking lot Sheet OIP-1.
- 47 • Install new sidewalks with stamped concrete - Sheet SP2; grading plan
- 48 on Sheet OIP-1
- 49 • Prep and paint all existing light pole bases and all existing bollards -
- 50 Sheet SP2; Color legend – Sheet A2
- 51 • Install new bollards in certain areas (main entry, and garden)
- 52 • Replace screen wall caps- Sheet SP2
- 53 • Extend canopy in new pickup area - Sheet SP2
- 54 • Parking Sign Detail – Sheet DTL 1
- 55 • Temporary Banner – 125 sq ft in place until all signs are installed.
- 56 • Stop Signs and Markings -Sheet SSM-1
- 57

58 **II. EXISTING SITE CONDITIONS:**

59 The existing property at 3390 N Highway 67 is a high traffic retail chain store. The  
 60 property is currently zoned ‘B-5’. This new pickup area will be closer to the main  
 61 entrance of Hwy 67 at the garden entrance.

62

63 **III. SURROUNDING PROPERTIES:**

64 The property to the West is 3200 N Highway 67 in a ‘B-3’ District, the properties to the  
 65 South are in an ‘R-4’ District. The East is bounded by Coldwater Creek.

66

67 **IV. STAFF ANALYSIS:**

68 **The attached plans were submitted for recommended approval as site**  
 69 **improvements at 3390 N Highway 67 (Wal-Mart) in a ‘B-5’ Zoning District**

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71 Excerpt from Zoning Code, section 405.135. para. L2c.:

72 *“c. Initial determination of consistency/minor changes. If the Building Commissioner determines that the*  
 73 *proposed amendment to the previously approved site plan is minor in nature and is not in conflict with the*  
 74 *nature of the proposal as originally or previously advertised for public hearing and meets all of the*  
 75 *conditions of the pertinent Planned Commercial District ordinance, the Building Commissioner shall notify*  
 76 *the Planning and Zoning Commission thereof and may conditionally approve such proposed amendment,*  
 77 *which approval shall be deemed ratified by the Planning and Zoning Commission unless five (5) or more*  
 78 *members thereof thereafter request at the first (1st) regularly scheduled and conducted meeting after*  
 79 *notification that such proposed amendment be submitted to the Planning and Zoning Commission for*  
 80 *review. In lieu of a grant of conditional approval, the Building Commissioner or designated representative*  
 81 *may submit the proposed amendment to the Planning and Zoning Commission for review. In case of*  
 82 *disapproval of the proposed amendment by the Building Commissioner, the applicant shall be notified and*  
 83 *may thereafter request review thereof by the Planning and Zoning Commission...”*

84

85 The application is accompanied by attached plans from BBR Architects, dated  
 86 01/19/2024.

87

88 Comments on plans: The property has 801 spaces for customer parking; they are required  
89 to have 678; increasing the pickup spaces will not impact parking.

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91 See the following suggested motion:

92  
93 **V. STAFF RECOMMENDATION AND SUGGESTED MOTION:**

94 I move to recommend approval to the City Council of the changes to the site  
95 development plan at 3390 No Hwy 67, an existing B-5' development under Ordinance  
96 No. 7965 to allow for the relocation of the curbside pickup with additional parking  
97 spaces, new wall signs, additional directional signage; new concrete pavement; a canopy  
98 extension, and proposed replacement of sidewalk at **3390 N Highway 67 (Wal-Mart)**  
99

100 Related drawings are attached. The modifications depict changes in the development  
101 plan, which is not in conflict with the nature of the development and meets all the  
102 conditions of Ordinance No. 7965. Recommend City Council approval, and the site is  
103 subject to the regulations of this 'B-5' Planned Commercial District, with the following  
104 additional requirement:

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107 **1. PROJECT COMPLETION.**

108 Construction shall start within 60 days of issuance of building permits and  
109 the project shall be developed in accordance with the approved  
110 amendments to the final development plan within 180 days of start of  
111 construction.

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**(End of suggested motion and staff report)**

**Application to the City of Florissant Planning & Zoning Commission (P&Z) to Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the Provisions of an Existing 'B-5' Ordinance**



**PLANNING & ZONING ACTION:**

Address of Property:

3390 N. Highway 67

Council Ward 9 Zoning "B-5"

Initial Date Petitioner Filed \_\_\_\_\_  
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT ORDINANCE # \_\_\_\_\_

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Walmart Real Estate Business Trust DBA Walmart Store #5927

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Walmart Walmart Real Estate Business Trust

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".
  - B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
  - C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed \_\_\_\_\_
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as commercial retail store

\_\_\_\_\_  
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: Signs, exterior parking lot changes

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Scott Pfeifer scott.pfeifer@brrarch.com  
Print Name Email address

PETITIONER(S) SIGNATURE (S) Zach Luensmann Digitally signed by Zach Luensmann  
Date: 2024.01.23 16:39:35 -06'00'

FOR Walmart  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):  
( ) I (we) have a legal interest in the herein above described property.  
( X ) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME Scott Pfeifer, BRR Architecture, Inc.

Name of Petitioner(s) Authorized Agent, Firm Name  
ADDRESS 8131 Metcalf Ave. Suite 300 Overland Park, KS 66204  
STREET CITY STATE ZIP CODE

PHONE 913-262-9095

I (we) the petitioner (s) do hereby appoint Scott Pfeifer scott.pfeifer@brrarch.com as  
BUSINESS Print name of agent. Email address

my (our) duly authorized agent to represent me (us) in regard to this petition.

Scott Pfeifer Digitally signed by Scott Pfeifer  
DN: C=US, E=Scott.Pfeifer@brrarch.com, O=BRR Architecture, CN=Scott Pfeifer  
Date: 2024.01.23 12:32:59-06'00'  
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please fill in applicable information requested.

Name Walmart

Address 3390 N. Highway 67

Property Owner Walmart Real Estate BUS

Location of property 3390 N. Highway 67

Dimensions of property N/A

Property is presently zoned B-5 per ordinance # N/A

Current & Proposed Use of Property Commercial

Type of Sign Like for Like Height N/A

Type of Construction N/A Number Of Stories N/A

Square Footage of Building N/A Number of Curb Cuts N/A

Number of Parking Spaces 793 Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter N/A

No. of Shrubs N/A Size N/A

Fence: Type N/A Length N/A Height N/A

For reference of full exterior scope reference the submitted plans.

**PLEASE SUBMIT (10) FOLDED COPIES OF THE FOLLOWING:**

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.





EXISTING SQFT: 164,544  
 REMODELED SQFT: 30,000

FLORISSANT, MO  
 STORE NO.: 05927 - 220

PROTO CYCLE: 08/02/23  
 DATE: 10/20/23  
 PROTO: 150 SC

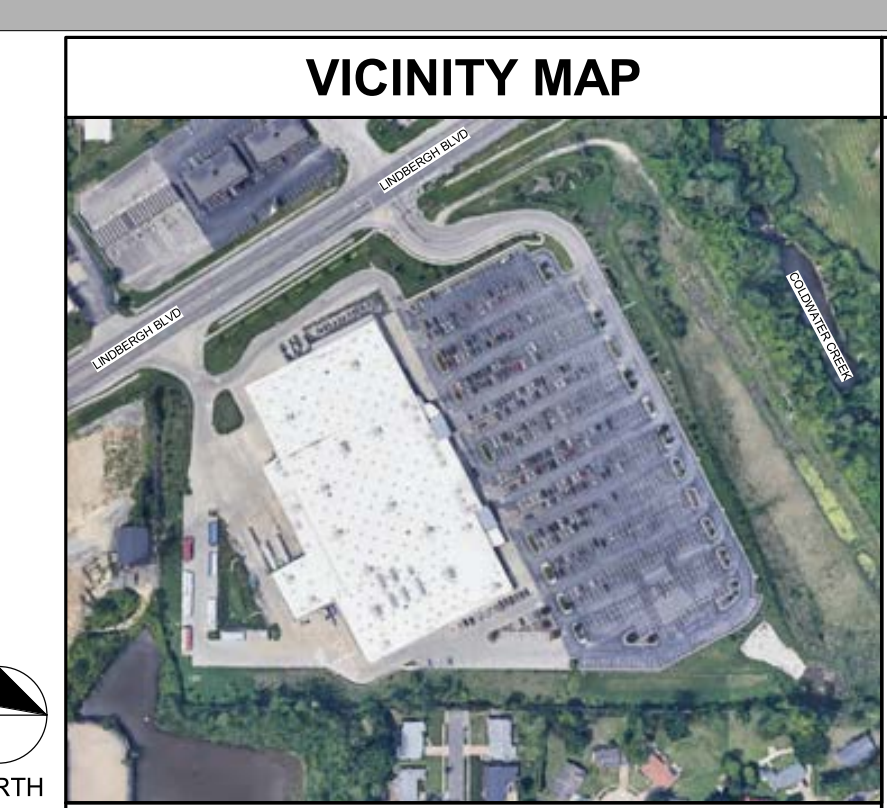
**DRAWING INDEX**

<b>GENERAL</b>		<b>PHM1</b>	MODULAR PHARMACY PLANS, ELEVATION AND SCHEDULES	<b>FIRE PROTECTION</b>		<b>REFRIGERATION</b>		<b>E4.4</b>	PANEL/BUSWAY SCHEDULES
C1	COVER SHEET			FP1	FIRE SPRINKLER SITE PLAN	BASR1	BUILDING AUTOMATION SYSTEM REFRIGERATION PLANS	EPH1	PHARMACY ELECTRICAL PLAN
C2	RESPONSIBILITY MATRIX	<b>PHM2</b>	MODULAR PHARMACY SECTIONS AND DETAILS	FP2	FIRE SPRINKLER DEMOLITION PLAN	BASR2	BUILDING AUTOMATION SYSTEM REFRIGERATION SCHEDULES	EV1	VISION CENTER ELECTRICAL PLANS
N1	GENERAL INFORMATION	<b>PHM2.1</b>	PHARMACY RESTROOM DETAILS	FP3	FIRE SPRINKLER UPGRADE PLAN NORTH	BASR3	BUILDING AUTOMATION SYSTEM REFRIGERATION DETAILS	GE2	GROCERY POWER PLANS
SA1	BID ALLOWANCE SCHEDULE	<b>PHM3</b>	PHARMACY EQUIPMENT (FOR REFERENCE ONLY)	FP4	FIRE SPRINKLER UPGRADE PLAN SOUTH	BASR4	BUILDING AUTOMATION SYSTEM REFRIGERATION DETAILS	RE1	REFRIGERATION ELECTRICAL PLAN
LS1	LIFE SAFETY PLAN			FP5	FIRE SPRINKLER DETAILS				
<b>ARCHITECTURAL</b>		<b>PHM4</b>	PANEL PLAN					<b>RACKING</b>	
SP1	SITE PLAN	<b>PHM5</b>	PHASING PLAN					FXS1	FIXTURE ANCHORAGE PLAN AND NOTES
SP2	SITE DETAILS	<b>PHM5.1</b>	PHASING PLANS					FXS2	FIXTURE ANCHORAGE DETAILS
D1	DEMOLITION PLAN	<b>PHM5.2</b>	PHASING PLANS	<b>PLUMBING</b>					
D1.1	ENLARGED DEMO PLANS AND DETAILS	<b>VC1</b>	VISION CENTER PLANS AND ELEVATION	P0	PLUMBING LEGEND	<b>ELECTRICAL</b>		<b>CIVIL</b>	
A1	FLOOR PLAN	<b>VC1.1</b>	VISION CENTER ELEVATIONS	PD1	DEMOLITION PLUMBING DRAIN PLAN	E1	LIGHTING PLAN	SSM-1	STOP SIGNS AND MARKINGS PLAN
A1.1	FLOOR FINISH PLAN	<b>VC1.2</b>	REFLECTED CEILING PLAN AND DETAILS (FOR REF ONLY)	PD2	DEMOLITION PLUMBING SUPPLY PLAN	E1.1	ENLARGED LIGHTING PLANS	SECP-1	DEMOLITION AND SITE CONSTRUCTION PLAN
A2	EXTERIOR ELEVATIONS	<b>VC1.3</b>	REFLECTED CEILING PLAN	PD3	DEMOLITION ENLARGED PLUMBING PLANS	E1.2	ENLARGED LIGHTING PLANS	SECP-2	DEMOLITION AND SITE CONSTRUCTION PLAN SHEET
A2.1	EXTERIOR SIGNAGE	<b>VC2</b>	SECTIONS	P1	PLUMBING DRAIN PLAN	E1.3	ENLARGED LIGHTING PLANS	SECP-SSM 1	SECP AND STOP SIGNS MARKING DETAIL SHEET
A3	SECTIONS AND DETAILS	<b>VC3</b>	EQUIPMENT (FOR REFERENCE ONLY)	P2	PLUMBING SUPPLY PLAN	E1.4	LIGHTING DETAILS AND SCHEDULES	SECP-SSM 2	SECP AND STOP SIGNS MARKING DETAIL SHEET
A4	ROOF PLAN AND DETAILS	<b>GA1</b>	FRONT GROCERY PLAN	P3	PLUMBING ENLARGED PLANS	E1.5	SITE LIGHTING PLAN	CSS-1	SPECIFICATION SHEET
A5	ENLARGED PLANS, ELEVATIONS, AND DETAILS	<b>GA1.1</b>	FRONT GROCERY FINISH PLAN	P3.1	PLUMBING ENLARGED PLANS	E2	POWER PLAN	CSS-2	SPECIFICATION SHEET
A5.1	RESTROOM PLANS AND DETAILS	<b>GA2</b>	REAR GROCERY PLAN AND DETAILS	P4	PLUMBING EQUIPMENT DETAILS	E2.1	POWER DROP PLAN	OSP-1	OVERALL SITE PLAN
A5.2	RESTROOM FLOOR FINISH PLANS AND DETAILS	<b>GA5</b>	RESPONSIBILITY SCHEDULES	P5	PLUMBING SCHEDULES	E2.2	ENLARGED POWER PLAN	OIP-1	OGP IMPROVEMENT PLAN
A5.3	RESTROOM FINISH PLANS AND DETAILS	<b>GA5.1</b>	RESPONSIBILITY SCHEDULES			E2.3	ENLARGED POWER PLAN	DTL-1	DETAIL SHEET 1
A5.4	ENLARGED PLANS AND DETAILS	<b>OP1</b>	ONLINE PICK UP PLANS	<b>MECHANICAL</b>		E2.4	ENLARGED POWER PLAN	DTL-2	DETAIL SHEET 2
A5.4	ENLARGED PLANS AND DETAILS	<b>OP1.1</b>	ONLINE PICK UP DETAILS	M0	MECHANICAL LEGEND	E3	ELECTRICAL DETAILS		
A6	REAR OFFICE PLAN			M1	MECHANICAL PLAN	E4	ELECTRICAL ONE-LINE, DETAILS AND SCHEDULES	<b>CANOPY</b>	
A6.1	PARTITION TYPES AND WALL DETAILS	<b>STRUCTURAL</b>		M1.1	MECHANICAL ENLARGED PLANS	E4.1	PANELBOARD SCHEDULES	CAS1	FRAMING AND FOUNDATION PLAN
A8	DOOR AND ROOM FINISH SCHEDULE	<b>S1</b>	INSULATED SLAB AND OPENING PLAN AND DETAILS	M2	ROOF MECHANICAL PLAN	E4.2	PANELBOARD SCHEDULES	CAS2	CANOPY ELEVATIONS
A9	CASEWORK	<b>S2</b>	OPENING AND VISION CENTER PLAN AND DETAILS	M3	MECHANICAL DETAILS	E4.3	PANELBOARD SCHEDULES	CAS3	TYPICAL CONSTRUCTION DETAILS AND NOTES
BR1	BREAK ROOM PLAN AND DETAILS	<b>S3</b>	ROOFTOP EQUIPMENT PLANS AND DETAILS	M4	MECHANICAL SCHEDULES				
MC1	MONEY CENTER FLOOR PLAN	<b>S4</b>	NEW OPENING PLAN AND DETAILS						
MC3	EQUIPMENT PLANS								

CANOPY VENDOR DRAWINGS ARE INCLUDED FOR PERMITTING PURPOSES ONLY

**BUILDING CODE SUMMARY**

<b>NAME OF PROJECT</b>	FLORISSANT, MO
<b>STREET ADDRESS</b>	3390 N HIGHWAY 67
<b>PROPOSED USE</b>	RETAIL
<b>CODES</b>	2021 INTERNATIONAL EXISTING BUILDING CODE, WORK AREA METHOD, LEVEL 2 ALTERATION (IEBC)
<b>ELECTRICAL CODE</b>	2020 NATIONAL ELECTRICAL CODE (NEC)
<b>PLUMBING CODE</b>	2021 INTERNATIONAL PLUMBING CODE (IPC)
<b>MECHANICAL CODE</b>	2021 INTERNATIONAL MECHANICAL CODE (IMC)
<b>FIRE CODE</b>	2021 INTERNATIONAL FIRE CODE (IFC)
<b>ACCESSIBILITY CODE</b>	2017 ICC A117.1
<b>ENERGY CODE</b>	2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
<b>ADDITIONAL CODES</b>	2021 INTERNATIONAL FUEL GAS CODE (IFGC)
<b>OCCUPANCY</b>	M - MERCANTILE; WHOLESALE OR RETAIL STORE (MAIN OCCUPANCY) S1 - STORAGE AREA, RECEIVING AND STOCKROOMS (MIXED OCCUPANCY) A2 - ASSEMBLY USE; BREAKROOM AND FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY) B - BUSINESS; NON FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY)
<b>TYPE OF CONSTRUCTION</b>	V-B UNPROTECTED (SPRINKLERED)
<b>ALLOWABLE AREA</b>	UNLIMITED
<b>FIRE PROTECTION</b>	BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM AND IS SURROUNDED ON ALL SIDES BY 60 FEET MINIMUM OF PERMANENT OPEN SPACE. UNLIMITED AREA CRITERIA IS APPLICABLE.



**GENERAL SCOPE OF WORK**

- EXTERIOR SURFACES: CLEAN, PREP AND PAINT
- INTERIOR WALLS: CLEAN, PREP AND PAINT
- PHARMACY: REMODEL, ADD HEALTH SERVICES ROOM
- PHOTO LAB: REMOVE EXISTING AND REPLACE FIXTURES, ADD MONITORS
- GARDEN CENTER: PAINT AND CLEAN
- RESTROOMS: FULL RESTROOM REMODEL, REPLACE SINKS AND ACCESSORIES
- BREAK ROOM: REMODEL, INSTALL KITCHEN ASSEMBLY
- CUSTOMER SERVICE: REMODEL, REPLACE CHECKOUT COUNTERS, REVISE RETURNS STORAGE
- WHITE BOX TENANT: ADD SPACE, DOORS
- VESTIBULES: REVISE BOLLARDS AND PEDESTALS, ADD RUBBER FLOORING, CLEAN AND PAINT
- GROCERY: ADD CASE, FAUX TILE, EQUIPMENT, REPLACE DOORS
- ROOF: ADD RCU'S AND RTU
- SIGNAGE: INSTALL/REPLACE EXTERIOR SIGNS
- ONLINE PICKUP: DEMO EXISTING PICKUP AREA, RELOCATE TO SALES FLOOR, ADD CANOPY, COOLER AND FREEZER, ADD TRI-FOLDING SLIDER DOOR AND INFILL EXISTING DOOR
- VISION CENTER: FULL REMODEL TO OPTICAL SALES, REVISE ADJUSTMENTS ROOM EQUIPMENT AND FIXTURES
- MONEY CENTER: RELOCATE AND FULL REMODEL ON SALES FLOOR
- MOTHER'S ROOM: ADD ROOM
- CSL ROOM: REVISE LAYOUT OF ROOMS, REPLACE COUNTERTOPS
- ASSISTANT MANAGER OFFICE: REPLACE COUNTERS
- PERSONNEL OFFICE: DEMO EXISTING COUNTERS, ADD COUNTERS AND CABINETS

**GENERAL NOTES**

- BUILDING IS FULLY SPRINKLERED AS REQUIRED BY CONTRACT DOCUMENTS
  - SUBMIT FIRE SPRINKLER SYSTEM DRAWINGS AND CALCULATIONS TO AUTHORITIES HAVING JURISDICTION (FIRE DEPARTMENT AND FIRE MARSHAL)
  - OBTAIN ALL APPROVALS PRIOR TO FABRICATION OR INSTALLATION
- OWNER WILL PROVIDE, OR HAS ALREADY PROVIDED, FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10
  - AUTHORITY HAVING JURISDICTION WILL APPROVE FINAL FIRE EXTINGUISHER LOCATIONS.
- WALMART'S ALARM CENTRAL'S ENGINEERING TEAM HAS CONTACTED THE AUTHORITY HAVING JURISDICTION FOR PRE-PLAN DATA ABOUT STATE AND LOCAL REQUIREMENTS THAT DIFFER FROM THE NATIONALLY PUBLISHED CODES AND STANDARDS
  - A COMPLETE SITE SPECIFIC SUBMITTAL IS BEING MADE DIRECTLY TO THE AUTHORITY HAVING JURISDICTION
  - QUESTIONS SHALL BE DIRECTED TO 1-800-530-9924, OPTION 3
- THE MAXIMUM STORAGE HEIGHT IS TWELVE FEET EXCEPT IN THE GENERAL MERCHANDISE RECEIVING AREA IMMEDIATELY ADJACENT TO THE DOCK DOORS
  - THE STOCKROOM WILL HAVE A STACKING HEIGHT OF 15 FEET OF CLASS I-IV COMMODITIES IN FIXED, SINGLE AND DOUBLE ROW RACKS
  - THE STACKING HEIGHT OF THE ROLLING RACK AREA WILL NOT EXCEED 12 FEET
- REINSTALL ALL FIRE EXTINGUISHERS IMMEDIATELY FOLLOWING COMPLETION OF FINAL FINISH TO MOUNTING SURFACE
- REFER TO GENERAL CONTRACTOR PERMIT, REGISTRATION, NOTIFICATION INSPECTION AND INSTALLER CERTIFICATION (GCPRI) REPORT LOCATED IN GC PERMIT INFORMATION FOLDER ON OWNER'S DOCUMENT DELIVERY WEBSITE

ARCHITECTURAL	STRUCTURAL	FIRE PROTECTION	PLUMBING	MECHANICAL	REFRIGERATION	ELECTRICAL	RACKING	CIVIL	BUILDING OFFICIAL
BRR ARCHITECTURE, INC. ARCHITECT OF RECORD 8131 METCALF AVENUE, SUITE 300 OVERLAND PARK, KANSAS 66204	JOHNSTON BURKHOLDER ASSOCIATES ENGINEER OF RECORD 930 CENTRAL KANSAS CITY, MISSOURI 64105	TELGIAN ENGINEERING & CONSULTING ENGINEER OF RECORD 900 CIRCLE 75 PARKWAY SE SUITE 680 ATLANTA, GA 30339	HP ENGINEERING, INC. ENGINEER OF RECORD 5214 W VILLAGE PARKWAY SUITE 120 ROGERS, AR 72758	HP ENGINEERING, INC. ENGINEER OF RECORD 5214 W VILLAGE PARKWAY SUITE 120 ROGERS, AR 72758	HENDERSON ENGINEERS, INC. ENGINEER OF RECORD 8345 LENEXA DRIVE, SUITE 300 LENEXA, KS 66214	HP ENGINEERING, INC. ENGINEER OF RECORD 5214 W VILLAGE PARKWAY SUITE 120 ROGERS, AR 72758	JOHNSTON BURKHOLDER ASSOCIATES ENGINEER OF RECORD 930 CENTRAL KANSAS CITY, MISSOURI 64105	BFA, INC. ENGINEER OF RECORD 103 ELM STREET WASHINGTON, MO 63090	AHJ CITY OF FLORISSANT, MO 955 RUE ST FRANCOIS FLORISSANT, MO 63031



ARCHITECT OF RECORD:  
 BRR ARCHITECTURE, INC.  
 8131 METCALF AVENUE  
 SUITE 300  
 OVERLAND PARK, KS 66204  
 www.brrarch.com  
 TEL: 913-262-9095  
 FAX: 913-262-9044

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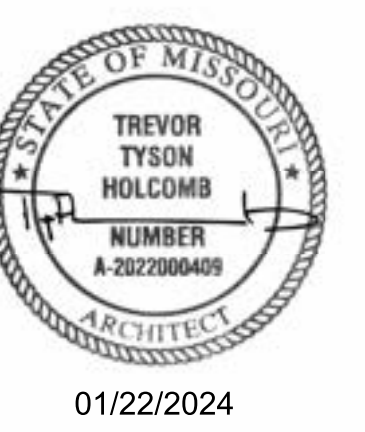
CONSULTANTS

Walmart  
 FLORISSANT, MO  
 3390 N HIGHWAY 67  
 STORE NO. 05927 - 220  
 JOB NUMBER: 95646884 | PROTO: 150 SC

**ISSUE BLOCK**

1	PHR1	01/19/24
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CHECKED BY: ZSM SP  
 DRAWN BY: NRS  
 PROTO CYCLE: 08/02/23  
 DOCUMENT DATE: 10/20/23



TREVOR TYSON  
 HOLCOMB  
 ARCHITECT  
 LICENSE NO.  
 A-2022000409  
 BRR ARCHITECTURE, INC.  
 ARCHITECTURAL CORPORATION  
 MISSOURI LICENSE NO.  
 ARC 000160

COVER SHEET

SHEET: C1















EXISTING SIGNAGE SCHEDULE					NEW SIGNAGE SCHEDULE					
SIGNAGE LOCATION	QTY	COLOR	SIZE	TOTAL AREA	SIGNAGE	QTY	ILLUMINATED	COLOR	SIZE	TOTAL AREA (SF)
<b>FRONT SIGNAGE</b>					<b>FRONT SIGNAGE</b>					
ADDRESS SIGN (3390)	1	BLACK	1'-0"	N/A	ADDRESS SIGN (3390)	1	BLACK	BLACK	1'-0"	N/A
Market	1	WHITE	2'-0"	17.97 SF	Grocery	1	N/A	WHITE	2'-6"	41.05
Home & Pharmacy	1	WHITE	2'-0"	61.85 SF	Home & Pharmacy	1	N/A	WHITE	2'-6"	94.90
Outdoor Living	1	WHITE	2'-0"	49.47 SF	Outdoor	1	N/A	WHITE	2'-0"	20.67
Pickup	1	WHITE	2'-6"	41.86 SF	Pickup	1	LED	WHITE	2'-6"	32.22
Spark	1	YELLOW	5'-6"		Walmart	1	LED	WHITE	5'-6"	
WALMART	1	WHITE	5'-6"		Walmart	1	LED	WHITE	5'-6"	
Spark	1	YELLOW	8'-0"	298.00 SF	Spark	1	LED	YELLOW	8'-0"	298.00
<b>TOTAL BUILDING SIGNAGE</b>				<b>469.15 SF</b>	<b>FRONT SIGNAGE</b>					<b>466.54</b>

- ### SIGNAGE GENERAL NOTES
- SIGNAGE FURNISHED BY WALMART AND INSTALLED BY GC
  - ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE
    - THE EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND SIGNAGE WILL BE INSTALLED PER PLANS
  - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE
  - BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE IS INSTALLED
  - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25')
  - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE
  - GENERAL CONTRACTOR RESPONSIBILITIES
    - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED
    - IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SPECS
    - NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION
    - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE, REFER TO SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS
    - PROVIDE JUNCTION BOXES AND CIRCUITRY TO "Walmart" and "Spark" SIGNAGE
    - EXISTING (6) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED
    - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN, REFER TO ELECTRICAL
    - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILING(S) IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE
    - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE, REFER TO ELECTRICAL
    - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE
    - REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE
    - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECS
    - INSTALL SIGNAGE PER DETAILS

**brr**

ARCHITECT OF RECORD:  
 BRR ARCHITECTURE, INC.  
 913 METCAL AVENUE  
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 www.brrarch.com  
 TEL: 913-262-9095  
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CONSULTANTS

150 SC

**Walmart**  
 FLORISSANT, MO  
 3390 N HIGHWAY 67  
 STORE NO. 05927 - 220  
 JOB NUMBER: 96546894 | PHOTO:

CHECKED BY: DMJ SP  
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TREVOR TYSON  
 HOLCOMB  
 ARCHITECT  
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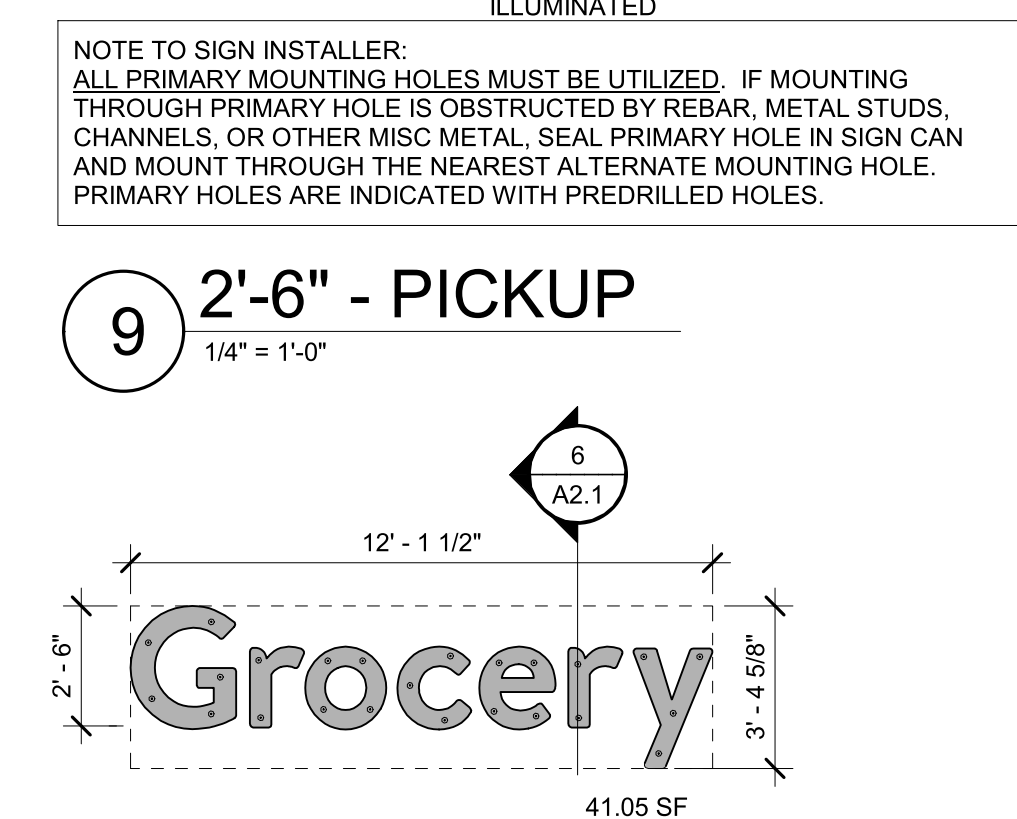
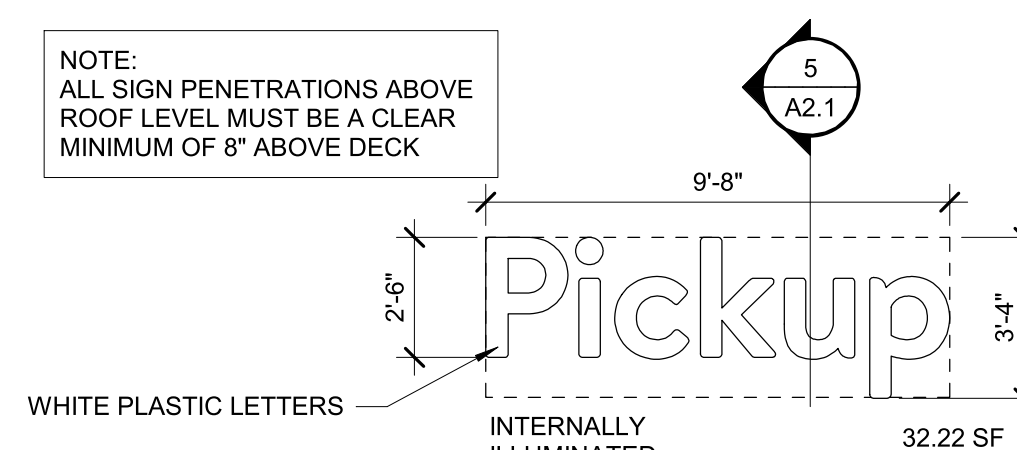
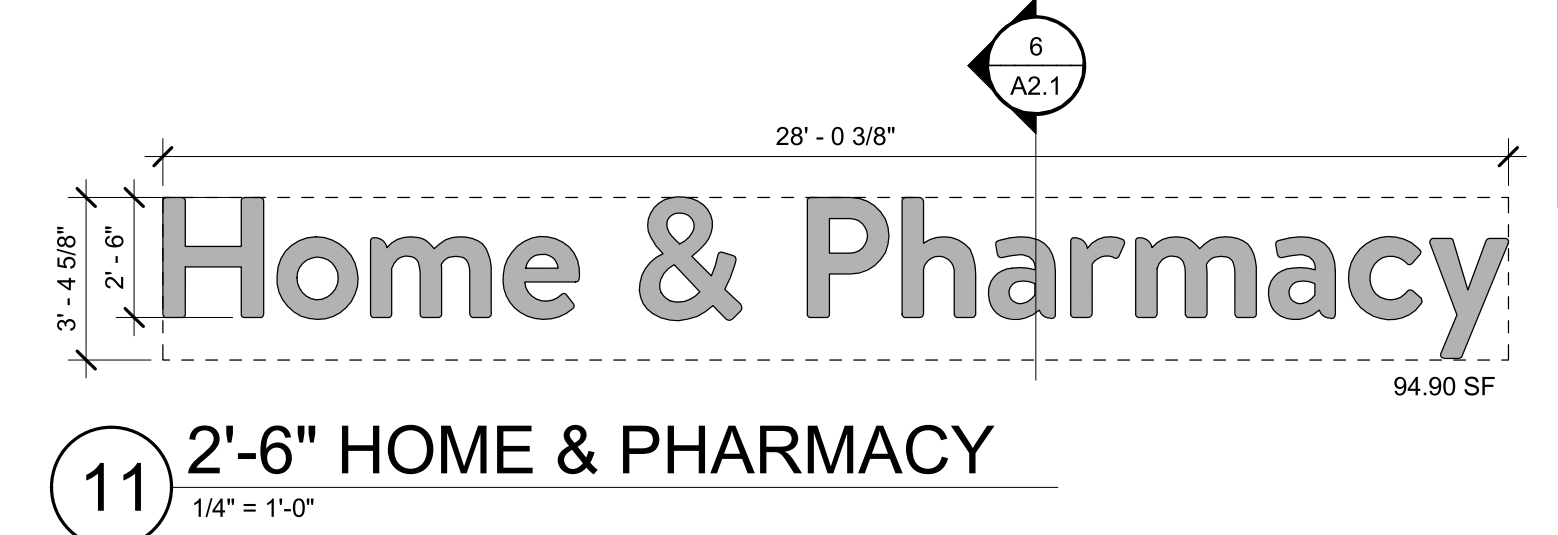
10/30/2023

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 LICENSE NO. A-2022000409

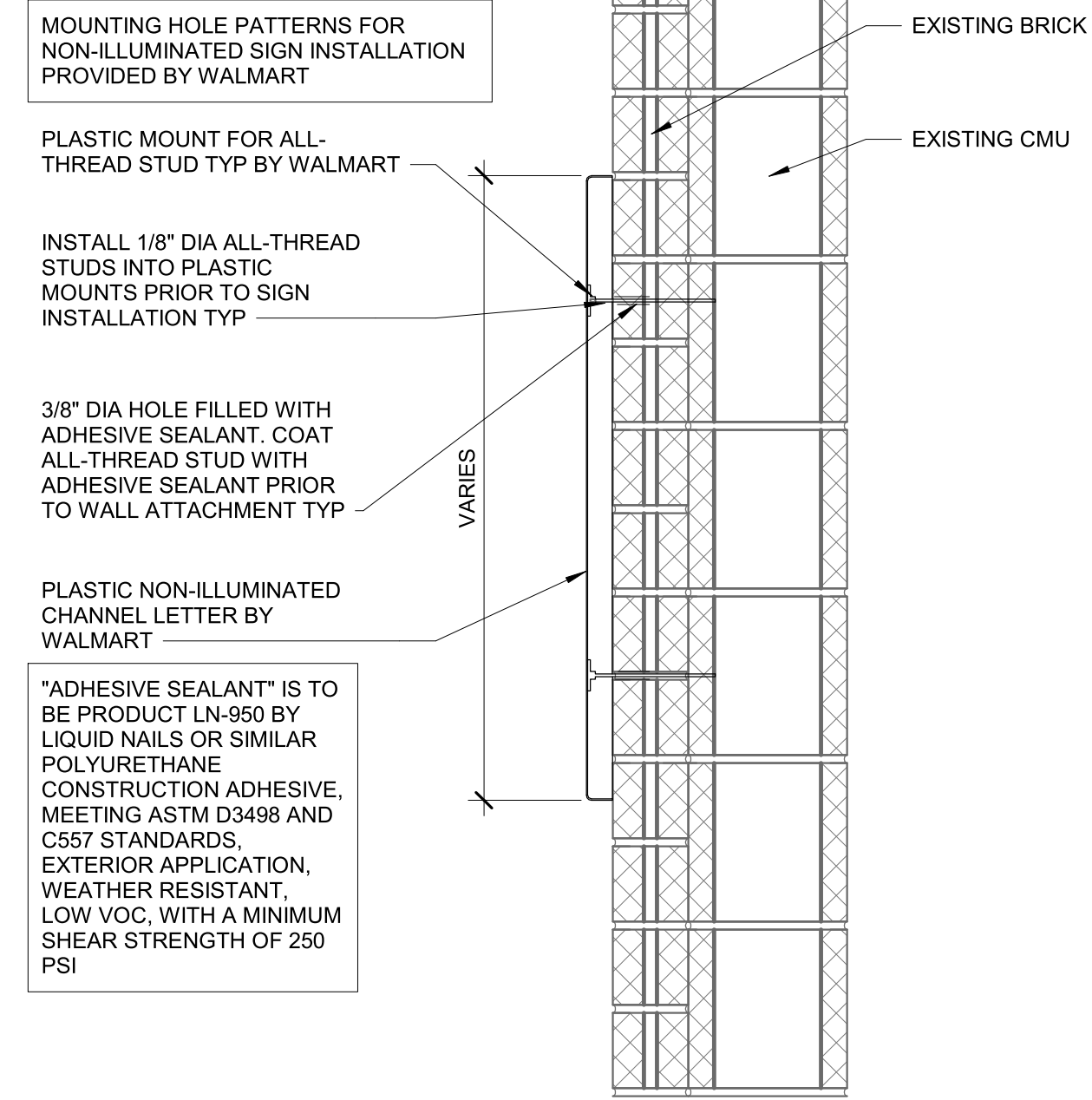
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 ARCHITECTURAL CORPORATION  
 MISSOURI LICENSE NO. ARC 000160

EXTERIOR SIGNAGE

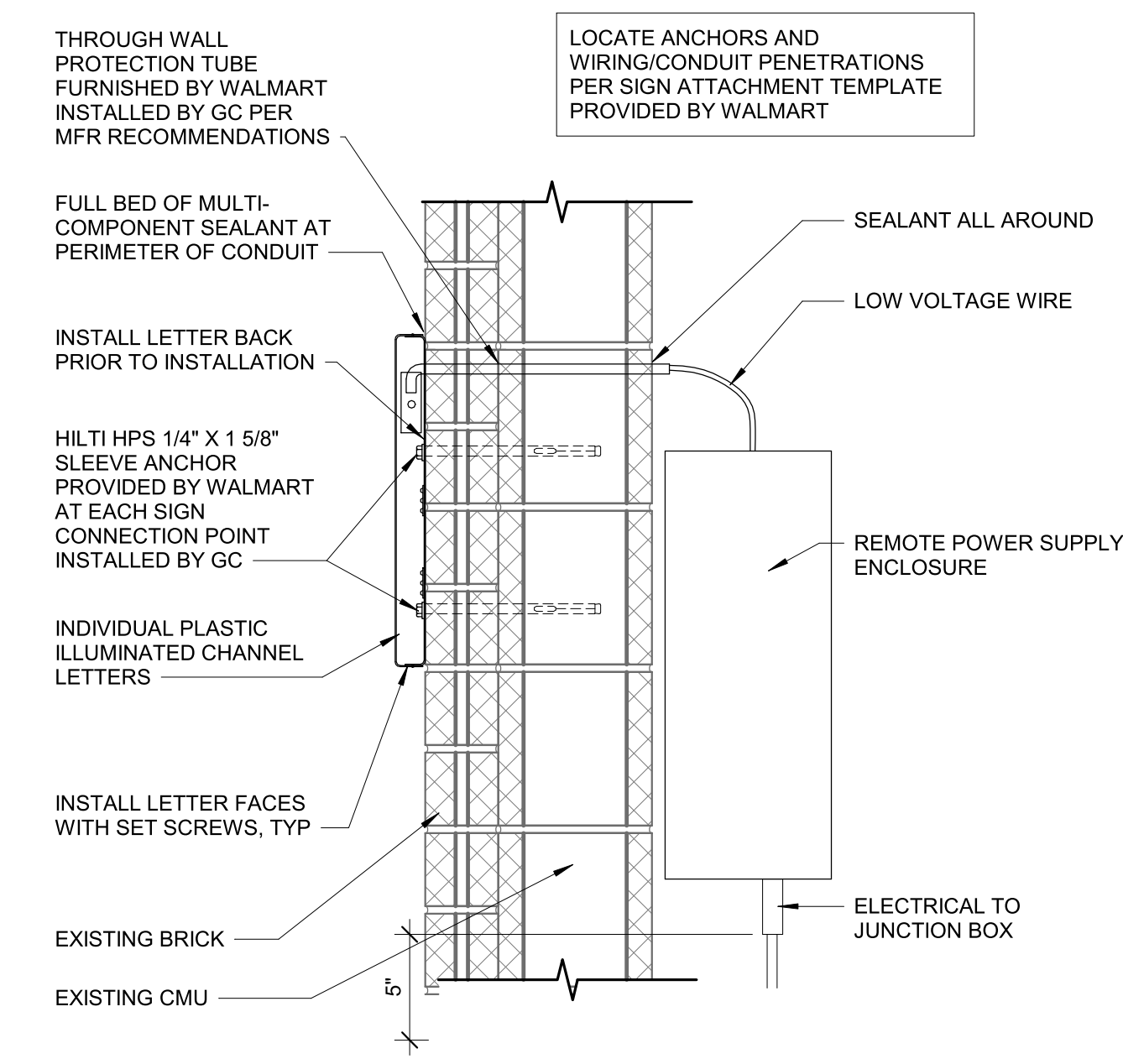
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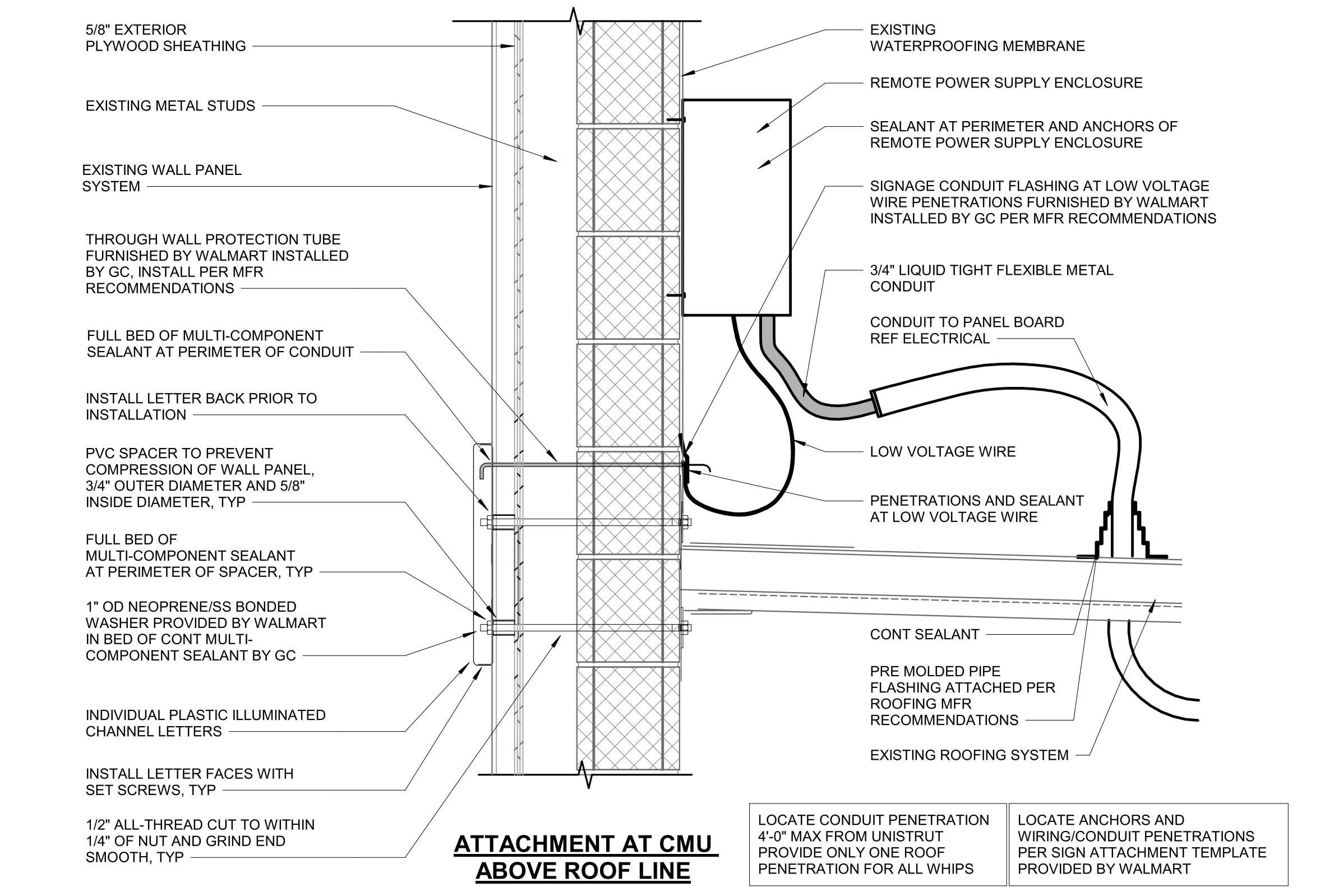
**7 2'-6" GROCERY**  
1/4" = 1'-0"



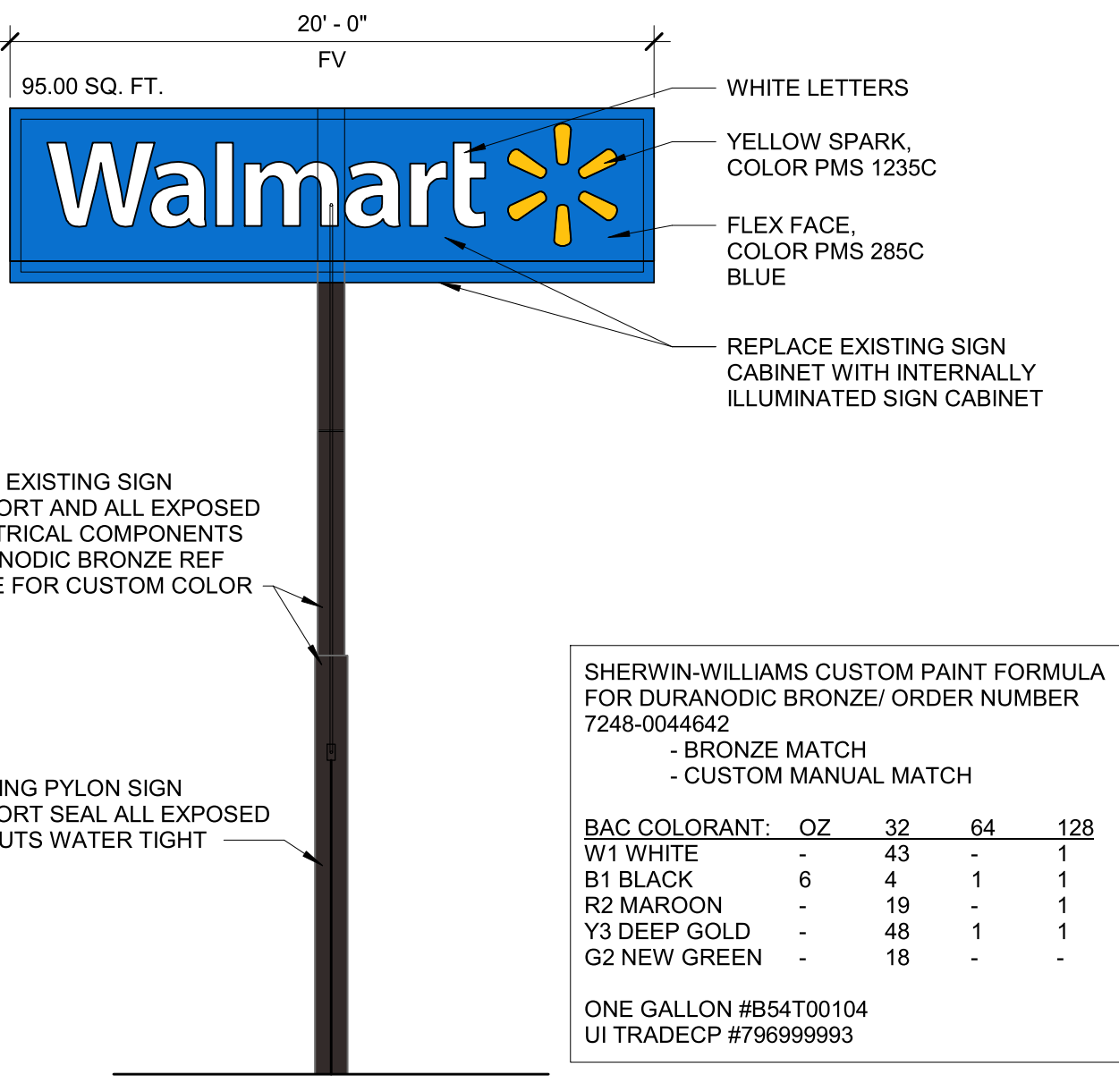
**6 SIGN ATTACHMENT AT CMU WALL**  
1 1/2" = 1'-0"



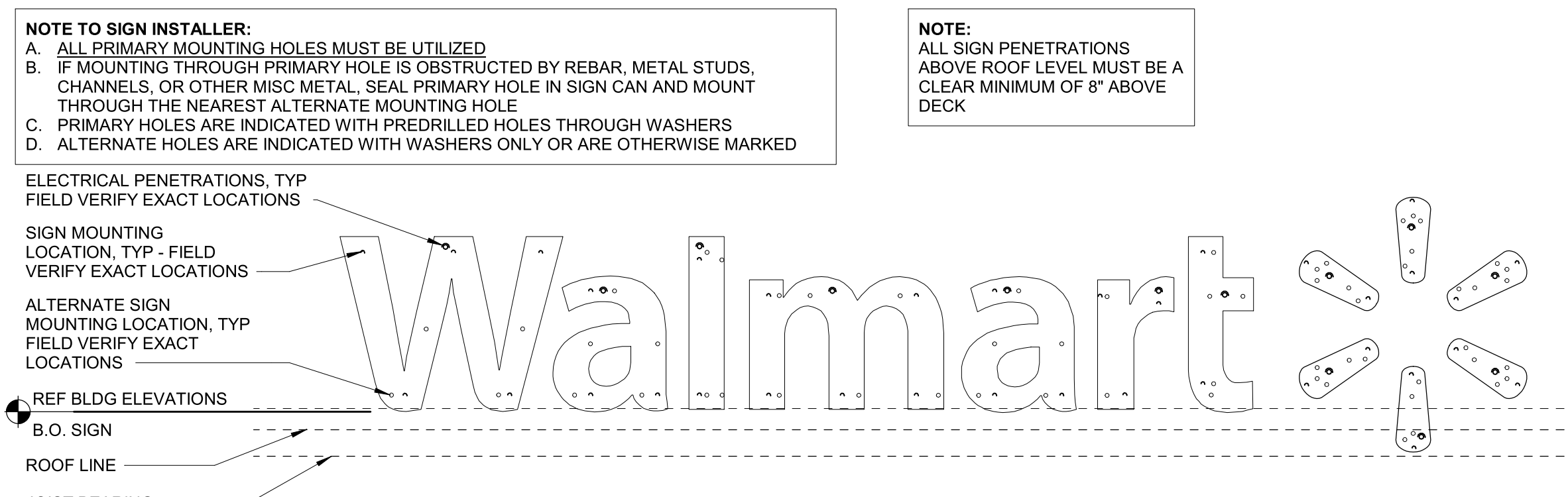
**5 ILLUMINATED SIGNAGE ATTACHMENT**  
1 1/2" = 1'-0"



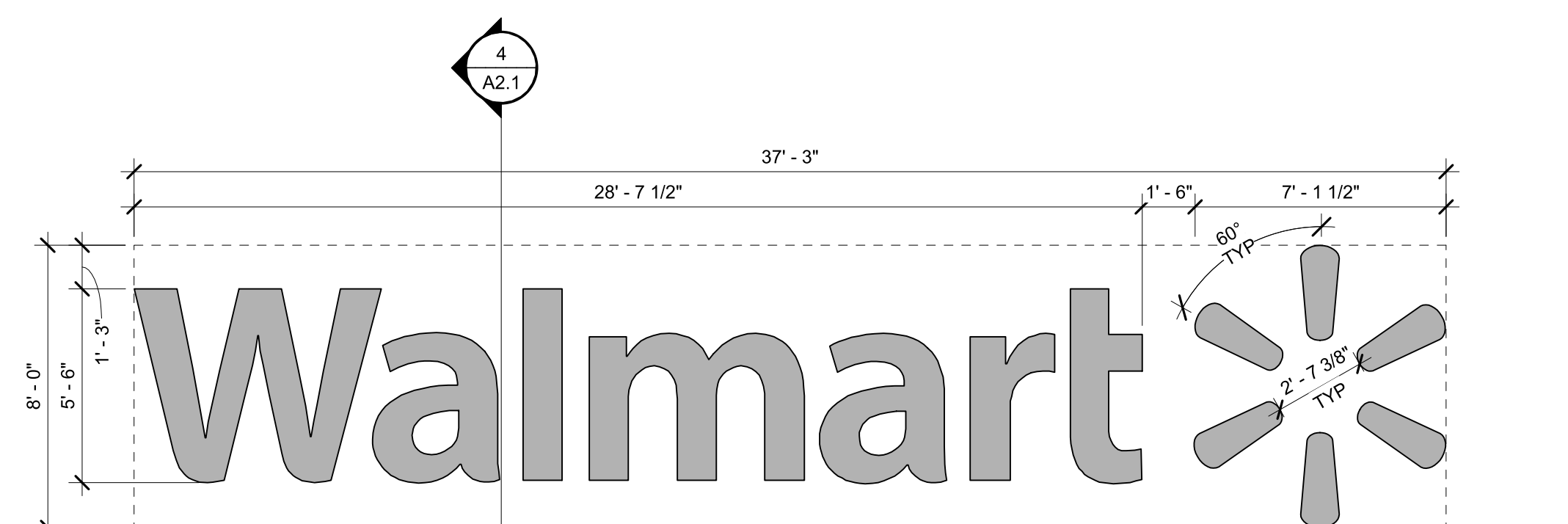
**4 ILLUMINATED SIGNAGE ATTACHMENT**  
1 1/2" = 1'-0"



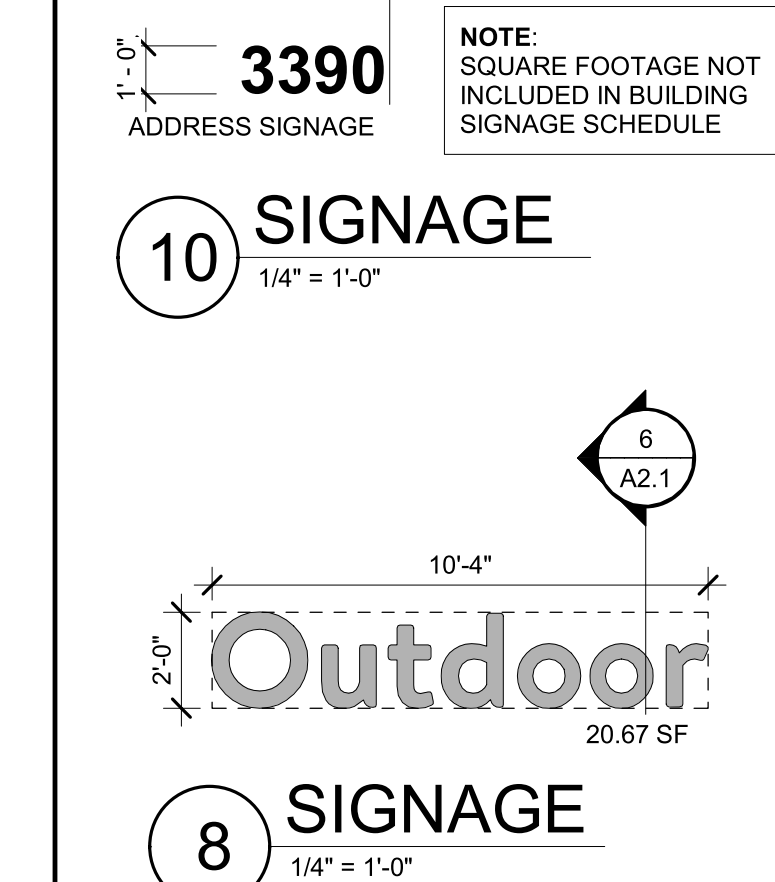
**3 PYLON SIGN**  
3/16" = 1'-0"



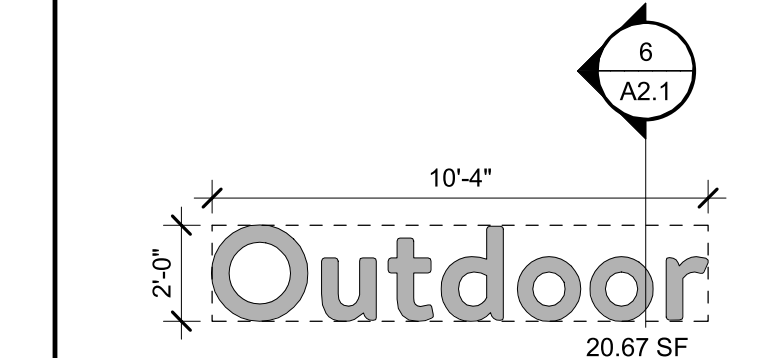
**2 5'-6" WALMART SIGN MOUNTING DIAGRAM**  
1/4" = 1'-0"



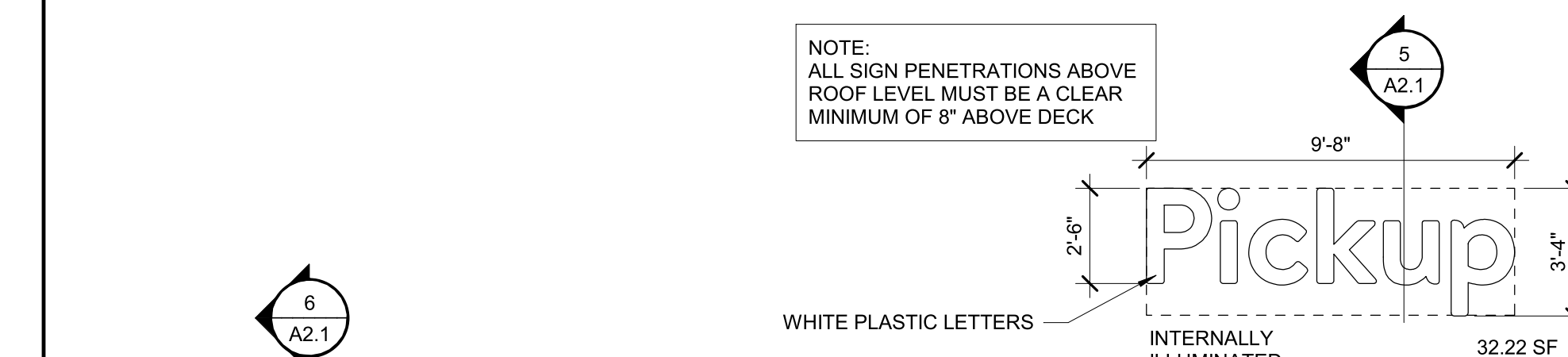
**1 5'-6" WALMART SIGN**  
1/4" = 1'-0"



**10 SIGNAGE**  
1/4" = 1'-0"



**8 SIGNAGE**  
1/4" = 1'-0"



**11 2'-6" HOME & PHARMACY**  
1/4" = 1'-0"







**SHEET NOTES**

- REF A8 FOR FINISH KEY AND GENERAL FINISH NOTES
- PAINT STRUCTURE AS INDICATED ON 2-A1 AND PAINT GYP BOARD WALLS TO 0" BEHIND TOP AND SIDES OF REFRIGERATED CASES.

**KEYNOTES**

6.27 48" HIGH WAINSCOT WITH OUTSIDE CORNER TRIM

**REMOVE INTERIOR TENANT SIGNAGE AS INDICATED BELOW:**

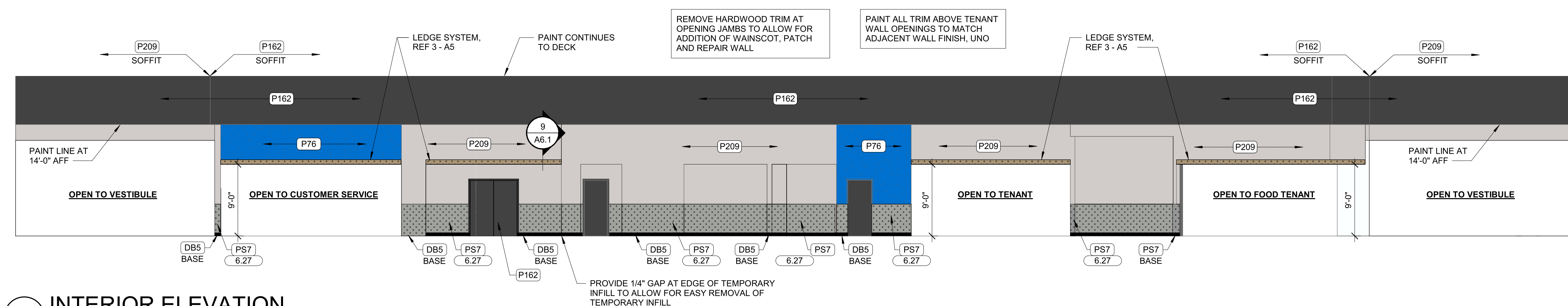
ALL TENANT SPACES (EXCLUDING FULL SERVICE FOOD TENANTS):

- REMOVE ALL SIGNS, INCLUDING BLACK PLACARDS AND LIT SIGNS. RETURN TO TENANT
- ELECTRICAL FOR REMOVED LIT SIGNS TO BE TERMINATED BACK TO NEAREST JUNCTION BOX
- PATCH, REPAIR AND PAINT BULKHEAD WALL AT REMOVED SIGN AND ASSOCIATED ELECTRICAL WALLPAPER AND/OR ORNAMENTATION TO MATCH ADJACENT CONSTRUCTION AND FINISHES
- REMOVE ALL WALLPAPER AND/OR ORNAMENTS ON BULKHEAD AND WALL BELOW UNO

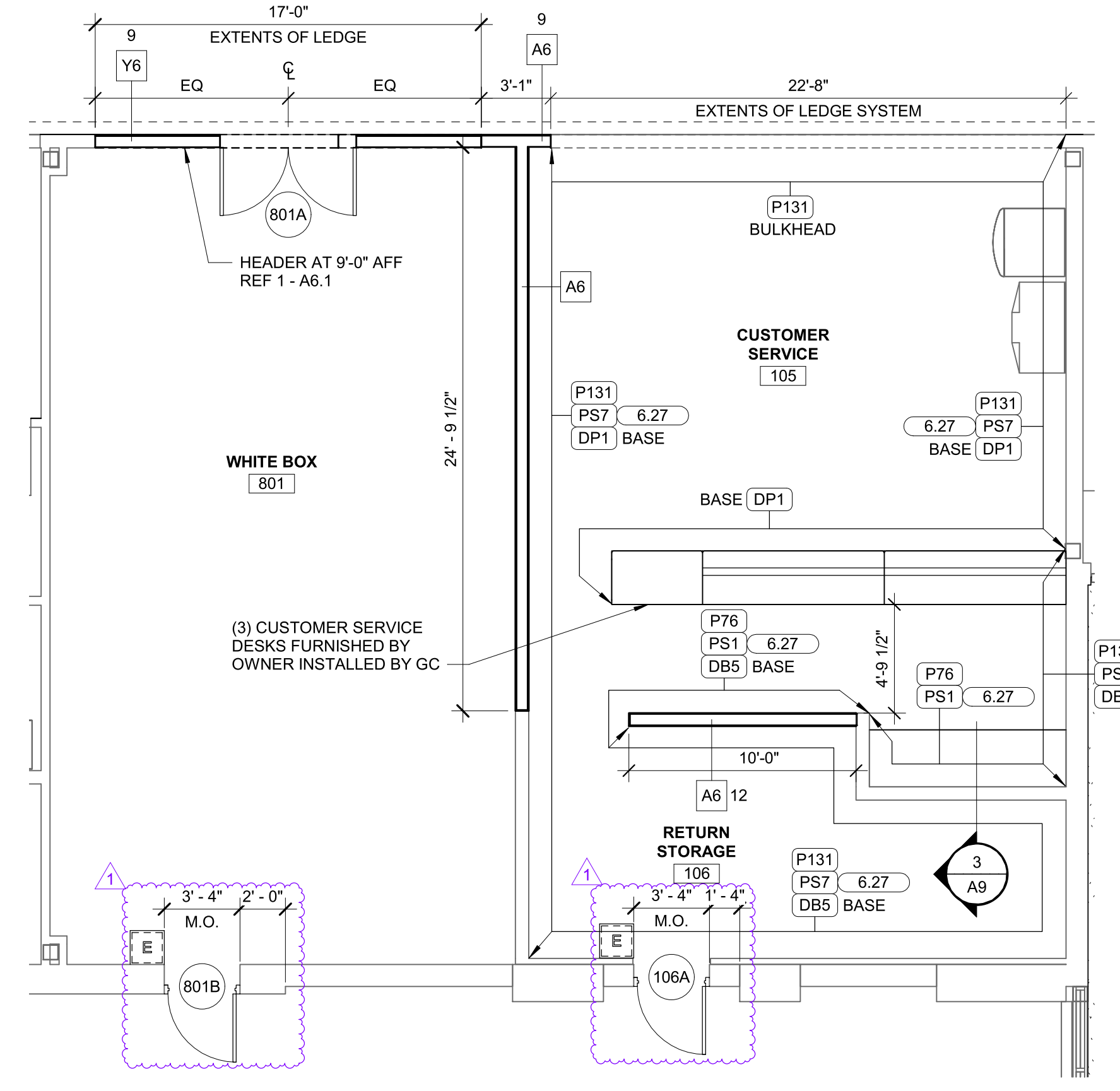
**ALL FULL SERVICE FOOD TENANTS:**

- EXISTING LIT TENANT SIGNS, NON-BLACK PLACARD SIGNS AND GRAPHICS ON LOWER BULKHEADS AND AWNINGS TO REMAIN. DO NOT REMOVE. PAINT AROUND SIGN. TREAT TENANTS (I.E. PRETZEL COMPANIES) THAT ARE OCCUPYING FULL SERVICE FOOD TENANT SPACES MAY CONTINUE TO USE LIT SIGNAGE
- REMOVE BLACK PLACARD TENANT SIGNS
- LIT SIGNAGE CAN HAVE TENANT BULKHEAD WITH EXCEPTION OF WALMART BLUE. USE OF WALMART BLUE ACCENTS WILL REQUIRE APPROVAL BY WALMART SERVICES
- PATCH, REPAIR AND PAINT BULKHEAD WALL AT REMOVED ELECTRICAL, WALLPAPER AND/OR ORNAMENTATION TO MATCH ADJACENT CONSTRUCTION AND FINISHES. ELECTRICAL FOR REMOVED LIT SIGNS TO BE TERMINATED BACK TO NEAREST JUNCTION BOX

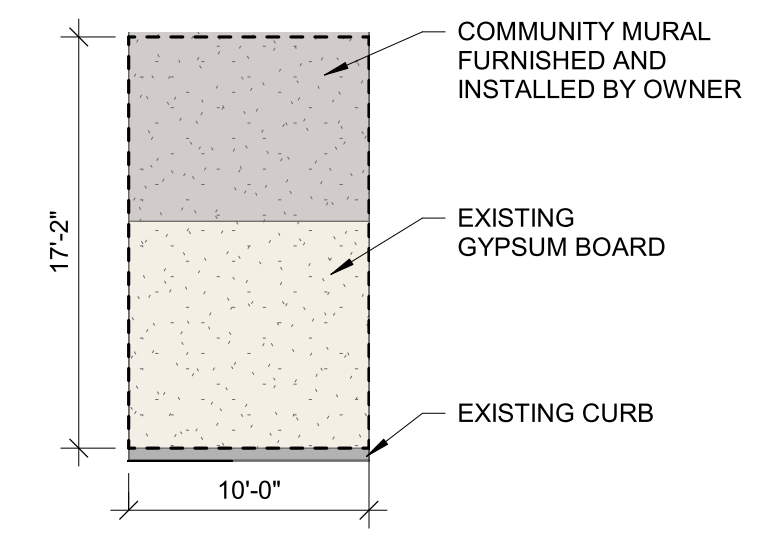
WALMART OWNED TENANT SIGNS AND ORNAMENTS ARE TO BE RETURNED TO FIELD PROJECT SUPERVISOR. THIRD-PARTY TENANT SIGNS AND ORNAMENTS ARE TO BE RETURNED TO TENANT IF THIRD-PARTY TENANT REQUESTS THEIR SIGN, WALLPAPER OR ORNAMENTATION NOT TO BE REMOVED. CONTACT WALMART CONSTRUCTION MANAGER



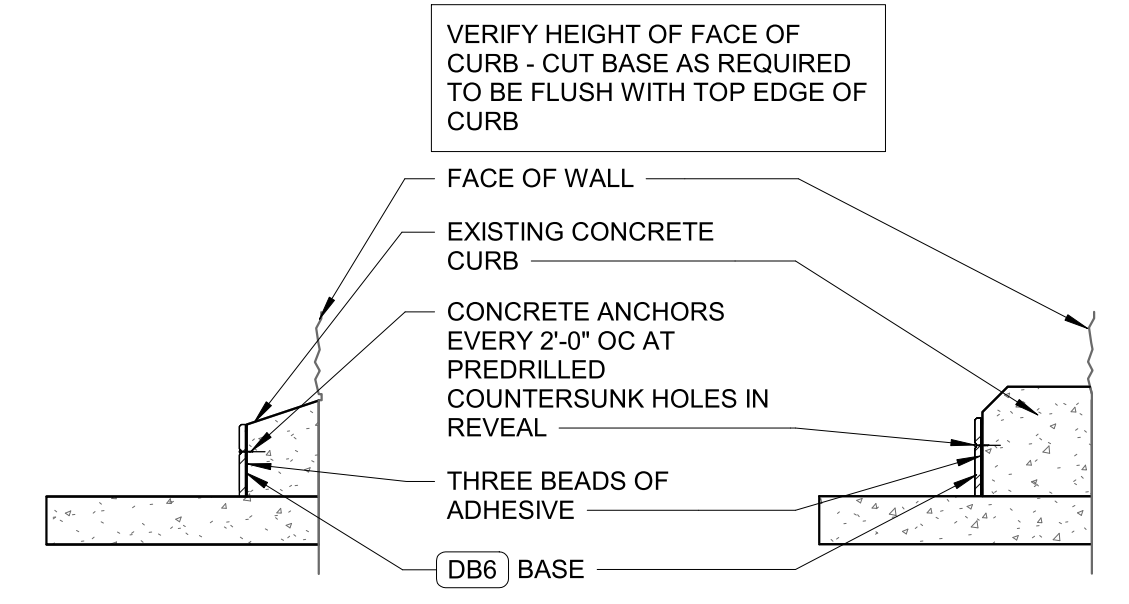
**6 INTERIOR ELEVATION**  
 1/8" = 1'-0"



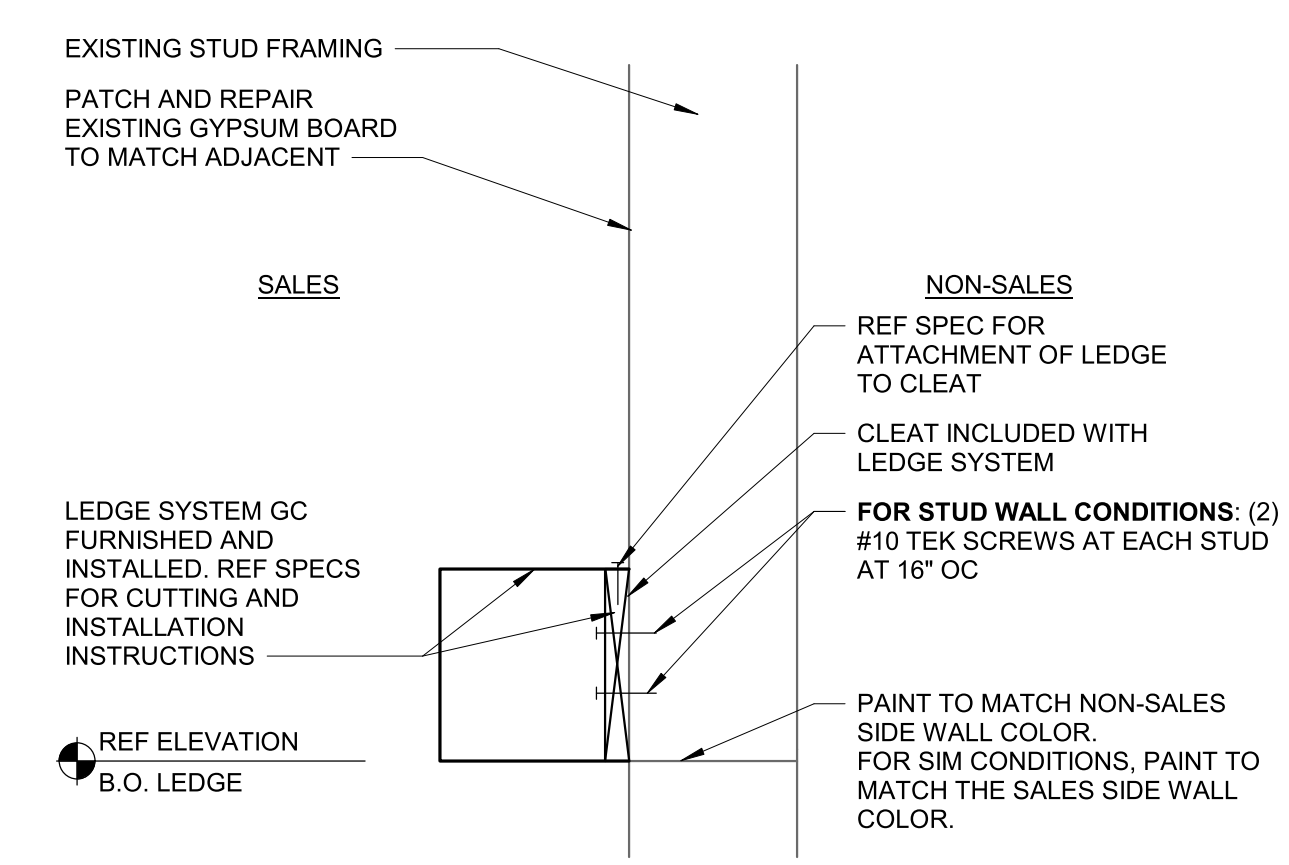
**2 CUSTOMER SERVICE FLOOR PLAN**  
 3/16" = 1'-0"



**5 COMMUNITY MURAL ELEVATION**  
 1/8" = 1'-0"



**4 VESTIBULE CART CURB**  
 3/4" = 1'-0"



**3 LEDGE SECTION**  
 1 1/2" = 1'-0"

**105 CUSTOMER SERVICE, 106 RETURN STORAGE**

**WALLS**

- REF 2-A5 FOR FINISH DETAILS

**FLOOR**

- ICC OR NC; REF SHEET A1.1

**CEILING**

- REF SHEET SA1 FOR CEILING SCHEDULE

**MILLWORK**

- EXISTING BACK COUNTER: RE-LAMINATE FACE OF DOORS AND FACE OF STILES, IF THERE IS OPEN SHELVING WITHOUT HARDWOOD EDGE TRIM. RE-LAMINATE EDGE OF OPEN SHELVING
- EXISTING SOLID SURFACE OR LAMINATE COUNTERTOP (BACK COUNTER); REPLACE COUNTERTOP WITH SS COUNTERTOP

**REPAIR / REMOVE / REPLACE**

- REPLACE DAMAGED OUTLETS, NON-ALMOND TO MATCH EXISTING COLOR, REPLACE ALMOND WITH WHITE
- REPLACE CUSTOMER VISIBLE ALMOND OUTLETS WITH WHITE
- REPLACE DAMAGED AND CUSTOMER VISIBLE COVER PLATES WITH BRUSHED STAINLESS STEEL, INCLUDING BLANK PLATES
- REPLACE DAMAGED DIFFUSERS

**801 WHITE BOX**

**WALLS**

- PAINT P131 WITH DB5 BASE

**FLOOR**

- ICC OR NC; REF SHEET A1.1

**CEILING**

- REF SHEET SA1 FOR CEILING SCHEDULE
- ACT AT 10'-0" AFF, REF 4-A3

**101 VESTIBULE-GM, 104 CART STORAGE-GM, 115 VESTIBULE-GR, 118 CART STORAGE-GR**

**WALLS**

- GYP BD:
- PAINT P131 TO 10'-0" AFF AND P209 FROM 10'-0" AFF TO CEILING OR EXPOSED STRUCTURE UNO
- INSTALL PS7 WAINSCOT AND DB5 BASE UNO
- OWNER'S 3RD PARTY TO INSTALL DP1 BASE AS SHOWN ON PLAN
- CMU:
- PAINT P209 WAINSCOT TO 4'-0"; P131 FROM 4'-0" TO 10'-0" AFF, AND P209 FROM 10'-0" AFF TO CEILING OR EXPOSED STRUCTURE, UNO
- OWNER'S 3RD PARTY TO INSTALL DP1 BASE AS SHOWN ON PLANS
- PAINT COLUMNS TO MATCH ADJACENT WALLS
- CLEAN TRANSLUCENT PANELS
- CART STORAGE ONLY: ADD 3/4" PLYWOOD TO 4'-0" AFF WITH TOP EDGE EASED TO ALL GYP BD WALLS
- CART STORAGE WALLS: P209 WAINSCOT TO 4'-0" AFF AND P131 ABOVE
- PAINT INTERIOR OF CART STORAGE OVERHEAD DOOR WHITE P140E

**FLOOR**

- REF FLOOR FINISH AND 1-A5

**CEILING**

- REF SHEET SA1 FOR CEILING SCHEDULE

**REPAIR / REMOVE / REPLACE**

- REPLACE DAMAGED OUTLETS, NON-ALMOND TO MATCH EXISTING COLOR, REPLACE ALMOND WITH WHITE
- REPLACE CUSTOMER VISIBLE ALMOND OUTLETS WITH WHITE
- REPLACE DAMAGED AND CUSTOMER VISIBLE COVER PLATES WITH BRUSHED STAINLESS STEEL, INCLUDING BLANK PLATES
- REPLACE DAMAGED DIFFUSERS

**175 MANAGERS OFFICE, 177 AP OFFICE**

**WALLS**

- PAINT P131 TO CEILING

**FLOOR**

- ETR

**CEILING**

- REF SHEET SA1 FOR CEILING SCHEDULE

**MILLWORK**

- PAINT PIPE SUPPORT COUNTER LEGS P162
- SAND AND VARNISH OAK ON COUNTERTOP
- REPLACE COUNTERTOP TO MATCH EXISTING IF DAMAGED

**107 CASH, 108 COUNTING**

**WALLS**

- PAINT P131 TO CEILING
- PATCH AND REPAIR

**FLOOR**

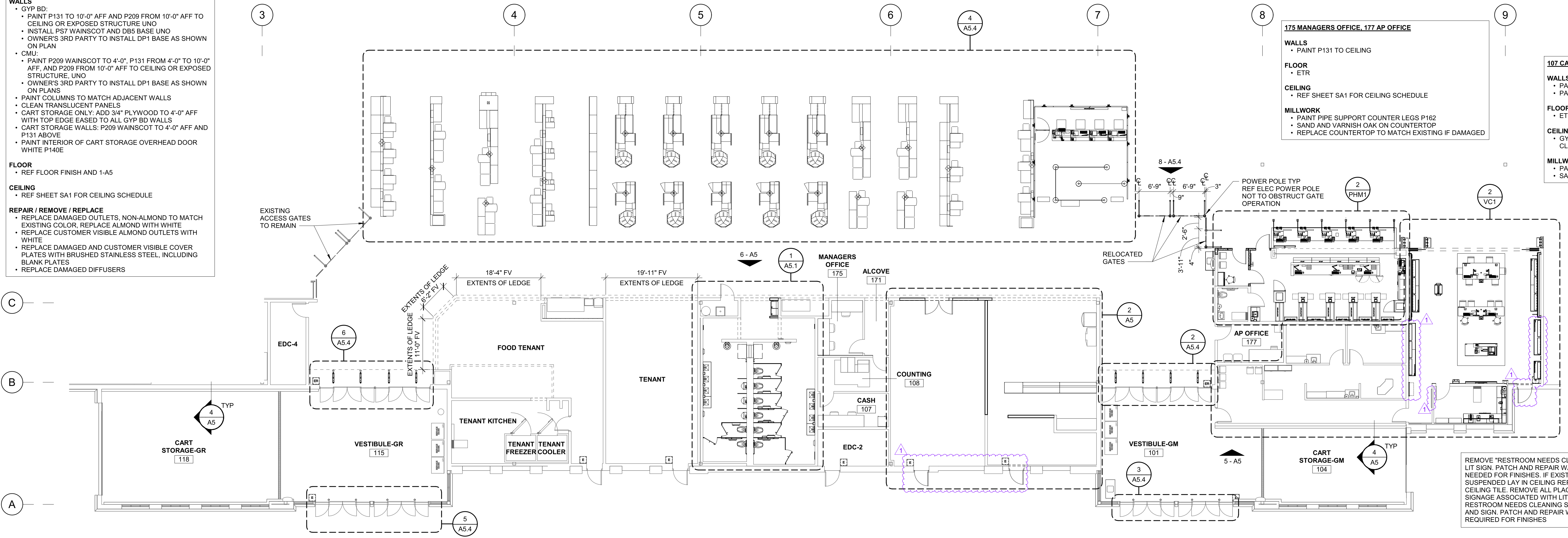
- ETR

**CEILING**

- GYP BD; REF SHEET SA1 CEILING SCHEDULE FOR CLEANING, PAINT P131

**MILLWORK**

- PAINT PIPE SUPPORT COUNTER LEGS P162
- SAND AND VARNISH OAK ON COUNTERTOP



**1 FRONT TENANT**  
 3/32" = 1'-0"

REMOVE "RESTROOM NEEDS CLEANING" LIT SIGN. PATCH AND REPAIR WALL AS NEEDED FOR FINISHES. IF EXISTING IN SUSPENDED LAY IN CEILING REPLACE CEILING TILE. REMOVE ALL PLACARD SIGNAGE ASSOCIATED WITH LIT SIGN. RESTROOM NEEDS CLEANING SWITCH AND SIGN. PATCH AND REPAIR WALL AS REQUIRED FOR FINISHES

STIPULATION FOR REUSE  
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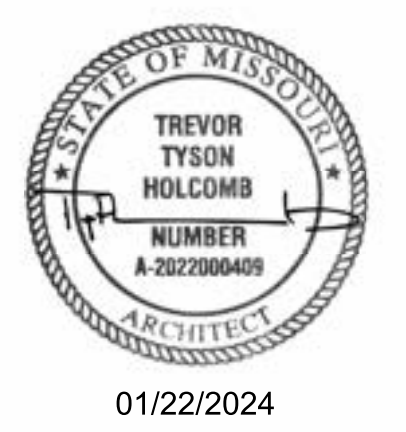
CONSULTANTS

**Walmart**  
 FLORISSANT, MO  
 3390 N. HIGHWAY 67  
 STORE NO. 05927 - 220  
 JOB NUMBER: 96546884 | PHOTO: 150 SC

**ISSUE BLOCK**

1	PR#1	01/19/24

CHECKED BY: ZSM SP  
 DRAWN BY: NRS  
 PHOTO CYCLE: 08/02/23  
 DOCUMENT DATE: 10/20/23



TREVOR TYSON  
 HCL/COMB  
 ARCHITECT  
 LICENSE NO.  
 A-202200409  
 BRR ARCHITECTURE,  
 INC.  
 ARCHITECTURAL  
 CORPORATION  
 MISSOURI LICENSE NO.  
 ARC 000160

ENLARGED PLANS, ELEVATIONS, AND DETAILS



**DOOR AND FRAME SCHEDULE**

MARK	ROOM NAME	DOOR										FRAME									
		NEW/ETR	TYPE	MATERIAL	QTY	NOMINAL SIZE	WIDTH	HEIGHT	GLASS	NEW/ETR	TYPE	MATERIAL	HEAD	JAMB	THRESHOLD	FIRE RATING (MIN)	NOTES	MARK			
108A	RETURNS STORAGE	NEW	F	HM-STL	1	3'-0"	7'-0"	---	---	NEW	1	HM-STL	12	13	14	---	27	108A			
184A	MOTHERS ROOM	NEW	F	HDPE	1	3'-0"	7'-0"	---	---	NEW	1	HM-STL	3	4	---	---	27, 28	184A			
300G	PHARMACY	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	---	NEW	1	HM-STL	---	---	---	---	28, 33	300G			
303B	HEALTH SERVICES ROOM	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	---	NEW	1	HM-STL	---	---	---	---	28, 31, 33	303B			
303C	HEALTH SERVICES ROOM	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	---	NEW	1	HM-STL	---	---	---	---	28, 32, 33	303C			
700A	OPTICAL SALES	NEW	X	AL	PR	24'-4"	9'-0"	---	---	NEW	---	---	10	11	---	---	---	700A			
700B	OPTICAL SALES	NEW	F	HM-STL	1	3'-0"	7'-0"	---	---	NEW	2	HM-STL	12	13	14	---	27	700B			
800A	MONEY CENTER	NEW	Y	PLASTIC	1	3'-0"	3'-2"	---	---	NEW	---	---	---	---	---	---	27	800A			
801A	WHITE BOX	NEW	F	HDPE	PR	3'-0"	7'-0"	---	---	NEW	1	HM-STL	3	4	---	---	27, 28	801A			
801B	WHITE BOX	NEW	F	HM-STL	1	3'-0"	7'-0"	---	---	NEW	2	HM-STL	15	16	14	---	---	801B			
900A	GROCERY SALES	NEW	X	ALUM	1	9'-0"	7'-6"	---	---	NEW	---	---	---	---	---	---	46	900A			
900B	GROCERY SALES	NEW	X	ALUM	1	9'-0"	7'-6"	---	---	NEW	---	---	---	---	---	---	46	900B			
901A	DELI UTILITY	NEW	E	PLASTIC	PR	3'-0"	7'-0"	ACRYLIC	---	NEW	---	STL-BP	5	6	---	---	22, 27	901A			
903A	DELI UTILITY	NEW	E	PLASTIC	PR	3'-0"	7'-0"	ACRYLIC	---	NEW	---	STL-BP	5	6	---	---	22, 27	903A			
909A	BAKERY	NEW	E	PLASTIC	1	3'-0"	7'-0"	ACRYLIC	---	NEW	---	STL-BP	5	6	---	---	22, 27	909A			
919A	ALCOVE	NEW	F	HM-STL	1	3'-0"	7'-0"	---	---	ETR	2	HM-STL	---	---	---	---	27	919A			
946A	PICKUP AREA	NEW	C4	ALUM	1	8'-0"	8'-0"	TEMPERED	---	NEW	---	ALUM	8	9	7	---	38, 40, 41, 45	946A			
946B	PICKUP AREA	NEW	Y	PLASTIC	PR	3'-10 1/2"	3'-2"	---	---	NEW	---	---	---	---	---	---	27	946B			

**GENERAL DOOR NOTES**

- ALL DOORS SCHEDULED AS ARE TO RECEIVE COMPLETE HARDWARE SETS AS LISTED IN SPECS
- REFERENCE ELEVATIONS ON A2 FOR EXTERIOR DOOR COLORS
- SCHEDULED WIDTH AND HEIGHT INDICATE FINISHED OPENING SIZE AT ALL OVERHEAD AND COILING DOOR LOCATIONS
- SCHEDULED WIDTH AND HEIGHT INDICATE ROUGH OPENING SIZE AT ALL AUTOMATIC SLIDING DOOR LOCATIONS
- INSTALL DRIP CAP AT ALL EXTERIOR DOORS
- REPLACE ALL EXTERIOR HM DOOR WEATHERSTRIPPING AND CLEAN THRESHOLDS

**GENERAL FINISH NOTES**

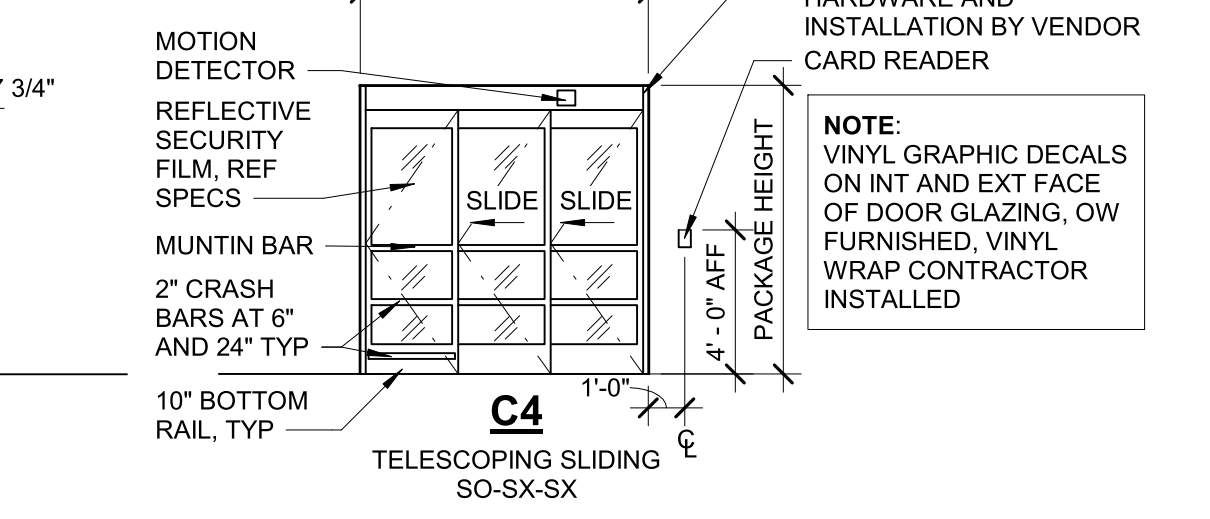
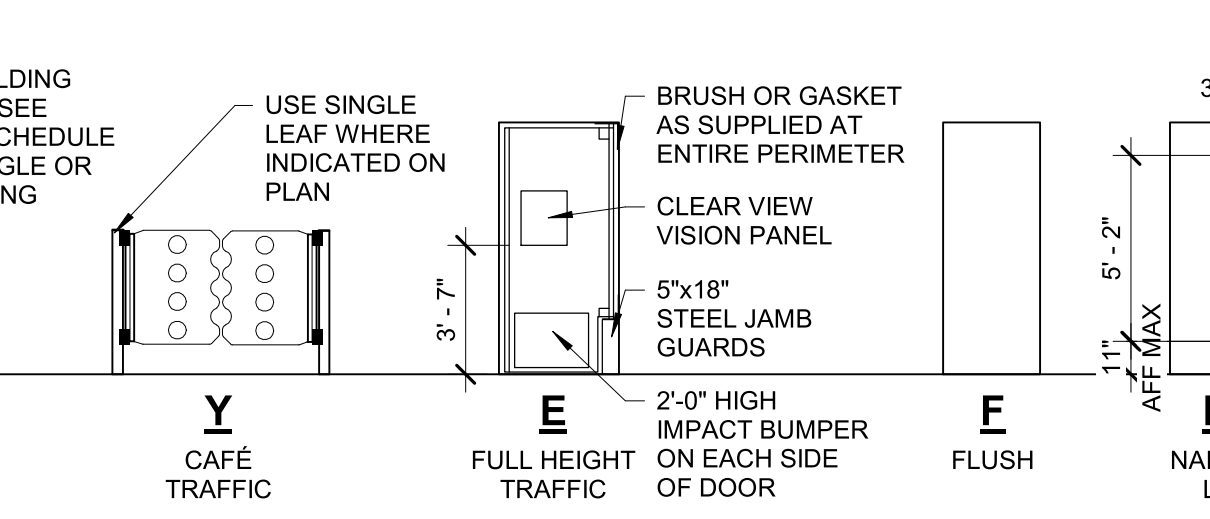
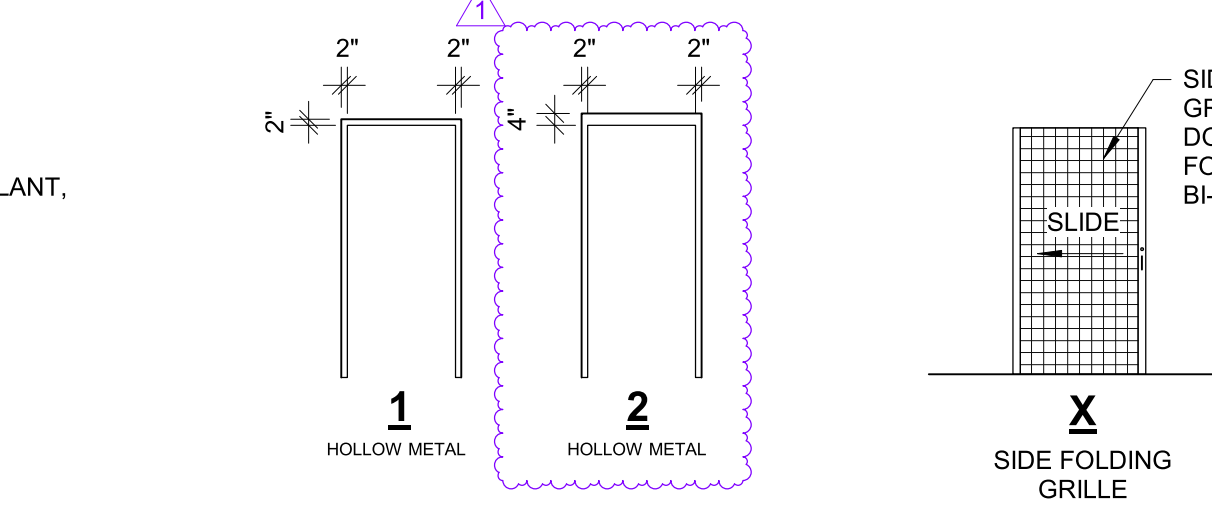
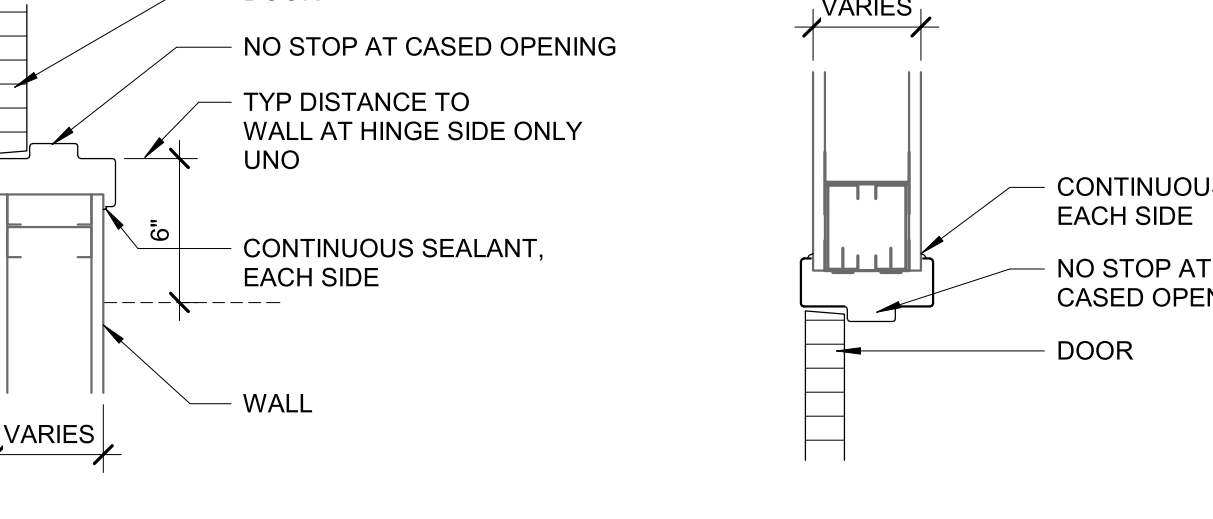
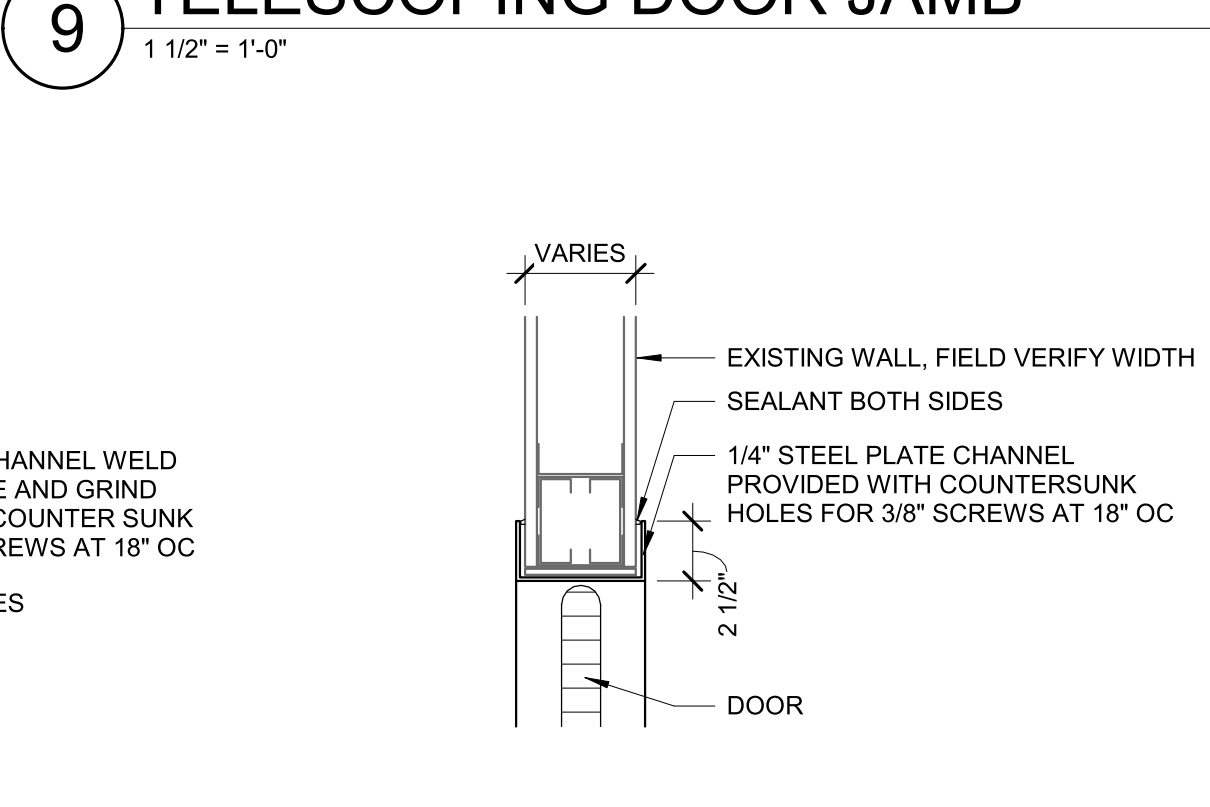
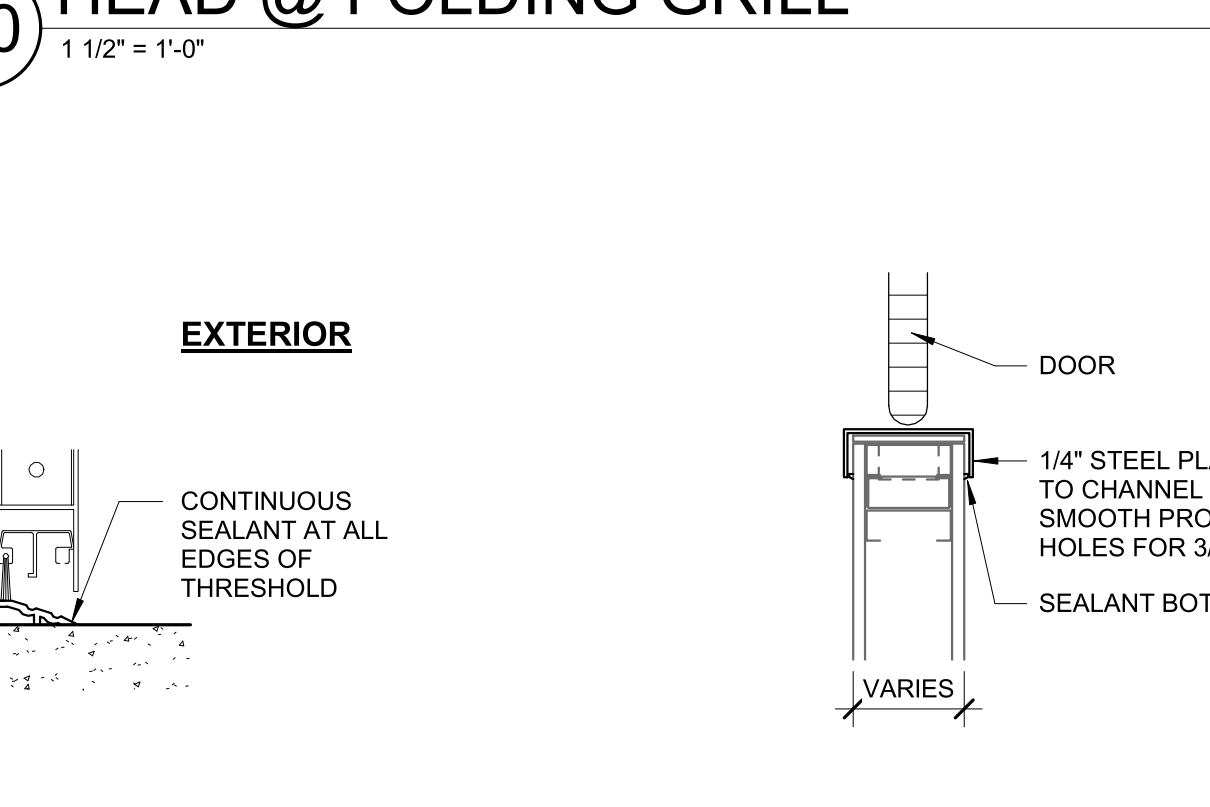
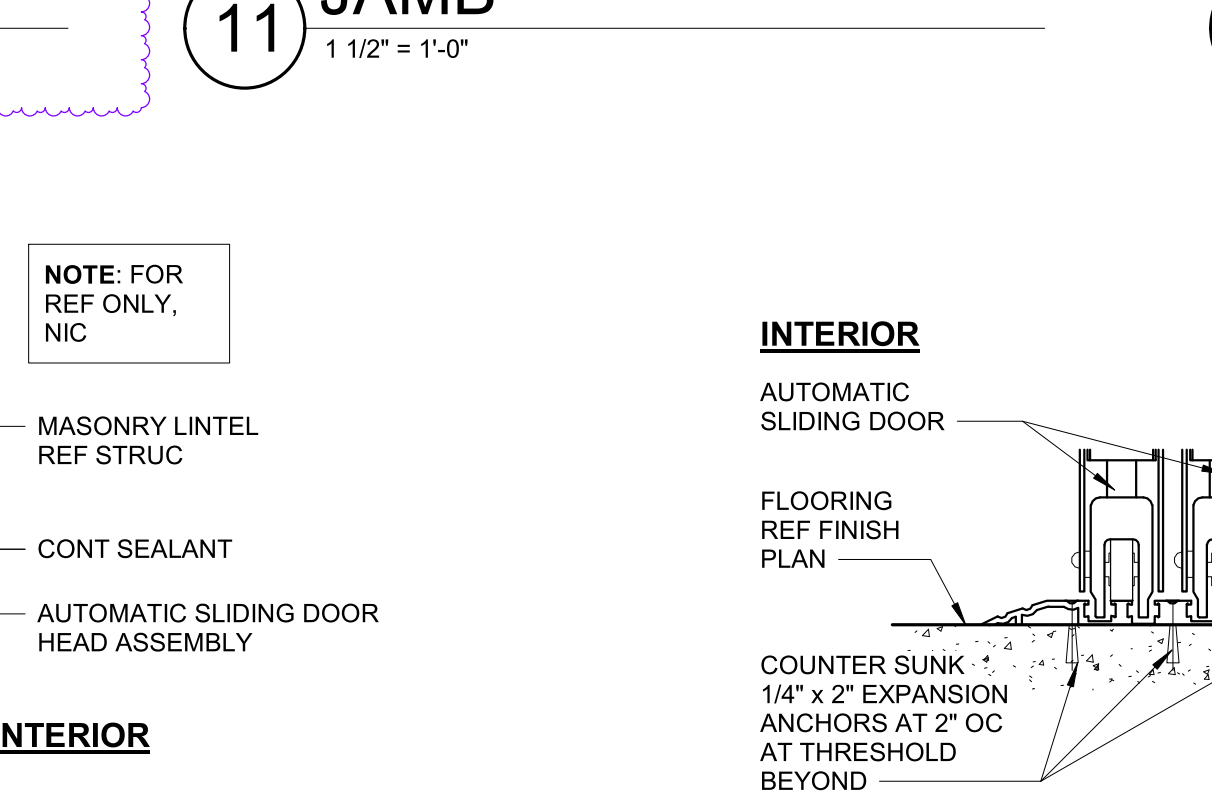
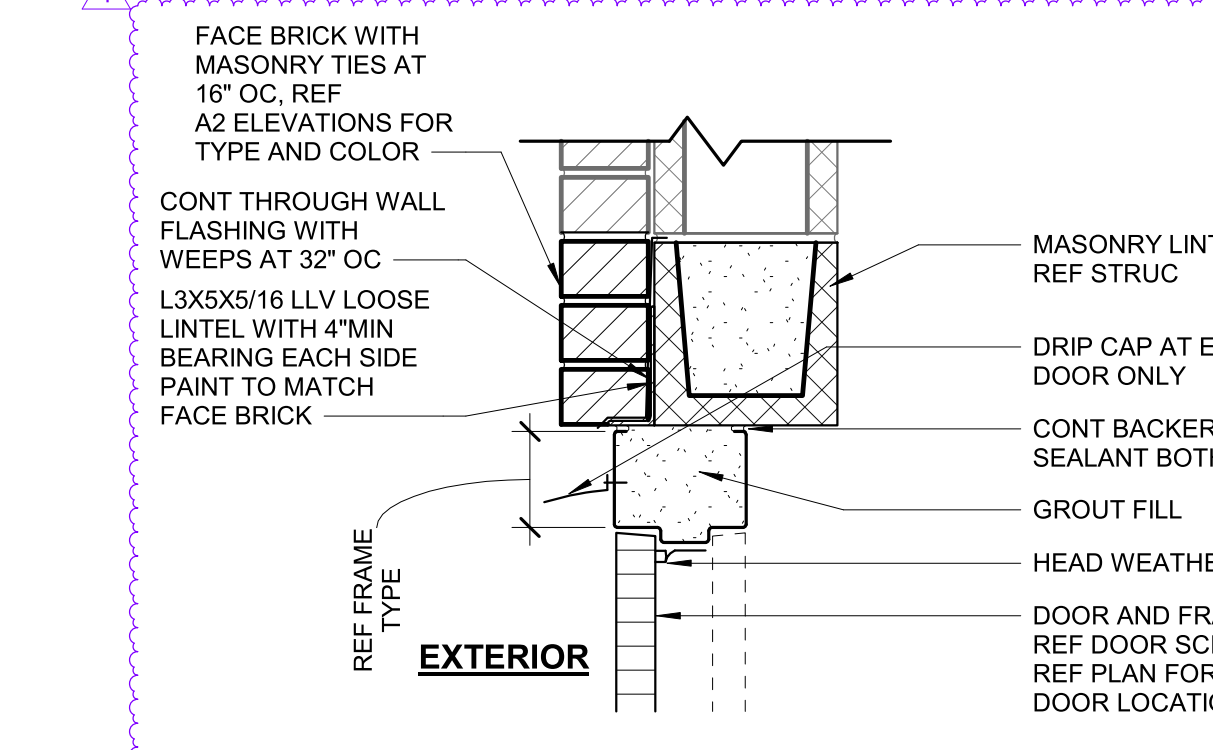
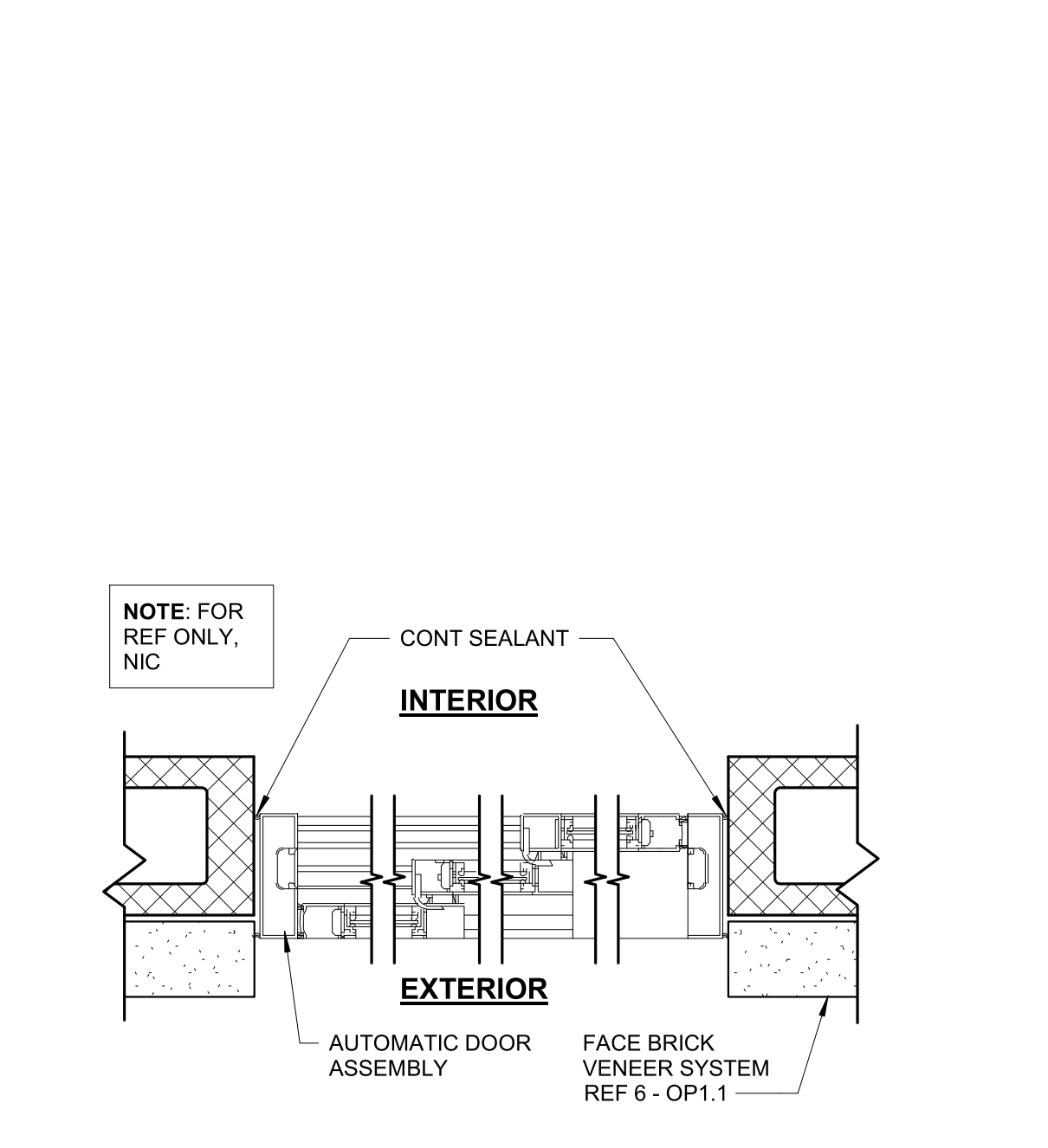
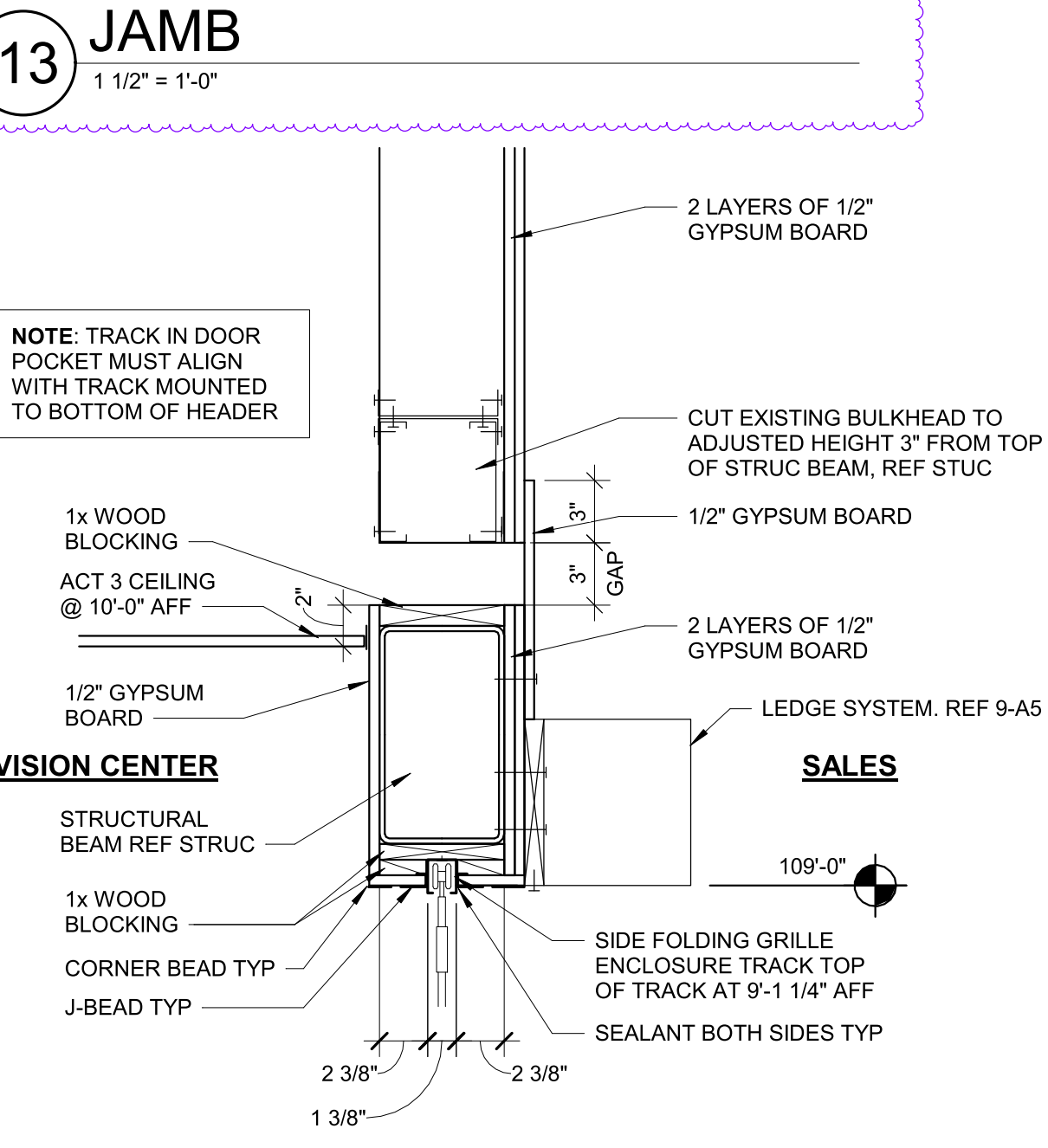
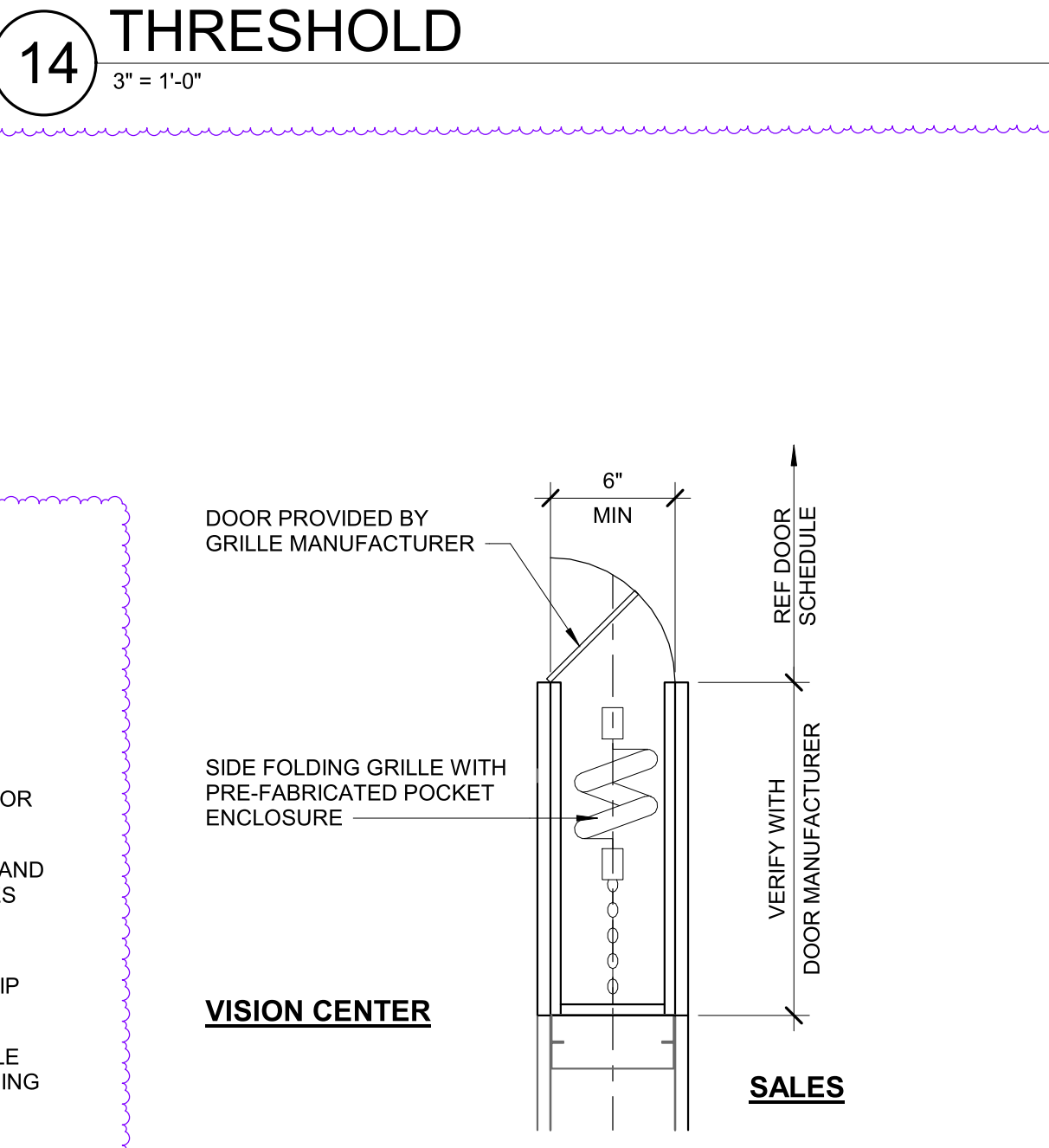
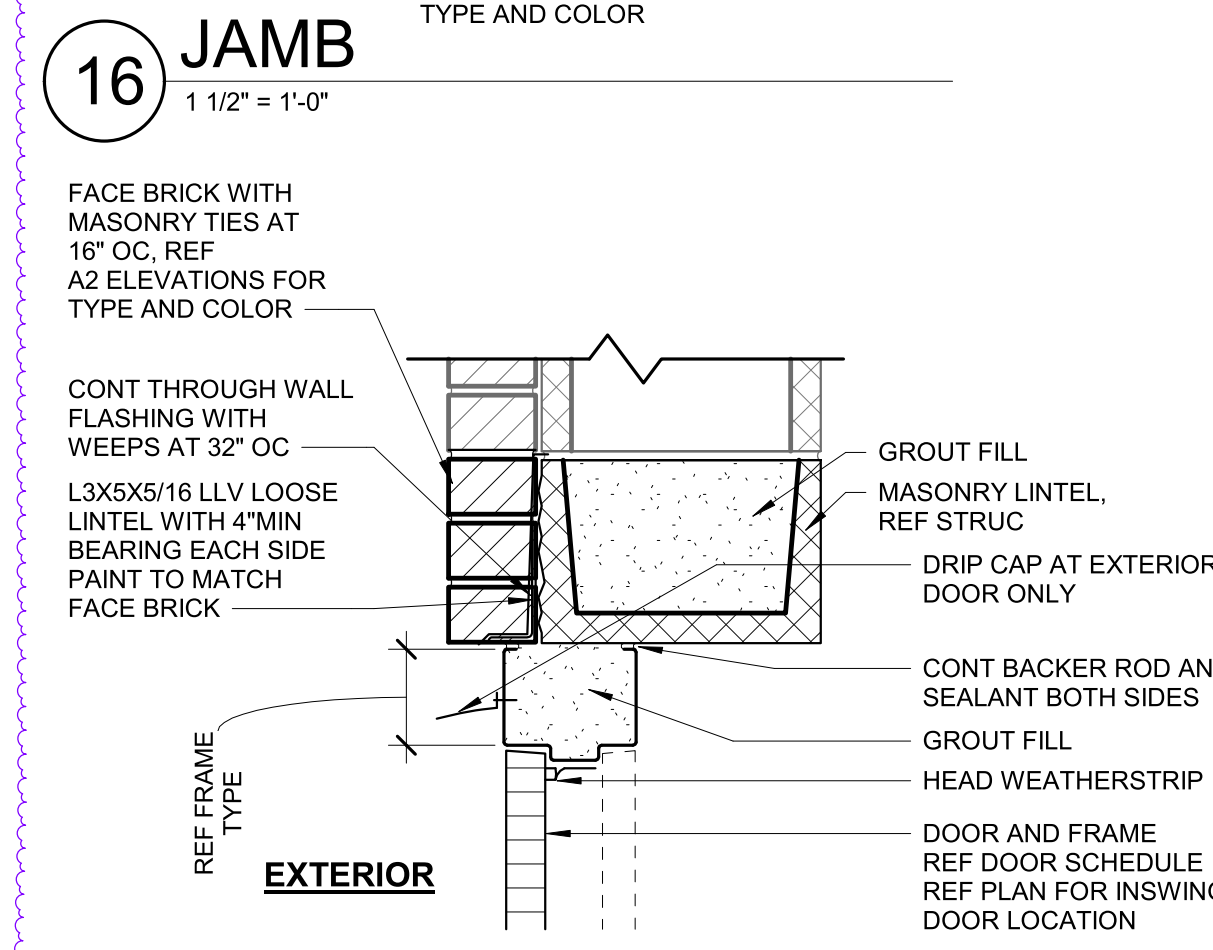
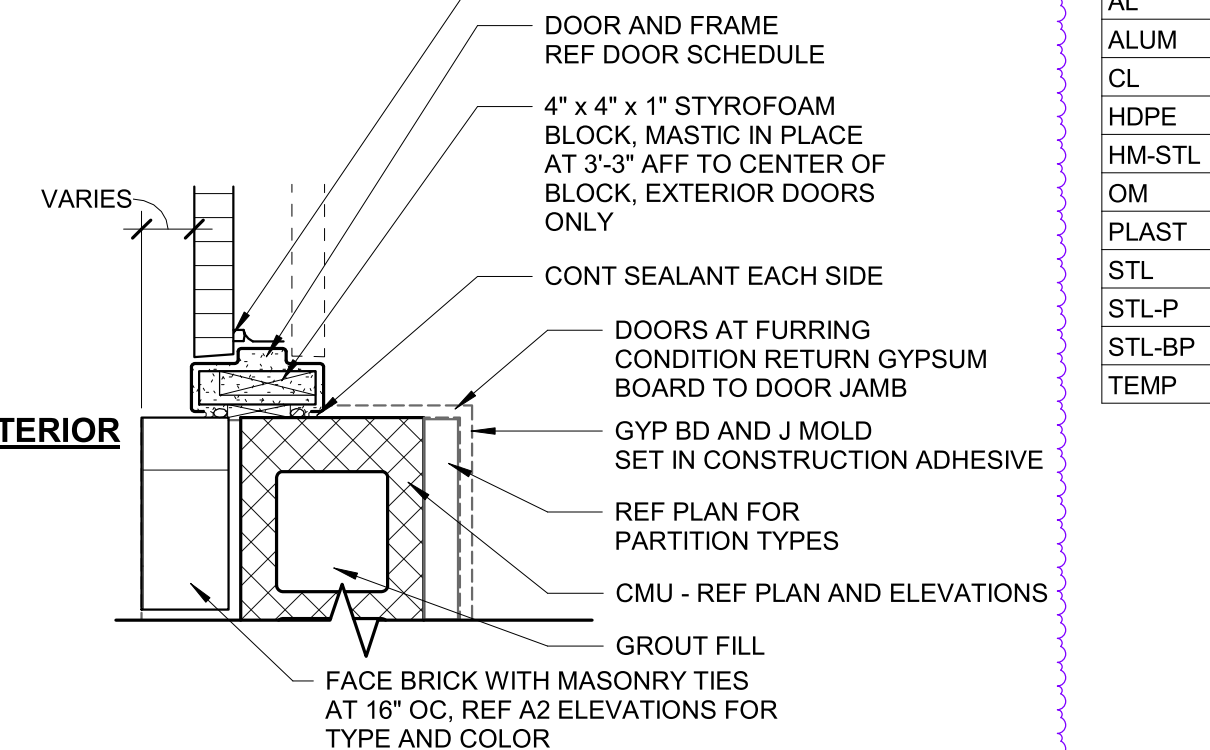
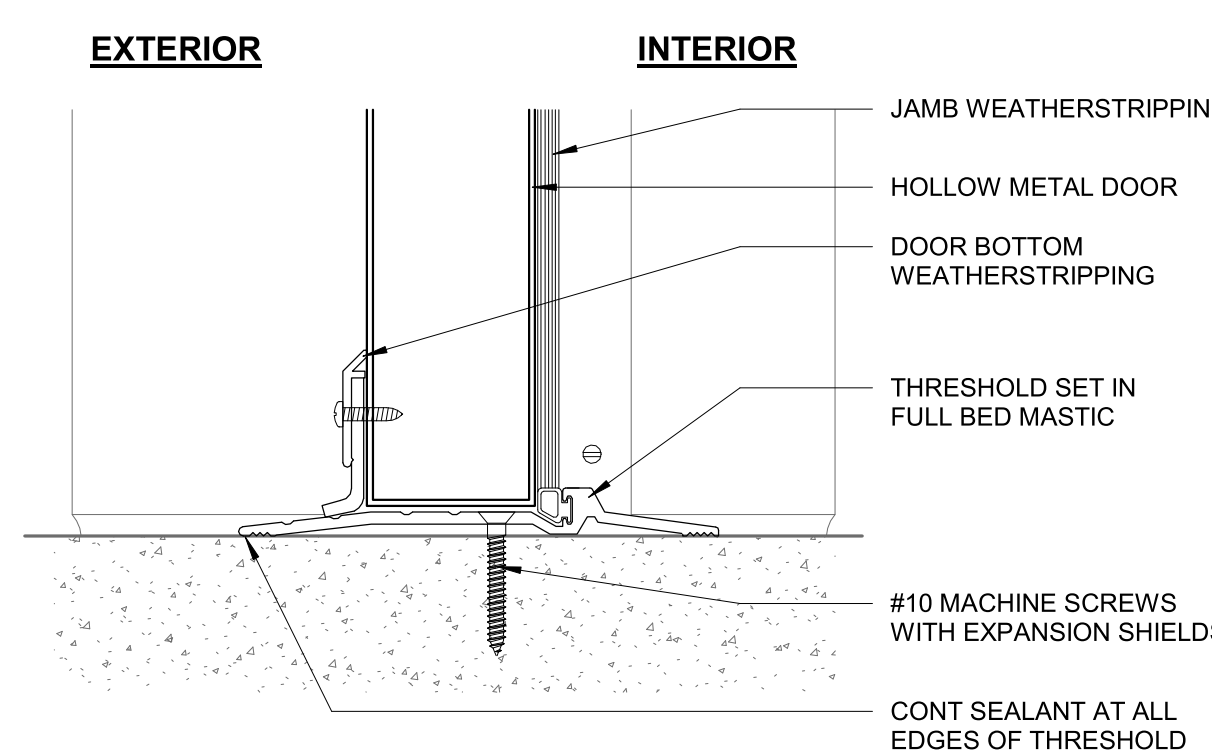
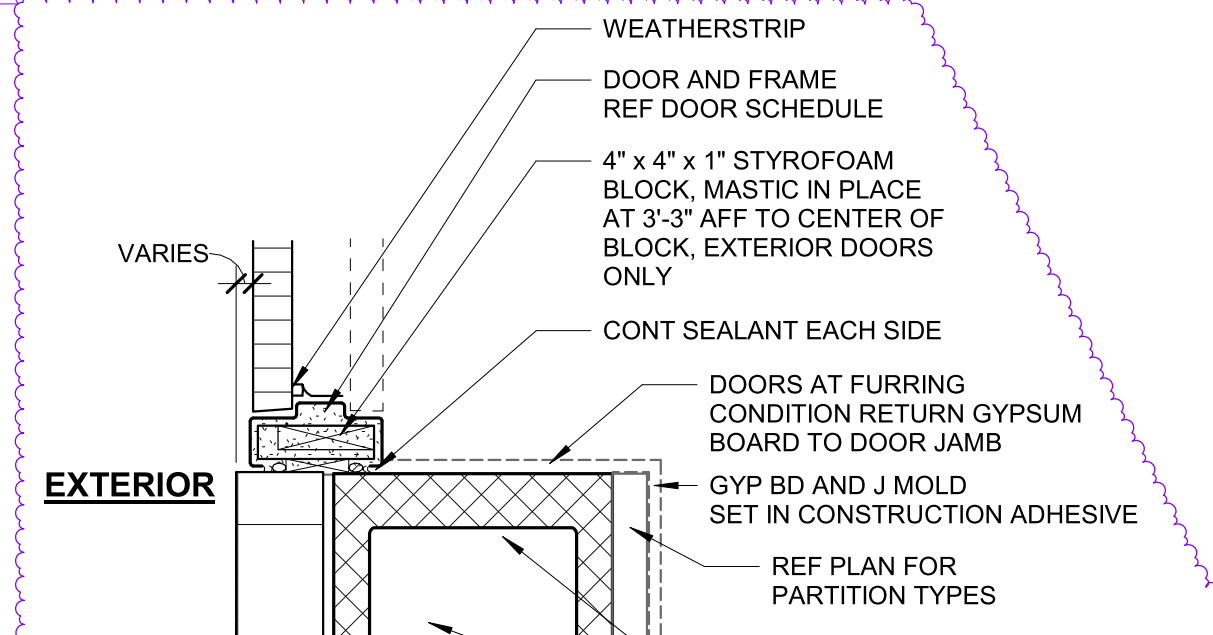
- PAINT ALL METAL DOOR FRAMES VISIBLE TO CUSTOMER WITH EPOXY PAINT, EXCEPT DOORS IN CMU WALLS
  - PREP SURFACE TO BE PAINTED PER SPECS
- PAINT ALL HM DOORS P162 UNO
- PAINT ALL HM FRAMES LOCATED IN PAINTED WALLS P162 UNO
  - AT WALL STANDARDS, GONDOLAS AND WAREHOUSE RACKING WITHOUT PEG-BOARD BACKING
  - AT EXPOSED PAINTED STRUCTURE OR DECK, PAINT CONDUIT, DUCTWORK AND FIRE SPRINKLER PIPING TO MATCH ADJACENT STRUCTURE OR DECK
  - FIRE SPRINKLER HEADS TO REMAIN UNPAINTED
- FOR PROTECTIVE WALL SURFACING WAJNSCOT, INSTALL OUTSIDE CORNER TRIM. REFERENCE SPECS WHERE PROTECTIVE SURFACING WAJNSCOT IS TO BE INSTALLED. REMOVE EXISTING LAMINATE AND/OR FINISHES TO BASE SUBSTRATE PRIOR TO INSTALLATION OF NEW
  - INSTALLATION OF PROTECTIVE SURFACING OVER EXISTING IS NOT ACCEPTABLE. NO EXCEPTIONS
- TAN TRAFFIC DOOR FRAMES TO BE PAINTED BLACK
- DOOR TO BE FACTORY FINISH. DO NOT PAINT
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- CONTAINER AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
- DOOR TO BE FACTORY FINISHED BLACK COLOR. DO NOT PAINT
- 32" MIN CLEAR WORTH OF PASSAGEWAY AFTER INSTALLATION
- NOT USED
- PREFINISHED DOOR AND HARDWARE FURNISHED AND INSTALLED BY VENDOR
- DOOR AND HARDWARE FURNISHED, INSTALLED, AND PAINTED BY GC
- AUTOMATIC OPERATOR INSTALLED BY VENDOR
- CARD READER AND STAND ALONE ALARM INSTALLED BY VENDOR
- INSTALL STOREROOM LOCK
- DOOR BY IPB MANUFACTURER
- IPB AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
- NOMINAL SIZE FOR HEIGHTS AND WIDTHS ARE DETERMINED BY THE PACKAGE HEIGHT AND WIDTH FROM DOOR VENDOR
- GC INSTALL PER MANUFACTURER RECOMMENDATIONS FOR ALL LIQUOR GATES

**DOOR SCHEDULE NOTES**

- BUTTS OR HINGES
- ALARM OR EXIT DEVICE
- LATCH OR LOCK SET
- PUSH AND/OR PULL
- INSTALL AUTOMATIC CLOSER
- INSTALL DOOR CLOSER. PATCH AS NEEDED
- ARMOR PLATE AND/OR KICK PLATE
- STOP, HOLDER, OR ELECTROMAGNETIC DOOR HOLDER
- THRESHOLD
- INSTALL CONT GEARED HINGE
- DOOR COORDINATOR
- ELECTROMAGNETIC LOCK
- LOCK GUARD
- ONE-WAY VIEWER
- INSTALL 5/8" WINDOW IN DOOR
- INSTALL FLEXIBLE STRIP CURTAIN
- INSTALL SECTIONAL DOOR TRACK RETURN AT MAXIMUM HEIGHT AND AS CLOSE TO ROOF STRUCTURE AS ALLOWED BY MANUFACTURER
- FULLY GASKETED FOR NEUTRALIZATION
- PROVIDE 1" CLEARANCE BETWEEN EDGE OF STRIKE SIDE OF DOOR AND ADJACENT CASEWORK
- COORDINATE INSTALLATION OF SIGNAGE WITH DOOR MANUFACTURER. 1" HIGH LETTERS IN CONTRASTING COLORS TO BACKGROUND. TEXT TO READ "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"
- REMOVE EXISTING DOOR AND HARDWARE
  - EXISTING FRAME TO REMAIN
  - INSTALL HINGE FILLER PLATE AND STRIKE FILLER PLATE IN HOLLOW METAL FRAME
- FLEXIBLE TRAFFIC DOOR COLOR TO BE BLACK
  - PAINT DOOR FRAME P36
  - DO NOT PAINT STAINLESS STEEL FRAMES
- INSTALL HINGE FILLER PLATE PRIOR TO INSTALLATION OF CONT HINGE
- PROVIDE VENDOR WITH FIELD VERIFIED DIMENSION OF CLEAR WIDTH AFTER REFRIGERATED CASES HAVE BEEN INSTALLED. DOOR COLOR TO BE BLACK
- THRESH ON DOOR TO BE STOPPED, CLEANED, AND REFINISHED
- SIGNAGE: PROVIDE 1" HIGH LETTERS IN CONTRASTING COLORS TO BACKGROUND. TEXT TO READ "IN EMERGENCY PUSH TO OPEN"
- DOOR SHALL BE OWNER PROVIDED, GC INSTALLED, REF SPECS
- DOOR TO BE FACTORY FINISH. DO NOT PAINT
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- CONTAINER AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
- DOOR TO BE FACTORY FINISHED BLACK COLOR. DO NOT PAINT
- 32" MIN CLEAR WORTH OF PASSAGEWAY AFTER INSTALLATION
- NOT USED
- PREFINISHED DOOR AND HARDWARE FURNISHED AND INSTALLED BY VENDOR
- DOOR AND HARDWARE FURNISHED, INSTALLED, AND PAINTED BY GC
- AUTOMATIC OPERATOR INSTALLED BY VENDOR
- CARD READER AND STAND ALONE ALARM INSTALLED BY VENDOR
- INSTALL STOREROOM LOCK
- DOOR BY IPB MANUFACTURER
- IPB AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
- NOMINAL SIZE FOR HEIGHTS AND WIDTHS ARE DETERMINED BY THE PACKAGE HEIGHT AND WIDTH FROM DOOR VENDOR
- GC INSTALL PER MANUFACTURER RECOMMENDATIONS FOR ALL LIQUOR GATES

**FINISH KEY**

MARK	DESCRIPTION	FINISH	COLOR	DESCRIPTION
ACT1-A	ACOUSTICAL CEILING TILE	WHITE		24"x18"x5/8"
ACT1-B	ACOUSTICAL CEILING TILE	WHITE		24"x24"x5/8"
ACT2-A	ACOUSTICAL CEILING TILE	WHITE		24"x48"x5/8" VINYL FACED NON-PERFORATED
ACT2-B	ACOUSTICAL CEILING TILE	WHITE		24"x24"x5/8" VINYL FACED NON-PERFORATED
ACT3	ACOUSTICAL CEILING TILE	WHITE		24"x48"
ACT4	ACOUSTICAL CEILING TILE	WHITE		24"x48"
ACTG	ACOUSTICAL CEILING GRID	WHITE		
B1	RESILIENT BASE	BLACK		4"
B6	PLASTIC BASE	BLACK		6"x1/4"
B9	PLASTIC BASE	BLACK		4"x1/4"
B10	PLASTIC BASE OUTSIDE CORNER	BLACK		
C1	CUSHION BACK TILE CARPET	CHARCOAL		
C3	CUSHION BACK TILE CARPET	CHARCOAL		
CC	CONCRETE CURB			
CT18	SANITARY FLOOR MOLDING	SUNSET		
CT19	PORCELAIN WALL TILE	IVORY		5"
CT44	PORCELAIN FLOOR TILE	IVORY		12" x 12" x 3/8"
CT45	WALL TILE	WHITE		4" x 8" x 3/8"
CT46	PORCELAIN WALL TILE	GREEN		4" x 8" x 3/8"
CT47	WALL TILE	BLUE		4" x 8" x 3/8"
CT53	FLOOR TILE	DARK GRAY		12 x 24
CT53A	TILE BASE	DARK GRAY		6 x 12
CT53B	COVE BASE	DARK GRAY		6 x 6
CT54	WALL TILE	WHITE		4 x 12 LINEAR
DB5	DURO BASE	BLACK		6"
DB6	DURO BASE	BLACK		6"
DB10	DURO BASE	BLACK		10"
DP1	ALUMINUM DIAMOND (TREAD) PLATE	---		OWNER PROVIDED
EC	EXPOSED CONCRETE	CLEAR SEALER		
ETR	EXISTING TO REMAIN			
FB1	FACE BRICK	BUFF - CONCORD BLEND		
FB2	FACE BRICK	BUFF - NUTMEG VELOUR		
FRP1	FIBERGLASS REINFORCED PLASTIC	WHITE		FRP WALL PANEL
FT1	FAUX SUBWAY TILE	WHITE		
G1	GROUT	DARK GRAY		
G2	GROUT	DARK GRAY		
G3	GROUT	LIGHT TAN		
G4	GROUT	GRAY		
G9	GROUT	L' GRAY		
G15	GROUT	BLACK		
G16	GROUT	GRAY		
HRC1	HEAT RESISTANT COATING	TO MATCH COPPER BROWN BY BERRID		
HRC4	HEAT RESISTANT COATING	MATCH DARK GRAY		
ICC	INTEGRAL COLORED CONCRETE	BROWN		
LUTZP	PLANK FLOORING	LIGHT GRAY		
P1	PAINT	"LOYAL BLUE" #6510		
P5	PAINT	"SAFETY YELLOW" OSHA STANDARD		
P5E	PAINT	"SAFETY YELLOW"		
P6	PAINT	"PURE WHITE" #7005		
P14	PAINT	"GOLDENROD" # 6617		
P15	PAINT	"SUMMIT GRAY" #7669		
P15E	PAINT	GRAY		
P17	PAINT	"SOFTWARE" #7074		
P21	PAINT	"SAFETY RED" #4081		
P21E	PAINT	"SAFETY RED"		
P33	PAINT	"DOVER WHITE" #6395		
P33E	PAINT	CREAM		
P36	PAINT	"DOMINO" #6989		
P36E	PAINT	BLACK		
P57	PAINT	"ROYCROFT PEWTER" #2848		
P59	PAINT	"CLASSIC FRENCH GRAY" #0077		
P76	PAINT	"WALMART BLUE" #076		
P76U	PAINT	WALMART BLUE (URETHANE-LIKE)		
P81	PAINT	"TRICORN BLACK" #6259		
P83	PAINT	"COBBLE BROWN" #6082		
P83E	PAINT	DARK BROWN		
P93	PAINT	"TAMARIND" #7538		
P94	PAINT	"EXTERIOR DROMEDARY CAMEL" #7694 (EXT)		
P94E	PAINT	TAN		
P100	PAINT	"NOTABLE HUE" #6521		
P102	PAINT	"BEACH HOUSE" #7518		
P107	PAINT	"STRAW HARVEST" #7698		
P112	PAINT	"BUTTERFIELD" #6676		
P124	PAINT	"MEADOWLARK" #7522		
P124E	PAINT	LIGHT BROWN		
P131	PAINT	"WHITE FLOUR" #7102		
P140	PAINT	"SNOWBOUND" #7004		
P140E	PAINT	WHITE		
P150	PAINT	"ONLINE" #7072		
P159	PAINT	"CASA BLANCA" #7571		
P162	PAINT	"PEPPERCORN" #7674		
P162E	PAINT	BLACK GRAY		
P163	PAINT	"TURQUOISE" #6939		
P164	PAINT	"ESSENTIAL GRAY" #6002		
P206	PAINT	"IBIS WHITE" #7000		
P207	PAINT	"CONTEMPORARY GRAY" #1465		
P208	PAINT	"CANDID BLUE" #6953		
P209	PAINT	"PASSIVE GRAY" #7064		
P213	PAINT	"VAST SKY" #6506		
P215E	PAINT	LIGHT TAN		
P217E	PAINT	DARK BRONZE		
PF4	LEAD-COTE	METALLIC		
PL3	PLASTIC LAMINATE	"ORGANIC COTTON" WILSONART 4945-38		
PL4	PLASTIC LAMINATE	MAPLE		
PL6	PLASTIC LAMINATE	LIGHT TAN		
PL11	PLASTIC LAMINATE	NORTH SEA GRAY		
PL12	PLASTIC LAMINATE	MYSTED ZEPHYR		
PL15	PLASTIC LAMINATE	BROWN		
PL20	PLASTIC LAMINATE	TAN		
PL22	PLASTIC LAMINATE	DEEPSTAR AGATE		
PL30	PLASTIC LAMINATE	"STEEL MESH" WILSONART 4879		
PL31	PLASTIC LAMINATE	"GREY" WILSONART 1500-69		
PL32	PLASTIC LAMINATE	"VISION VAVA" NEVAMAR VA2002		
PS1	PROTECTIVE SURFACE	WALMART MED BLUE IMPACT SPECIALTIES		
PS3	PROTECTIVE SURFACE	BRUSHED SURFACING		
PS4	PROTECTIVE SURFACE	"GLOWING EMBER" IMPACT SPECIALTIES		
PS5	PROTECTIVE SURFACE	"FRESH LINES" IMPACT SPECIALTIES		
PS6	PROTECTIVE SURFACE	YELLOW		
PS7	PROTECTIVE SURFACE	"GRAY PATTERN"		
PS8	PROTECTIVE SURFACE	"MAPLE"		
PS9	PROTECTIVE SURFACE	"GLOSS WHITE"		
PS10	PROTECTIVE SURFACE	"BLACK"		
PS11	PROTECTIVE SURFACE			
PS12	PROTECTIVE SURFACE	OAK RIFT NATURAL		
PVC1	PVC PLANK FLOORING	WOODGRAIN		
QT3	QUARRY TILE	GRAY		6"x6" ABRASIVE
QT31	QUARRY TILE	RED		6"x6" ABRASIVE
RB1	RESILIENT BASE	BLACK		4"x18"
RB5	RESILIENT BASE	NO. 179 STEEL WITH TOE		
RCS1	RECYCLED CERAMIC SOLID SURFACE	GREY "BIRCH PRADA"		
RF1	RESINOUS FLOOR	GRAY		
RF2	RESINOUS FLOOR	RED		
RRF3	RECYCLED RUBBER FLOORING	GRAY		
SCB5	SANITARY COVE BASE	GRAY		8" H ANTIMICROBIAL PLASTIC
SS	STAINLESS STEEL			
SST1	SOLID SURFACE			
TC	TEXTURED CONCRETE			
TS1	ALUMINUM TRANSITION STRIP			
VCT9	VINYL COMPOSITION TILE	WHITE		12"x12"x1/8"
VCT11	VINYL COMPOSITION TILE	BEIGE		12"x12"x1/8"
VCT20	VINYL COMPOSITION TILE	GRAY		12"x12"x1/8"
WB	2x8 WOOD BASE			
WB10	2x10 WOOD BASE			
WG	PLASTIC WALL GUARD	BLACK OR GRAY		













GENERAL NOTES	SHEET NOTES
<ol style="list-style-type: none"> <li>ROUTE CONDUITS, UTILITIES, AND SUPPORTS 6" MIN AWAY FROM WALK-IN PANEL EDGES TO ALLOW FOR NET INSTALLATION</li> <li>ATTACH BOTTOM WEB OF NET AT 24" OC THROUGH INTEGRAL GROMMETS WITH #10 x 3" WOOD SCREWS AND #10 WASHERS 3/4" FROM EDGE OF WALK-IN PANEL</li> <li>CONTINUE STRAP FROM WALK-IN PANEL TO JOIST PANEL POINT OR GIRDER AT CORNERS, ADDITIONAL STRAP REQUIRED</li> <li>REF SPECS FOR VERTICAL BARRIER NETTING SYSTEM AND COMPONENTS</li> </ol>	<ol style="list-style-type: none"> <li>INSTALLATION SHALL NOT COMMENCE UNTIL WALK-INS AND ALL WORK ABOVE IS INSTALLED               <ol style="list-style-type: none"> <li>GC SHALL COORDINATE INSTALLATION WITH OWNER CONSTRUCTION MANAGER AND ALL TRADES AND WORK BY OTHERS</li> <li>MEASURE, CUT, AND INSTALL ALL NETTING AND ACCESSORIES PER MFR'S INSTRUCTION MANUAL</li> <li>NETTING MAY LEAN INWARD TOWARDS CENTER OF WALK-IN BOX BUT SHALL NOT LEAN OUTWARD BEYOND PARALLEL TO FACE OF BOX</li> </ol> </li> <li>WHERE DUCTS OR PIPING REQUIRE PENETRATION OF NETTING, CUT NETTING AROUND DUCTS OR PIPES AND LASH NETTING ACCORDINGLY</li> <li>EXISTING SAFETY NETTING MAY BE MODIFIED FOR ITEMS LOCATED ABOVE EXISTING BOX, INCLUDING DUCTWORK, CONDUITS, REFRIGERATION LINES, ETC               <ol style="list-style-type: none"> <li>EXISTING SAFETY NET SYSTEM MAY NOT BE USED OR MODIFIED FOR BOXES REPLACING EXISTING BOXES</li> </ol> </li> </ol>
<b>KEYNOTES</b>	
<b>13.10</b> 2'-0" NET OPENING COORDINATE WITH CEILING GRID ACCESS WHEN APPLICABLE	

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 PHOTO CYCLE: 08/02/23  
 DOCUMENT DATE: 10/20/23



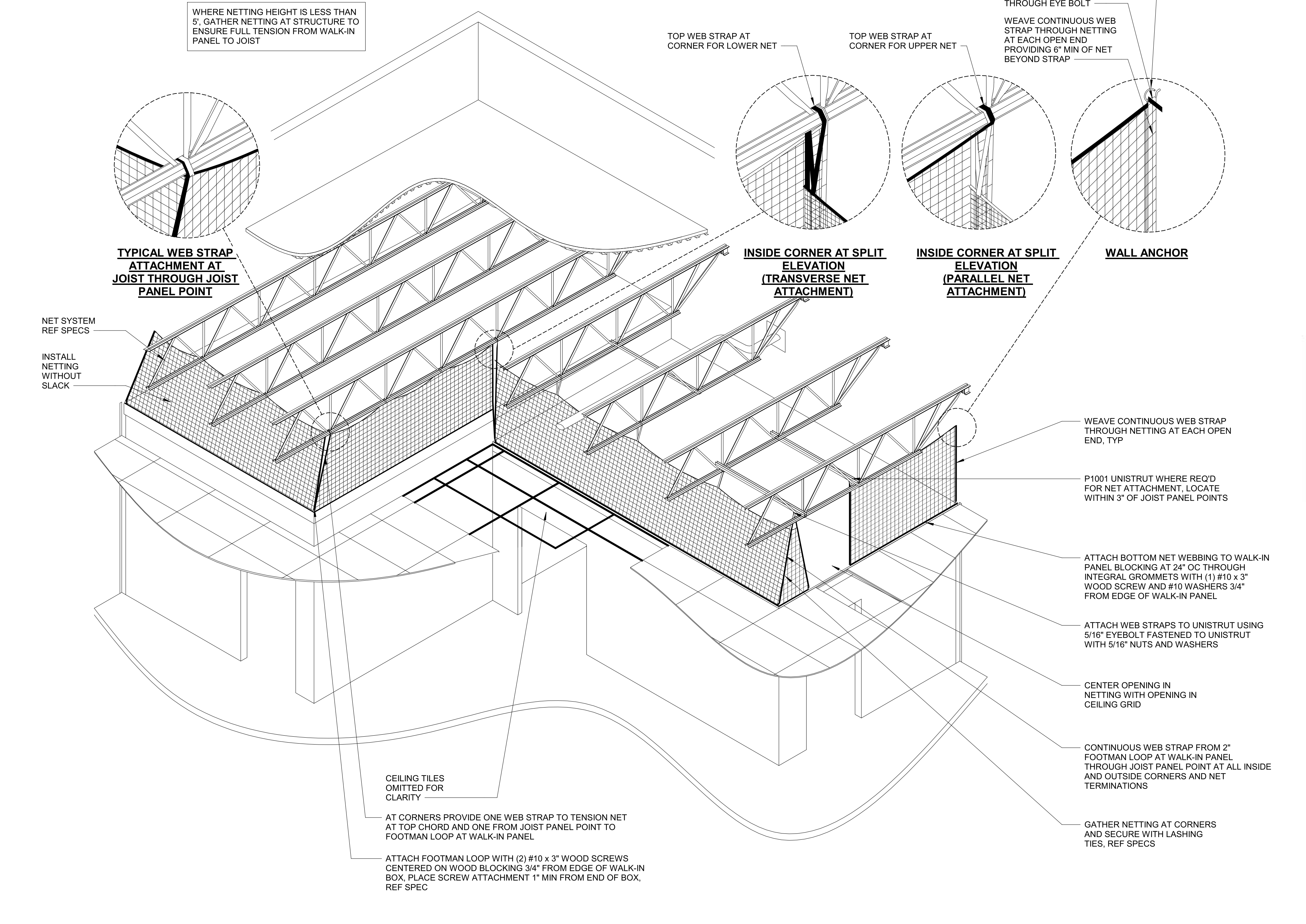
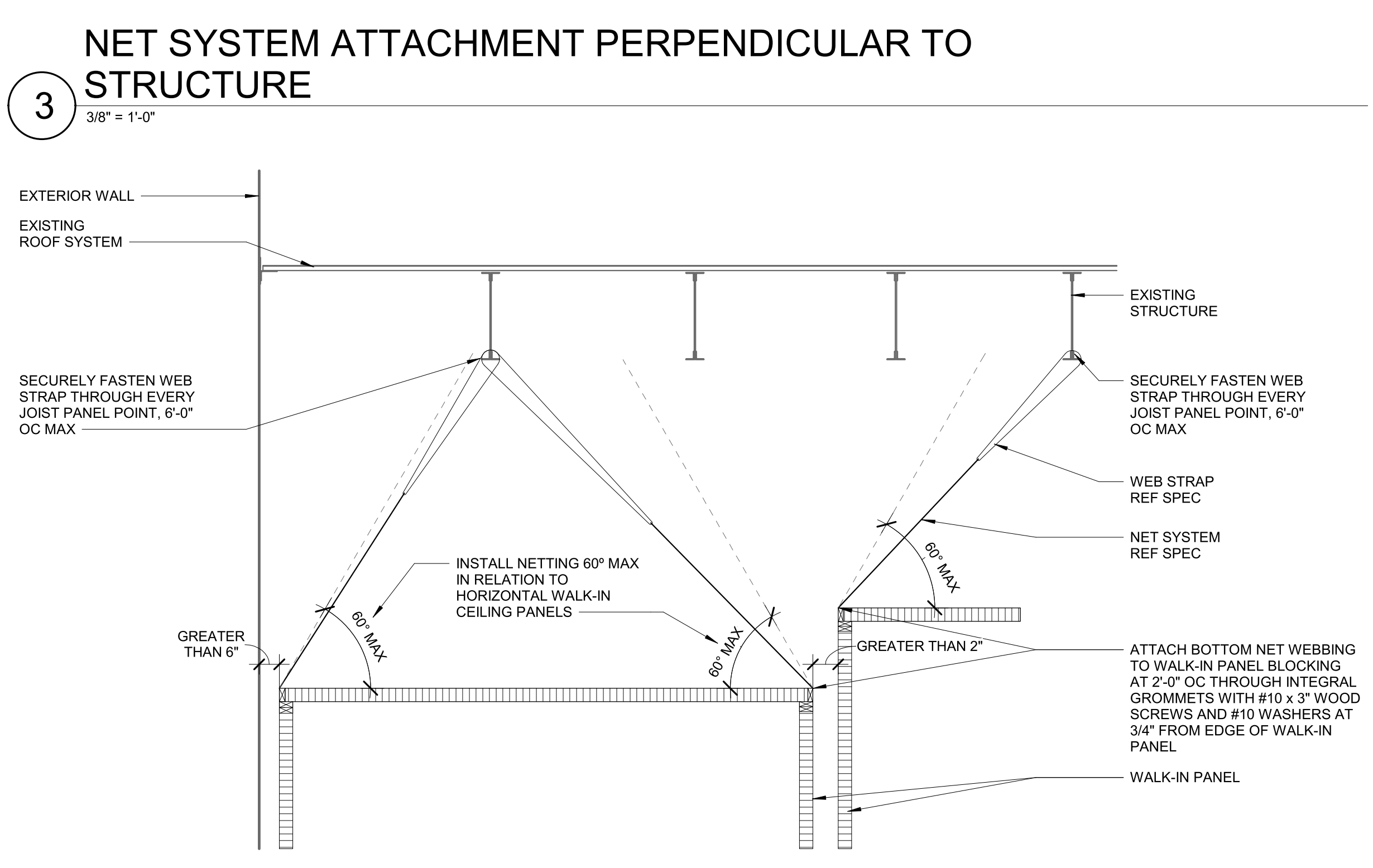
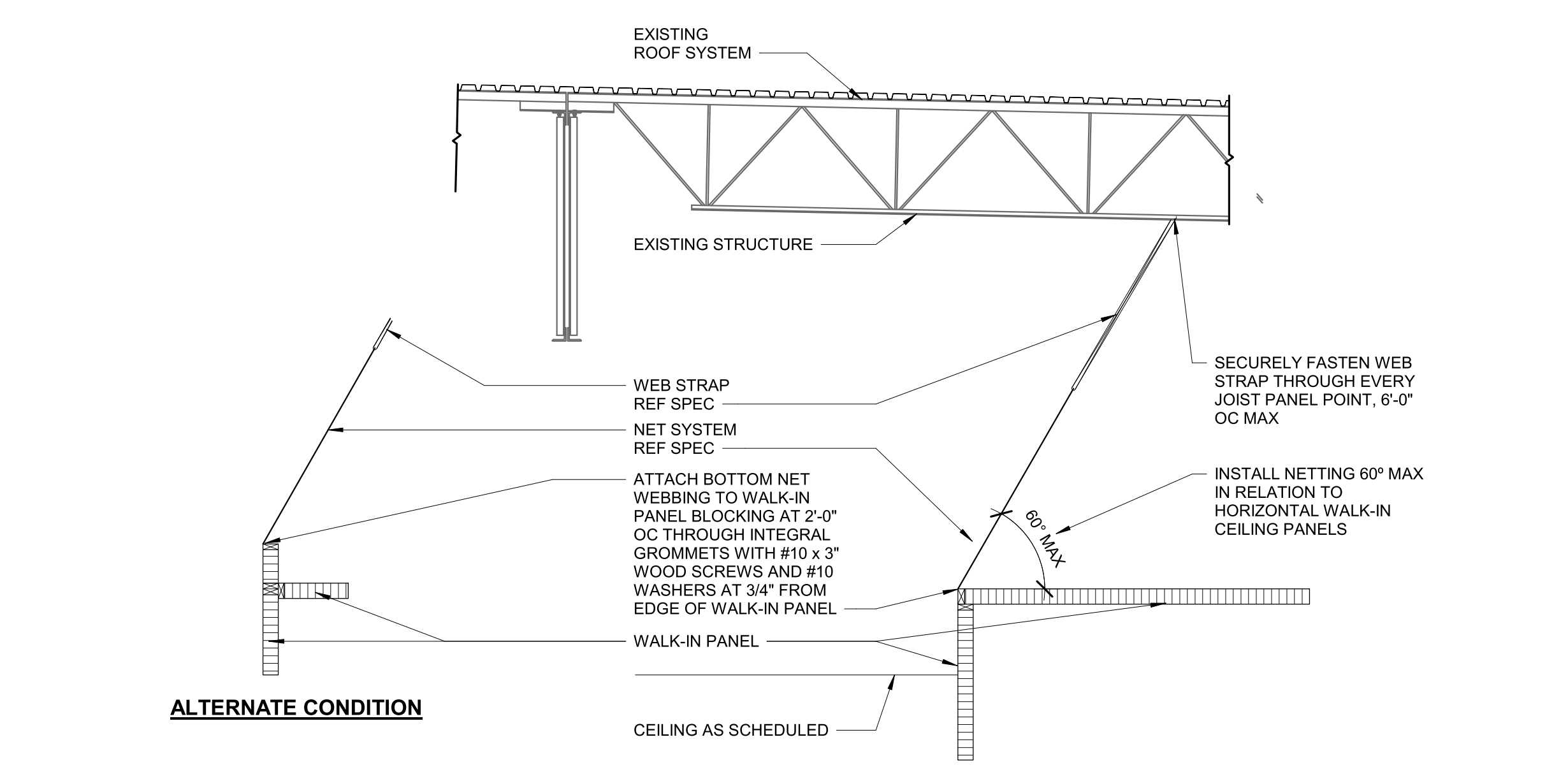
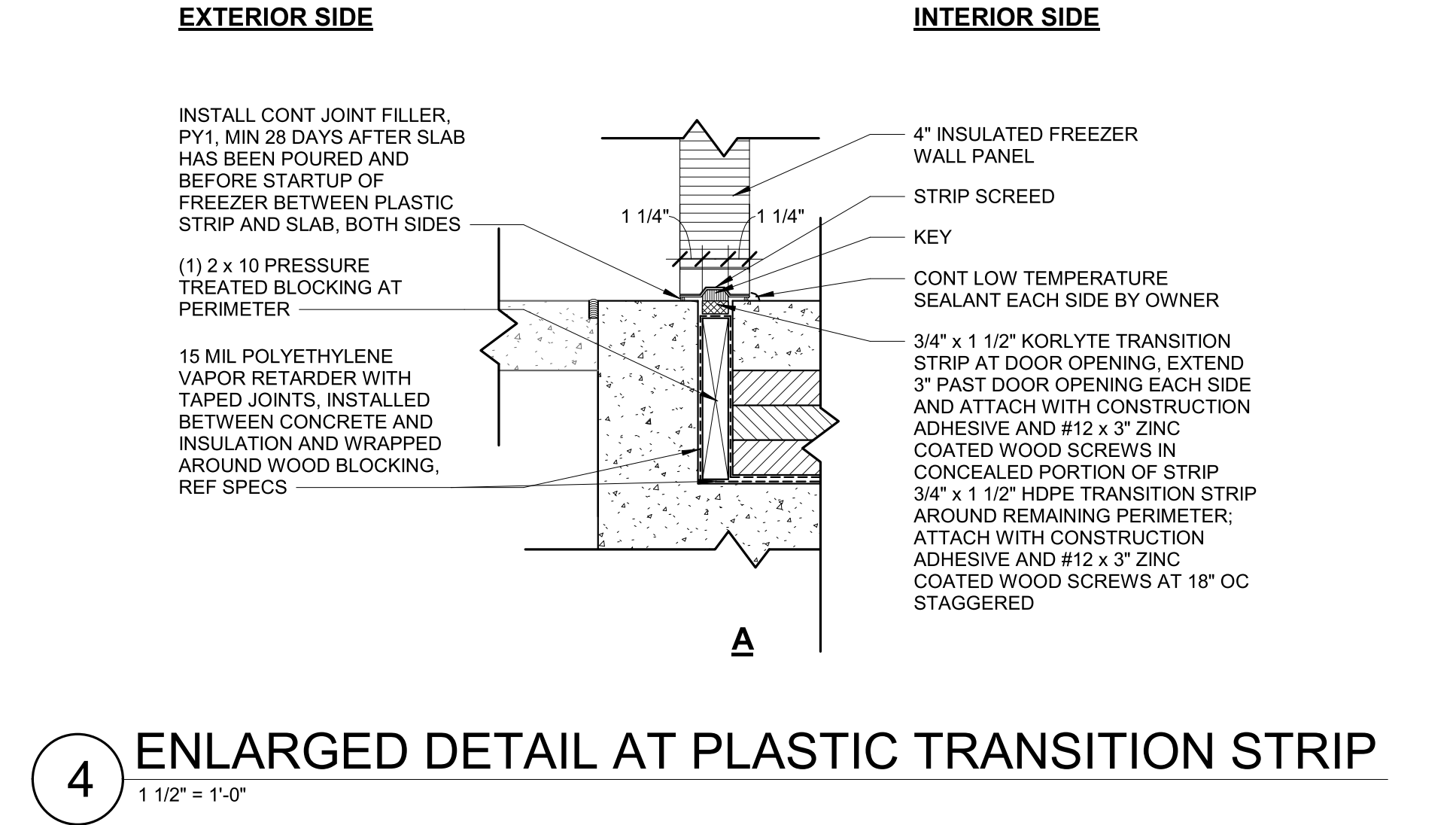
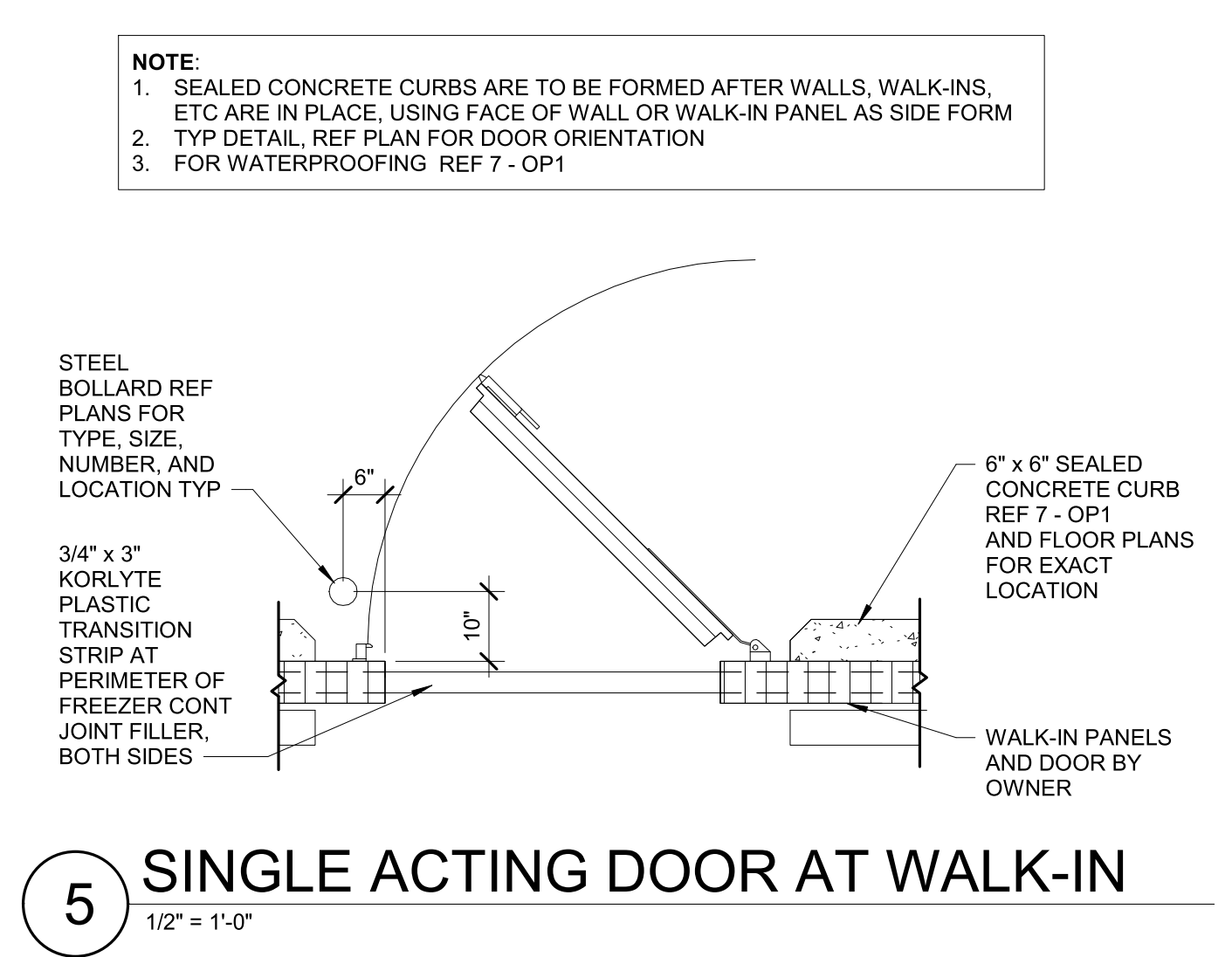
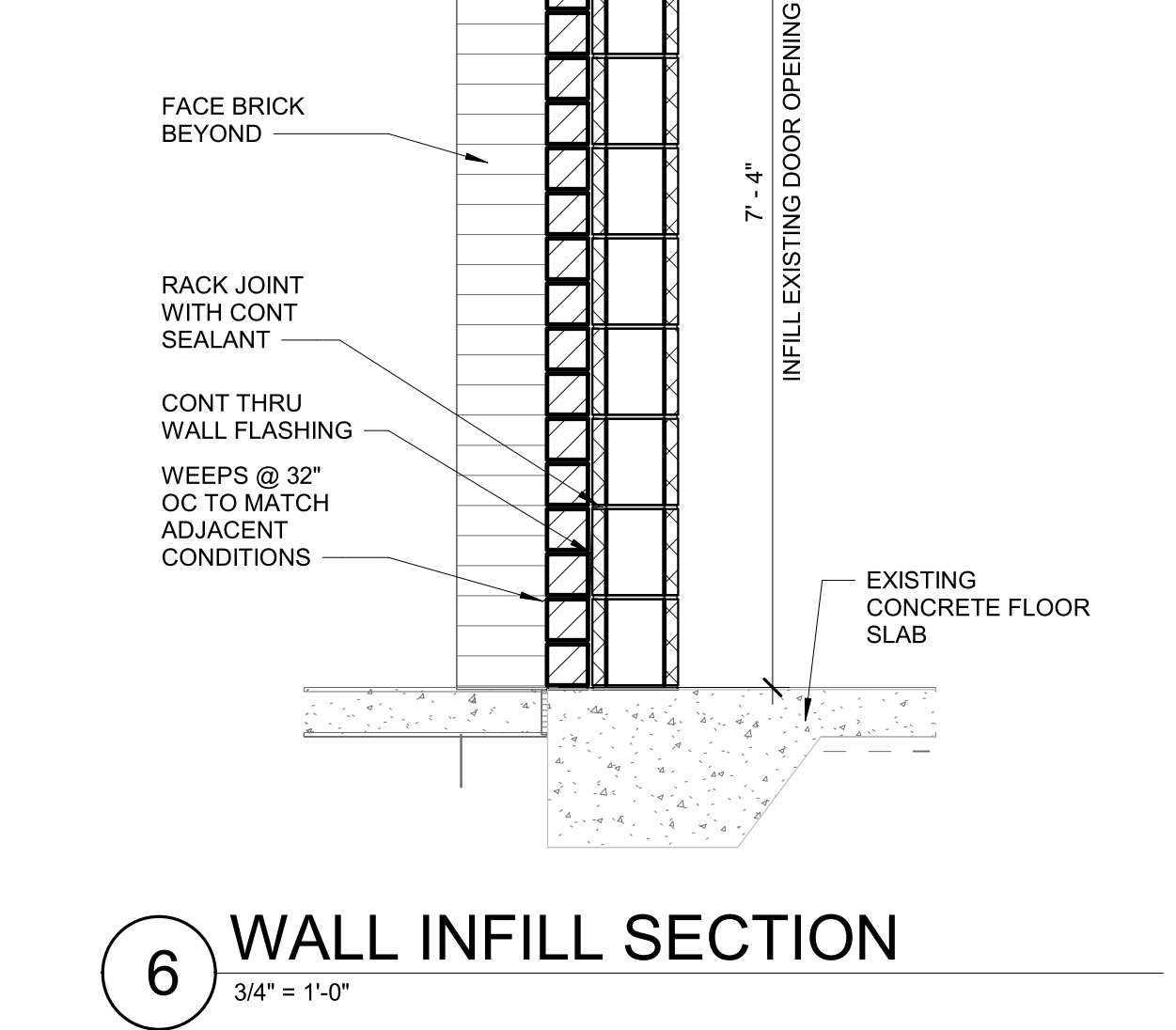
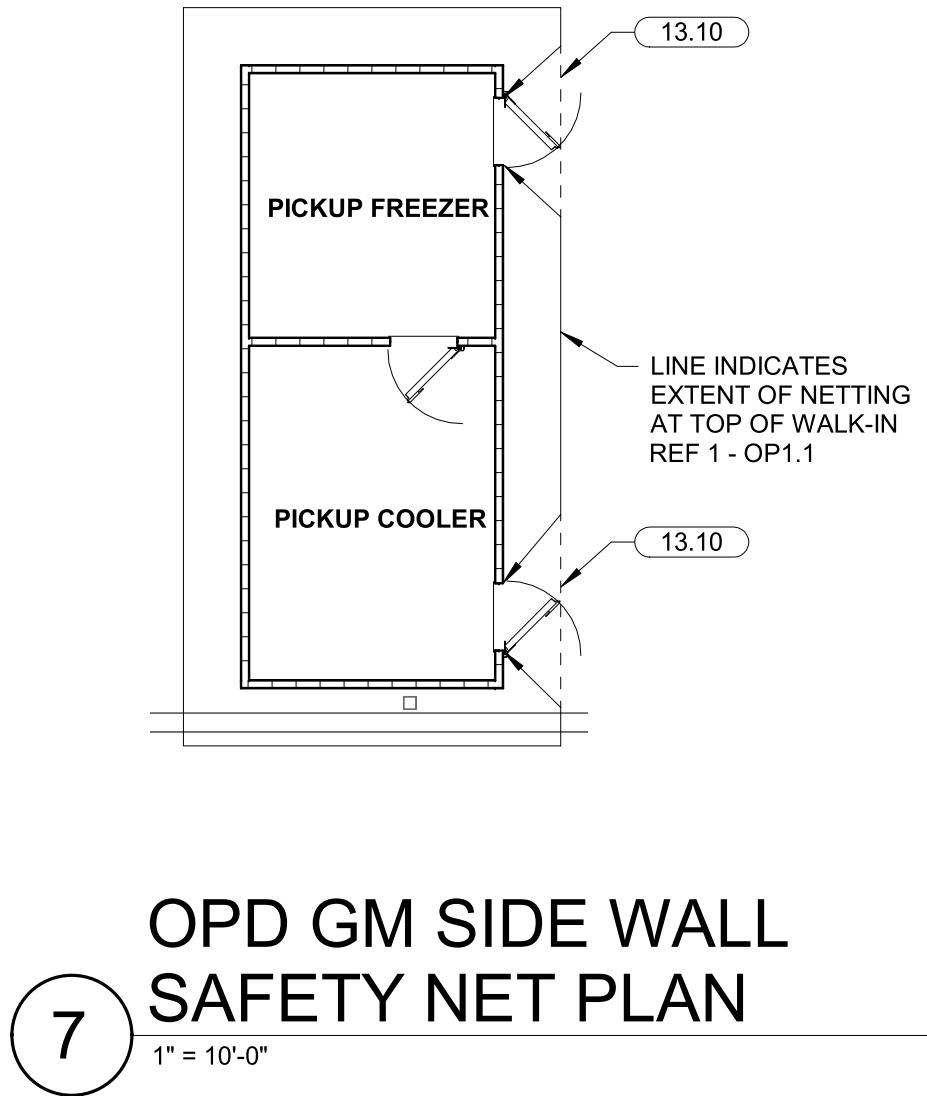
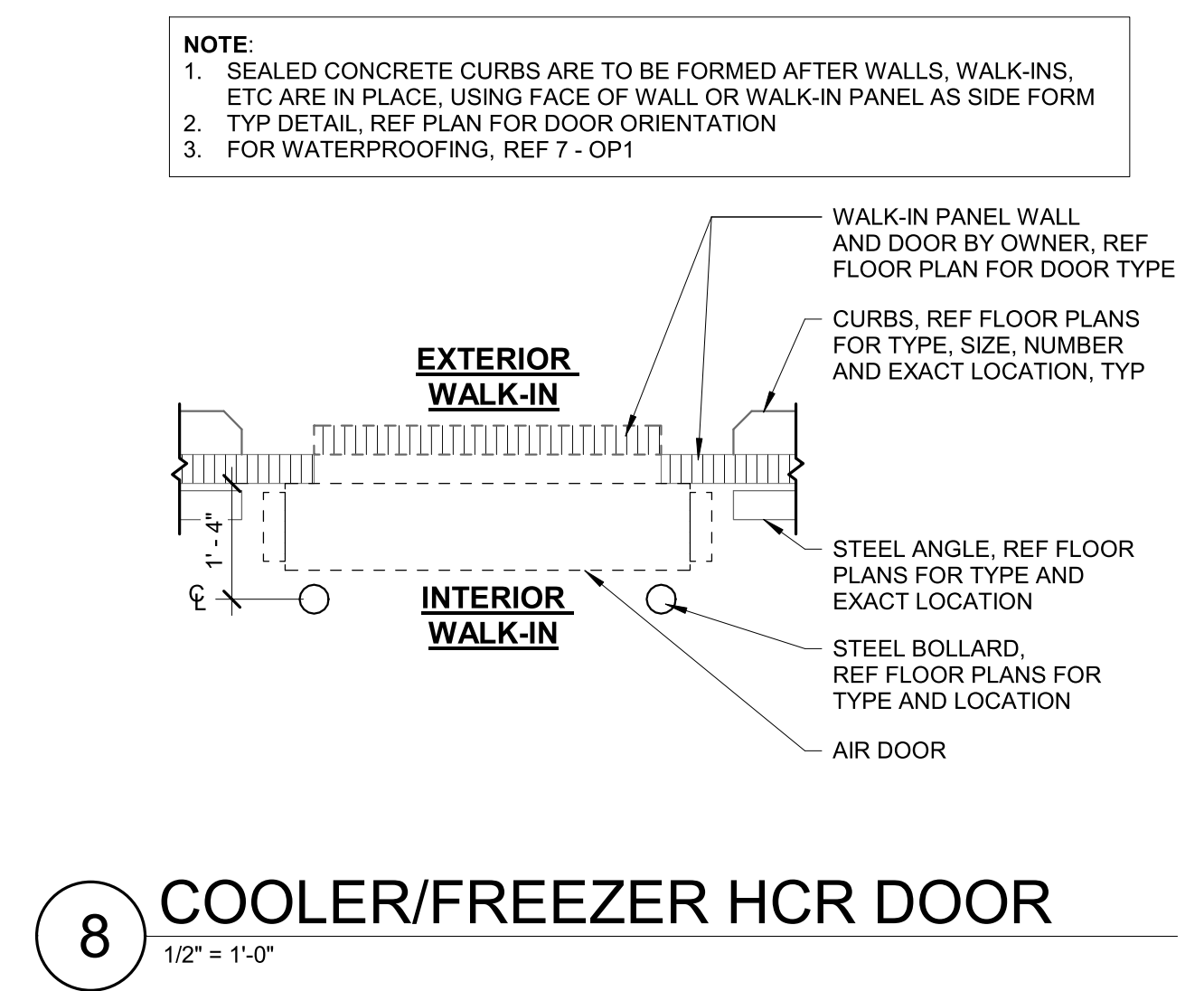
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# ABBREVIATIONS

AB	ANCHOR BOLT
ACI	AMERICAN CONCRETE INSTITUTE
AFF	ABOVE FINISHED FLOOR
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASIS	AMERICAN IRON AND STEEL INSTITUTE
ARCH	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
BFF	BELOW FINISHED FLOOR
BL	BLOCK LINTEL
BM	BEAM
BOC	BOTTOM OF CONCRETE
BOM	BOTTOM OF MASONRY
BOS	BOTTOM OF STEEL
BRG	BEARING
CJ	CONTRACTION JOINT
CL	CENTER LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
COND	CONDENSER UNIT
CONST	CONSTRUCTION
CONT	CONTINUOUS
DIA	DIAMETER
EC	EXHAUST FAN
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
ETR	EXISTING TO REMAIN
EW	EACH WAY
FN	FOUNDATION
FF	FINISHED FLOOR
FS	FAR SIDE
FTG	FOOTING
FV	FIELD VERIFY
GA	GAUGE
GC	GENERAL CONTRACTOR
H	HEIGHT
HORIZ	HORIZONTAL
HSA	HEADED STUD ANCHOR
HSS	HOLLOW STRUCTURAL SHAPE
INFO	INFORMATION
ISO	ISOLATION
JBE	JOIST BEARING ELEVATION
JST	JOIST
JT	JOINT
KPS	KIPS PER SQUARE INCH
L	LENGTH
LB	POUNDS
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NS	NEAR SIDE
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
PAF	POWER ACTUATED FASTENER
PCF	POUNDS PER CUBIC FOOT
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PLUMB	PLUMBING
PMEJ	PREMOLDED EXPANSION JOINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QTY	QUANTITY
RACK	REFRIGERATION RACK
REF	REFER TO
REINF	REINFORCING
REQD	REQUIRED
REV	REVERSE
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SCHED	SCHEDULE
SDI	STEEL DECK INSTITUTE
SIM	SIMILAR
SJI	STEEL JOIST INSTITUTE
SPCS	SPACES
SPECS	SPECIFICATIONS
STRUC	STRUCTURAL
T&B	TOP AND BOTTOM
THK	THICKNESS
TO	TOP OF
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRANS	TRANSVERSE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
W	WIDTH
WP	WORK POINT

# GENERAL NOTES

- GENERAL**
- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN OR IMPLIED BY THESE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
  - EXISTING CONDITIONS SHOWN MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BID. WITHIN ONE WEEK FROM THE START OF CONSTRUCTION DATE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING MATERIAL, MEASUREMENTS, AND ELEVATIONS AND SHALL NOTIFY THE ARCHITECT, STRUCTURAL ENGINEER OF RECORD AND THE OWNER'S CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR FORESEEN PROBLEMS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD MEASUREMENTS, EXISTING CONDITIONS, AND KNOWN COMPLIANCE WITH THE MATERIAL SUPPLIERS.
  - GENERAL CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION AND NEW CONSTRUCTION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.
  - GENERAL CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, UTILITIES, PROPERTY, ETC DURING CONSTRUCTION. RESTORE ALL ITEMS DAMAGED, AS REQUIRED BY OWNER'S REPRESENTATIVE, TO THE OWNER'S SATISFACTION AT NO COST TO OWNER OR WITHOUT EXTENSION OF CONTRACT TIME.
  - BUILDING COMPONENTS ABANDONED BY THE SCOPE OF WORK SHALL BE SECURED TO PREVENT FALLING, LOOSENING OR CREATING DAMAGE OF ANY KIND IN THE FUTURE.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND MAINTAINING STABILITY OF EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
  - BEFORE OR CONCURRENT WITH ANY EXCAVATIONS ADJACENT TO THE EXISTING BUILDING FOUNDATION OR SLAB, GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT FOR THE BASE AND SUBGRADE OF THE EXISTING SLAB AND FOUNDATIONS TO PREVENT UNDERMINING.
  - GENERAL CONTRACTOR SHALL PROVIDE FIRE PROTECTION FOR THE EXISTING STRUCTURE AND BUILDING CONTENTS DURING WELDING OR ANY OTHER CONSTRUCTION ACTIVITY THAT GENERATES SPARKS OR INTENSE HEAT.
  - GENERAL CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF PENETRATIONS THROUGH THE STRUCTURE FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK.
  - THE STRUCTURAL ENGINEER OF RECORD, ITS EMPLOYEES, AND REPRESENTATIVES SHALL NOT BE RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK NOR WILL THEY BE RESPONSIBLE FOR ANY FAILURE BY THE CONTRACTOR TO PERFORM OR COMPLETE CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- FOUNDATIONS**
- FOOTING DESIGNS ARE BASED ON A NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. IF SUITABLE BEARING MATERIAL IS NOT ENCOUNTERED AT THE ELEVATION INDICATED ON THE DRAWINGS AS INDICATED BY A LICENSED GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL OVEREXCAVATE UNTIL SUITABLE BEARING MATERIAL IS ENCOUNTERED.
  - EXTERIOR FOOTINGS SHALL BEAR AT OR BELOW MINIMUM BEARING DEPTH. MINIMUM BEARING DEPTH IS 30 INCHES BELOW ADJACENT FINISHED GRADE THICKENED SLAB EDGES FOR STOOPS, CANOPIES, ETC. SHALL BE 16 INCHES (UNO).
  - STANDARD PROCEDURES OF FROST PROTECTION FOR FOUNDATIONS AND EXCAVATIONS SHALL BE EMPLOYED FOR WINTER CONSTRUCTION. BACKFILLING OF EXCAVATIONS SHALL BE DONE AS SOON AS POSSIBLE TO PROTECT FOUNDATIONS FROM FROST.
- CONCRETE AND REINFORCING STEEL**
- MINIMUM COMPRESSIVE STRENGTH (f<sub>c</sub>) AT THE END OF 28 DAYS SHALL BE AS FOLLOWS:
    - INTERIOR CAST-IN-PLACE CONCRETE SLABS 4000 PSI SPECIFICATION SECTION 03314
    - EXTERIOR CAST-IN-PLACE CONCRETE SLABS REF SPECS SPECIFICATION SECTION 03310
    - STRUCTURAL CAST-IN-PLACE CONCRETE FOOTINGS 3000 PSI SPECIFICATION SECTION 03310
 FOR ALL OTHER CONCRETE PROPERTIES REFER TO SPECIFICATIONS.
  - CONCRETE FREEZING AND THAWING EXPOSURE CLASS SHALL BE F3 AND SULFATE EXPOSURE CLASS SHALL BE S0.
  - REINFORCING STEEL SHALL MEET ASTM SPECIFICATION A 615, DEFORMED BAR, GRADE 60 OR ASTM SPECIFICATION A 706, DEFORMED BAR, GRADE 60.
- STRUCTURAL STEEL**
- STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTH AND SPECIFICATIONS. FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "AISC CODE OF STANDARD PRACTICE".
 

STRUCTURAL STEEL	YIELD	ASTM SPECIFICATION
A. PLATES, CHANNELS, ANGLES, & ANCHOR BOLTS:	36 KSI	A 36, UNO
B. WIDE FLANGE STEEL SHAPES:	50 KSI	A 992
  - ALL STRUCTURAL STEEL SHALL HAVE ONE SHOP COAT OF RUST INHIBITOR PRIMER PAINT CONFORMING TO THE SPECIFICATIONS. FIELD TOUCH UP ALL UNPAINTED, NICKED AND WELDED AREAS. PAINT ALL STEEL EXPOSED TO VIEW TO MATCH EXISTING.
  - WELDING SHALL MEET ANSI/AWS D1.1 STRUCTURAL WELDING CODE. ELECTRODES SHALL BE 70 KSI LOW HYDROGEN.
- STRUCTURAL ROOF CURBS**
- COLD FORM STRUCTURAL CURB BY SUPPLIER SHALL BE CAPABLE OF SPANNING BETWEEN BAR JOISTS AND CANTILEVERING TO PICK UP EDGE OF RTU AND ROOF DECK. ASSUME ROOF LOADS OF 15 PSF DEAD LOAD AND 20 PSF SNOW LOAD.
- STEEL JOISTS AND JOIST GIRDEES**
- EXISTING STEEL JOISTS AND JOIST GIRDEES ARE ASSUMED TO BE IN GOOD CONDITION AND IN COMPLIANCE WITH THE STEEL JOIST INSTITUTE SPECIFICATIONS. ANY DAMAGE TO EXISTING JOISTS OR GIRDEES SHALL BE REPORTED PRIOR TO ADDING LOAD TO FRAMING.
  - ALL WELDING SHALL CONFORM TO THE CURRENT AMERICAN WELDING SOCIETY SPECIFICATIONS AND BE PERFORMED BY CERTIFIED WELDERS. DO NOT OVER WELD OR BURN NY JOIST MATERIAL. ANY DAMAGE TO EXISTING JOIST SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- MASONRY**
- CONCRETE MASONRY UNITS SHALL MEET ASTM SPECIFICATION C 90. THE SPECIFIED DESIGN COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS SHALL BE 2000 PSI. THE NET AREA COMPRESSIVE STRENGTH OF THE CONCRETE MASONRY UNITS SHALL BE 2000 PSI.
  - MORTAR SHALL BE A PREBLENDED DRY MIX CONFORMING TO ASTM C 1174 AND MEETING THE PROPER SPECIFICATIONS OF ASTM C 270 TYPE "S" MORTAR. REF SPECIFICATION 04200 FOR ADDITIONAL REQUIREMENTS.
  - GROUT SHALL MEET ASTM SPECIFICATION C 476 AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI. REF SPECIFICATION SECTION 04200 FOR ADDITIONAL REQUIREMENTS.
  - GROUT SHALL BE MECHANICALLY CONSOLIDATED USING A VIBRATOR WITH A MAXIMUM 3/4" DIAMETER HEAD. REF SPECIFICATION SECTION 04200.
  - WHERE NEW GROUT IS REQUIRED FOR CAST-IN-PLACE OR POST INSTALLED ANCHORS, PROVIDE 12" GROUT COVER ON ALL SIDES OF THE ANCHORS. CREATE A HOLE IN CMU ON INTERIOR SIDE OF WALL FOR GROUT INSERTION. PROVIDE PLUG AT BOTTOM. REPAIR HOLE AS REQUIRED.
  - HORIZONTAL JOINT REINFORCEMENT SHALL BE LADDER TYPE SPACED AT 16" OC VERTICALLY FOR THE ENTIRE HEIGHT OF THE WALL.
  - CONCRETE MASONRY SHALL BE LAD IN RUNNING (COMMON) BOND.
  - CONCRETE MASONRY SHALL BE LIGHT WEIGHT OR NORMAL WEIGHT AND SHALL BE GROUDED ONLY AT REINFORCED CELLS AND BOND BEAMS, UNO.
- POST-INSTALLED ANCHORS**
- POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS. REFER TO SPECIFICATION 05090 FOR ADDITIONAL INFORMATION.
  - WHERE THE DRAWINGS INDICATE GROUT TO BE ADDED TO MASONRY WALLS, 7 DAY CURED GROUT MUST BE PRESENT WHEN INSTALLING POST-INSTALLED ANCHORS.
- SUBGRADE AND BASE**
- PRIOR TO PLACEMENT OF SLABS IN SLAB REMOVAL AREAS, EXPOSED SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). WHERE SOILS ARE DISTURBED TO A DEPTH GREATER THAN 1'-0", COMPACTION SHALL BE PERFORMED IN A MAXIMUM 8 INCH LOOSE LIFTS.
  - IN SLAB REMOVAL AREAS WHERE SUBGRADE IS NEEDED TO RAISE PAD TO PROPER ELEVATION, PROVIDE BASE AND/OR CHOKER MATERIAL AS INDICATED IN SPECS.

# DESIGN LOADS

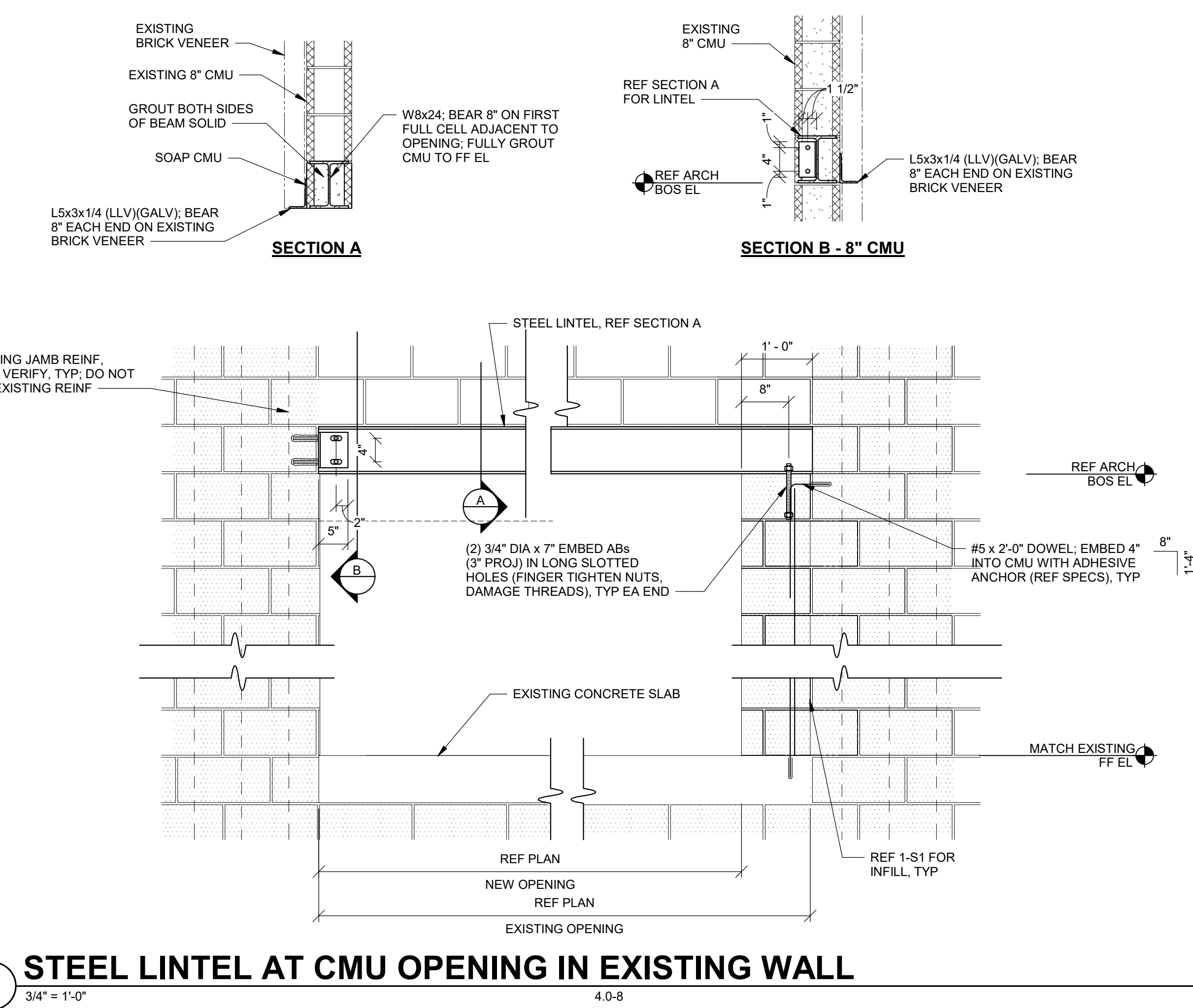
- BUILDING CODE
  - A. BUILDING CODE 2021 IBC
- GRAVITY LOADS
  - A. ROOF DEAD LOAD 15 PSF (PER EXISTING DRAWINGS)
- ROOF SNOW LOADS
  - A. ROOF 20 PSF (MIN OR SNOW LOAD)
- ROOF SNOW LOADS
  1. GROUND SNOW LOAD (P<sub>g</sub>) 20 PSF
  2. IMPORTANCE FACTOR (I) 1.0
  3. SNOW EXPOSURE FACTOR (C<sub>e</sub>) 1.0
  4. ROOF THERMAL FACTOR (C<sub>t</sub>) 1.0
  5. FLAT ROOF SNOW LOAD (P<sub>f</sub>) (PER CODE) 20 PSF (INCLUDES RAIN-ON-SNOW SURCHARGE)
  6. FLAT ROOF SNOW LOAD (P<sub>f</sub>) (PER EXISTING DRAWINGS) 25 PSF
- LATERAL LOADS
  - A. WIND LOADS
    1. BASIC WIND SPEED (3-SECOND GUST) 115 MPH
    - ULTIMATE DESIGN WIND SPEED 90 MPH
    - BASIC DESIGN WIND SPEED (SERVICE) B
    2. WIND EXPOSURE CATEGORY II
    3. RISK CATEGORY II
  - B. SEISMIC LOADS (SERVICE)
    1. 5% DAMPED MAPPED ACCELERATION PARAMETER (S<sub>a</sub>) 0.378
    2. 1-SEC PERIOD MAPPED ACCELERATION PARAMETER (S<sub>1</sub>) 0.145
    3. 5% DAMPED SPECTRAL RESPONSE COEFF. (S<sub>ds</sub>) 0.377
    4. 1-SEC PERIOD SPECTRAL RESPONSE COEFF. (S<sub>d1</sub>) 0.223
    5. SITE CLASS D (DEFAULT)
    6. RISK CATEGORY II
    7. IMPORTANCE FACTOR (I<sub>a</sub>) 1.0
    8. SEISMIC DESIGN CATEGORY D

# STATEMENT OF SPECIAL INSPECTIONS

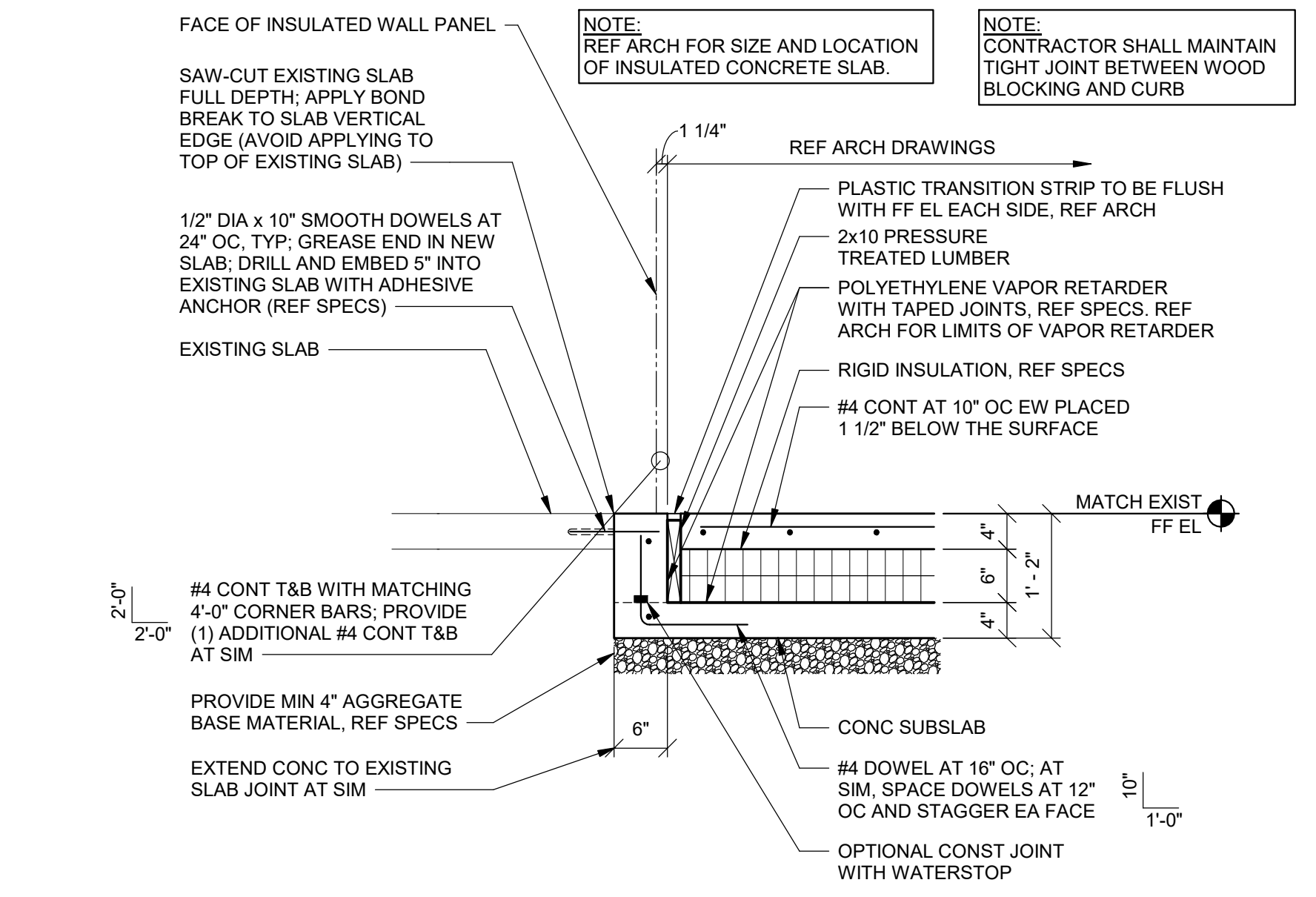
SPECIAL INSPECTIONS ARE REQUIRED. REFER TO APPENDIX B OF THE PROJECT SPECIFICATIONS FOR THE FOLLOWING INFORMATION REGARDING THE REQUIREMENTS OF SPECIAL INSPECTIONS:

- THE MATERIALS, SYSTEMS, COMPONENTS AND WORK REQUIRED TO HAVE SPECIAL INSPECTIONS.
- THE TYPE AND EXTENT OF EACH SPECIAL INSPECTION.
- THE TYPE AND EXTENT OF EACH TEST.
- ADDITIONAL SPECIAL INSPECTION REQUIREMENTS FOR WIND OR SEISMIC RESISTANCE (WHEN APPLICABLE).
- THE FREQUENCY OF SPECIAL INSPECTIONS AND TESTING.

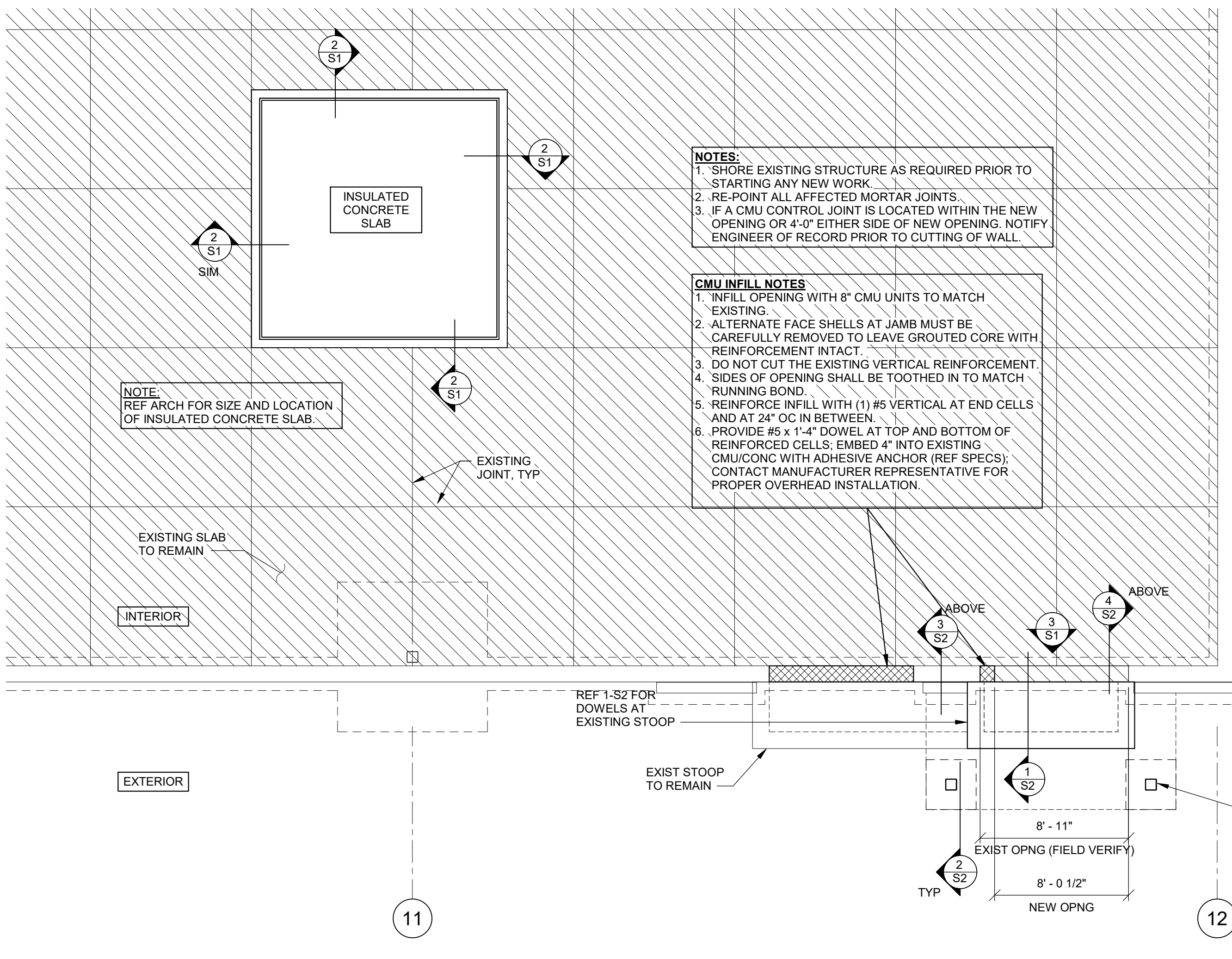
THE SPECIAL INSPECTION REQUIREMENTS ARE BASED ON CHAPTER 17 OF THE IBC.



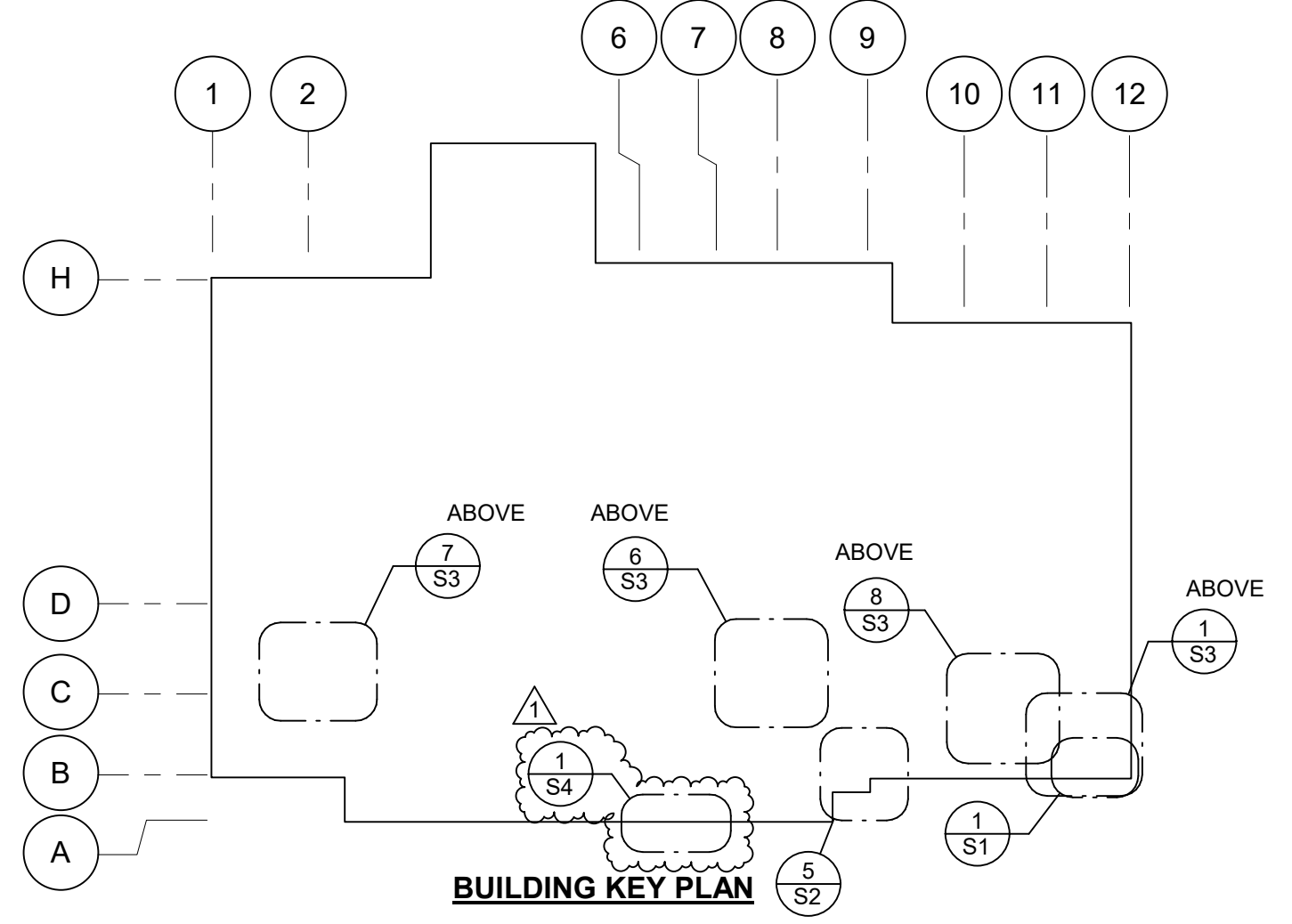
3 STEEL LINTEL AT CMU OPENING IN EXISTING WALL  
3/4" = 1'-0"



2 INSULATED CONCRETE SLAB  
3/4" = 1'-0"



1 INSULATED CONCRETE SLAB AND OPENING PLAN  
3/16" = 1'-0"



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STORE NO. 05927 - 220  
965-6694

NO.	PR #1	DATE
1	PR #1	01/19/24

CHECKED BY: JSH  
DRAWN BY: ALS  
PROTO CYCLE: 08/02/23  
DOCUMENT DATE: 10/20/23  
JBA PROJECT NO: 2301805927

BRIAN W. MARKING  
REGISTERED PROFESSIONAL ENGINEER  
NO. 01095  
EXPIRES 12/31/2024

01/18/24

**INSULATED SLAB AND OPENING PLAN AND DETAILS**

SHEET: **S1**



**STIPULATION FOR REUSE**  
 THIS DRAWING IS PREPARED FOR THE USE OF THE CLIENT AND IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE LAW.

**CONSULTANTS**  
**JOHNSTON BURKHOLDER JBA ASSOCIATES**  
 900 CENTRAL KANSAS CITY, MO 64107  
 816-421-2000 | WWW.JBAASSOCIATES.COM  
 MISSOURI LICENSE NO. 00000001100

**Walmart\***  
**FLORISSANT, MO**  
 3390 N. HIGHWAY 67  
 STORE NO. 05927 - 220  
 JOB NUMBER: 96545894 | PHOTO: 150 SC

**ISSUE BLOCK**

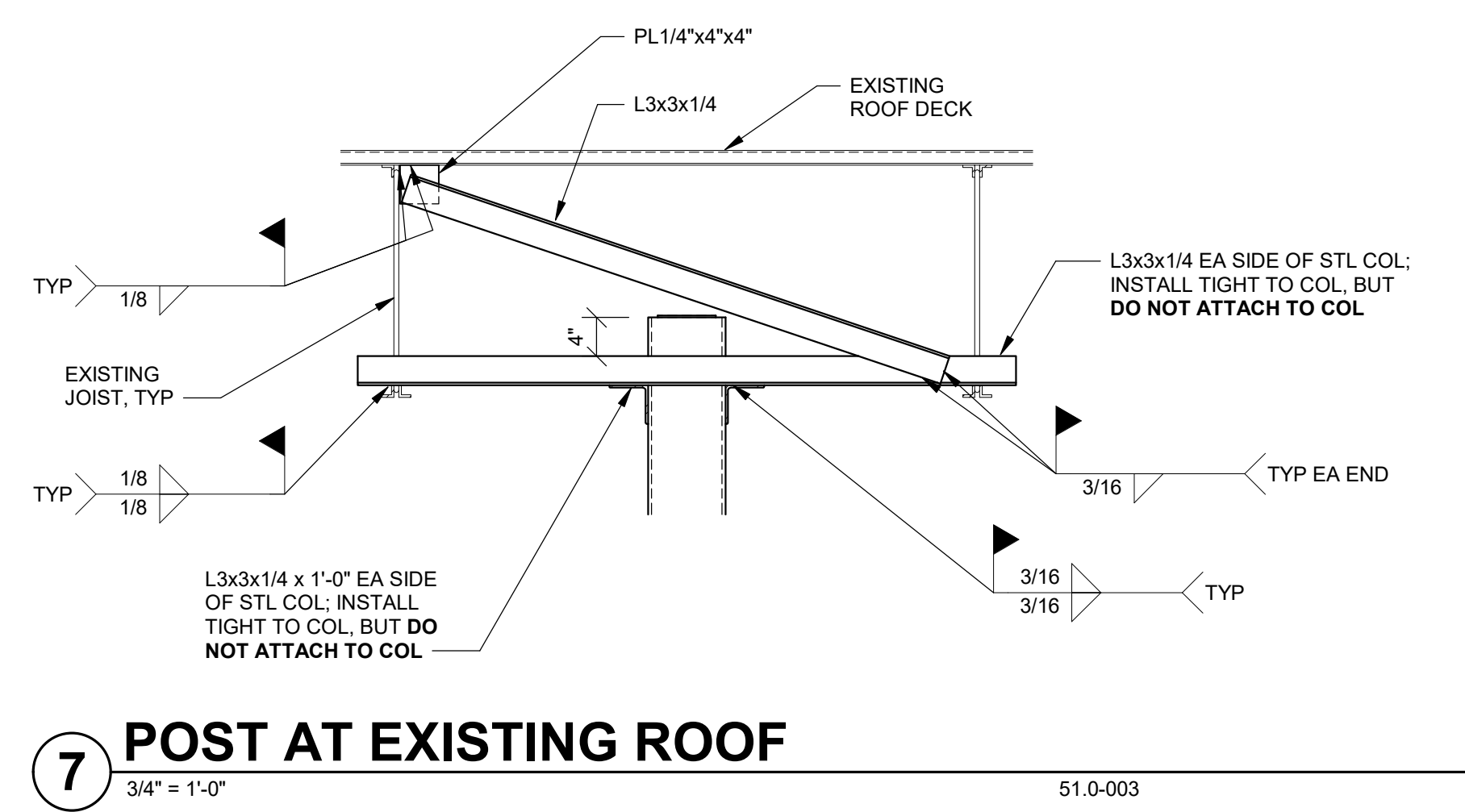
1	PR #1	01/19/24

CHECKED BY: JSH  
 DRAWN BY: ALS  
 PROTO CYCLE: 08/02/23  
 DOCUMENT DATE: 10/20/23  
 JBA PROJECT NO: 2301805927

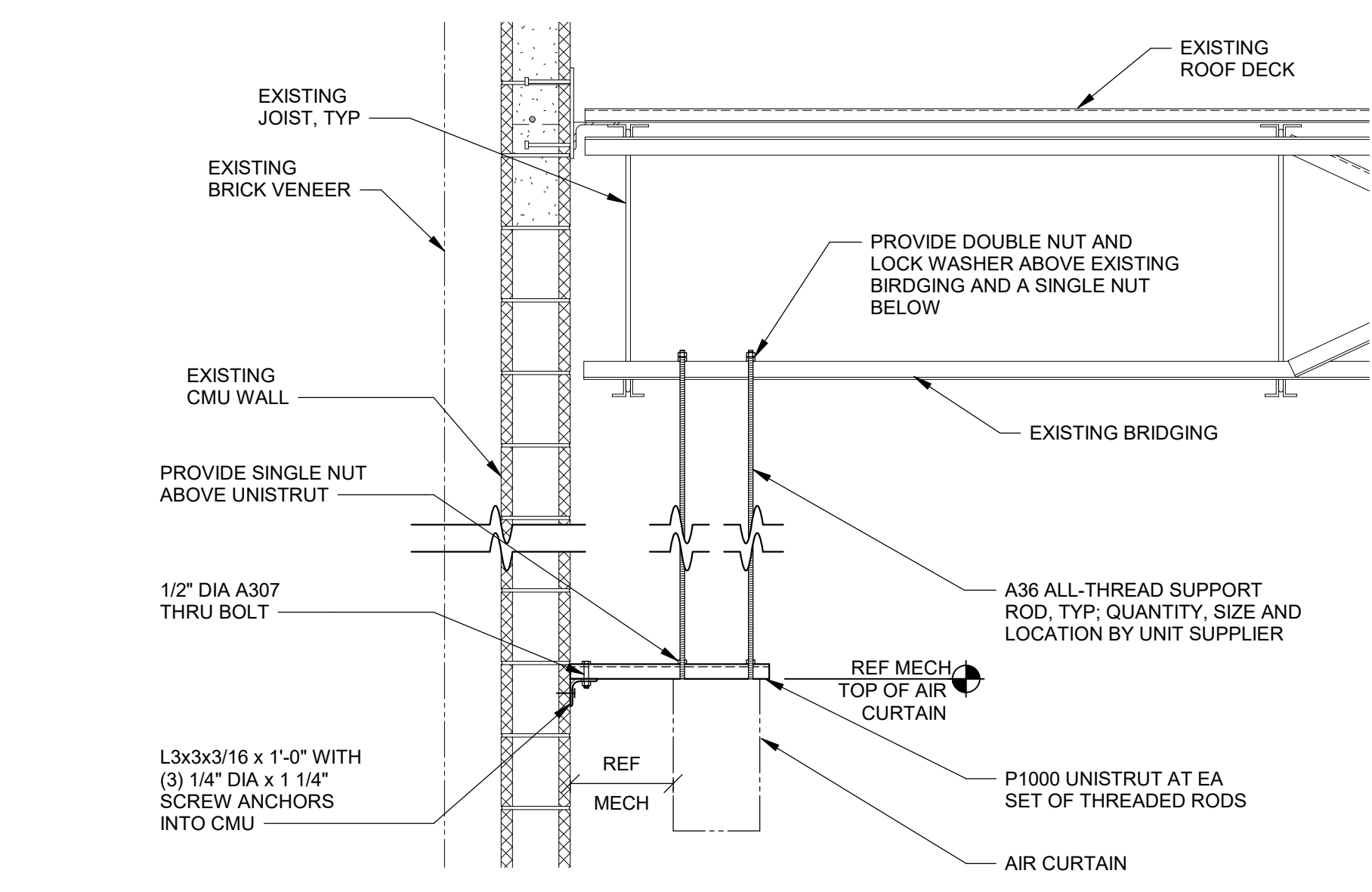
PROFESSIONAL ENGINEER  
 BRIAN W. MAKOVEC  
 NUMBER E-00000001100  
 01/18/24

**OPENING AND VISION CENTER PLAN AND DETAILS**

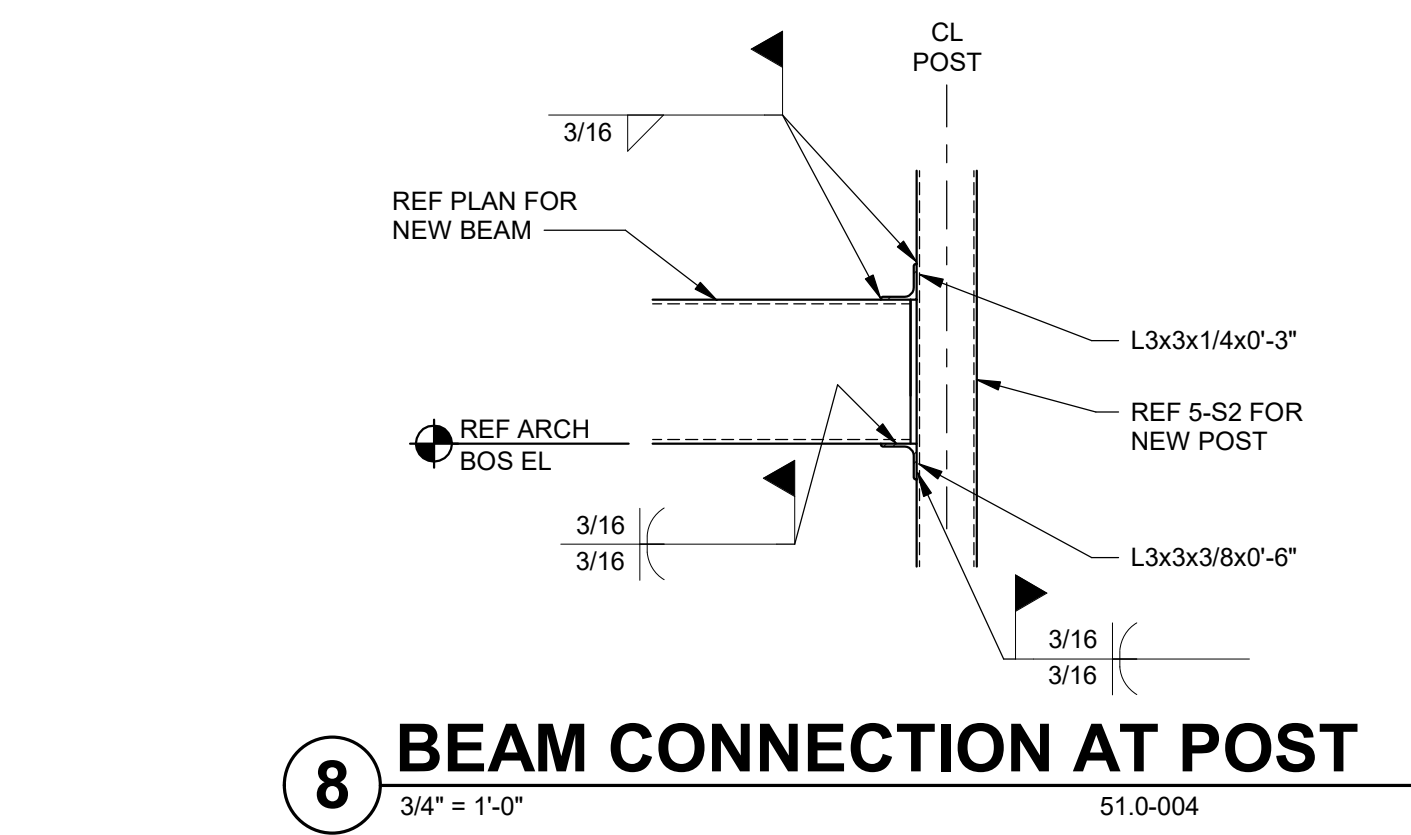
SHEET: **S2**



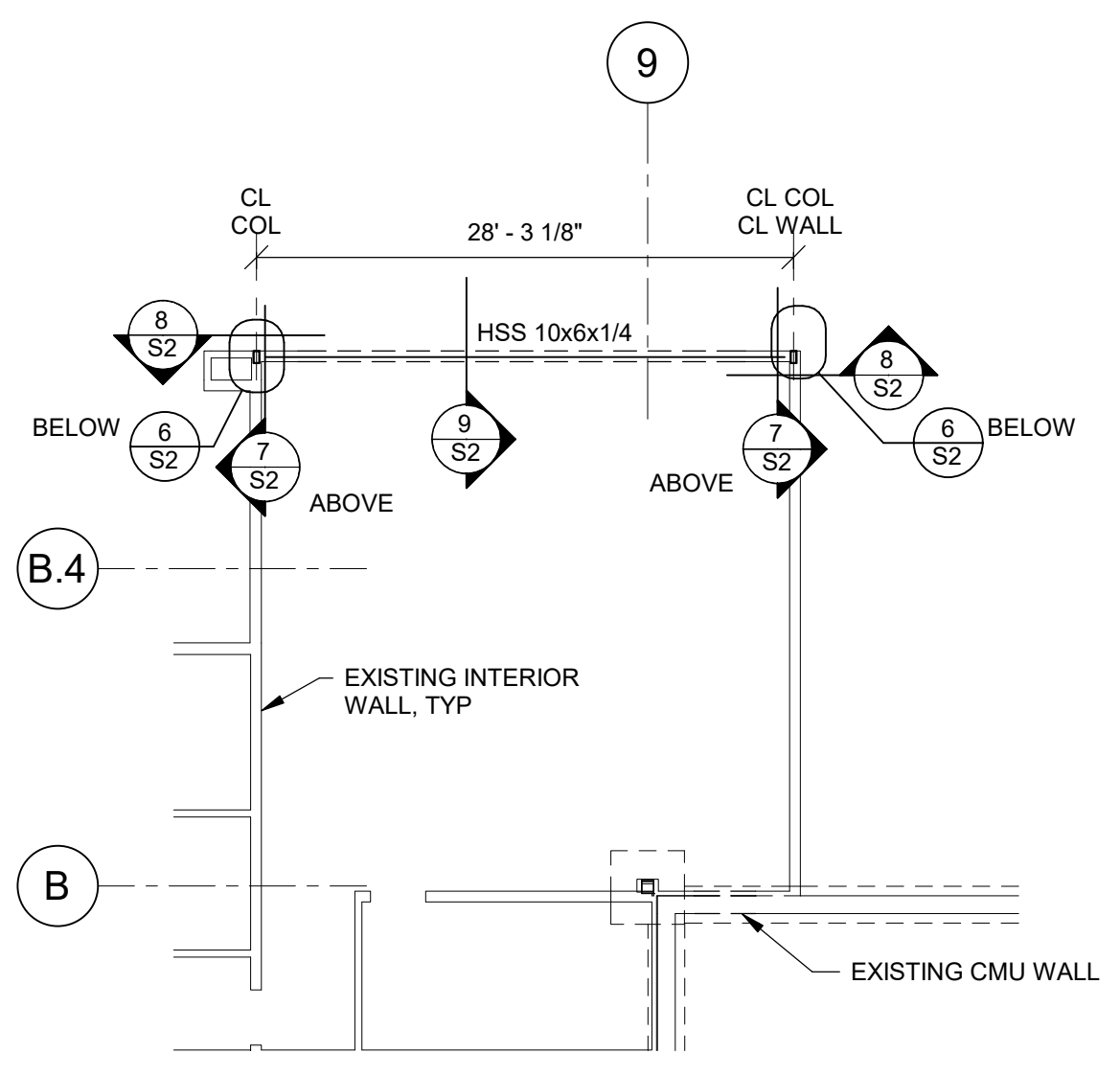
**7 POST AT EXISTING ROOF**  
 3/4" = 1'-0"  
 51.0-003



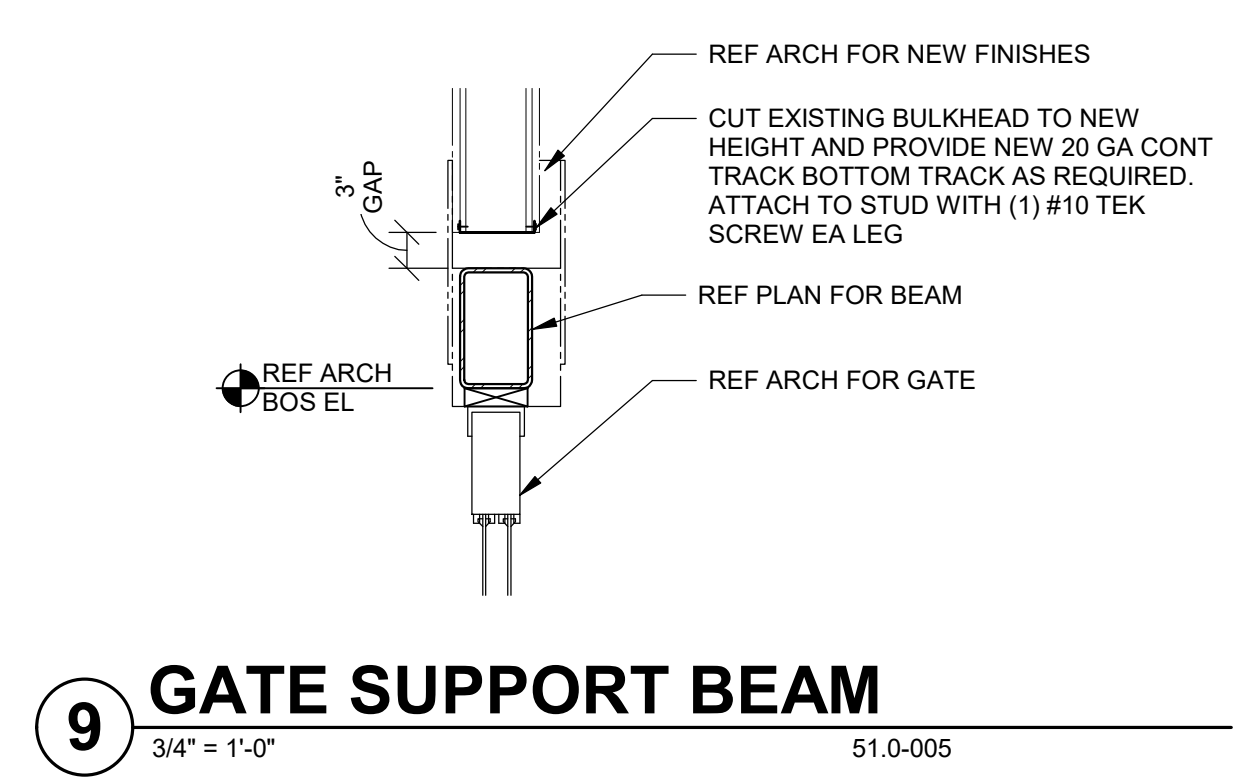
**4 AIR CURTAIN SUPPORT**  
 3/4" = 1'-0"



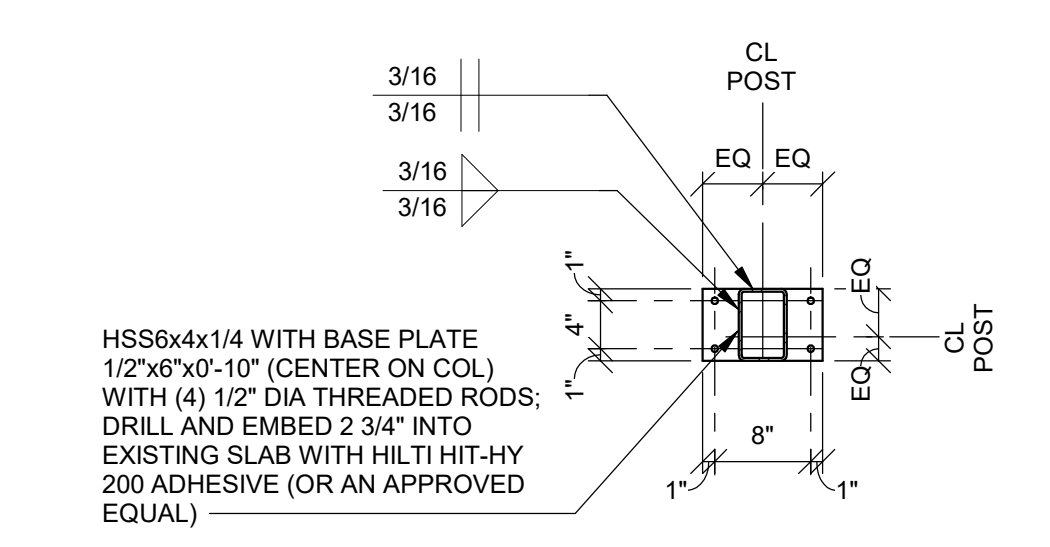
**8 BEAM CONNECTION AT POST**  
 3/4" = 1'-0"  
 51.0-004



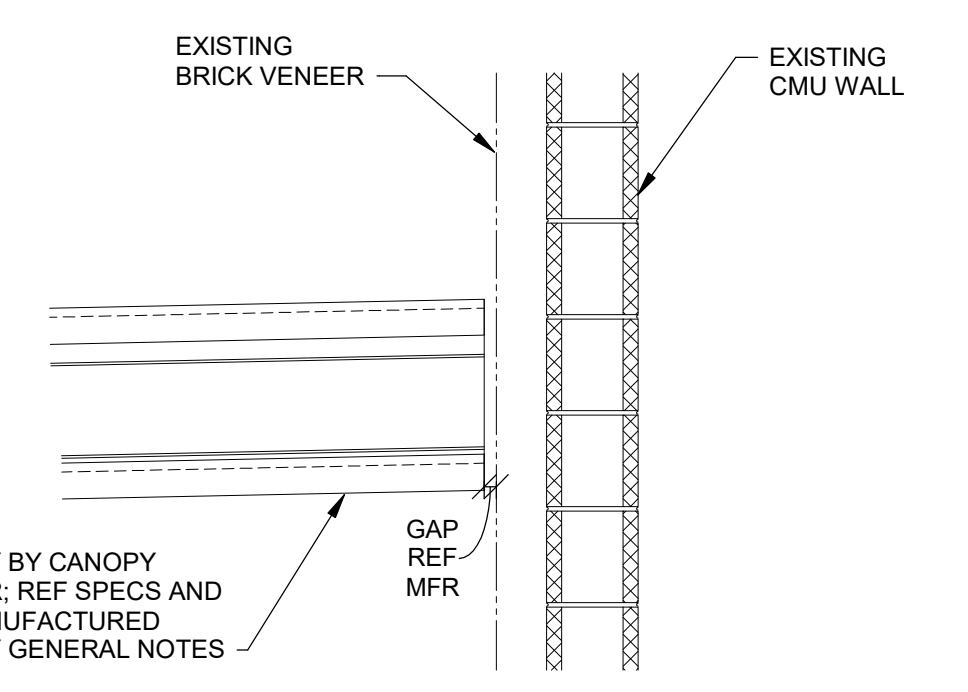
**5 VISION CENTER GATE PLAN**  
 1" = 10'-0"



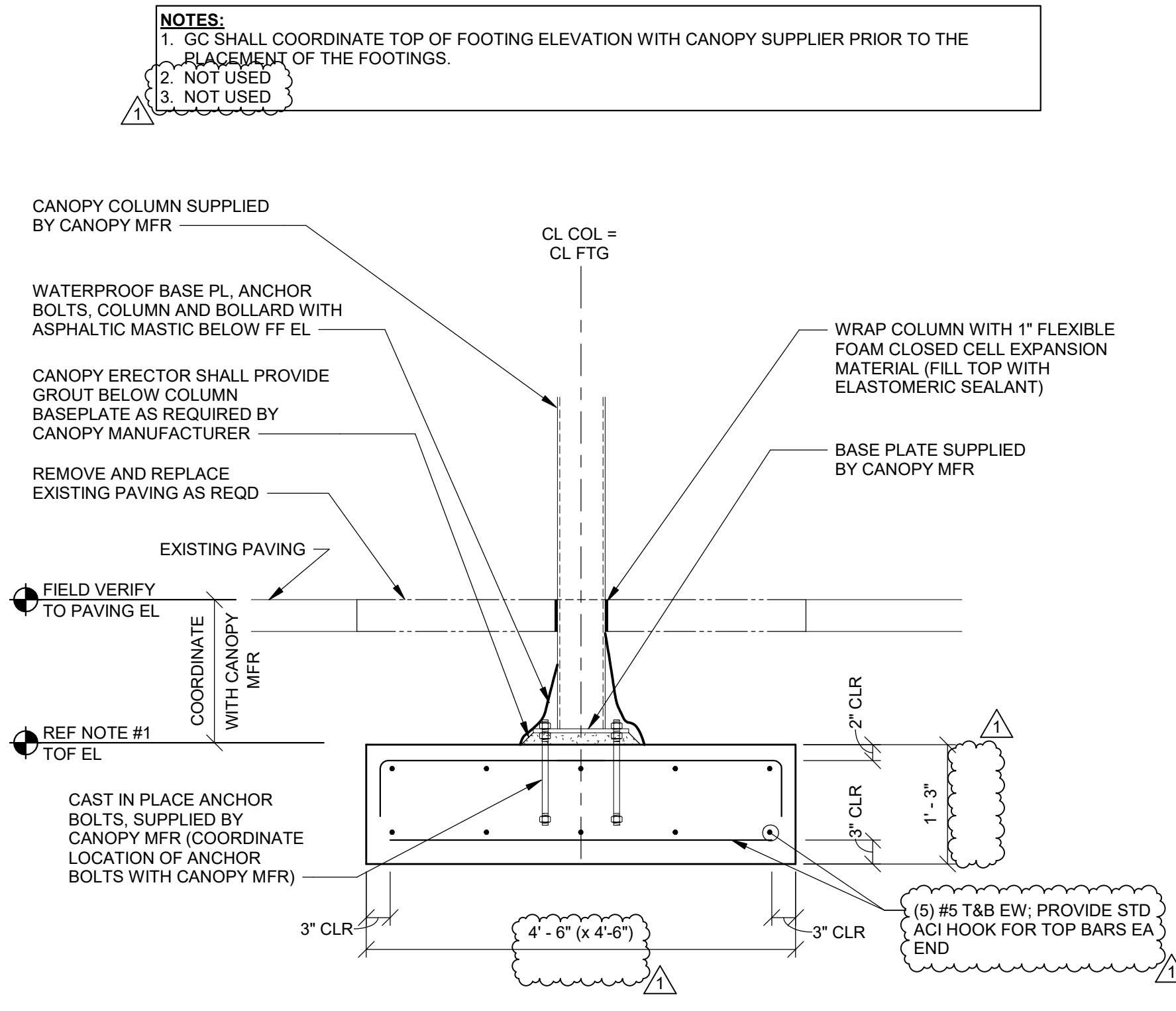
**9 GATE SUPPORT BEAM**  
 3/4" = 1'-0"  
 51.0-005



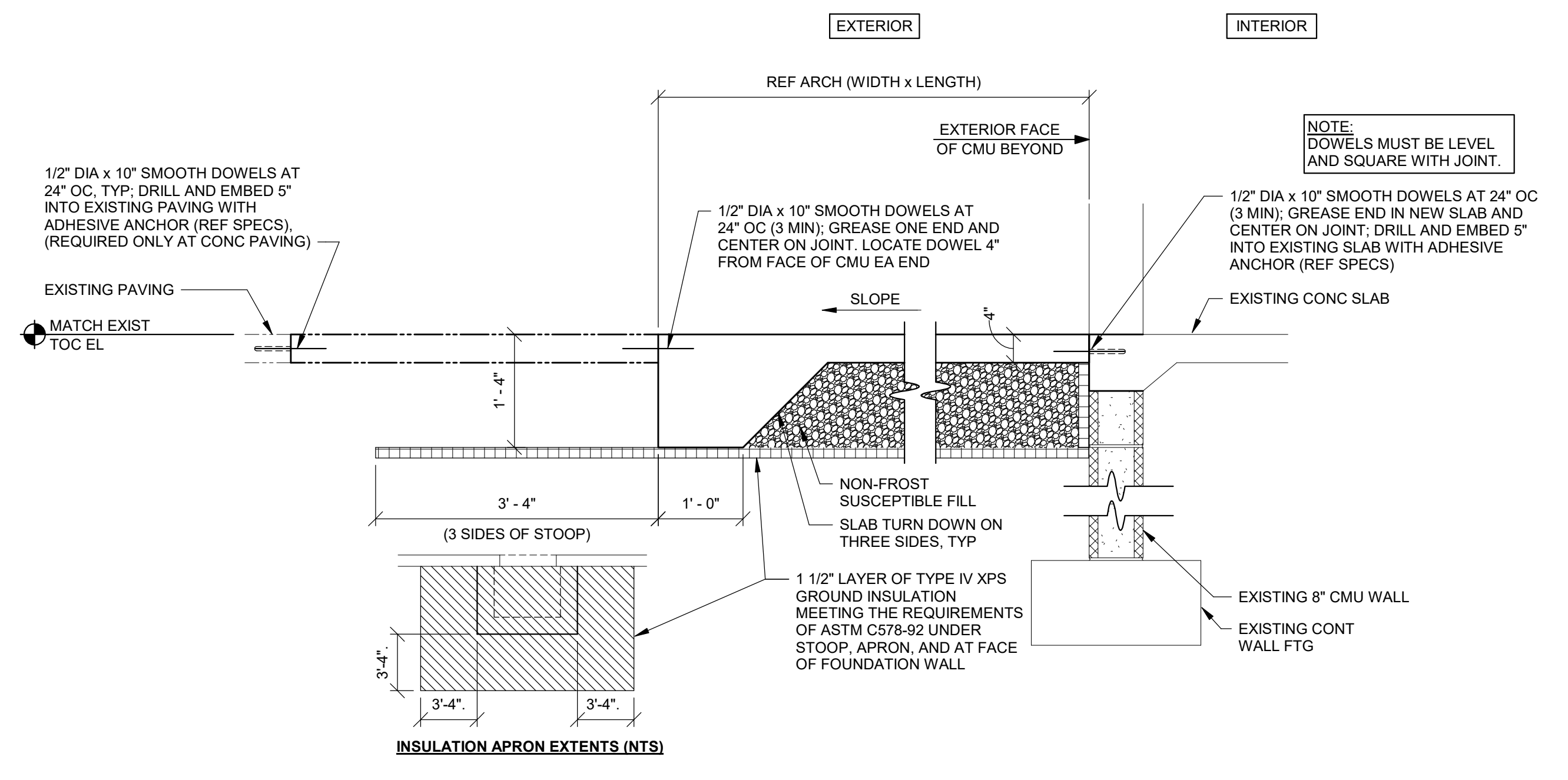
**6 BASE PLATE AT EXISTING SLAB**  
 3/4" = 1'-0"



**3 CANOPY AT EXISTING CMU WALL**  
 3/4" = 1'-0"  
 8.3-3



**2 ASSOCIATE CANOPY COLUMN FOOTING**  
 3/4" = 1'-0"  
 8.3-2



**1 SLAB AT OPENING WITH STOOP**  
 3/4" = 1'-0"  
 4.0-7

**NOTES:**  
 1. GC SHALL COORDINATE TOP OF FOOTING ELEVATION WITH CANOPY SUPPLIER PRIOR TO THE PLACEMENT OF THE FOOTINGS.  
 2. NOT USED  
 3. NOT USED



























**PARKING DATA TABLE**

EXISTING PARKING COUNT = 801 SPACES  
 EXISTING BUILDING AREA = 169,426 SF  
 EXISTING PARKING RATIO = 4.73 SP/1,000 SF

AHJ REQUIRED PARKING RATIO = 4 SP/1,000 SF  
 AHJ REQUIRED PARKING COUNT = 678 SPACES

PARKING COUNTS AND BUILDING SF SHALL BE CONSIDERED APPROXIMATE

NOTE: STOP SIGNS AND PAVEMENT MARKINGS REFLECT ON SITE CONDITIONS AT THE TIME OF CEC'S SITE VISIT. CONTRACTOR SHALL NOTIFY THE WALMART CONSTRUCTION MANAGER IF EXISTING CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN.

IMAGE SOURCE: NEARMAP

IMAGE DATE: 07/06/2023

**SITE AND DEMOLITION LEGEND**

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
  - (B) EXISTING STOP SIGN TO BE REMOVED.
  - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
  - (D) EXISTING SIGN POST AND BASE TO REMAIN.
  - (E) EXISTING CROSSWALK TO BE REMOVED.
  - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
  - (G) EXISTING CENTERLINE STRIPING AND/OR SINGLE YELLOW STRIPE TO BE REMOVED.
  - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
  - (I) NEW 30"x30" STOP SIGN.
  - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
  - (L) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
  - (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
  - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 13'-8" WHITE STRIPE PERPENDICULAR TO DIRECTION OF TRAFFIC. SEE NOTE FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED, INCLUDING: NO PARKING FIRE LANE AND/OR RED STRIPE TO MATCH EXISTING.
  - (P) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
  - (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
  - (R) EXISTING STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE TO BE REMOVED.
  - (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
  - (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
  - (U) EXISTING FIRE LANE STRIPING AND/OR "NO PARKING FIRE LANE" TEXT TO REMAIN / BE REFRESHED.
  - (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE.
  - (W) EXISTING STOP SIGN TO REMAIN / BE REUSED.
  - (X) EXISTING SIGN TO BE RAISED/OR LOWERED / STRAIGHTENED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES.
  - (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
  - (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
  - (a) EXISTING PICKUP SIGN ATTACHED TO ROW SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.
  - (b) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
  - (c) NEW OGP CROSSWALK MARKINGS - SEE DETAIL.
  - (d) EXISTING CROSSWALK AREA (YIELD PAVEMENT MARKINGS AND CROSSWALK STRIPING) TO BE REMOVED AND THEN RESEALED COMPLETELY.
  - (e) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / RE-USED / RELOCATED.
  - (f) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (h) EXISTING CROSSWALK TO REMAIN / BE REFRESHED.
  - (i) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS AND/OR "ENTER", "EXIT", "ONLY" TEXT TO REMAIN / BE REFRESHED.
  - (j) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
  - (m) NEW DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
  - (n) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.
  - (o) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 4'-0" O.C.
  - (p) NEW CROSS-TRAFFIC DOES NOT STOP PLAQUE.
  - (t) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
  - (u) EXISTING 4" WIDE DOUBLE YELLOW, YELLOW OR WHITE SINGLE AND/OR WHITE AND/OR YELLOW DASHED STRIPE TO REMAIN / BE REFRESHED.
  - (w) EXISTING FOLIAGE THAT IMPEDES VISIBILITY OF DRIVE AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
  - (x) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
  - (y) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.
  - (z) EXISTING PICKUP SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.

**WALMART SUPERCENTER  
 #05927-220**

CONTRACTOR TO REFER TO SHEET SECP-1 FOR ADDITIONAL IMPROVEMENTS ALONG BFR

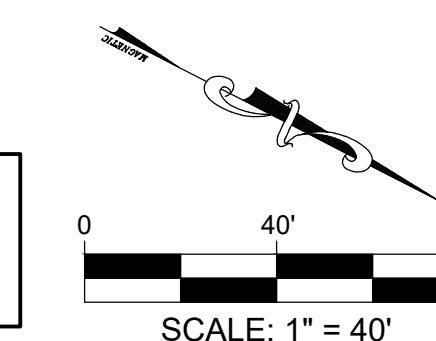
**NOTES TO GENERAL CONTRACTOR:**

1. STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDE AND REAR OF STORE).
2. DO NOT STRIPE/REFRESH IF SIMILAR WORK WAS COMPLETED WITHIN LAST YEAR. CONFIRM WITH CONSTRUCTION MANAGER.

- NOTES TO CONTRACTOR:**
1. BFR (BUILDING FRONTAGE ROAD)  
 OCR (OUTER CIRCULATION ROAD)
  2. CONTRACTOR SHALL INSTALL "NEW" STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
  3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
  4. ALL LIGHT POLES BASES SHALL BE REPAINTED, AND BOLT COVERS REPLACED WHERE MISSING OR DAMAGED. PREVIOUS OR NEW OVERSPRAY ON SURROUNDING PAVING SHALL BE REMOVED. SEE ARCHITECTURAL SPECIFICATION SECTION 09900 FOR ADDITIONAL INFORMATION.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



**STOP SIGNS AND MARKINGS**

**REVISIONS**

1		
2		
3		
4		

bleng.com  
 TELEPHONE: (630) 239-4751  
**BFA**  
 Engineering & Surveying  
 WASHINGTON, MISSOURI 63090  
 103 ELM STREET

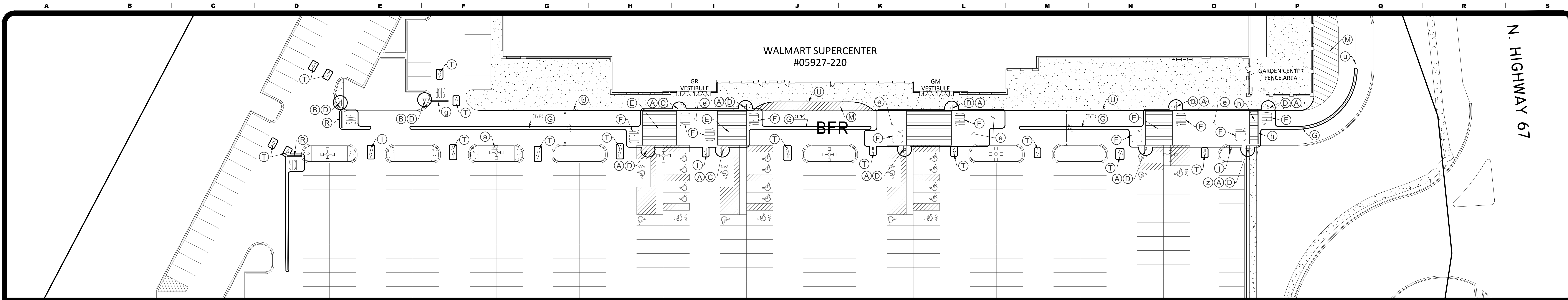
10/20/2023  
 Rick Rogers  
 Registered Professional Engineer for State of Missouri  
 BFA, Inc. Professional Engineering Corporation #000472

**Walmart** #05927-220  
 3390 N. Highway 67  
 Florissant, St. Louis County, Missouri  
 Walmart, Inc. c. 2608 SE J Street  
 Bentonville, AR 72716

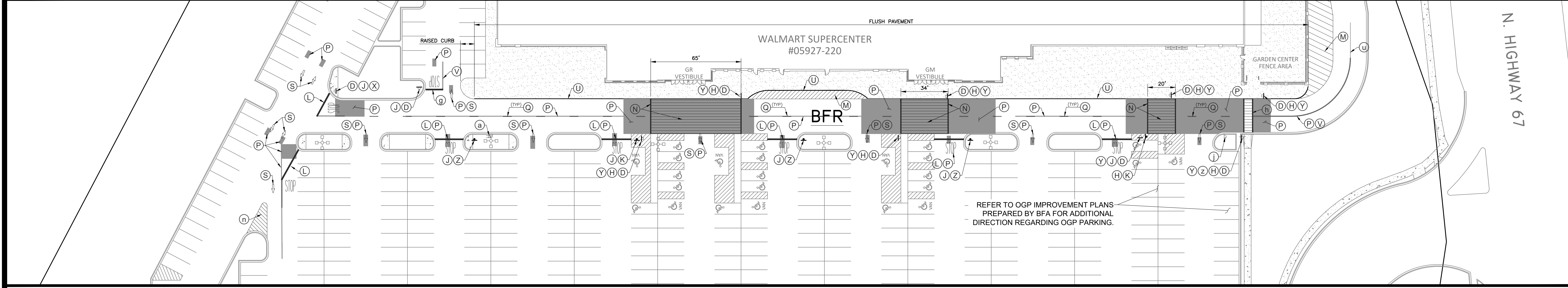
DRAWN	S.A.M.
CHECKED	R.G.R.
DATE	10/20/23
SCALE	1" = 40'
JOB No.	7716
SHEET NAME	

**SSM-1**





## DEMOLITION PLAN



## SITE CONSTRUCTION PLAN

NOTE:  
REFERENCE ARCHITECTURAL PLANS FOR  
BOLLARD LOCATIONS, TEXTURED  
CONCRETE AND DETAILS.

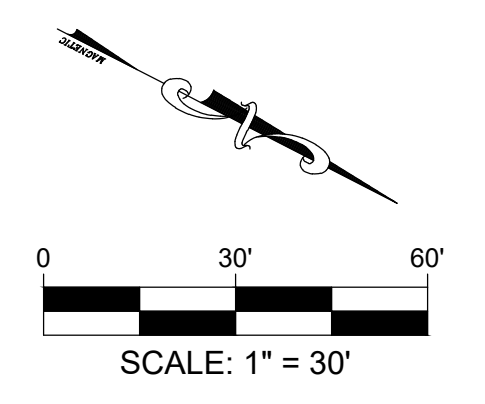
- NOTES TO CONTRACTOR:**
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

## SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- |  |  |
|--|--|
| (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.   | (G) EXISTING PICKUP SIGN ATTACHED TO ROW SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.   |
| (B) EXISTING STOP SIGN TO BE REMOVED.  | (H) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK-AWAY POSTS, AND BASES.  |
| (C) EXISTING SIGN POST AND BASE TO BE REMOVED.   | (I) NEW OGP CROSSWALK MARKINGS - SEE DETAIL.   |
| (D) EXISTING SIGN POST AND BASE TO REMAIN.   | (J) EXISTING CROSSWALK AREA (YIELD PAVEMENT MARKINGS AND CROSSWALK STRIPING) TO BE REMOVED AND THEN RESEALED COMPLETELY.                                   |
| (E) EXISTING CROSSWALK TO BE REMOVED.  | (K) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / RE-USED / RELOCATED.   |
| (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.   | (L) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.   |
| (G) EXISTING CENTERLINE STRIPING AND/OR SINGLE YELLOW STRIPE TO BE REMOVED.  | (M) EXISTING CROSSWALK TO REMAIN / BE REFRESHED.   |
| (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.  | (N) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS; AND/OR "ENTER", "EXIT", "ONLY" TEXT TO REMAIN / BE REFRESHED. |
| (I) NEW 30"x30" STOP SIGN.   | (O) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.  |
| (J) NEW SIGN MOUNTING AND BASE WITH BOLLARD.   | (P) NEW DOUBLE SIGN MOUNTING, BREAK-AWAY POSTS, AND BASES.   |
| (K) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.   | (Q) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.   |
| (L) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.   | (R) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 4'-0" O.C.   |
| (M) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1) 8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPPED, INCLUDING "NO PARKING FIRE LANE" AND/OR RED STRIPE TO MATCH EXISTING. | (S) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.  |
| (N) LIMITS OF SEAL COAT: APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.   | (T) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.  |
| (O) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.  | (U) EXISTING 4" WIDE DOUBLE YELLOW, YELLOW OR WHITE SINGLE AND/OR WHITE AND/OR YELLOW DASHED STRIPE TO REMAIN / BE REFRESHED.                              |
| (P) EXISTING STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE TO BE REMOVED.  | (V) EXISTING FOLIAGE THAT IMPEDES VISIBILITY OF DRIVE AND/OR SIGNAGE TO BE TRIMMED / PRUNED.   |
| (Q) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.   | (W) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.  |
| (R) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.  | (X) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.  |
| (S) EXISTING FIRE LANE STRIPING AND/OR "NO PARKING FIRE LANE" TEXT TO REMAIN / BE REFRESHED.   | (Y) EXISTING PICKUP SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.  |
| (T) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE.  |  |
| (U) EXISTING STOP SIGN TO REMAIN / BE REVISED.   |  |
| (V) EXISTING SIGN TO BE RAISED / OR LOWERED / STRAIGHTENED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES.  |  |
| (W) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.  |  |
| (X) EXISTING SIGN MOUNTING AND BASE WITH BREAK AWAY POST.  |  |

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

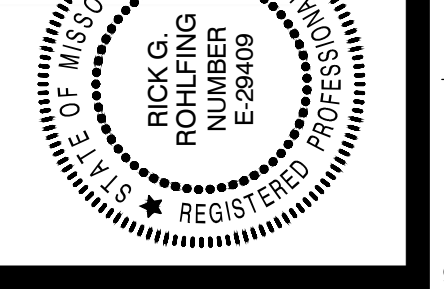
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



REVISIONS	
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2	
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TELEPHONE: (636) 239-4751  
**BFA**  
 Engineering & Surveying  
 103 ELM STREET  
 WASHINGTON, MISSOURI 63090

*Rick Rogers*  
 Rick G. Rogers, P.E. #29409  
 Registered Professional Engineer for  
 State of Missouri  
 BFA, Inc. Professional Engineering Corporation #000472



**Walmart** #05927-220  
 3390 N. Highway 67  
 Florissant, St. Louis County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

DRAWN	S.A.M.
CHECKED	
DATE	10/20/23
SCALE	1" = 30'
JOB No.	7716
SHEET NAME	

# DEMOLITION AND SITE CONSTRUCTION PLAN SECP-1

F:\Vaux\7716 Florissant MO WM Remodel 05927\7716 Plan\_Sheets\7716 Demo\_Site\_Plan.dwg 10/20/2023 10:13 AM



ACC

ACC

OGP

REFER OGP IMPROVEMENT PLANS PREPARED BY BFA FOR INFORMATION REGARDING OGP PARKING

DEMOLITION PLAN

OGP

REFER OGP IMPROVEMENT PLANS PREPARED BY BFA FOR INFORMATION REGARDING OGP PARKING

SITE CONSTRUCTION PLAN

THERE IS NOT AN ACC AT THIS LOCATION

THERE IS NOT AN ACC AT THIS LOCATION

DEMOLITION PLAN

SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED SHALL BE REMOVED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

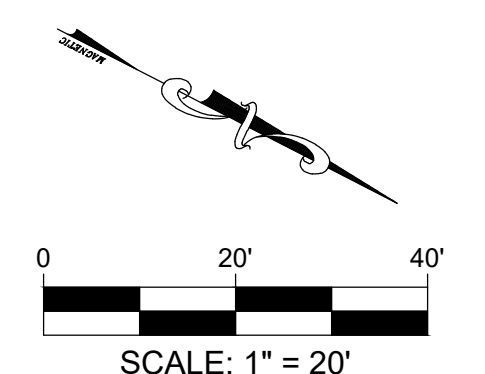
SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN.
- (E) EXISTING CROSSWALK TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING AND/OR SINGLE YELLOW STRIPE TO BE REMOVED.
- (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
- (J) NEW 30"x30" STOP SIGN.
- (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (L) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
- (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 11" WIDE WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPPED, INCLUDING "NO PARKING FIRE LANE" AND/OR RED STRIPE TO MATCH EXISTING.
- (P) LIMITS OF SEAL COAT: APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 38' GAPS.
- (R) EXISTING STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE TO BE REMOVED.
- (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
- (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (U) EXISTING FIRE LANE STRIPING AND/OR "NO PARKING FIRE LANE" TEXT TO REMAIN / BE REFRESHED.
- (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE.
- (W) EXISTING STOP SIGN TO REMAIN / BE REUSED.
- (X) EXISTING SIGN TO BE RAISED / OR LOWERED / STRAIGHTENED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES.
- (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
- (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (1) EXISTING PICKUP SIGN ATTACHED TO ROW SIGN - REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.
- (2) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
- (3) NEW OGP CROSSWALK MARKINGS - SEE DETAIL.
- (4) EXISTING CROSSWALK AREA (YIELD PAVEMENT MARKINGS AND CROSSWALK STRIPING) TO BE REMOVED AND THEN RESEALED COMPLETELY.
- (5) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / RE-USED / RELOCATED.
- (6) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
- (7) EXISTING CROSSWALK TO REMAIN / BE REFRESHED.
- (8) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS; AND/OR "ENTER", "EXIT", "ONLY" TEXT TO REMAIN / BE REFRESHED.
- (9) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
- (10) NEW DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
- (11) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.
- (12) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 4'-0" O.C.
- (13) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
- (14) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
- (15) EXISTING 4" WIDE DOUBLE YELLOW, YELLOW OR WHITE SINGLE AND/OR WHITE AND/OR YELLOW DASHED STRIPE TO REMAIN / BE REFRESHED.
- (16) EXISTING FOULAGE THAT IMPEDES VISIBILITY OF DRIVE AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
- (17) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
- (18) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (19) EXISTING PICKUP SIGN - REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



REVISIONS	
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TELEPHONE: (636) 239-4751  
 bfaeng.com  
**BFA**  
 Engineering • Surveying  
 103 ELM STREET  
 WASHINGTON, MISSOURI 63090

*Rick Forst*  
 Rick G. Forst, P.E. #29409  
 Registered Professional Engineer for State of Missouri  
 BFA, Inc. Professional Engineering Corporation #000472  
 10/20/2023

**Walmart** #05927-220  
 3390 N. Highway 67  
 Florissant, St. Louis County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

DRAWN	S.A.M.
CHECKED	R.G.R.
DATE	10/20/23
SCALE	1"=20'
JOB No.	7716
SHEET NAME	

DEMOLITION AND SITE CONSTRUCTION PLAN **SECP-2**

F:\Visual\7716 Florissant MO WM Remodel\05927\7716 Demo Site Plan.dwg 10/20/2023 10:13 AM





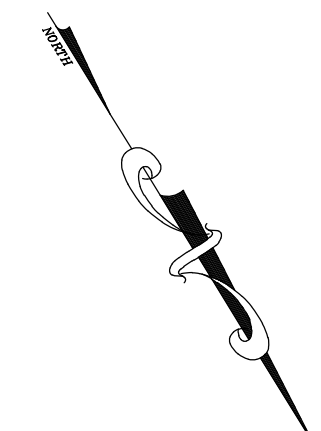
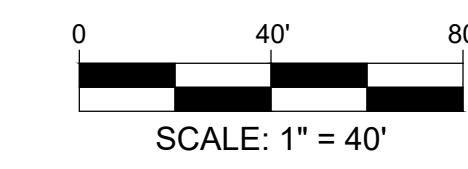






# OVERALL SITE PLAN

(IMAGE BASED ON GOOGLE MAPS AERIAL)



NOTES:  
BFA ENGINEERING'S SCOPE OF WORK FOR REVISED SITE PLAN INCLUDES DESIGN AND IMPROVEMENTS WHICH ARE LIMITED ONLY TO HIGHLIGHTED AREAS. ORIGINAL PROVIDED SITE PLAN WAS DESIGNED BY OTHERS AND/OR AERIAL PHOTO TAKEN FROM GOOGLE.

PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO SCALE.

ACTUAL SITE FEATURES MAY BE DIFFERENT THAN THOSE SHOWN ON THIS AERIAL PHOTO, INCLUDING BUT NOT LIMITED TO PARKING, UTILITIES, LANDSCAPING, LIGHTING, SIDEWALKS, ETC.

PICKUP DIRECTIONAL SIGNAGE HAS ALREADY BEEN INSTALLED ON THIS SITE. NEW WALMART BLUE SIGNS, POSTS, AND BASES ARE REQUIRED.



### CONSTRUCTION COORDINATION

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

DEWATERING NOTE: WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE, AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFIC SPECIFICATIONS.

### PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	
WAITING SPACES RIGHT	18 X 24	
WAITING SPACES AHEAD	18 X 24	
RESERVED WAITING	18 X 24	
PICKUP LEFT PHARMACY RIGHT	18 X 24	
PICKUP RIGHT PHARMACY LEFT	18 X 24	
STOP THANKS FOR ORDERING	18 X 36	
PICKUP HOURS	18 X 36	
RESERVED	18 X 18	
PHONE NUMBER	8 X 18	
VERTICAL PICKUP	18 X 36	
PICKUP LEFT	18 X 24	1
PICKUP AHEAD	18 X 24	
PICKUP RIGHT	18 X 24	
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	1
TEMPORARY PARKING SIGN WITH PYRAMID BASE	24 X 60	

CONTRACTOR SHALL REMOVE PAVEMENT, BASE MATERIALS, AND SPOIL MATERIALS IMMEDIATELY FROM THE SITE IN A MANNER MEETING SITE SPECIFIC SPECIFICATIONS AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. STOCKPILING OF THESE MATERIALS ON THE SITE IS PROHIBITED.

### CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

REVISIONS	
1	
2	
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4	

TELEPHONE: (636) 239-4751  
**BFA**  
 Engineering-Surveying  
 103 ELM STREET  
 WASHINGTON, MISSOURI 63090

10/20/23  
 Rick C. Rohlfing, P.E. #29409  
 Registered Professional Engineer for  
 BFA, Inc. Professional Engineering Corporation #000472

**Walmart** #05927-220  
 3390 N HWY 67  
 Florissant, St. Louis County, Missouri  
 Walmart, Inc. 2608 SE J Street  
 Bentonville, AR 72716

DRAWN  
 C.M.W.  
 CHECKED  
 R.G.R.  
 DATE  
 10/20/2023  
 SCALE  
 1" = 40"  
 JOB No.  
 7716A  
 SHEET NAME  
 OVERALL SITE PLAN

OSP-1



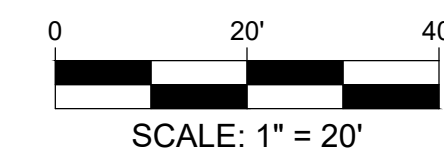
# EXISTING CONDITIONS / DEMOLITION PLAN

WALMART SUPERCENTER  
#05927-220  
F.F.E. ~ 515.00

# STRIPING / SITE PLAN

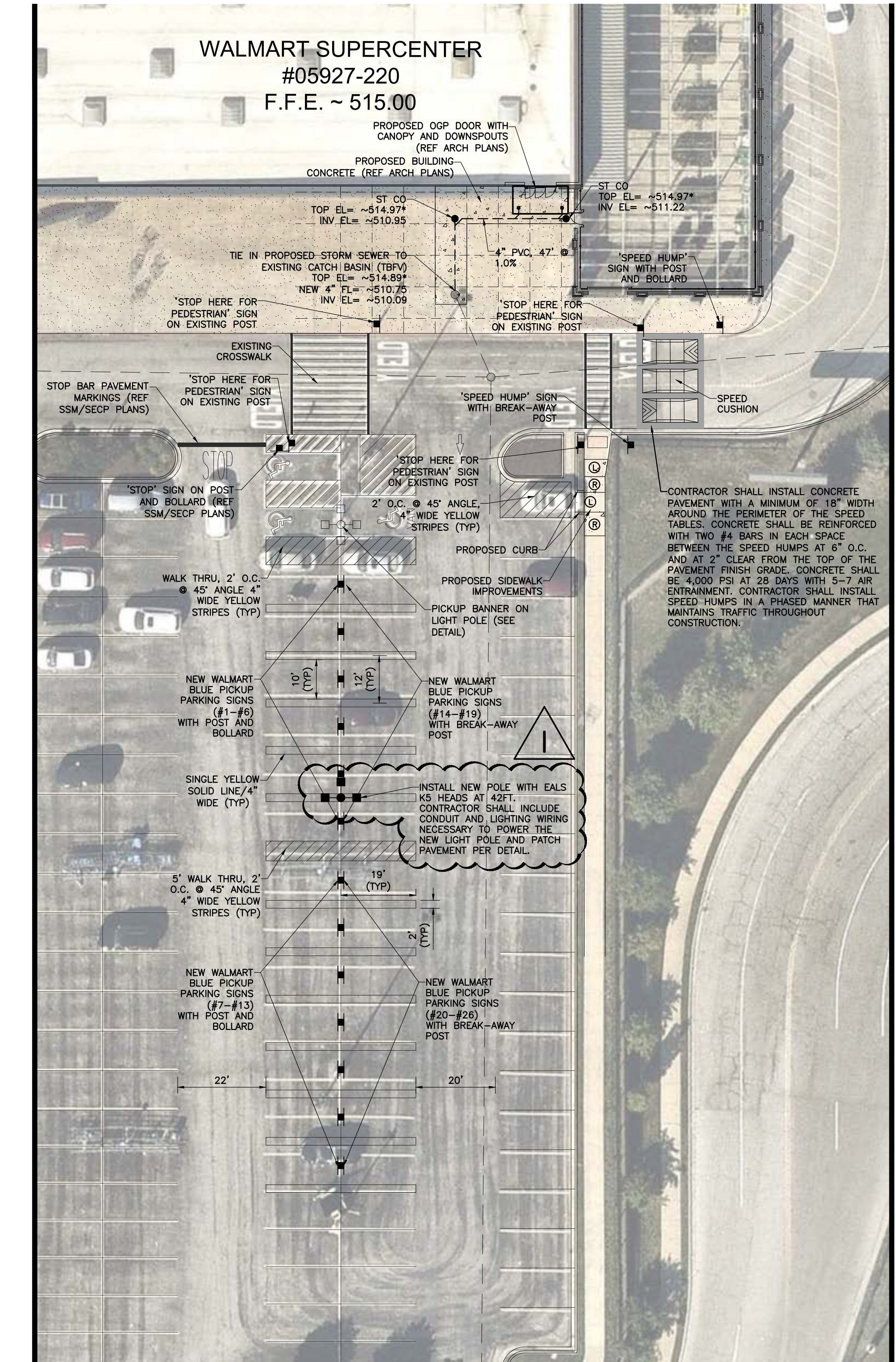
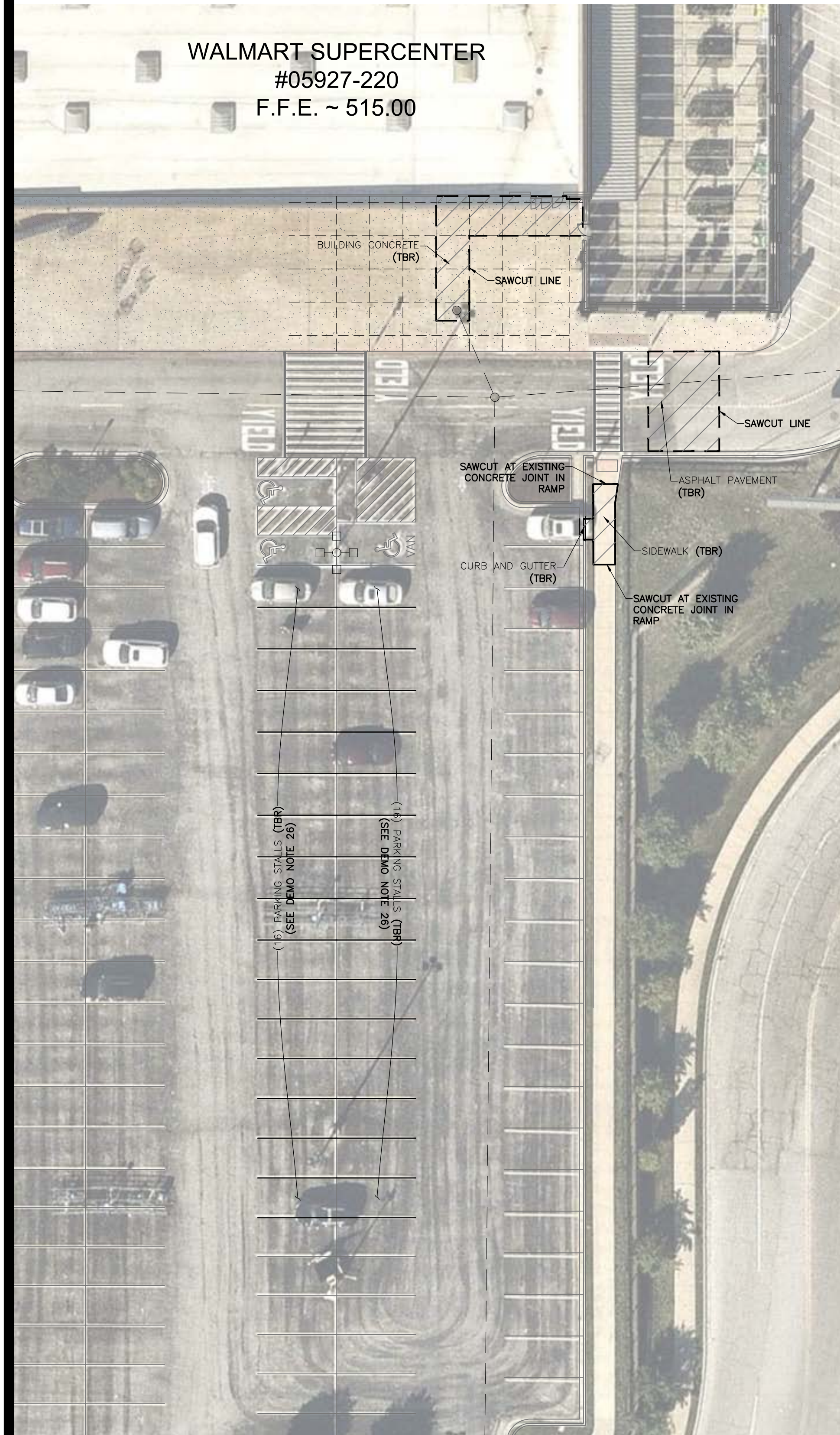
WALMART SUPERCENTER  
#05927-220  
F.F.E. ~ 515.00

# OGP IMPROVEMENT PLAN



### REVISIONS

PR #	DATE	BY	APP.
1	01/19/24	App: [Signature]	App: [Signature]
2			
3			
4			



### EXISTING CONDITIONS NOTES:

- BFA performed a site visit on 09/20/2023 for this project as part of the P24 Remodel Program. BFA did not measure pavement elevations, grades, or conditions, and we did not review or determine if there were any existing utilities that may be within this project's scope of work during this site visit.
- Contractor shall determine exact location of underground utilities prior to drilling, boring, excavating, or driving for columns, footings, signs, proposed utilities, etc. Contractor shall notify BFA and Walmart Construction Manager immediately of any conflicts with proposed improvements as indicated on these plans.

### DEMOLITION PLAN NOTES:

- The Contractor shall conform to all applicable state and local codes for demolition of structures, safety of adjacent structures, dust control, and sediment and erosion control during construction.
- The Contractor shall verify that all required permits and licenses from appropriate authorities have been obtained prior to construction.
- The Contractor shall notify and coordinate scheduling with affected utility companies before starting work and comply with their requirements.
- The Contractor shall not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- The Contractor shall accurately record actual locations of capped utilities and subsurface obstructions that will remain after demolition.
- The Contractor shall provide, erect, and maintain sediment and erosion control devices, temporary barriers, and security devices during construction.
- The Contractor shall protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Any damage caused by demolition operations shall be repaired by the Contractor at no cost to Owner.
- The Contractor shall protect and maintain in a safe and operable condition utilities that are to remain. The Contractor shall prevent interruption of existing utility services to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. The Contractor shall provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- The Contractor shall notify adjacent owners of work that may affect their property, potential noise, utility outages or disruptions.
- Completely fill below grade areas and voids resulting from demolition or removal of structures, and/or utilities, using approved select fill materials consisting of stone, gravel, and sand. Fill materials shall be free from debris, trash, frozen materials, roots, and other organic matter.
- All items that are to remain shall be raised or lowered to match the new grade indicated to be flush with the surrounding pavement. (i.e. manhole rims, valve covers, grates, etc.) Contractor shall protect all items that are to remain throughout construction and shall replace and/or repair any item damaged during construction at no additional cost to the owner.
- Unless noted otherwise, utilities designated to be removed shall be removed in their entirety. Trenches shall then be backfilled and compacted as per the site work specifications.
- Should hazardous materials be found during demolition operations, the Contractor shall notify the owner and all governing agencies, if necessary, and conform to all applicable regulatory procedures.
- The Contractor shall provide, install, and maintain traffic control at all times during construction. This includes signs, barriers, construction fencing, striping, etc. necessary to safely control site traffic.
- The Contractor shall keep the premises clean and free of debris during construction.
- The Contractor shall maintain pedestrian safe access between the building and the parking lot at all times during construction. The Contractor shall coordinate all work which may affect customer access to the store with the Walmart Store Manager and the Walmart Construction Manager.
- The fire protection for the site shall remain in service at all times during construction.
- All survey monuments disturbed during construction shall be replaced by a licensed land surveyor, licensed in the state where this project is located.
- The edges of all pavement and curb sections to be removed shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. Depending on Contractors Means and Methods, this may mean more than one sawcut will be necessary. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of debris will not be permitted.
- The site work for this project shall meet or exceed "The Site Specific Specifications".
- The Contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in the low areas on the site may be required during construction.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- The demolition plan is intended to provide general information, only, regardless items to be demolished and/or removed. The contractor must also review the other site plan drawings and include in demolition activities all incidental work necessary for the construction of the new site improvements.
- Contractor shall determine exact location of underground utilities prior to drilling, boring, excavating, or driving for columns, footings, signs, proposed utilities, etc. Contractor shall notify BFA and Walmart Construction Manager immediately of any conflicts with proposed improvements as indicated on these plans.
- Contractor shall compact subgrade and pavement/sidewalk base material prior to placing new pavement and/or sidewalk. Pavement and sidewalk section shall match existing thicknesses unless otherwise shown on these plans. Concrete shall be 4000 PSI min.
- Striping that is to be removed shall be removed in its entirety and then have a seal coat placed over that area. Limits of seal coat: Apply coat over all striping (including where striping was removed and where new striping and pavement markings will be applied). Apply new striping and pavement markings over seal coat.

### SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- BFA performed a site visit on 09/20/2023 for this project as part of the P24 Remodel Program. BFA did not measure pavement elevations, grades, or conditions, and we did not review or determine if there were any existing utilities that may be within this project's scope of work during this site visit.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The site work for this project shall meet or exceed "The Site Specific Specifications".
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions are to the face of curb and radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and signs, etc. as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- All signing and pavement striping must conform to manual on uniform traffic control devices or locally approved supplement.
- Location of existing site lighting conduit/underground wiring is not known. Contractor shall have private locate performed and reroute lighting conduit and wiring as required. Lighting shall remain operational throughout construction. Any temporary utilities shall be provided by the Contractor as needed to maintain operation of light poles.
- Contractor shall determine exact location of underground utilities prior to drilling, boring, excavating, or driving for columns, footings, signs, proposed utilities, etc. Contractor shall notify BFA and Walmart Construction Manager immediately of any conflicts with proposed improvements as indicated on these plans.
- The Contractor shall provide, install, and maintain traffic control at all times during construction. This includes signs, barriers, construction fencing, striping, etc. necessary to safely control site traffic.
- Striping that is to be removed shall be removed in its entirety and then have a seal coat placed over that area. Limits of seal coat: Apply coat over all striping (including where striping was removed and where new striping and pavement markings will be applied). Apply new striping and pavement markings over seal coat.
- The proposed OGP parking improvements as shown hereon result in a reduction of 8 parking spaces on the site.

### ADA INSTRUCTIONS TO CONTRACTOR:

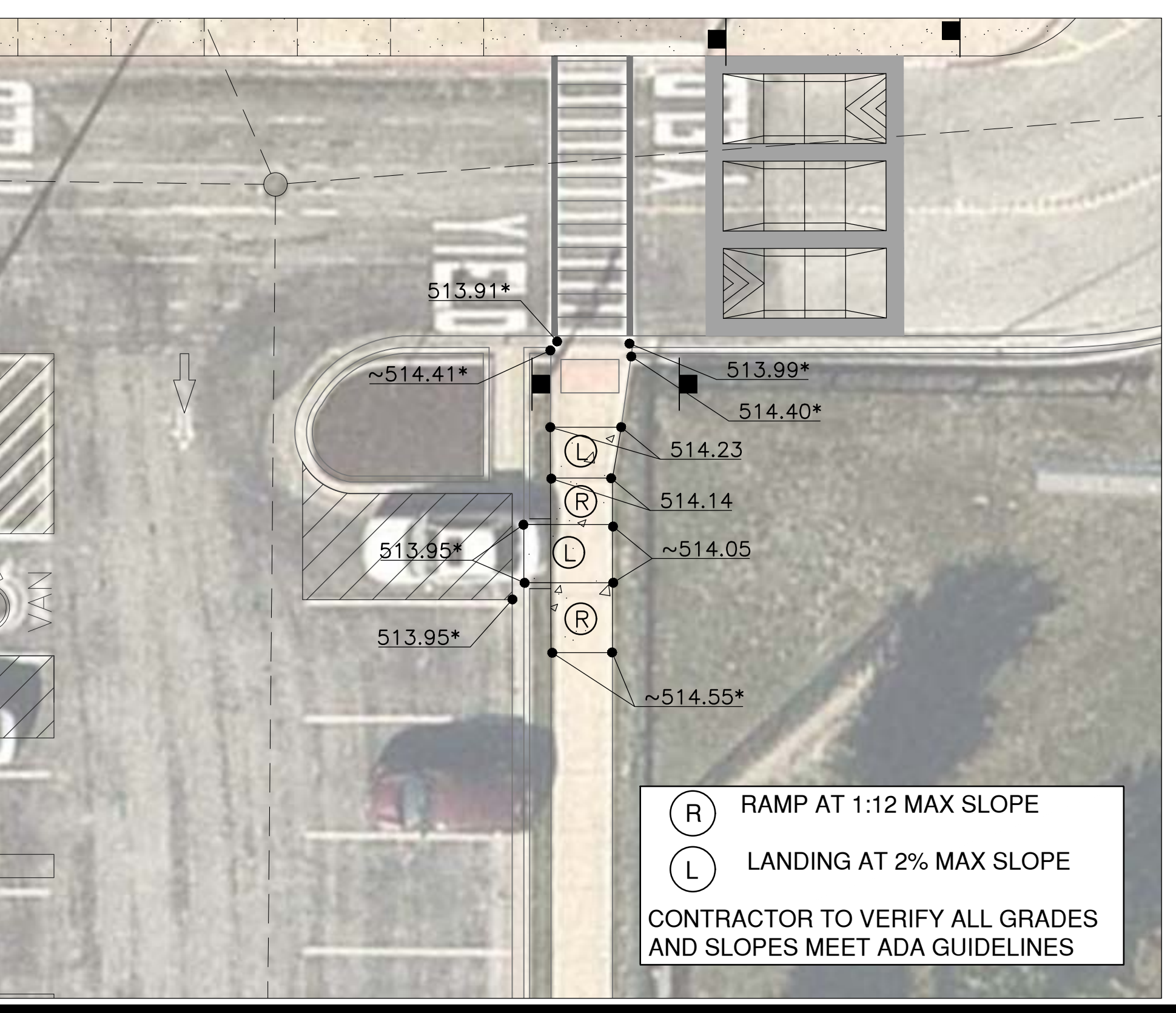
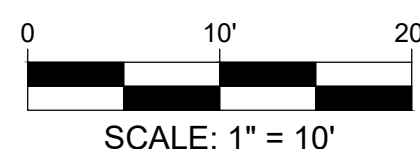
- Contractors shall exercise appropriate care and precision in construction of ADA (handicap) accessible components and access routes for the site. These components, as construction, must comply with the current ADA Standards and regulations' barrier free access and any modifications, revisions or updates to same. Finished surfaces along the accessible route of travel from parking space, public transportation, pedestrian access, inter-building access, to points of accessible building entrance/exit, must comply with these ADA code requirements. These included, but are not limited to the following:
- Parking spaces and parking aisles - slope shall not exceed 1:50 (1/4" per foot or nominally 2.0%) in any direction.
  - Curb ramps - slope shall not exceed 1:12 (8.3%). And have a rise of no more than six inches without a handrail.
  - Landings - shall be provided at each end of ramps, must provide positive drainage, and must not exceed 1:50 (1/4" per foot or nominally 2.0%) in any direction.
  - Path of travel along accessible route - must provide a 36-inch or greater unobstructed width of travel (car overhangs and/or handrails cannot reduce this minimum width). The slope must be no greater than 1:20 (5.0%). ADA ramp requirements must be adhered to. A maximum slope of 1:12 (8.3%), for a maximum rise of 2.5 feet, shall be provided. The ramp must have ADA hand rails and 60" L Landings on each end that are cross sloped no more than 1:50 in any direction (1/4" per foot or nominally 2.0%) for positive drainage.
  - Doorways - must have a "level" landing area on the exterior side of the door that is sloped away from the door no more than 1:50 (1/4" per foot or nominally 2.0%) for positive drainage. This landing area must be no less than 60 inches (5 feet) long, except where otherwise permitted by ADA Standards for alternative doorway opening conditions. (See ICC/ANSI A117.1-2009 and other referenced incorporated by COD).
  - When the proposed construction involves reconstruction, modification, revision or extension of or to ADA components from existing doorways or surfaces, contractor must verify existing elevations shown on the plan. Note that ADA 405.2 of the Department of Justice's ADA Standards for Accessible Design allows for steeper ramp slopes, in rare circumstances. The Contractor must immediately notify the design engineer of any discrepancies and/or field conditions that differ in any way or any respect from what is shown on the plans, in writing, before commencement of work. Contracted improvements must fall within the maximum and minimum limitations imposed by the barrier free regulations and the ADA requirements.
  - The Contractor must verify the slopes of the Contractor's forms prior to pouring concrete. If any non-conformance is observed or exists, Contractor must immediately notify the engineer prior to pouring concrete. Contractor is responsible for all costs to remove, repair and replace non-conforming concrete.

# EXISTING CONDITIONS / DEMOLITION PLAN

WALMART SUPERCENTER  
#05927-220



# SIDEWALK GRADING PLAN



### PARKING DATA TABLE

EXISTING PARKING COUNT = 801
EXISTING BUILDING AREA = 169,426 SF
EXISTING PARKING RATIO = 4.73
AHJ REQUIRED PARKING RATIO = 4.0 SP/1,000 SF
AHJ REQUIRED PARKING COUNT = 678
ORDINANCE #8252 REQUIRED PARKING COUNT = 811
POST OGP IMPROVEMENTS PARKING COUNT = 793
POST OGP IMPROVEMENTS BUILDING AREA = 169,426 SF
POST OGP IMPROVEMENTS PARKING RATIO = 4.69
<b>PARKING COUNTS AND BUILDING AREAS SHALL BE CONSIDERED APPROXIMATE</b>

### PAVEMENT LEGEND

	EXISTING STANDARD DUTY PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	EXISTING BUILDING & SIDEWALK CONCRETE (SEE ARCH. PLANS AND SPECS.)
	EXISTING BUILDING & SIDEWALK CONCRETE (SEE ARCH. PLANS AND SPECS.)

DESCRIPTION	LEGEND	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—	—UT—
GAS LINE	—G—	—G—	—G—
WATERLINE	—W—	—W—	—W—
SANITARY SEWER	—SS—	—SS—	—SS—
STORM SEWER	=====	=====	=====
PROPERTY LINE	—P—	—P—	—P—
CHANLINK FENCE	—CF—	—CF—	—CF—
BARBWARE FENCE	—BF—	—BF—	—BF—
CONTOURS	—(100)—	—100—	—100—
UTILITY POLE	•	•	•
GUARD POLE	•	•	•

### SPOT GRADE LEGEND

TOP OF CURB/CONCRETE	•••••000E
TOP OF PAVEMENT	•••••000P
INTERIOR PAVEMENT/ GROUND ELEVATIONS	•••••000G
GUTTER ELEVATION	•••••000G
FACE OF CURB	•••••000F
TOP OF PAVEMENT ELEVATION/MATCH EXISTING PAVEMENT ELEVATION	•••••000M

### CONSTRUCTION COORDINATION

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

**DEMATERING NOTE:** WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE, AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFIC SPECIFICATIONS.

**CONTRACTOR SHALL REFER TO SECP-1 AND SECP-2 PLAN SHEETS FOR ADDITIONAL INFORMATION AND IMPROVEMENTS**

CONTRACTOR SHALL REMOVE PAVEMENT, BASE MATERIALS, AND SPOIL MATERIALS IMMEDIATELY FROM THE SITE IN A MANNER MEETING SITE SPECIFIC SPECIFICATIONS AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. STOCKPILING OF THESE MATERIALS ON THE SITE IS PROHIBITED.

**CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES**

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

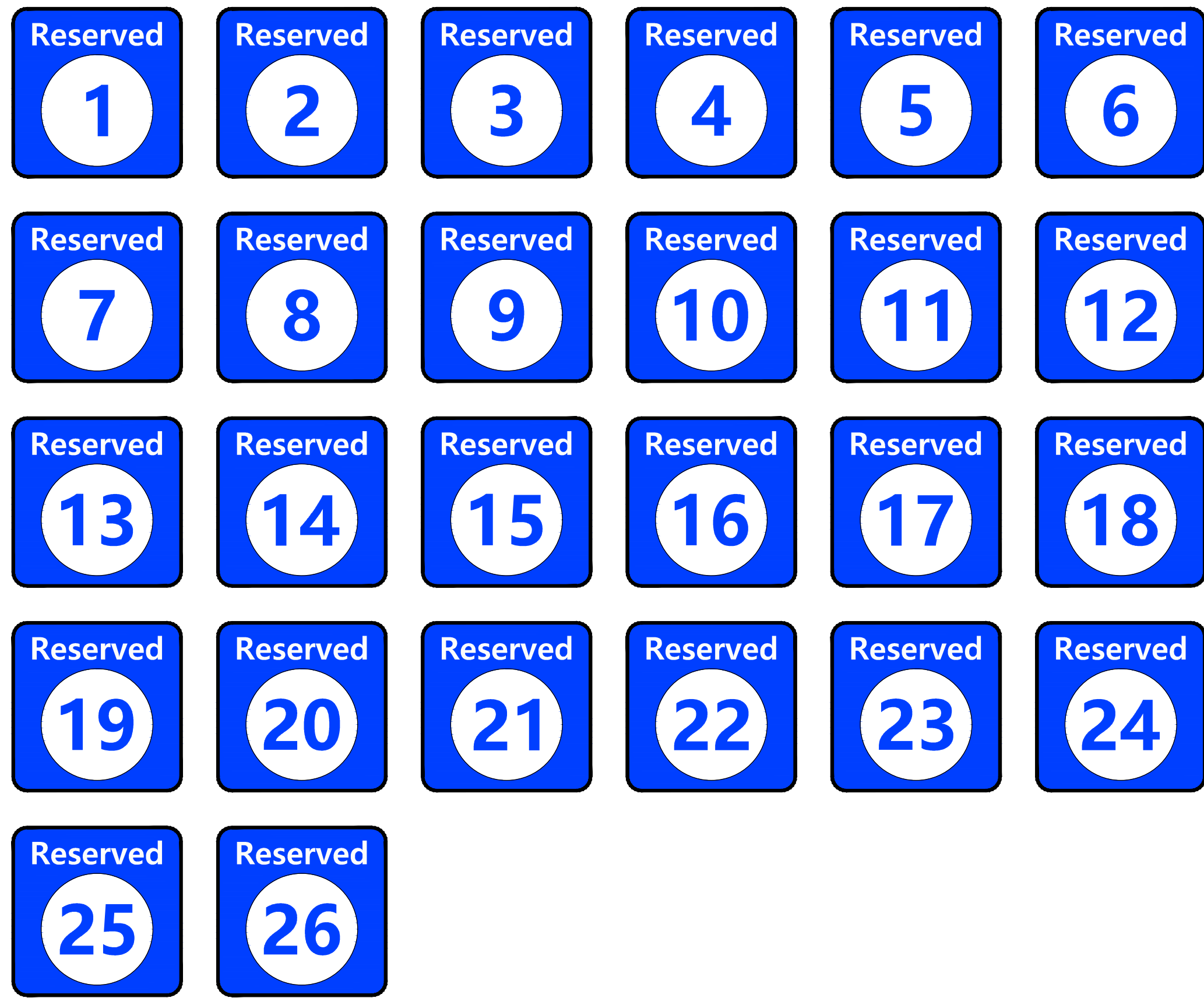
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan requirements established for the type of construction required by these plans.

**Walmart** #05927-220  
3390 N HWY 67  
Florissant, St. Louis County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

DRAWN: C.M.W.  
CHECKED: R.G.R.  
DATE: 10/20/2023  
SCALE: 1" = 20'  
JOB No.: 7716A  
SHEET NAME: OGP IMPROVEMENT PLAN

OIP-1

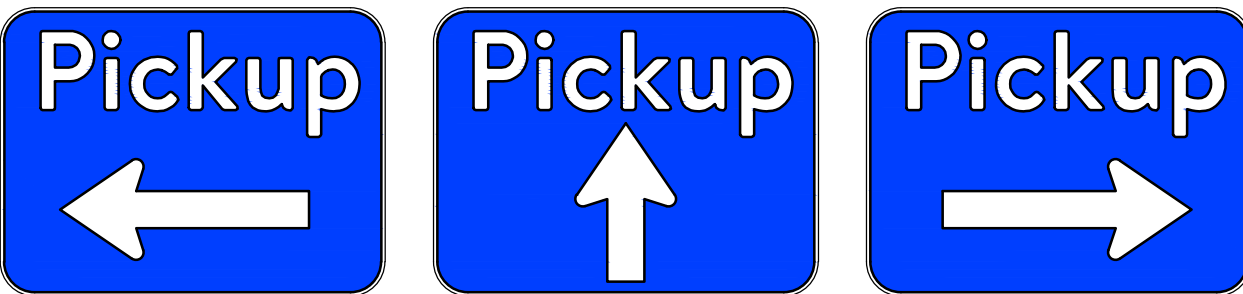




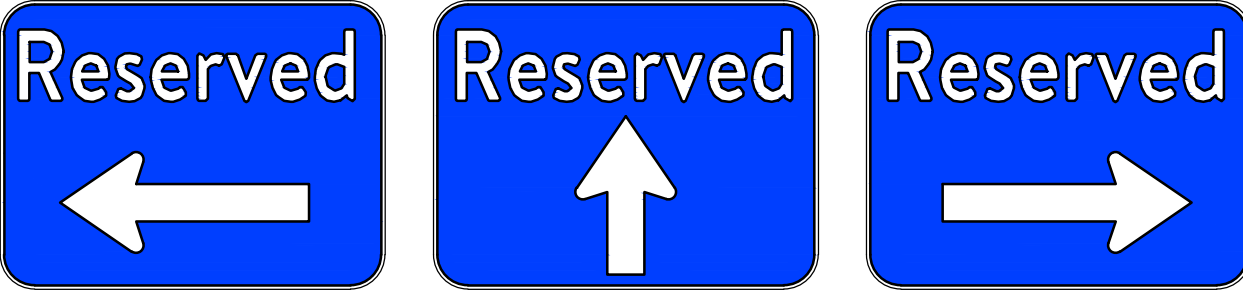
Stall Designation Signs  
18" x 18" 2.25 SF



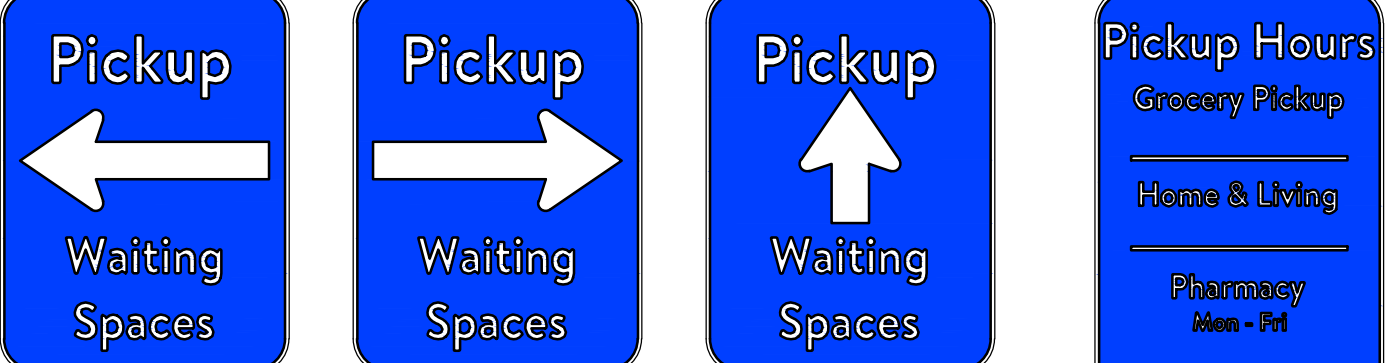
Logo Signs (Small) 18" x 8" 1.00 SF  
Logo Signs (Large) Also Pickup Hours sign size 36" x 18" 4.50 SF  
\*NTD: Use if AHJ does not allow Spark



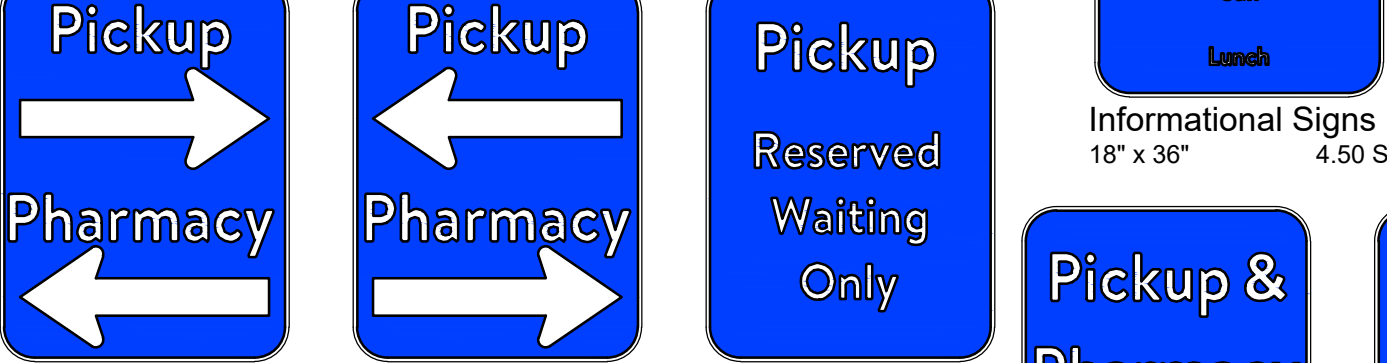
Directional Signs (Left / Straight / Right) 18" x 24" 3.00 SF



Directional Reserved Signs (Left / Straight / Right) 18" x 24" 3.00 SF

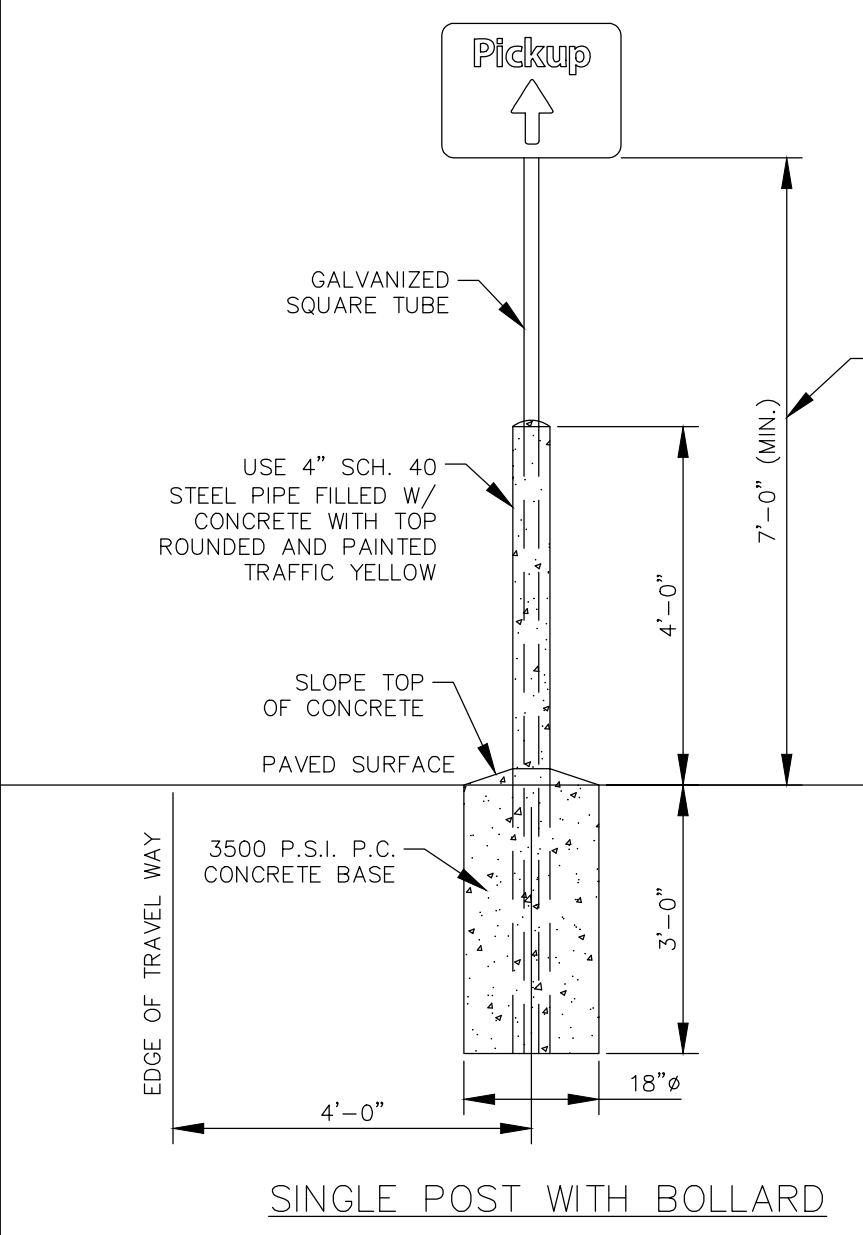


Parking Stall Placard



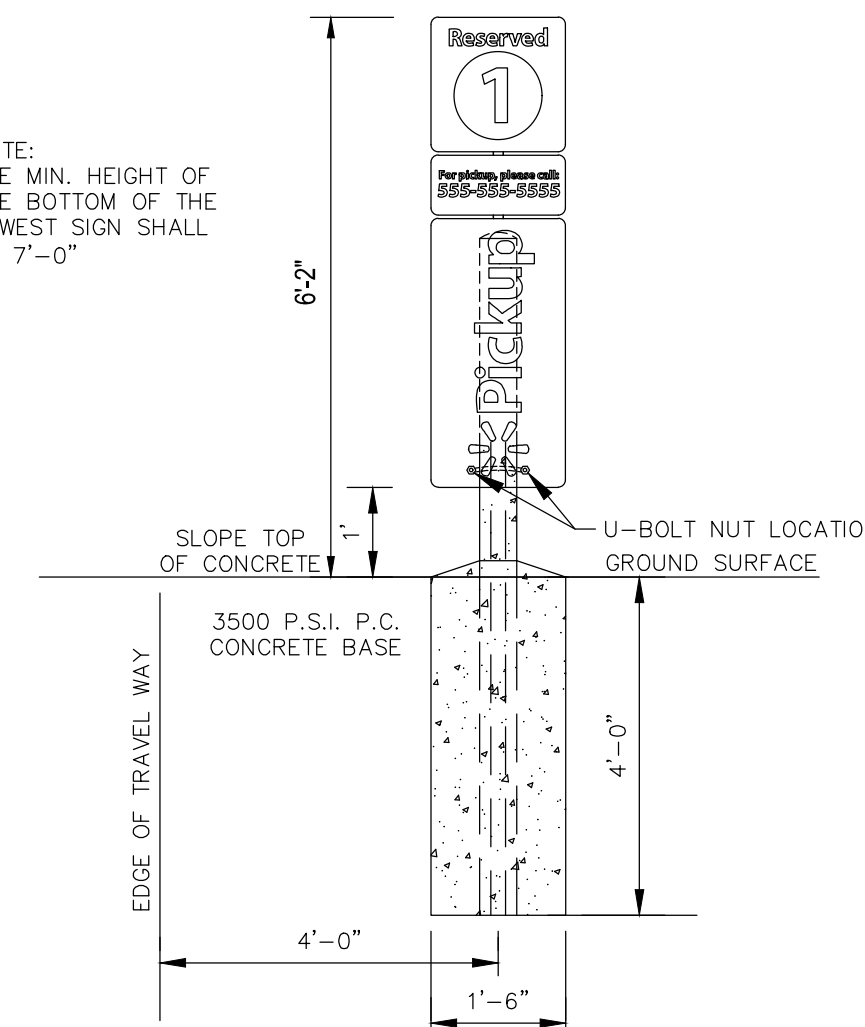
Informational Signs 18" x 36" 4.50 SF

"PICKUP" SIGNAGE  
N.T.S.

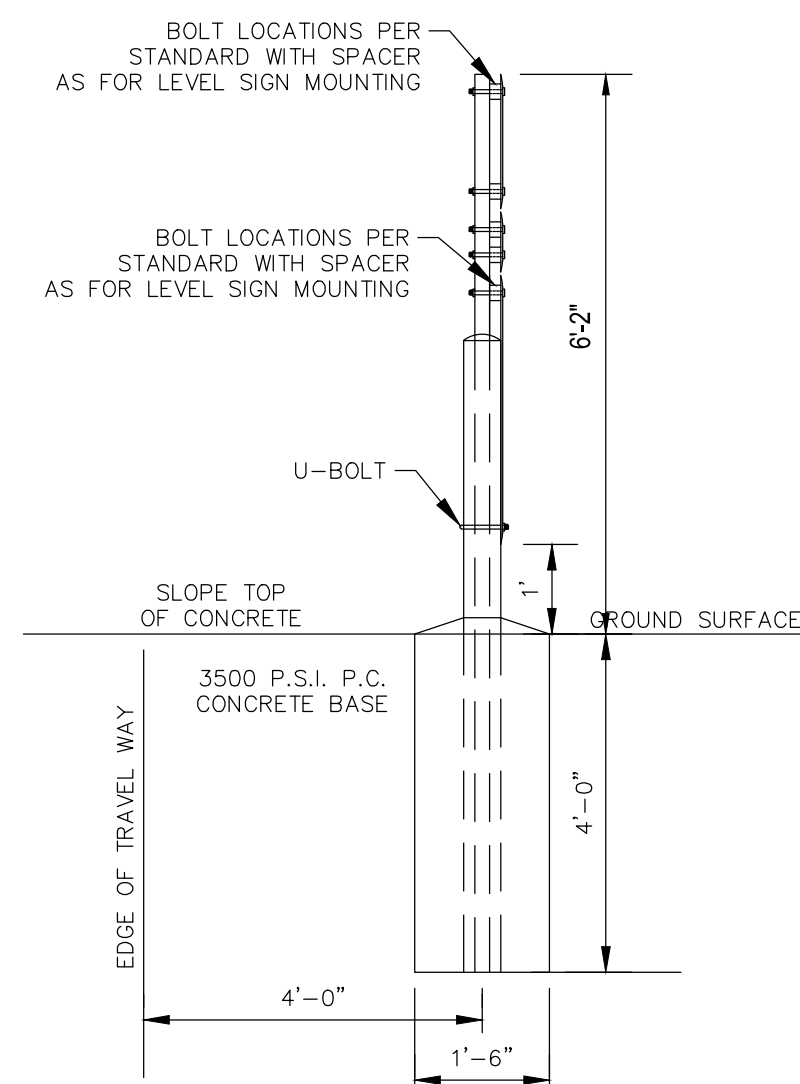


SINGLE POST WITH BOLLARD  
N.T.S.

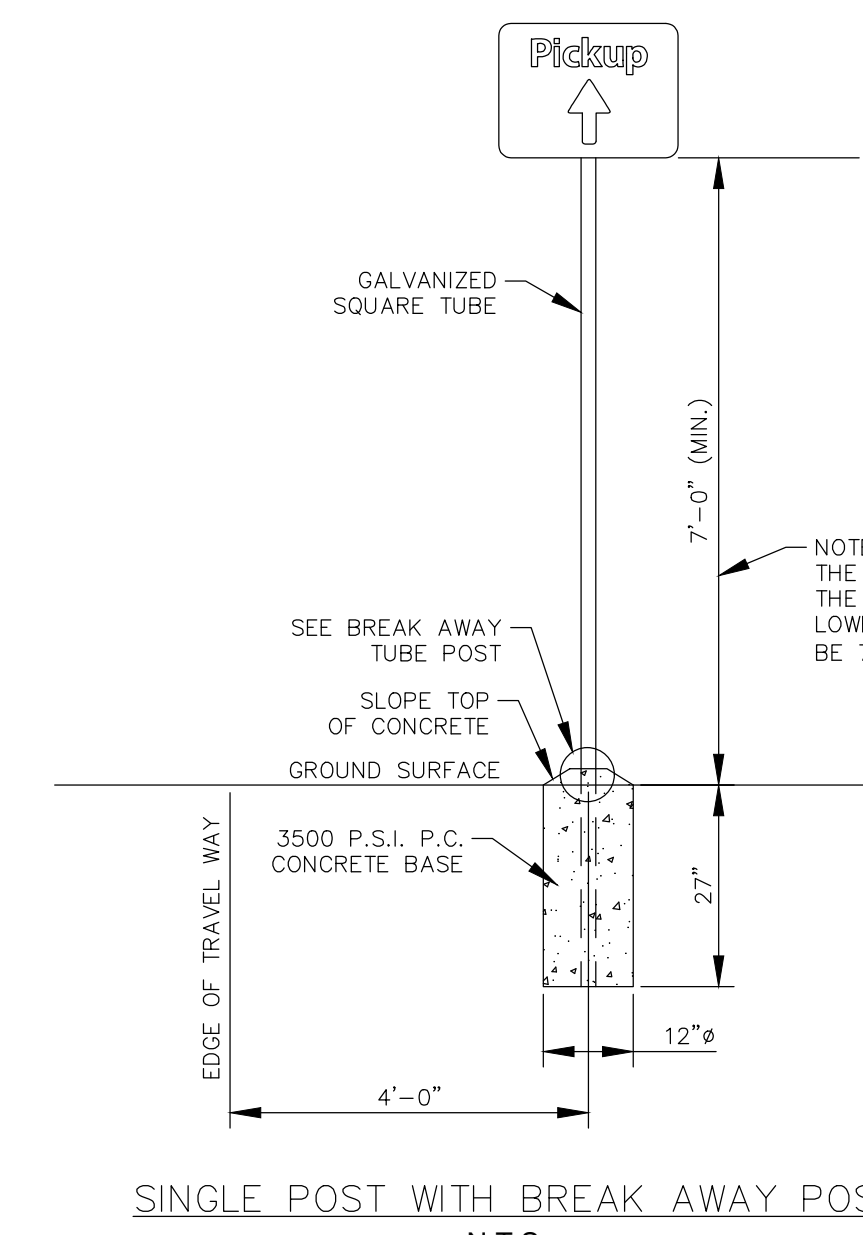
NOTES FOR SINGLE POST WITH BOLLARD:  
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
2. GALVANIZED SQUARE TUBE  
POST TUBES - 2"x2" 12ga  
POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.



FRONTVIEW - TYPICAL PICKUP PARKING SIGNAGE  
N.T.S.

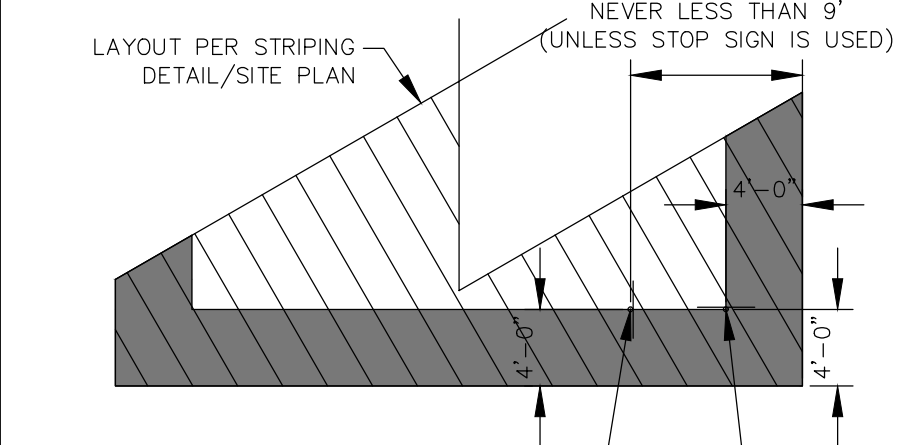


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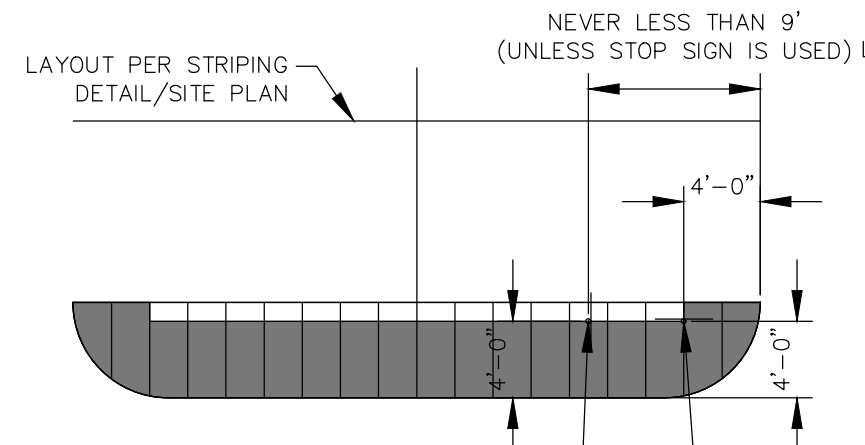


SINGLE POST WITH BREAK AWAY POST  
N.T.S.

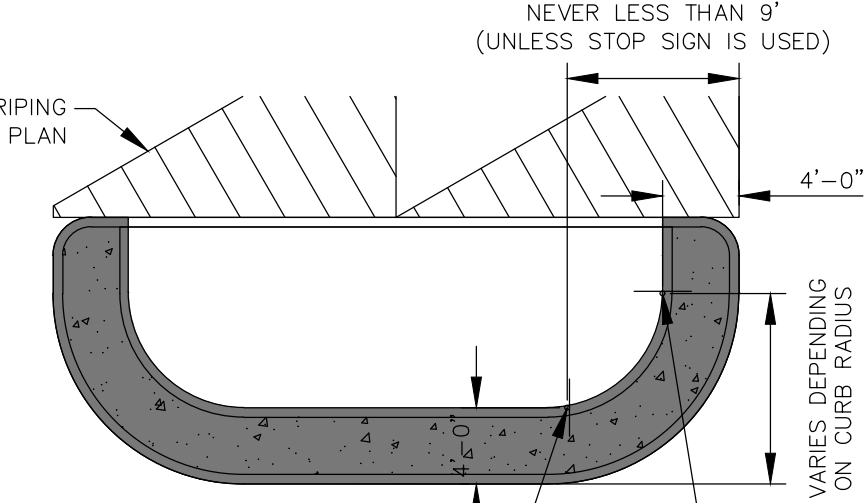
NOTES FOR SINGLE POST WITH BREAK AWAY POST:  
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POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.  
ANCHOR TUBE - 2-1/4"x2-1/4" 12ga  
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B. STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.  
THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



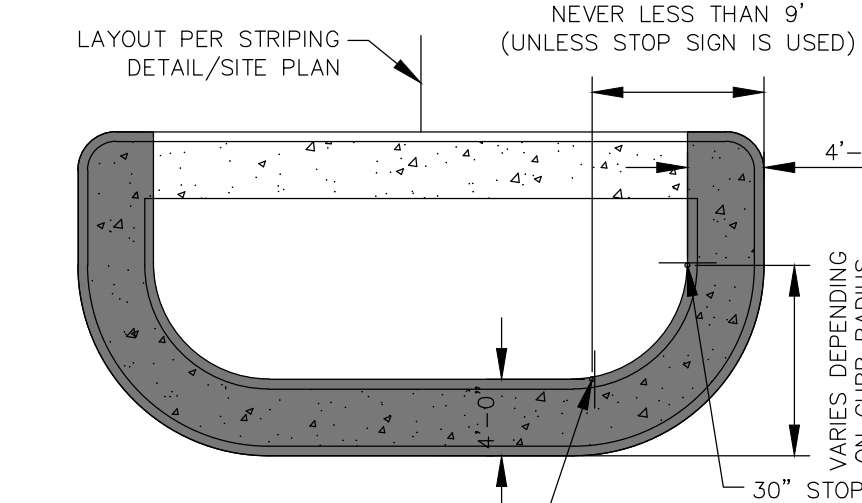
PAINTED ENDCAP - 60°  
SIGN LOCATIONS - 60° PARKING



PAINTED ENDCAP - 90°  
SIGN LOCATIONS - 90° PARKING



CURBED ISLAND - 60°  
SIGN LOCATIONS - 60° PARKING

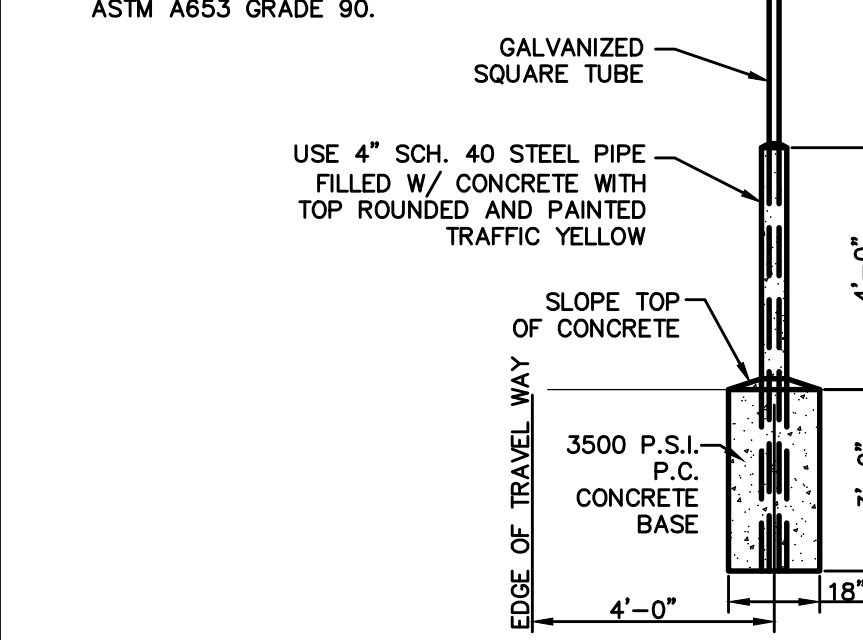


CURBED ISLAND - 90°  
SIGN LOCATIONS - 90° PARKING

PICKUP SIGN MOUNTING AND BASE  
N.T.S.

06/13/19

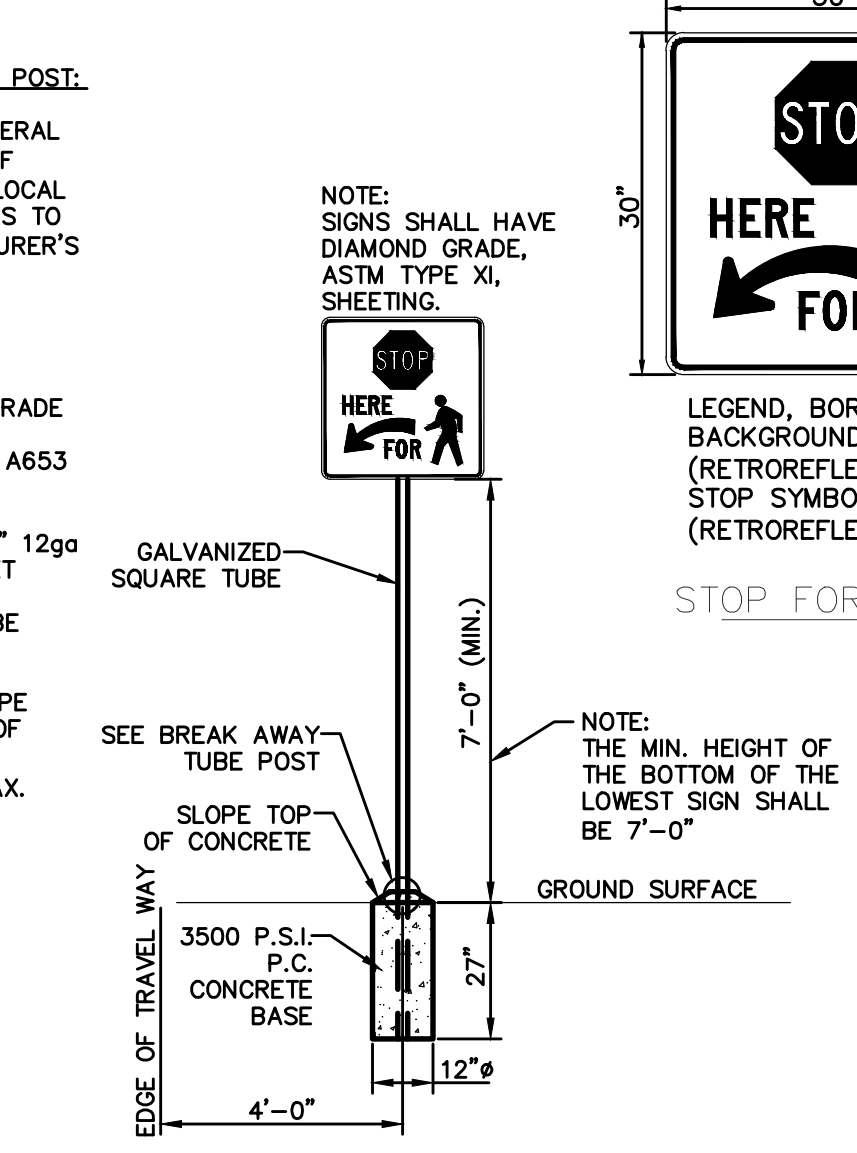
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POST TUBES - 2"x2"x3/16" 12ga  
POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.



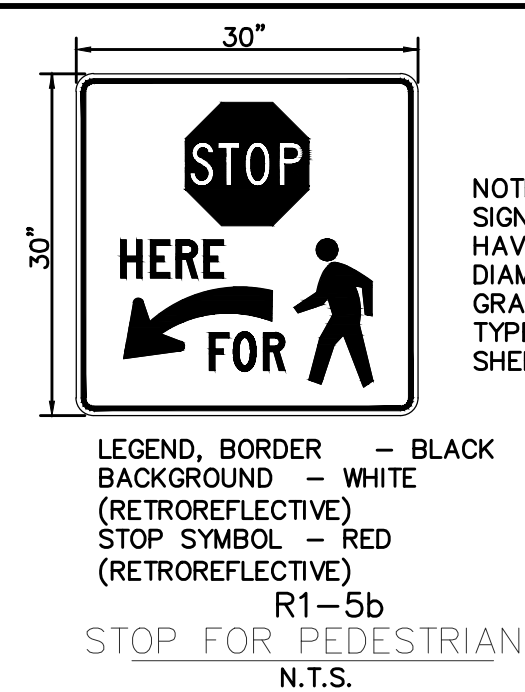
SINGLE POST WITH BOLLARD

NOTES FOR SINGLE POST WITH BREAK AWAY POST:  
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
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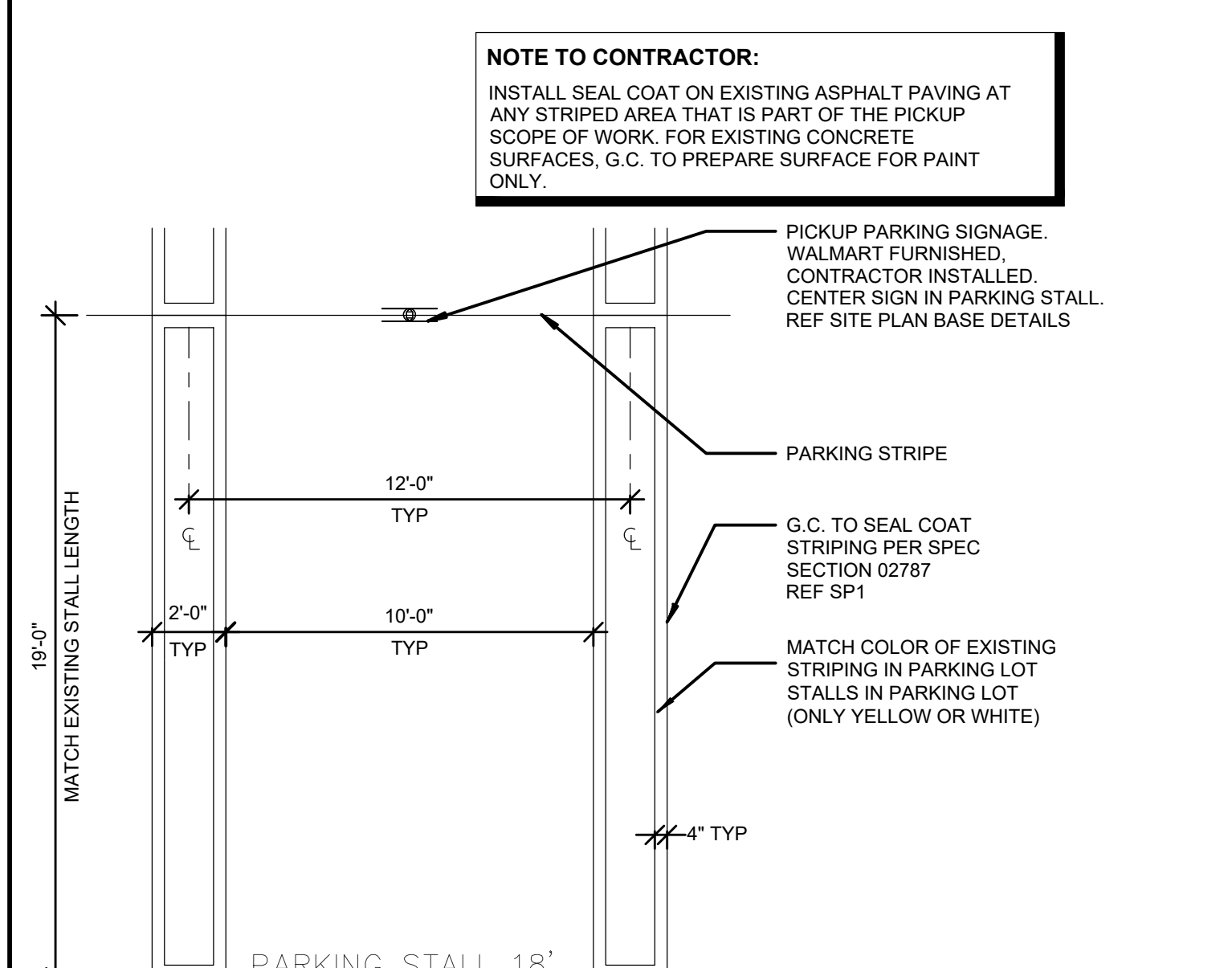
SIGN MOUNTING AND BASE



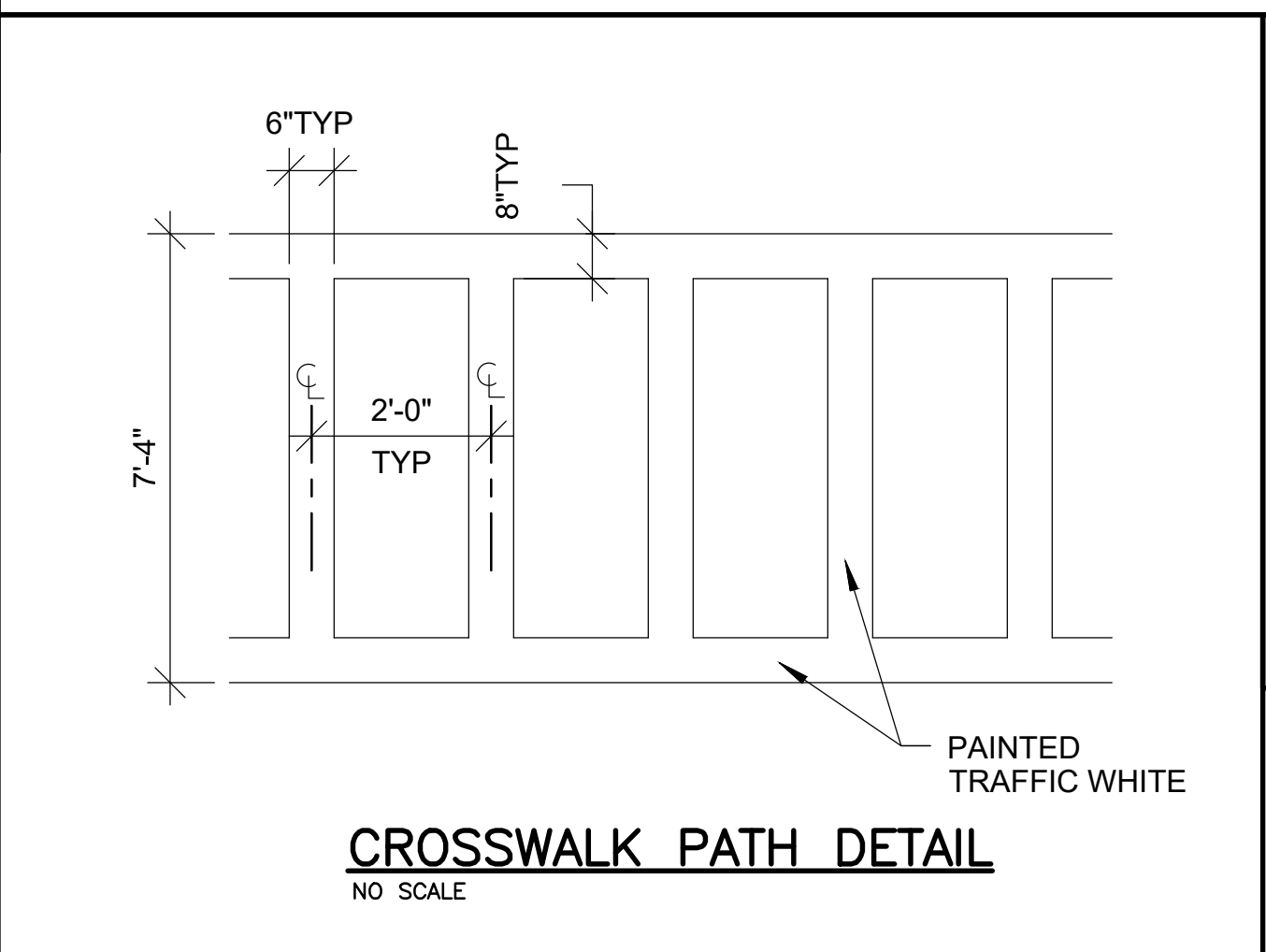
SINGLE POST WITH BREAK AWAY POST



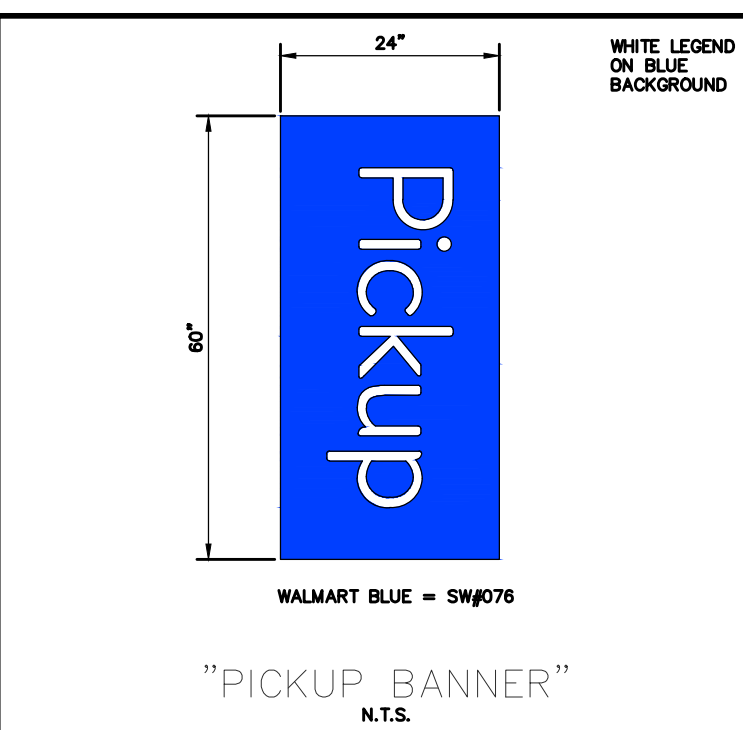
STOP FOR PEDESTRIANS  
N.T.S.



PARKING STALL 18'



CROSSWALK PATH DETAIL  
NO SCALE



"PICKUP BANNER"  
N.T.S.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

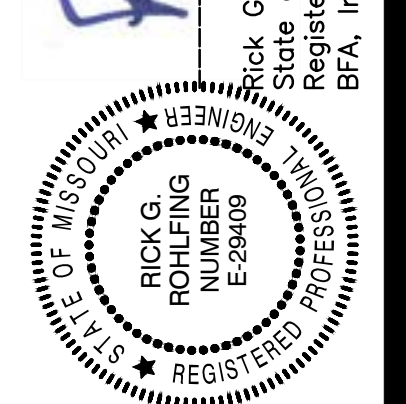
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

REVISIONS

1		
2		
3		
4		

TELEPHONE: (636) 239-4751  
**BFA**  
Engineering-Surveying  
103 ELM STREET  
WASHINGTON, MISSOURI 63090

10/20/23  
Rick G. Rohlfing, P.E. #29409  
Registered Professional Engineer for BFA, Inc. Professional Engineering Corporation #000472



Walmart #05927-220  
3390 N HWY 67  
Florissant, St. Louis County, Missouri  
Walmart, Inc. 2608 SE J Street  
Bentonville, AR 72716

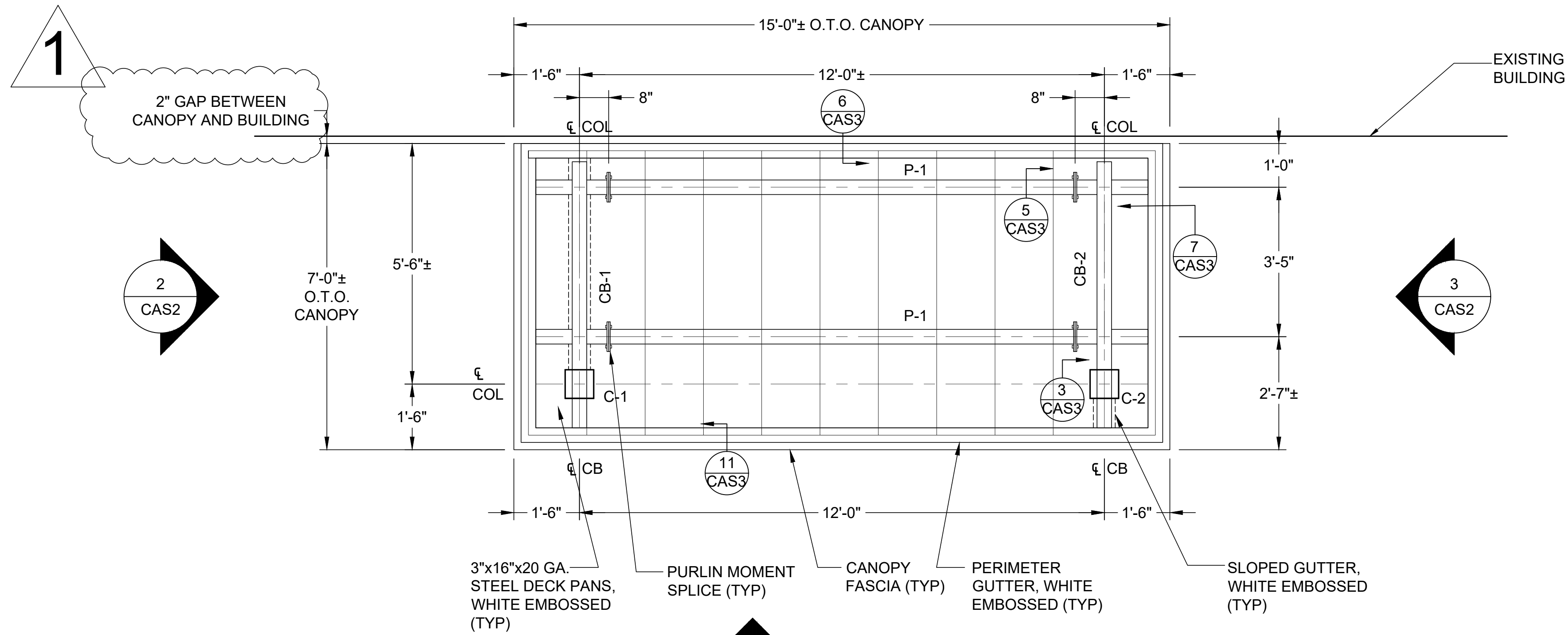
DRAWN  
C.M.W.  
CHECKED  
R.G.R.  
DATE  
10/20/2023  
SCALE  
AS NOTED  
JOB No.  
7716A  
SHEET NAME  
DETAIL SHEET 1

DTL-1

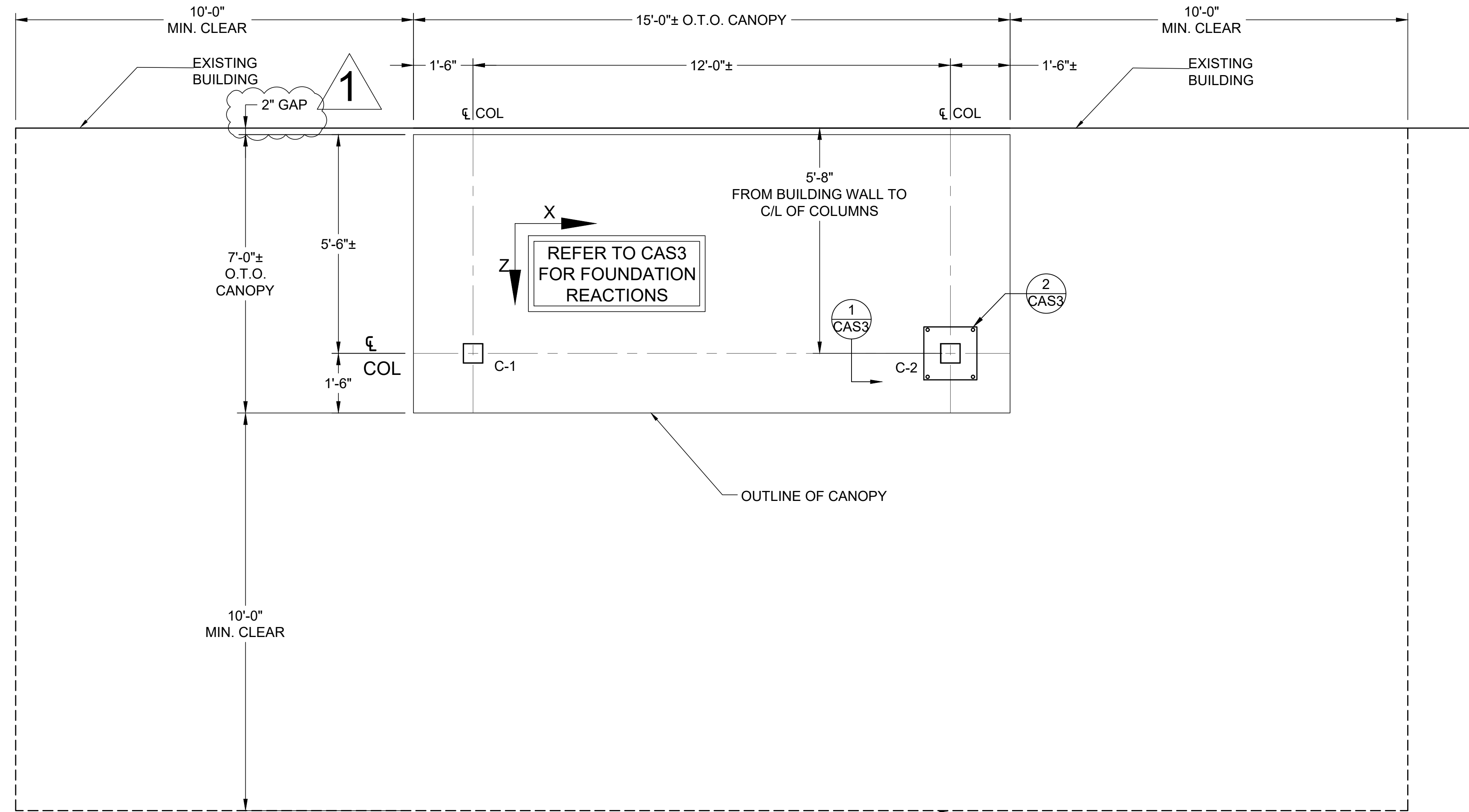








**1 CANOPY FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



**2 CANOPY FOUNDATION PLAN**  
SCALE: 1/2" = 1'-0"

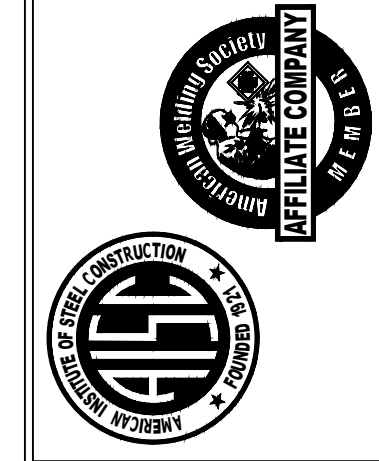
OWNER OR GC TO PROVIDE CONCRETE OR ASPHALT UNDER CANOPY INCLUDING NO LESS THAN 10'-0" OF CONCRETE AROUND PERIMETER OF THIS STRUCTURE. (AS REQUIRED BY OSHA REGULATION 29 CFR 1926.451)

LEGEND		
PART #	SIZE	QUANTITY
C-1	6" x 6" x 1/2"	1
C-2	6" x 6" x 1/2"	1
CB-1	W6X12#	1
CB-2	W6X12#	1
P-1	W6X12#	2

- DRAIN DIRECTION (VERIFY)
- PLAN NORTH (VERIFY)
- BUILDING DIRECTION (VERIFY)

SCALE	AS NOTED	DATE	BY
		11/17/23	TW
		12/6/23	TW

DATE 11/17/23  
DRAWN BY T WESOLEK  
CHECKED BY JDS  
ARNING # 20817



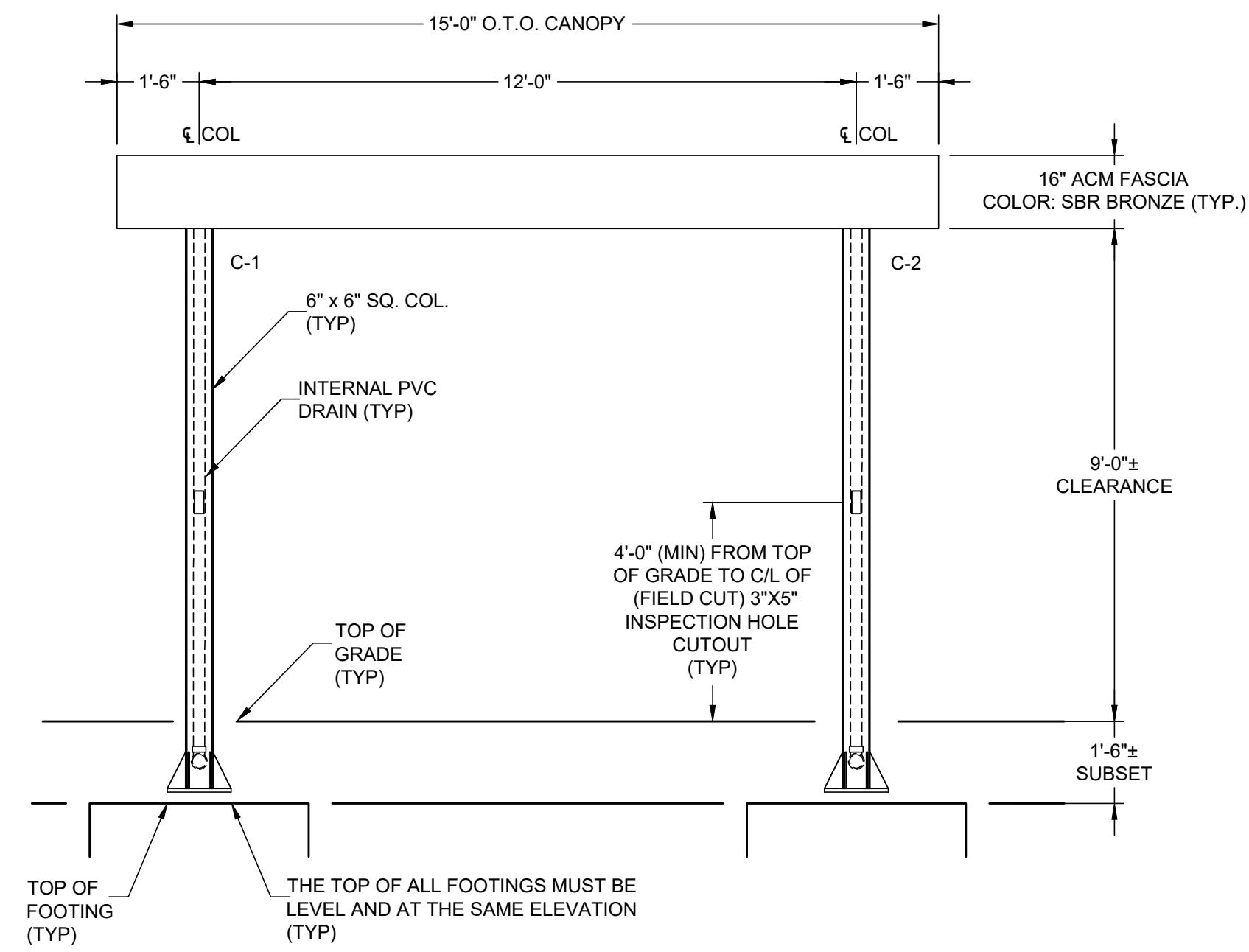
**ARNING COMPANIES**  
CUSTOMER  
WALMART - VENDOR #662541  
2101 SE SIMPLE SAVINGS DRIVE  
BENTONVILLE, AR, 72716

7'-0" X 15'-0" (2) COLUMN CANOPY  
CANOPY LOCATION  
**Walmart**  
STORE #5927  
(ASSOCIATES CANOPY)  
3390 N HWY 67  
FLORISSANT, MO 63033

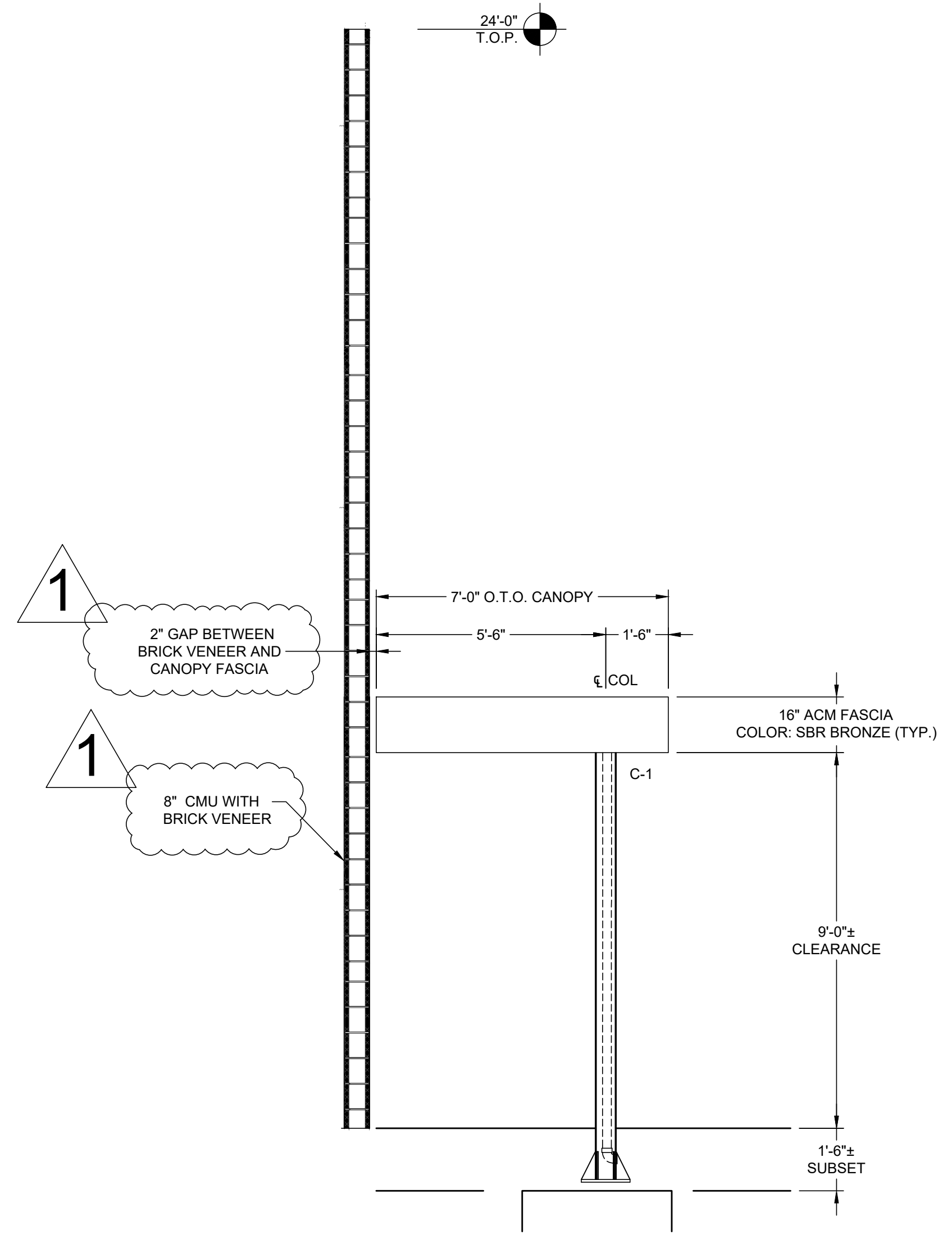
FRAMING & FOUNDATION PLAN  
20817 CAS1



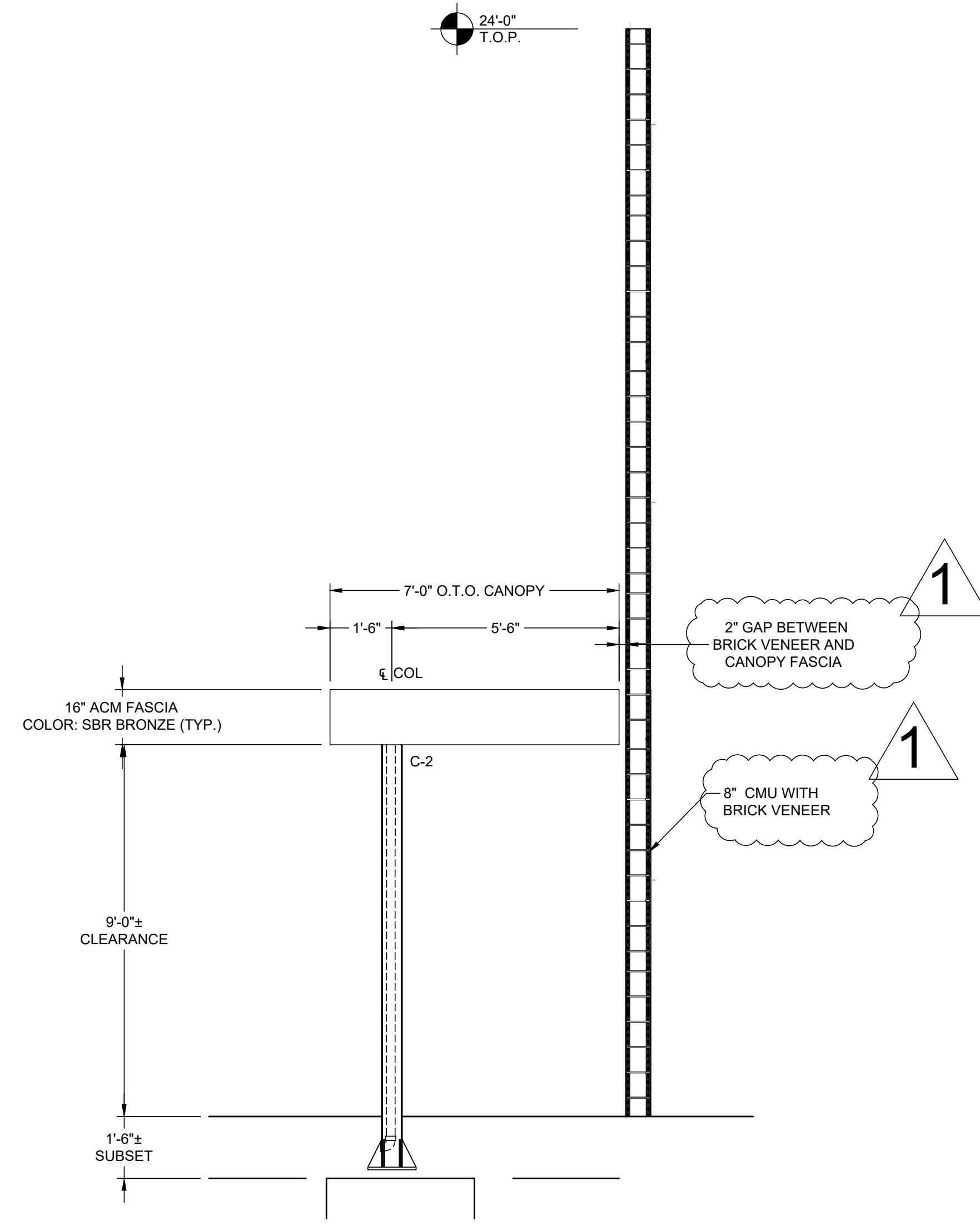
**SHEET NOTES**  
 ALL CONDUITS INSIDE COLUMNS WILL REQUIRE A 3"X5" INSPECTION HOLE TO BE FIELD CUT AND LOCATED WITH ITS CENTERLINE AT THE TOP OF THE SEAL OFF. ALL COLUMNS, WITH OR WITHOUT CONDUITS, WILL HAVE A STANDARD ARNING COVERPLATE INSTALLED AT THE SAME ELEVATION. TOUCH-UP PRIMER AT THE INSPECTION HOLE OPENING AFTER FIELD CUTS HAVE BEEN COMPLETED.



**1 NORTHEAST ELEVATION**  
 SCALE: 3/8" = 1'-0"



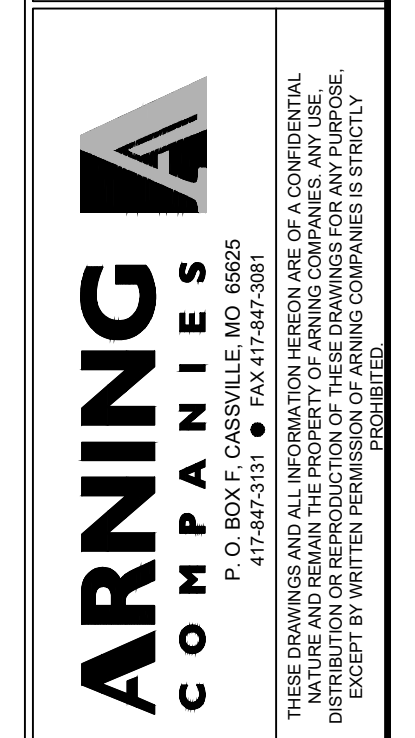
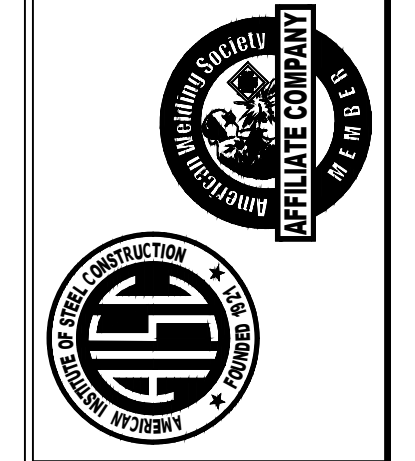
**2 SOUTHEAST ELEVATION**  
 SCALE: 3/8" = 1'-0"



**3 NORTHWEST ELEVATION**  
 SCALE: 3/8" = 1'-0"

REV	DESCRIPTION	DATE	BY
1	ADDED 2" GAP	12/6/23	TW

SCALE AS NOTED  
 DATE 11/17/23  
 DRAWN BY T WESOLEK  
 CHECKED BY JDS  
**ARNING # 20817**



**ARNING COMPANIES**  
 407 S.W. 27th St. • P.O. Box 17242 • Miami, FL 33101  
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CUSTOMER  
**Walmart** - VENDOR #662541  
 2101 SE SIMPLE SAVINGS DRIVE  
 BENTONVILLE, AR, 72716  
 (ASSOCIATES CANOPY)  
 3390 N HWY 67  
 FLORISSANT, MO 63033



# GENERAL STRUCTURAL NOTES

DESIGN COMPLIES WITH 2021 INTERNATIONAL BUILDING CODE

## LOADS COMPLY WITH SEI/ASCE 7-16 REQUIREMENTS:

**DEAD LOAD**

- TYPICAL ROOF DEAD LOAD 15 P.S.F.
- TYPICAL ROOF LIVE LOAD 20 P.S.F.

**SNOW LOAD**

- FLAT ROOF SNOW LOAD w/ RAIN-ON-SNOW (pr) 21.8 P.S.F.
- GROUND SNOW LOAD, pg 20 P.S.F.
- EXPOSURE FACTOR, Ce 1.0
- THERMAL FACTOR, Ct 1.2
- IMPORTANCE FACTOR, Is 1.0
- DRIFT PER CODE

**WIND LOAD**

- ULTIMATE WIND SPEED (3-SECOND GUST), Vu11 115 M.P.H.
- EXPOSURE CATEGORY C
- DIRECTIONALITY FACTOR (Kd) 0.85
- TOPOGRAPHIC FACTOR (Kzt) 1.0

**SEISMIC**

- SHORT PERIOD ACCELERATION Ss 0.3821
- LONG PERIOD ACCELERATION Sl 0.1455
- SITE CLASS: D
- SHORT PERIOD RESPONSE: Sps 0.381
- LONG PERIOD RESPONSE: Scl 0.224
- SEISMIC DESIGN CATEGORY: D
- SEISMIC IMPORTANCE FACTOR: Ie 1.0
- SEISMIC RESPONSE COEFFICIENT Cs: 0.15231

**STEEL BEAMS:** A572 WITH MINIMUM YIELD OF 50,000 P.S.I.  
**STEEL ROOF PANELS:** 16" W x 3" D x 20 GA. Steel Panels  
**STEEL TUBE:** ASTM A-500 GRADE-B WITH Fy= 46 ksi MIN.  
**STEEL PLATE:** A36 QUALITY WITH MINIMUM YIELD OF 36,000 P.S.I.  
**STEEL ANCHOR BOLTS:** F 1554 WITH MINIMUM YIELD OF 55,000 P.S.I.

**WELDING:** LOW HYDROGEN TYPE, E70 SERIES, PER AWS D1.1. WELDING PROCEDURE AND MATERIAL COMPLY WITH AWS STANDARDS. WELDING PERFORMED BY CERTIFIED WELDERS IN-HOUSE AT ARNING COMPANIES FACILITIES. ARNING C.S.I. IS CERTIFIED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC).

**BOLTS:** HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A325. IN BEARING TYPE CONNECTIONS WITH THREADS ARE NOT REQUIRED BY DESIGN TO BE EXCLUDED FROM SHEAR PLAN OR WORKING IN TENSION. INSPECTION PRIOR TO OR DURING INSTALLATION IS NOT REQUIRED. "PRE-INSTALLATION" AS OUTLINED IN SECTION 7 OF THE "SPECIFICATION JOINTS USING HIGH-STRENGTH BOLTS" IS NOT REQUIRED AS LONG AS CONTRACTOR CAN PROVIDE TESTING REPORTS SUPPLIED BY BOLT MANUFACTURER, AND THE BOLTS USED ARE BEING INSTALLED IN EITHER A SNUG TIGHT MANOR OR TURN-OF-THE-NUT METHOD OF TIGHTENING. SEE APPROVED TIGHTENING PROCEDURES BELOW AND REFER TO CONNECTION DETAILS.

**SNUG-TIGHT METHOD:** ALL BOLTS SHALL BE BROUGHT TO THE SNUG-TIGHT CONDITION. SNUG-TIGHT IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN THE PLIES OF THE JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH.

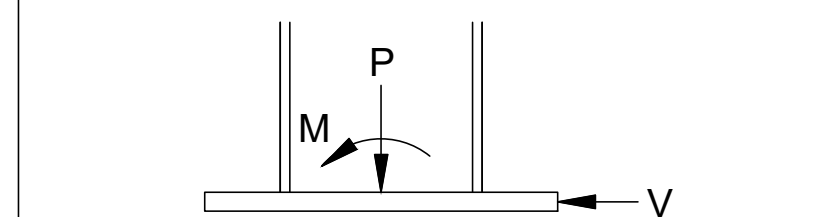
**TURN-OF-THE-NUT METHOD:** COLUMN TO BEAM OR MOMENT SPLICE BOLTS SHALL BE TIGHTENED BY THE PREFERRED TURN-OF-THE-NUT METHOD. THIS IS ACCOMPLISHED BY FIRST ATTAINING A SNUG-TIGHT CONDITION ON THE BOLT, MARKING THE BOLT AND NUT TO ENSURE VISUAL VERIFICATION, AND THEN TIGHTENING AN ADDITIONAL 1/3 TURN. A BREAKER BAR MAY BE USED TO ADVANCE THE NUT THE ADDITIONAL TURN THUS ATTAINING THE 1/3 TURN CONDITION.

**SCREWS:** SELF DRILLING SCREWS MANUFACTURED BY ITW BUILDEX SHALL COMPLY WITH MANUFACTURER SPECIFICATIONS AND ICBO 3056 STANDARDS.

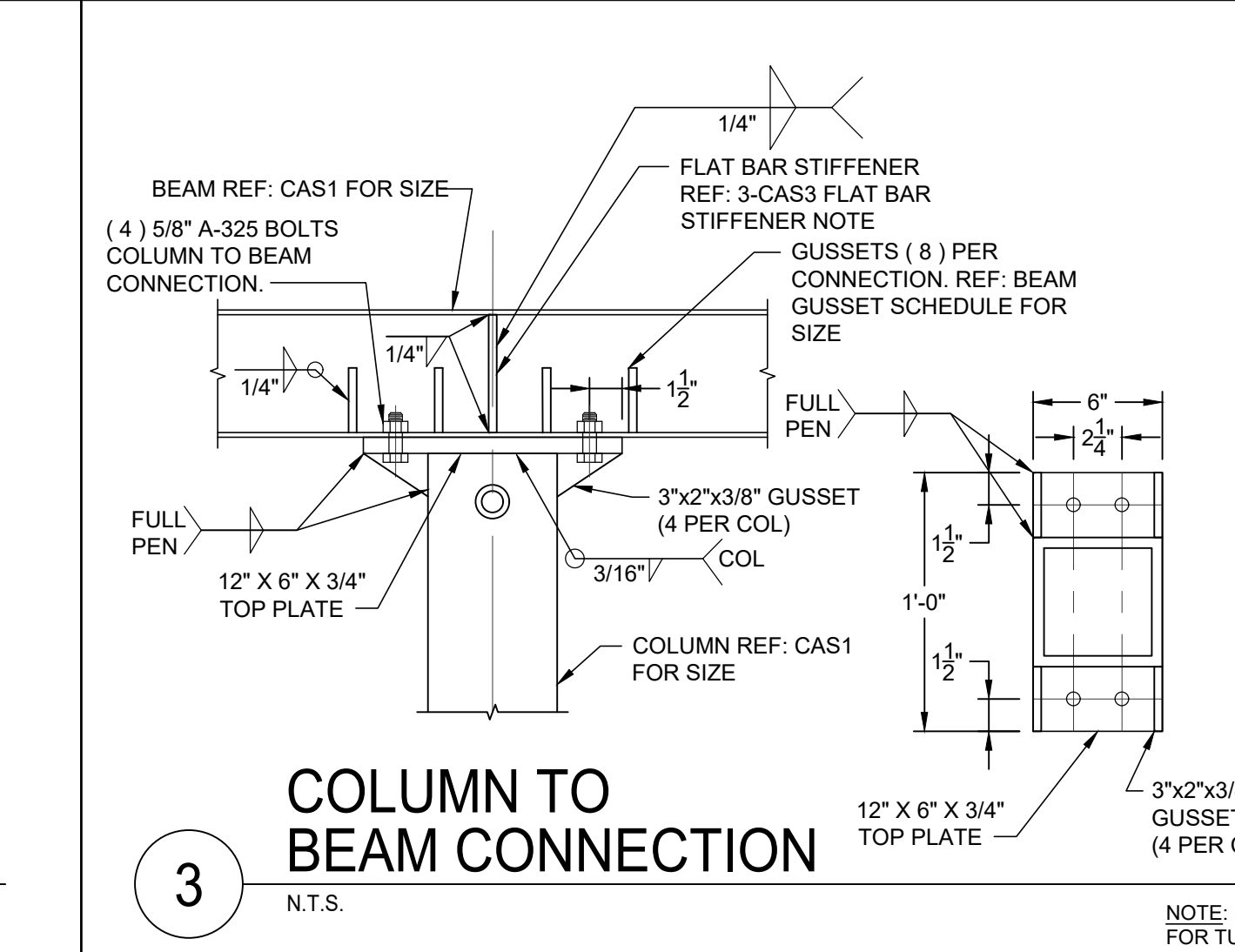
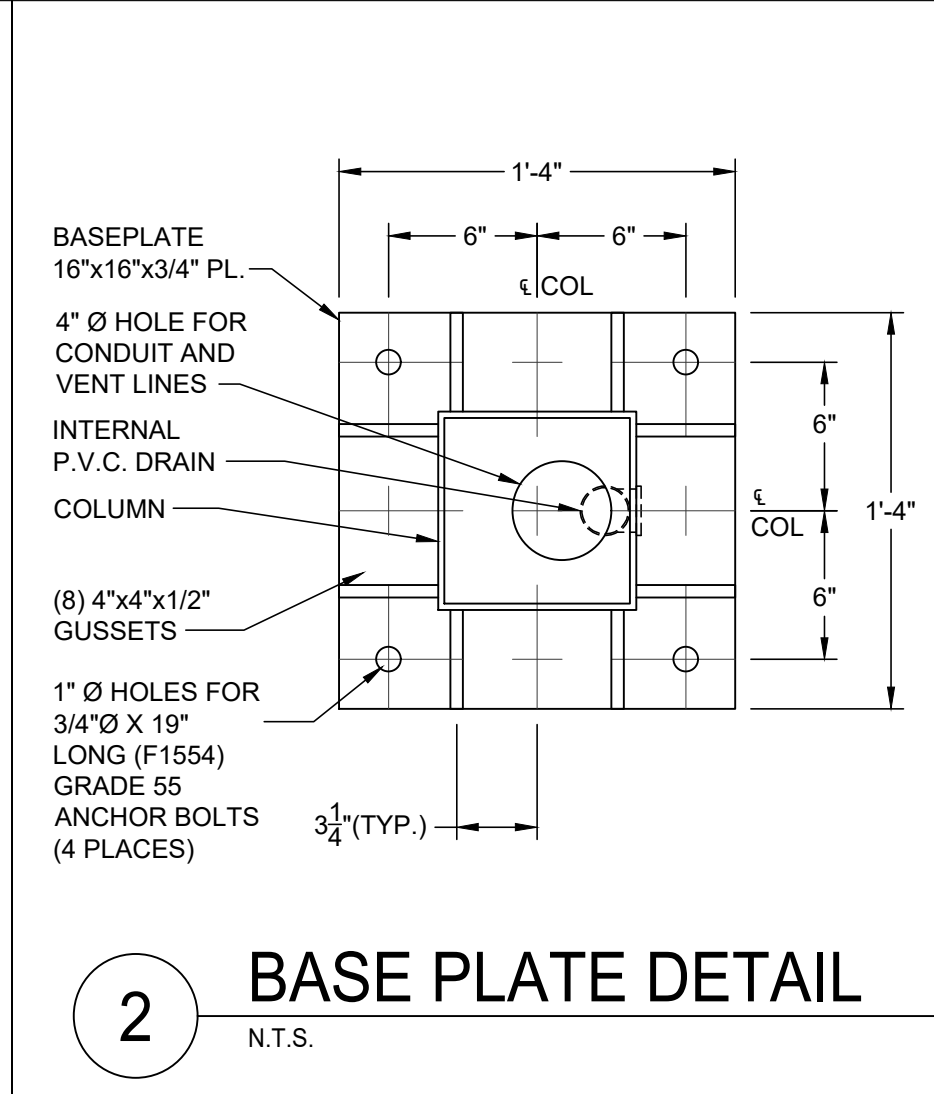
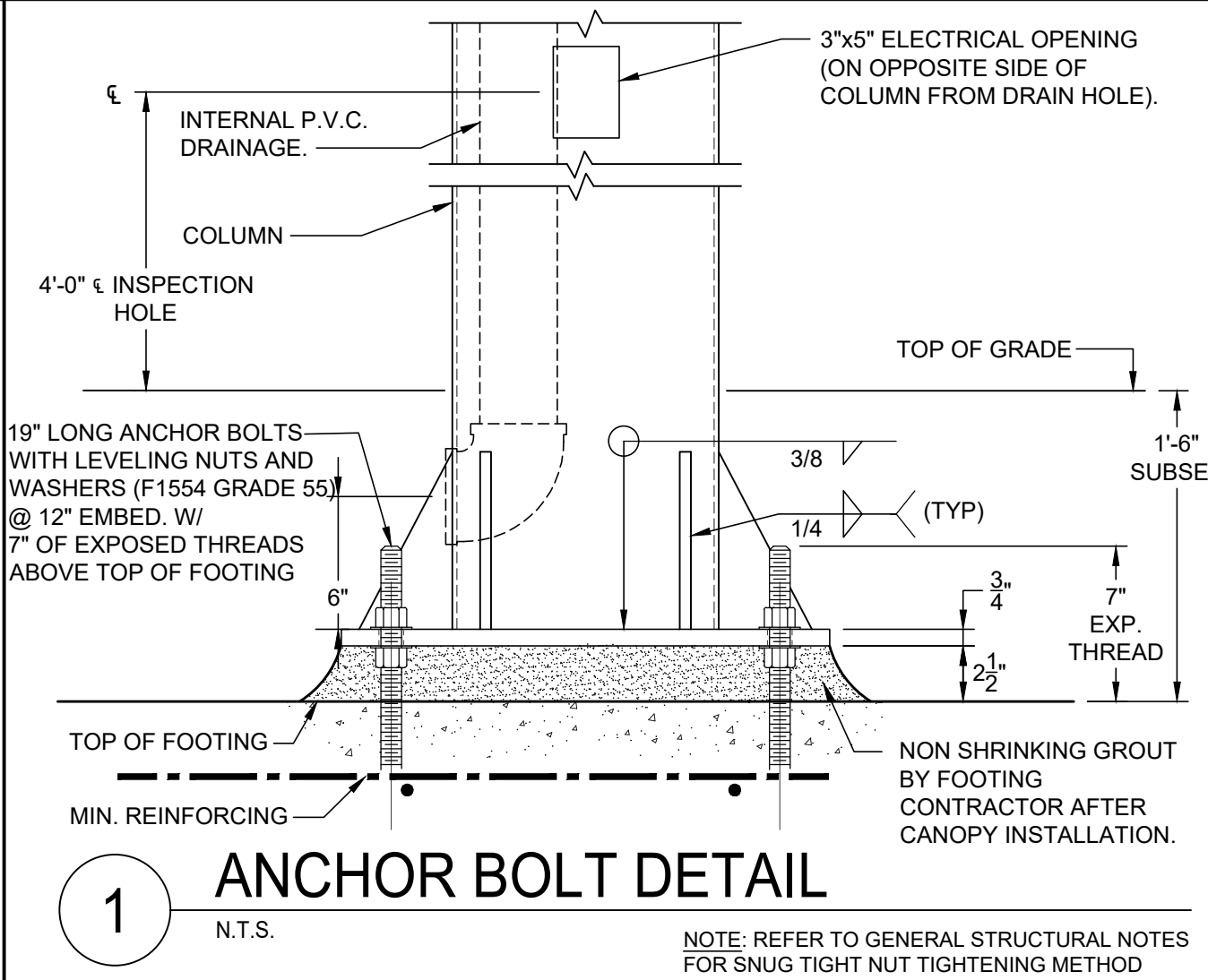
**FOUNDATIONS:** FOR FOUNDATION DESIGNS, SEE BASE REACTIONS BELOW. PROVIDE 3000 PSI CONCRETE. PROVIDE ADEQUATE ANCHOR REINFORCEMENT PER ACI 318.

\* THE ABOVE NOTES AND SPECIFICATIONS SHALL MEET OR EXCEED ALL STATE AND LOCAL CODE REQUIREMENTS BEFORE ERECTION.

SERVICE LEVEL REACTIONS FOR FOUNDATION DESIGN (UNFACTORED)						
LOAD CASE	SHEAR Vx (KIPS)	VERTICAL P (KIPS)	SHEAR Vz (KIPS)	MOMENT Mx (KIPS-FT)	MOMENT Mz (KIP-FT)	
D	+/-0.002	0.789	0.00	+/-1.875	+/-0.01	
RL	+/-0.003	1.052	0.00	+/-2.516	+/-0.012	
SL	+/-0.011	4.232	0.00	+/-10.655	+/-0.046	
WLx	+/-0.303	1.323	0.00	+/-3.157	+/-3.924	
WLz	+/-0.003	1.315	+/-0.5	+/-3.392	+/-0.14	
ELx	+/-0.15	.004	0.00	0.00	+/-1.926	
ELz	0.00	0.00	+/-0.15	+/-1.95	0.00	

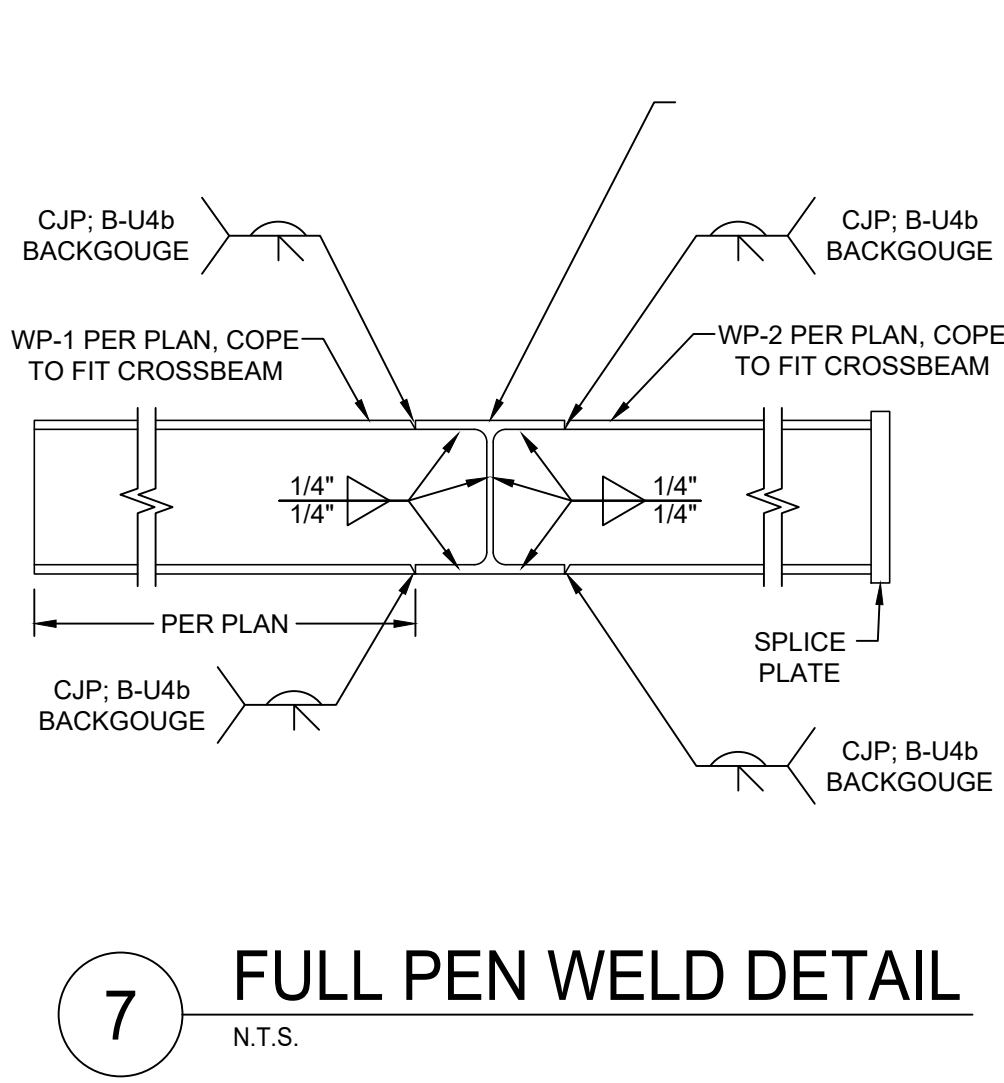
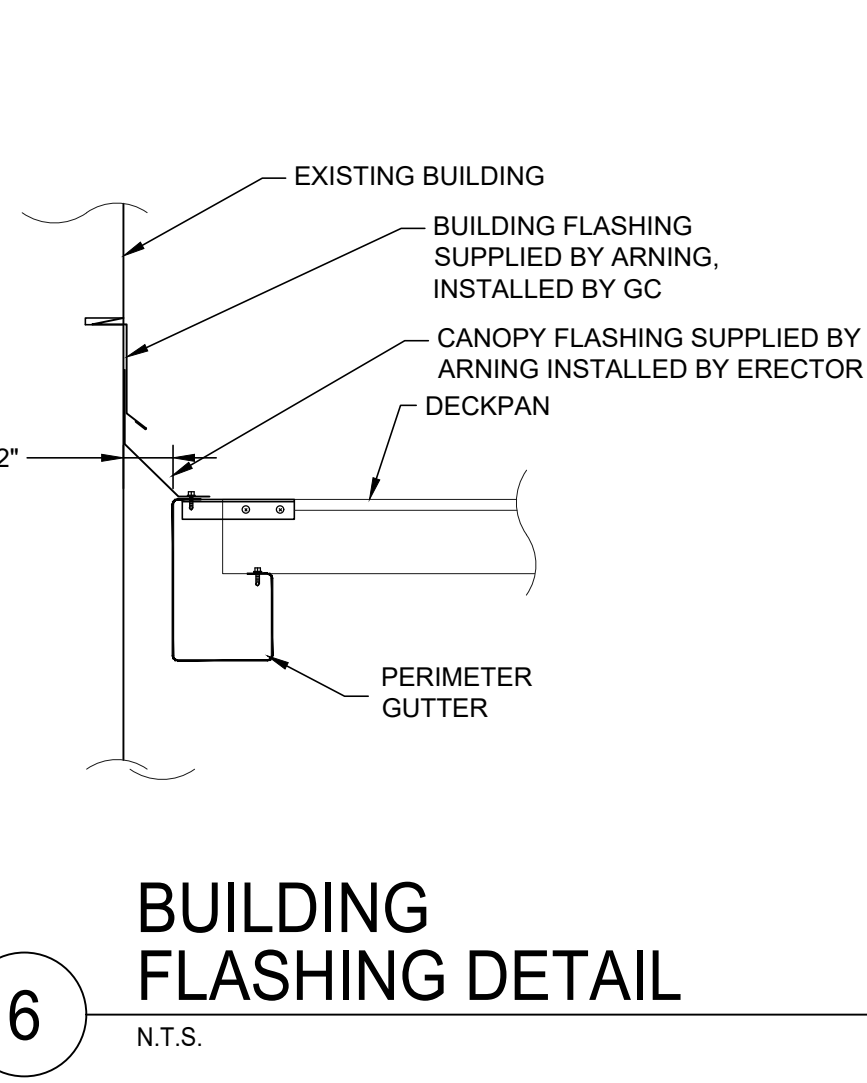
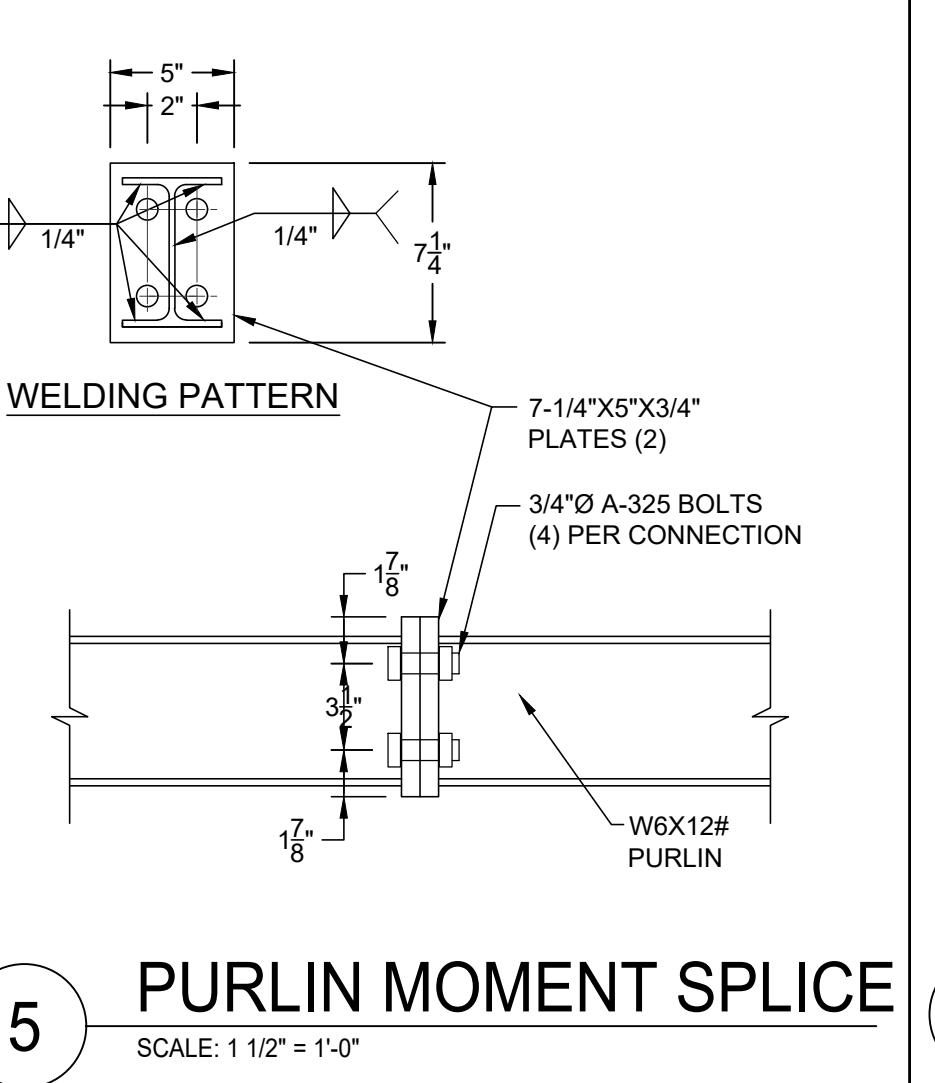


NOTES:  
 1. SIGN CONVENTION SHOWN ON FOUNDATION PLAN DENOTES POSITIVE FORCES.  
 2. ALL REACTIONS PROVIDED REPRESENT NOMINAL REACTIONS. FACTOR AS REQUIRED FOR ASD OR LRFD PER LOCAL BUILDING CODE.

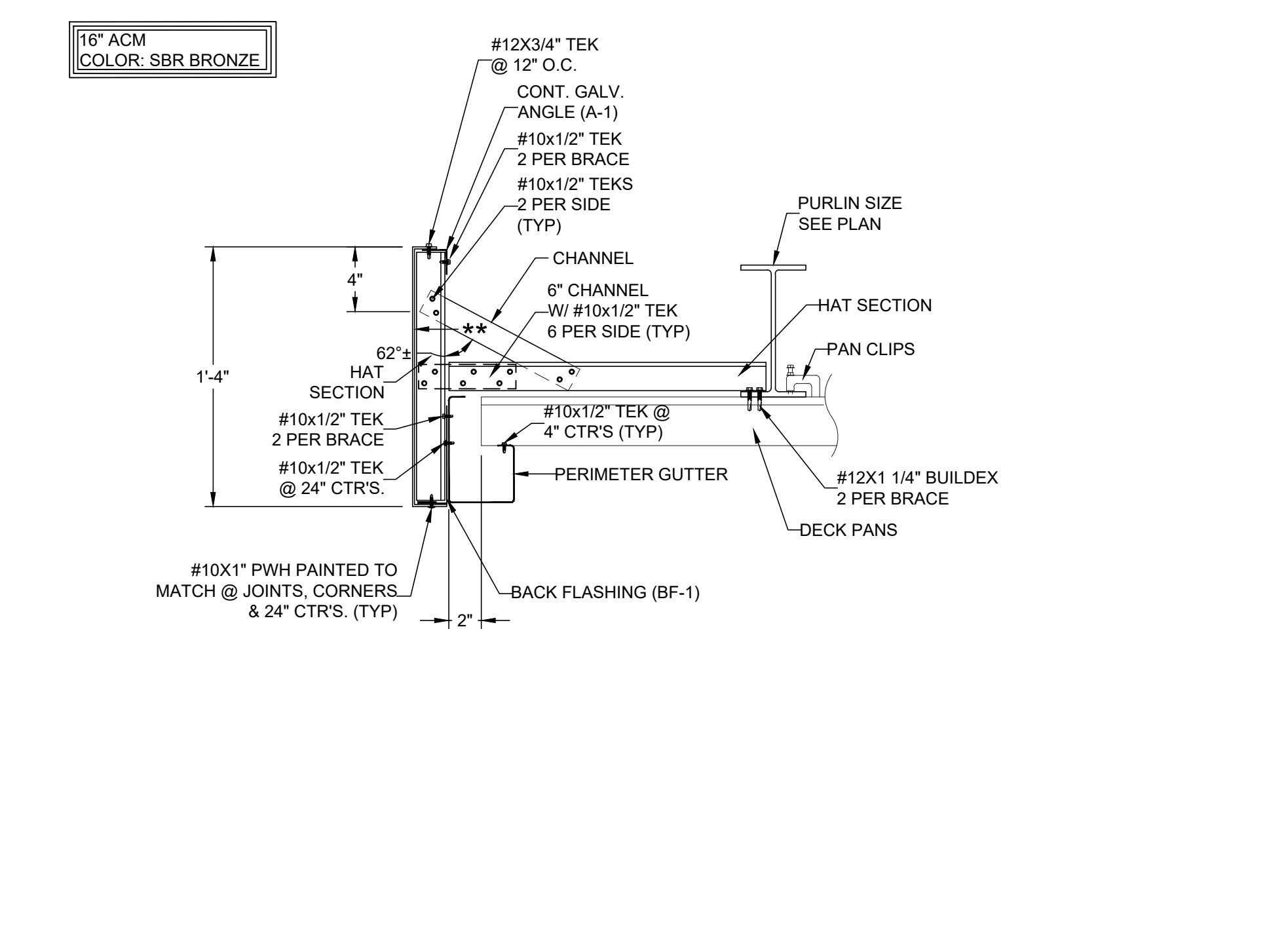


CROSSBEAM GUSSET SCHEDULE	
FOR 3" TO 4" WIDE C.B. USE 3" X 1-3/4" X 1/4" GUSSET	
W6x9#	
W6x12#	
W6x16#	
W8x10#	
W8x13#	
W8x15#	
W10x12#	
W12x14#	
W12x16#	
W12x19#	
W12x22#	

**FLAT BAR STIFFENER NOTE FOR COLUMN TO CB:**  
 1/4" FLAT BAR ON EACH SIDE OF WEB @ COL. TO C.B. CONNECTION FOR WEIGHTS UP TO 31#; ALL SIZES HEAVIER THAN 31# USE 3/8" FLAT BAR.



**(2) DECKPAN CLIPS AT EVERY PURLIN TO DECK CONNECTION AT EACH PURLIN**



**\*\* INSTALLER NOTE:**  
 APPLY XTRA BOND CAULK ON ONE SIDE OF VERT. HAT SECTION @ BACK OF FASCIA PANEL. PANEL MUST BE LAYING FLAT AGAINST BRACING TO INSURE A POSITIVE SEAL BETWEEN THE TWO.

SCALE	AS NOTED	REV	DESCRIPTION	DATE	BY
		1	ADDED 2" GAP	12/6/23	TW

DATE: 11/17/23  
 DRAWN BY: T WESOLEK  
 CHECKED BY: JDS  
**ARNING # 20817**

This is the seal of the State of Missouri and the seal of the Engineering Council of the State of Missouri. It is the property of the State of Missouri and shall not be used for any purpose other than that for which it was intended.

**STATE OF MISSOURI**  
 Austin M. Heath  
 Number PE-021008646  
 12/21/2023

**ARCHITECTURAL**  
 ARNING COMPANIES  
 417-827-1313 • FAX 417-827-3081

**ARNING COMPANIES**  
 417-827-1313 • FAX 417-827-3081

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**CUSTOMER**

WALMART - VENDOR #662541  
 2101 SE SIMPLE SAVINGS DRIVE  
 BENTONVILLE, AR, 72716

**7'-0" X 15'-0" (2) COLUMN CANOPY**  
 CANOPY LOCATION

**Walmart**  
 STORE #5927  
 (ASSOCIATES CANOPY)  
 3390 N HWY 67  
 FLOISSANT, MO 63033

TYPICAL CONSTRUCTION DETAILS & NOTES

20817 **CAS3**





# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 2/20/2024

Open  Closed

Report No. 16/2024

**Date Submitted:**

**To:** City Council

**Title:** Ordinance authorize a Special Use Permit for Erika Sharp Massage Therapy to allow for a massage business for the property located at 1020 rue St. Francois.

**Prepared by:** Administrator

**Department:** Public Works

**Justification:**

Please see attachments

**Attachments:**

1. PH 1020 St Francois
2. Staff Report
3. Application
4. Floor Plan
5. State License Requirements

INTRODUCED BY COUNCILMAN O'DONNELL  
MARCH 11, 2024

BILL NO. 9962

ORDINANCE NO.

**ORDINANCE AUTHORIZE A SPECIAL USE PERMIT FOR ERIKA SHARP  
MASSAGE THERAPY TO ALLOW FOR A MASSAGE BUSINESS FOR THE  
PROPERTY LOCATED AT 1020 RUE ST. FRANCOIS.**

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a massage business in the City of Florissant; and

WHEREAS, an application has been filed by Erika Sharp to allow for the operation of massage business located at 1020 rue St. Francois, and

WHEREAS, the Planning and Zoning Commission at their meeting on February 20, 2024, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 24-03-008 on said application to be held on the 11<sup>th</sup> day of March, 2024 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for a massage business would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Erika Sharp d/b/a Erika Sharp Massage Therapy to allow for the operation of massage business located 1020 rue St. Francois with the following stipulations:

- a. All therapists shall comply with RsMO 324.265, qualifications and licensure.
- b. A wall sign more than 40 sq. ft. at the front or side of the building will require Planning Commission approval.
- c. Painted signs on exterior wall are prohibited in Historic District
- d. A grand opening banner is allowed by permit for 7-days.
- e. Logo signs or symbols in the Historic District shall have Landmark and Historic District Commission (LHDC) approval.
- f. The Special Use Permit is granted solely to Erika Sharp Massage Therapy
- g. This Special Use Permit is transferable to another while the business is in operation or within six months of closure.
- h. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be deemed abandoned.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.



Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Joseph Eagan  
President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor Timothy J. Lowery

ATTEST: \_

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

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**MEMORANDUM**



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**CITY OF FLORISSANT**

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To: P&Z Commissioners

Date: February 7, 2024

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From: Debra M. Irvin, Building Commissioner

cc: Director of Public Works  
City Clerk  
Deputy City Clerk  
Economic Development Dir  
Applicant  
File

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Subject: Request recommended approval of a Special Use Permit for a massage therapy business (**Erika Sharp Massage Therapy**) located at **1020 Rue St. Francois** in the ‘‘HB’’ Historic Business District.

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**STAFF REPORT**

**CASE NUMBER PZ-022024-01**

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**I. PROJECT DESCRIPTION:**

This request is a recommended approval to the City Council for a massage therapy business (**Erika Sharp Massage Therapy**) located at **1020 Rue St. Francois** in the ‘‘HB’’ Historic Business District.

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**II. EXISTING SITE CONDITIONS:**

In the ‘HB’ District, the zoning code allows for a massage business as a Special Use under *Section 405.161 (D)(6)(h) Massage business, provided that the licensing requirements of the City are met.*

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**III. SURROUNDING PROPERTIES:**

The proposed new location is a corner space, located across from the Municipal Building and connected to a personal service business, and the local diner.

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**IV. STAFF ANALYSIS:**

The petitioner is relocating the business from an existing shopping center at 525 Rue St. Francois, where she has operated under a Special Use Permit for approximately 5 years.

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39



40 She has attached self-drawn floor plan for the new space with no changes to the site or  
41 exterior of the building. The entire site contains approximately 14 shared parking spaces,  
42 two of which are in her entrance door. There is public parking across the street and along  
43 Brown Street.

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45 The space that is anticipated to be leased is approximately 1000 s.f.

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47 City regulations require the Finance Department to determine eligibility for licensure  
48 with State and/or other agencies.

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61 **VI. STAFF OBSERVATIONS/RECOMMENDATIONS:**

- 62 1. *Suggested motion:* I move to recommend approval to the City Council for a  
63 Special Use Permit for a massage therapy business (**Erika Sharp Massage**  
64 **Therapy) to be located at 1020 Rue St. Francois** in the ‘HB’ Historic Business  
65 District, subject to the protective restrictions that the Council may deem  
66 necessary; and the following recommendations:
- 67 a. All therapists shall comply with RsMO 324.265, qualifications and  
68 licensure.
  - 69 b. A wall sign more than 40 sq. ft. at the front or side of the building will  
70 require Planning Commission approval.
  - 71 c. Painted signs on exterior wall are prohibited in Historic District
  - 72 d. A grand opening banner is allowed by permit for 7-days.
  - 73 e. Logo signs or symbols in the Historic District shall have Landmark and  
74 Historic District Commission (LHDC) approval.
  - 75 f. The Special Use Permit is granted solely to *Erika Sharp Massage Therapy*
  - 76 g. This Special Use Permit is transferable to another while the business is in  
77 operation or within six months of closure.
  - 78 h. Should this Special Use cease operations for a period of six months, the  
79 Special Use Permit shall be revoked.

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(end report and suggested motion)







## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:  
Individual  Partnership \_\_\_\_\_ Corporation \_\_\_\_\_

(a) If an individual:

(1) Name and Address Erika Sharp 1705 Horseshoe Dr. 63033

(2) Telephone Number 3143729129

(3) Business Address 525 St. Francois St. Suite #5 63031

(4) Date started in business 9/2017

(5) Name in which business is operated if different from (1) Feel Sharp Massage Therapy

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers \_\_\_\_\_

(3) Business address \_\_\_\_\_

(4) Name under which business is operated \_\_\_\_\_

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers \_\_\_\_\_

(3) Business address \_\_\_\_\_

(4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_

(5) Date of Incorporation \_\_\_\_\_

(6) Missouri Corporate Number \_\_\_\_\_

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_

(8) Name in which business is operated \_\_\_\_\_

(9) Copy of latest Missouri Anti-Trust, (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.



Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Nai Desco

Address 8112 Maryland

Property Owner Nai Desco

Location of property 1020 Rue St. Francois St.

Dimensions of property 20x50 Corner space

Property is presently zoned HB Requests Rezoning To \_\_\_\_\_

Proposed Use of Property Massage Therapy Studio

Type of Sign Window Height Less than 40ft

Type of Construction Brick Number Of Stories 1

Square Footage of Building 81.6 x 50.11 Number of Curb Cuts 2

Number of Parking Spaces 2 Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter \_\_\_\_\_

No. of Shrubs N/A Size \_\_\_\_\_

Fence: Type N/A Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (I.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

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**OFFICE USE ONLY**

Date Application reviewed 2/7/2024

STAFF REMARKS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

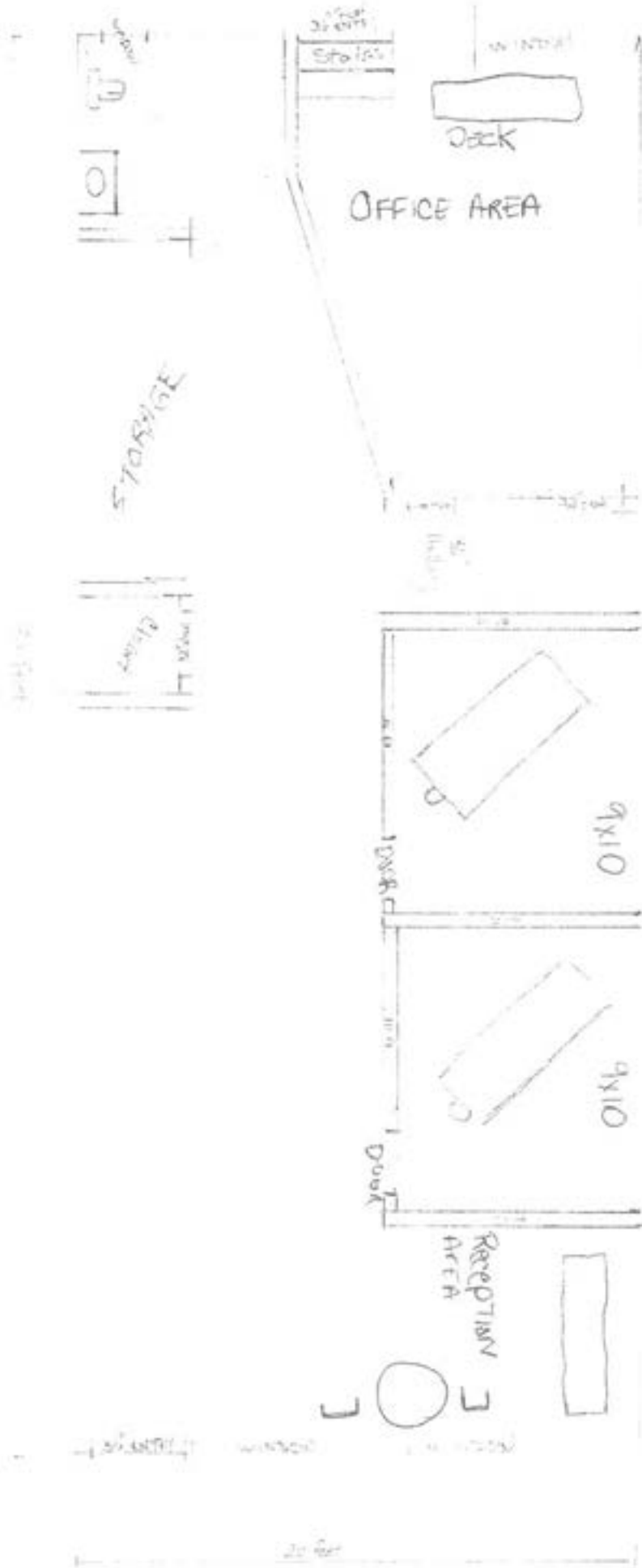
SIGN HERE

*Debra M. Irwin*

Building Commissioner or Staff Signature



1020 RUE ST FRANCOIS - PROPOSED LAYOUT







**Title XXII OCCUPATIONS AND PROFESSIONS**

**Chapter 324**




**Effective - 28 Aug 2020, 3 histories**


**324.265. Massage therapists, qualifications of applicants — waiver, when — licensure term, renewal — student license, when — provisional license, when — exemptions — exemptions for certain therapists licensed in other jurisdictions. — 1.** A person desiring a license to practice massage therapy shall be at least eighteen years of age, shall pay the appropriate required application fee, and shall submit satisfactory evidence to the board of meeting at least one of the following requirements:

(1) Has passed a statistically valid examination on therapeutic massage and body work which is approved by the board, prior to August 28, 1999, and applies for such license by December 31, 2000; or

(2) Has completed a program of massage therapy studies, as defined by the board, consisting of at least five hundred hours of supervised instruction and subsequently passing an examination approved by the board. The examination may consist of school examinations. The program and course of instruction shall be approved by the board.

(a) The five hundred hours of supervised instruction shall consist of three hundred hours dedicated to massage theory and practice techniques, one hundred hours dedicated to the study of anatomy and physiology, fifty hours dedicated to business practice, professional ethics, hygiene and massage law in the state of Missouri, and fifty hours dedicated to ancillary therapies, including cardiopulmonary resuscitation (CPR) and first aid.

(b) A person completing a massage therapy program comprised of less than five hundred hours of supervised instruction may submit an application for licensure and the board shall establish requirements for the applicant to complete the requirements of paragraph (a) of this subdivision.

2. A person who has practiced less than three years or has less than one hundred hours of training may request a waiver of the requirements of subsection 1 of this section and apply for a temporary two-year license which shall not be renewable. By the end of such two-year period, such person shall complete at least one hundred additional hours of formal training, including at least twenty-five hours in anatomy and physiology, in a school approved by the board. Such person shall have until December 31, 2000, to apply for a temporary license pursuant to this subsection.

3. Each license issued pursuant to the provisions of this section shall expire on its renewal date. The board shall renew any license upon:

- (1) Application for renewal;
- (2) Proof, as provided by rule, that the therapist has completed twelve hours of continuing education; and
- (3) Payment of the appropriate renewal fee.

Failure to obtain the required continuing education hours, submit satisfactory evidence, or maintain required documentation is a violation of this subsection. As provided by rule, the board may waive or extend the time requirements for completion of continuing education for reasons related to health, military service, foreign residency, or other good cause. All requests for waivers or extensions of time shall be made in writing and submitted to the board before the renewal date.

4. An applicant who possesses the qualifications specified in subsection 2 of this section to take the examination approved by the board may be granted a provisional license to engage in the practice of massage therapy. An applicant for a provisional license shall submit proof that the applicant has applied for the examination approved by the board. A provisional license shall be valid for one year from the date of issuance and shall be deemed void upon its expiration date. A provisional licensee is prohibited from practicing massage therapy after expiration of the provisional license.

5. As determined by the board, students making substantial progress toward completion of their training in an approved curriculum shall be granted a student license for the purpose of practicing massage therapy on the public while under the supervision of a massage therapy instructor.

6. A student license may be renewed until the student completes such student's training. Upon request, the board may extend a provisional license for good cause at the discretion of the board. An application for the extension of a provisional license shall be submitted to the board prior to the expiration of the provisional license.

7. The following practitioners are exempt from the provisions of this section upon filing written proof with the board that they meet one or more of the following:

- (1) Persons who act under a Missouri state license, registration, or certification and perform soft tissue manipulation within their scope of practice;
- (2) Persons who restrict their manipulation of the soft tissues of the human body to the hands, feet or ears;



(3) Persons who use touch and words to deepen awareness of existing patterns of movement in the human body as well as to suggest new possibilities of movement;

(4) Persons who manipulate the human body above the neck, below the elbow, and below the knee and do not disrobe the client in performing such manipulation.

8. Any nonresident person licensed, registered, or certified by another state or territory of the United States, the District of Columbia, or foreign territory or recognized certification system determined as acceptable by the board shall be exempt from licensure as defined in this chapter, if such persons are incidentally called into the state to teach a course related to massage or body work therapy or to provide massage therapy services as part of an emergency response team working in conjunction with disaster relief officials.

9. Any nonresident person holding a current license, registration, or certification in massage therapy from another state or recognized national certification system determined as acceptable by the board shall be exempt from licensure as defined in this chapter when temporarily present in this state for the purpose of providing massage therapy services at special events such as conventions, sporting events, educational field trips, conferences, and traveling shows or exhibitions.

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(L. 1998 H.B. 1601, et al., A.L. 1999 H.B. 343 merged with S.B. 362, A.L. 2006 S.B. 756, A.L. 2008 H.B. 1419, A.L. 2020 H.B. 2046)

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---- end of effective **28 Aug 2020** ----  
[use this link to bookmark section 324.265](#)


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**- All versions**

	Effective	End
<b>324.265</b>	8/28/2020	
<b>324.265</b>	8/28/2008	8/28/2020
<b>324.265</b>	8/28/2006	8/28/2008

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Click here for the [Reorganization Act of 1974 - or - Concurrent Resolutions Having Force & Effect of Law](#)

In accordance with Section [3.090](#), the language of statutory sections enacted during a legislative session are updated and available on this website on the effective date of such enacted statutory section. 

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[▶ Other Information](#)

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[▶ Other Links](#)

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# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 3/11/2024

Open  Closed

Report No. 15/2024

**Date Submitted:**

**To:** City Council

**Title:** Ordinance to authorize a Special Use Permit for Green Haven Adult Day Program, LLC to allow for an adult day care for the property located at 695 Graham Rd.

**Prepared by:** Administrator

**Department:** Public Works

**Justification:**

Please see attachments

**Attachments:**

1. PH Notice 695 Graham
2. Staff Report
3. Application
4. Floor Plan
5. Maps
6. Site pictures



INTRODUCED BY COUNCILMAN O'DONNELL  
MARCH 11, 2024

BILL NO. 9963

ORDINANCE NO.

**ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT FOR GREEN HAVEN ADULT DAY PROGRAM, LLC TO ALLOW FOR AN ADULT DAY CARE FOR THE PROPERTY LOCATED AT 695 GRAHAM RD.**

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of an adult day care facility in the City of Florissant; and

WHEREAS, an application has been filed by Green Haven Adult Day Program, LLC to allow for the operation of an adult daycare located at 695 Graham Road, and

WHEREAS, the Planning and Zoning Commission at their meeting on February 20, 2024, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 24-05-009 on said application to be held on the 11th of March, 2024 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for an adult daycare would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Green Haven Adult Day Program, LLC to allow for the operation of an adult daycare located 695 Graham Road with the following stipulations:

- a. Future occupancies for the 2nd floor unit and lower-level commercial space shall comply with city ordinances before leasing.
- b. A grand opening banner is allowed by permit for 7-days.
- c. Seal and stripe asphalt parking lot.
- d. The Special Use Permit is granted solely to Green Haven Adult Day Program LLC
- e. When not in use as Adult Day Program Center, space cannot be rented as an Event Center or Banquet Center.
- f. An operable kitchen is always required for the term of the use.
- g. A Florissant commercial occupancy permit and business license is required.
- h. Remove large dead tree at corner of Manion and Graham Road, manicure shrubs at front of property.
- i. Construct trash can enclosure in accordance with Section 220.040 of the city code of ordinances.
- j. Owner shall possess and post a valid Missouri license/certification to operate an Adult Day Care Program for the term of the Special Use Permit.
- k. Properly screened HVAC units per City Code.
- l. This Special Use Permit is transferable to another while the business is in operation or within six months of closure.

m. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be deemed abandoned.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Joseph Eagan  
President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor Timothy J. Lowery

ATTEST: \_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk



# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.120 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 11, 2024 at 7:00 p.m. on the following proposition:**

**To authorize a Special Use Permit to allow for an adult day care for the property located at 695 Graham Rd (Green Haven Adult Day Program, LLC). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

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**MEMORANDUM**



**CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners                      Date: February 9, 2024

From: Debra M. Irvin, Building Commissioner              c: Director of Public Works  
City Clerk  
Deputy City Clerk  
Economic Development Dir  
Applicant  
File

Subject: Request recommended approval of a Special Use Permit for an adult day care facility (**Green Haven Adult Day Program, LLC**) at **695 Graham Rd** in the "B-3" Extensive Commercial District

**STAFF REPORT**  
**CASE NUMBER PZ-022024-04**

**I. PROJECT DESCRIPTION:**

This is a request for a recommended approval to the City Council for a Special Use Permit to operate an adult day care facility (**Green Haven Adult Day Program, LLC**) at **695 Graham Rd** in the "B-3" Extensive Commercial District

**II. EXISTING SITE CONDITIONS:**

According to St Louis County record, the existing building at 695 Graham Road is approximately 0.79 acres and the building is approximately 8,325 s.f., built in 1912, the structure is listed as a Mixed Residential/Commercial use. The property is currently being used as a Ministry building in the main structure, the lower level is being used as a hair salon since 2013; and a residential rental unit on the second floor, with a certificate of compliance since February 2, 1995.

**III. PARKING CONDITIONS**

The asphalt parking lot has 47 parking spaces. The lot will require sealing and stripping prior to occupancy. The minimum parking required for child-care centers, day nurseries



41 and adult day-care centers is 1 space for every 10 children or adults enrolled plus 1 per  
42 employee (consider drop-off/pickup arrangement). The required spaces needed for this  
43 use is ten (10).

44  
45



46  
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48 **IV. PROJECT OCCUPANCY LOAD:**

49 Applicant projects fifty (50) adult clients and 6 staff members, during operational hours  
50 of 7:00am – 6:00pm, Monday – Friday. No weekend or holidays planned at this time.

51

52 **V. SURROUNDING PROPERTIES:**

53 Along Manion Park is an R-4 Zoning, consisting of an office building and a Baptist  
54 Church. Along Graham, is Hutchens Mortuary & Cremation Center, and residential  
55 parcels.

56

57 **VI. STAFF ANALYSIS:**

58 The petitioner is relocating the business from the City of Hazelwood. She has attached a  
59 floor plan for the new space with no changes to the site or exterior of the building. The

60

61 **VII. STAFF RECOMMENDATIONS:**

- 62 1. *Suggested motion:* I move to recommend approval to the City Council for a  
63 Special Use Permit for an adult day care facility (**Green Haven Adult Day  
64 Program LLC**) to be located at **695 Graham Road** in the ‘B-3’ Extensive  
65 Commercial District subject to the restrictions that the Council may deem  
66 necessary; and the following recommendations:
- 67 a. Future occupancies for the 2<sup>nd</sup> floor unit and lower-level commercial space  
68 shall comply with city ordinances before leasing.
  - 69 b. A grand opening banner is allowed by permit for 7-days.
  - 70 c. Seal and stripe asphalt parking lot.
  - 71 d. The Special Use Permit is granted solely to *Green Haven Adult Day  
72 Program LLC*
  - 73 e. When not in use as Adult Day Program Center, space cannot be rented as  
74 an Event Center or Banquet Center.

- 75 f. An operable kitchen is always required for the term of the use.  
76 g. A Florissant commercial occupancy permit and business license is  
77 required.  
78 h. Remove large dead tree at corner of Manion and Graham Road, manicure  
79 shrubs at front of property.  
80 i. Construct trash can enclosure in accordance with Section 220.040 of the  
81 city code of ordinances.  
82 j. Owner shall possess and post a valid Missouri license/certification to  
83 operate an Adult Day Care Program for the term of the Special Use  
84 Permit.  
85 k. This Special Use Permit is transferable to another while the business is in  
86 operation or within six months of closure.  
87 l. Should this Special Use cease operations for a period of six months, the  
88 Special Use Permit shall be revoked.  
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**(End of report and suggested motion)**







93



**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works  
314-839-7648**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

Council Ward 6 Zoning "B-3"

Initial Date Petitioner Filed 2/7/2024  
**Building Commissioner to complete  
ward, zone & date filed**

SPECIAL PERMIT FOR Adult Day Program

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR \_\_\_\_\_  
ordinance # Statement of what the amendment is for.

LOCATION 695 Graham Road Florissant, MO 63031  
Address of property.

1) Comes Now Tiffany Green

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Buyer

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Ministry Office and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.



4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking. **Yes**

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application. **Yes**

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.: operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.): **Yes**

7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

Tiffany Green

greenhavenstl@gmail.com 314-393-1639

PRINT NAME

SIGNATURE

email and phone

FOR

Green Haven Adult Day Program LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE

*Tiffany Green*

ADDRESS

6207 N Lindbergh Blvd Hazelwood, MO 63042

STREET

CITY

STATE

ZIP CODE

TELEPHONE / EMAIL

314-942-3434

BUSINESS

I (we) the petitioner (s) do hereby appoint

N/A

as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

*Tiffany Green*  
Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.



## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual  Partnership \_\_\_\_\_ Corporation \_\_\_\_\_

(a) If an individual:

- (1) Name and Address Tiffany Green 6207 N Lindbergh Hazelwood, MO 63042
- (2) Telephone Number 314-393-1639
- (3) Business Address 6207 N Lindbergh Hazelwood, MO 63042
- (4) Date started in business 5/18/2021
- (5) Name in which business is operated if different from (1) N/A
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_
- (5) Date of Incorporation \_\_\_\_\_
- (6) Missouri Corporate Number \_\_\_\_\_
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated \_\_\_\_\_
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Tiffany Green/ Green Haven Adult Day Program LLC

Address 6207 N Lindbergh Blvd Hazelwood, MO 63042

Property Owner BAIT Ministries Christian Center

Location of property 695 Graham Road Florissant, MO 63031

Dimensions of property 2 Story Single Family

Property is presently zoned B-3 Requests Rezoning To N/A

Proposed Use of Property Adult Daycare

Type of Sign Ground Sign Height 120.5 Inches

Type of Construction Wood Frame Number Of Stories 2

Square Footage of Building 8325 Sq Ft Number of Curb Cuts 3

Number of Parking Spaces 47 Sidewalk Length N/A

Landscaping: No. of Trees 1 Diameter \_\_\_\_\_

No. of Shrubs 6 Size 4'

Fence: Type N/A Length N/A Height N/A

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties. R4
2. Show location of property in relation to major streets and all adjoining properties. See Map
3. Show measurement of tract and overall area of tract. 0.79
4. Proposed parking layout and count, parking lighting. 47 Spaces
5. Landscaping and trash screening. Metal Trash Enclosure
5. Location, sizes and elevations of signage. Front Yard, Wood, Ground



**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

A tract land in the city of Florissant, located at 695 Graham Road, consisting of 0.79 acres, filed in Saint Louis County, Book 20174, Page 2134 with lot dimensions 0175/0175-0197/0197, School District Ferguson Florissant, Saint Louis County, District 4 located in the Dan-Hoff subdivision

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

Please see attached

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**OFFICE USE ONLY**

Date Application reviewed 2/7/2024

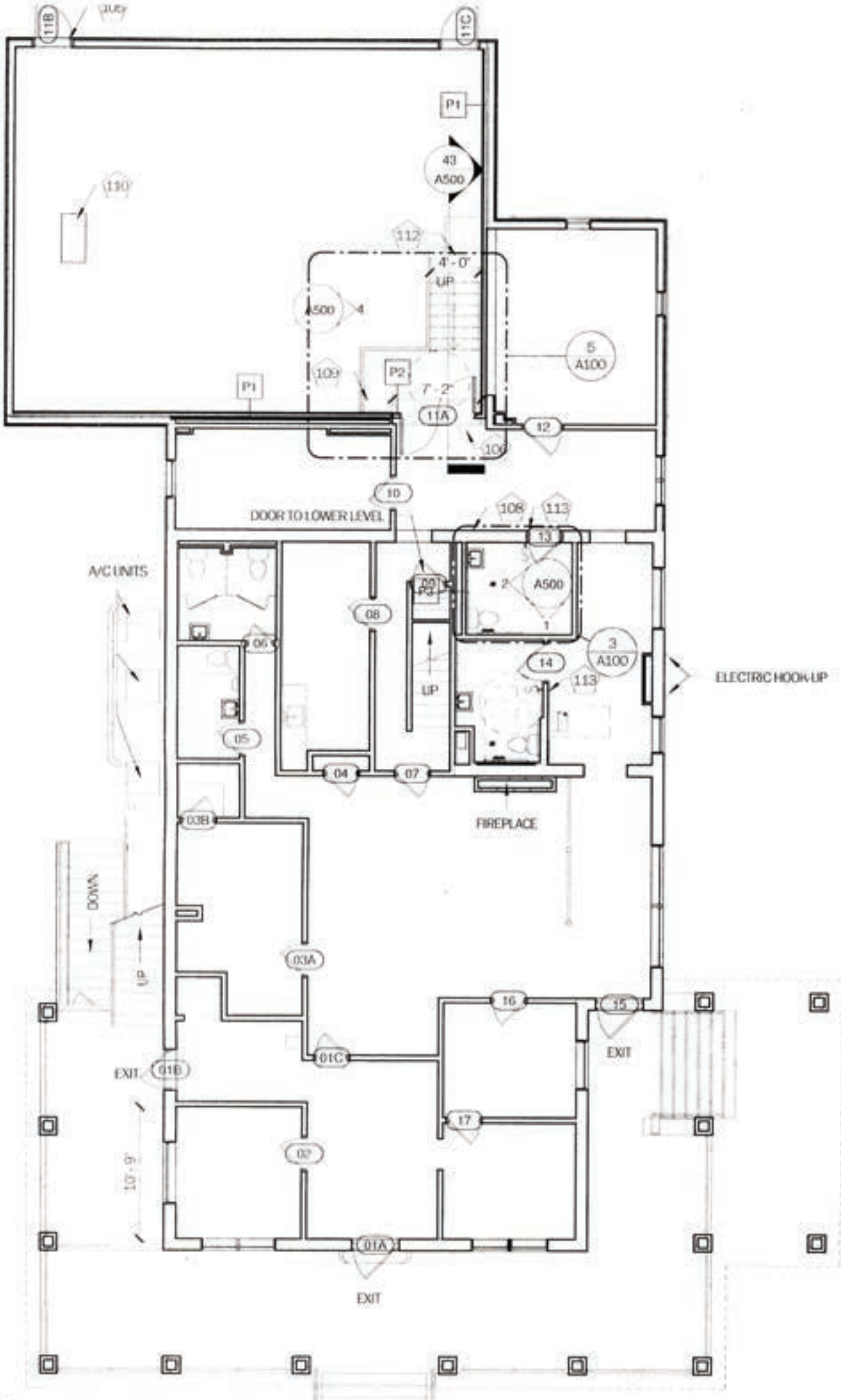
STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

*Debra M. Irvin*  
\_\_\_\_\_  
Building Commissioner or Staff Signature



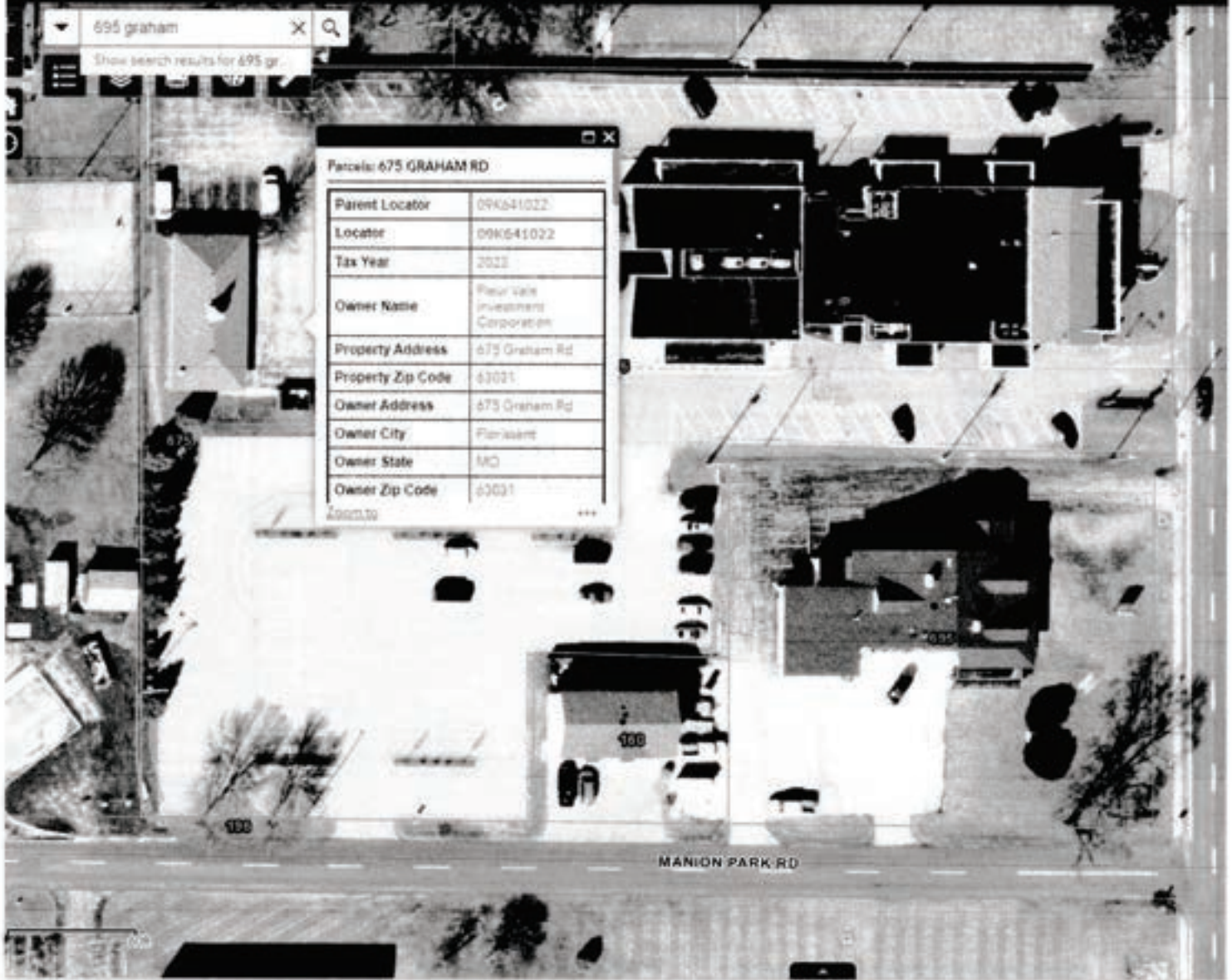


695 graham

Show search results for 695 gr

Parcel: 675 GRAHAM RD

Parent Locator	09K641022
Locator	09K641022
Tax Year	2023
Owner Name	Flour Valt Investment Corporation
Property Address	675 Graham Rd
Property Zip Code	63021
Owner Address	675 Graham Rd
Owner City	Florissant
Owner State	MO
Owner Zip Code	63021









## 695 Graham Rd - Sign, Trees, and Shrub



Planning Commission 2/20/2024



# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 25, 2024 at 7:00 p.m. on the following proposition:**

**To amend Special Use Permit No. 7155 as amended for Dairy Queen to allow for a second drive-through lane for the property located at 2678 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

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**MEMORANDUM**



**CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners                      Date: February 27, 2024  
From: Debra Irvin, Building Commissioner                      c: Director Public Works  
Deputy City Clerk  
Economic Development  
Applicant  
File

Subject: A request from DPG Enterprises Inc to amend an existing Special Use Permit under **Ordinance No. 7869** to add a 2<sup>nd</sup> drive-thru menu board **2678 N. Hwy 67 (Dairy Queen)** in ‘B-3’ Extensive Business District.

**STAFF REPORT**  
**CASE NUMBER PZ-03042024-02**

**I. Applicant:**

DPG Enterprises Inc, d/b/a Dairy Queen, 2678 N. Hwy 67, Florissant, Mo 63033, a local chain restaurant, located at the SW corner of Lindbergh & Trotter Way.

**II. PROJECT DESCRIPTION:**

The request before the commission is to review and consider approving an additional drive-through menu board, with a new concrete curb, and a new parking exit at Dairy Queen, 2678 N. Hwy 67. This second drive through lane does not impact the traffic within this shopping mall.

Attached plans, used with permission granted by signs and Graphics (SGS).

**III. SITE CONDITIONS:**

The existing property at **2678 N. Hwy 67** is in Florissant Meadows Shopping Center built in 1967 according to County records. The twin drive through does not impact the required 14 parking spaces, total parking spaces 18.



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**IV. STAFF ANALYSIS:**

Plans received from the applicant include open letter signage designs for wall signs for the business.

The stated wind load provided by the designer is 110 mph for this new 2<sup>nd</sup> menu board.

**V. STAFF RECOMMENDATIONS:**

**Suggested Motion:**

I move to recommend approval to the City Council to amend the Special Use Permit, and allow for a 2<sup>nd</sup> menu board, creating a twin drive-through, with a new concrete curb, and a new parking exit at 2678 N. Hwy 67 with the following conditions:

1. Construction shall start within 90 days of the issuance of building permits for the project and shall be completed within 6 months of the start of construction.

**(End of report and suggested motion)**

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works  
314-839-7648**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

Council Ward \_\_\_\_\_ Zoning \_\_\_\_\_

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

SPECIAL PERMIT FOR Dairy Queen

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR 2nd Drive-Thru board  
ordinance # \_\_\_\_\_ Statement of what the amendment is for.

LOCATION 2678 N Hwy 67, Florissant, MO 63033  
Address of property.

1) Comes Now DPG Enterprises Inc DBA Dairy Queen (David Greer)  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) DPG Enterprises Inc.

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

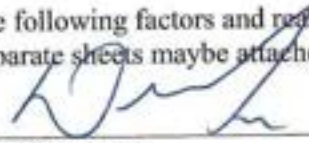
2) The petitioner(s) further state(s) that the property herein described is presently being used for Dairy Queen Grill & chill and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.



- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

David Greer



DQDavidG@aol.com (314-803-3688)

PRINT NAME

SIGNATURE

email and phone

FOR DPG Enterprises Inc, DBA Dairy Queen

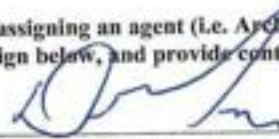
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
  2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE



ADDRESS 2678 N Hwy 67 Florissant, MO 63033

STREET

CITY

STATE

ZIP CODE

TELEPHONE / EMAIL 314-803-3688

BUSINESS

I (we) the petitioner (s) do hereby appoint David Greer as  
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.



Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation  DPG Enterprises Inc \_\_\_\_\_

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners David Greer 1109 St Theresa Ln, Dardenne Prairie, MO 63368 \_\_\_\_\_
- (2) Telephone numbers **314-803-3688** \_\_\_\_\_
- (3) Business address **2678 N Hwy 67 Florissant, MO 63033** \_\_\_\_\_
- (4) State of Incorporation & a photocopy of incorporation papers **MO** \_\_\_\_\_
- (5) Date of Incorporation **1992** \_\_\_\_\_
- (6) Missouri Corporate Number **43-1617946** \_\_\_\_\_
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. DPG Enterprises Inc \_\_\_\_\_
- (8) Name in which business is operated **Dairy Queen** \_\_\_\_\_
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.



**Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
Property Owner \_\_\_\_\_  
Location of property \_\_\_\_\_  
Dimensions of property \_\_\_\_\_  
Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_  
Proposed Use of Property \_\_\_\_\_  
Type of Sign \_\_\_\_\_ Height \_\_\_\_\_  
Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_  
Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_  
Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_  
Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_  
No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_  
Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (I.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Building Commissioner or Staff Signature



1 INTRODUCED BY COUNCILMAN HERNANDEZ  
2 MARCH 12, 2012

3  
4 BILL NO. 8810

ORDINANCE NO.

7869

5  
6 **AN ORDINANCE AMENDING SPECIAL USE PERMIT NO. 7155**  
7 **GRANTED TO DPG ENTERPRISES INC. D/B/A DAIRY QUEEN TO**  
8 **ALLOW FOR AN ELECTRONIC READER BOARD ON THE EXISTING**  
9 **POLE SIGN FOR THE PROPERTY LOCATED AT 2678 N. HWY 67.**

10  
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and  
13 operation of a restaurant; and

14 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to  
15 the DBG Enterprises Inc. d/b/a Dairy Queen for the location and operation of a restaurant on the  
16 property described in Ordinance No. 7155; and

17 WHEREAS, an application has been filed by the DBG Enterprises Inc. for an  
18 amendment to the said Special Use Permit heretofore granted under Ordinance No. 7155 to  
19 authorize the addition of certain conditions; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their  
21 meeting on February 21, 2012 has recommended that the said Special Use Permit be amended;  
22 and

23 WHEREAS, due notice of public hearing no. 12-03-006 on said application to be held on  
24 the 12<sup>th</sup> of March, 2012 at 7:00 P.M. by the Council of the City of Florissant was duly published,  
25 held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful  
27 consideration, has concluded that the granting of an amendment to the Special Use Permits  
28 authorized by Ordinance No. 7155, as hereinafter provided would be in the best interest of the  
29 City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32  
33 Section 1: The Special Use Permit heretofore granted to the DBG Enterprises Inc. d/b/a  
34 Dairy Queen under Ordinance No. 7155 is hereby amended to allow for an electronic  
35 reader board on the existing pole sign located at 2678 N. Highway 67.

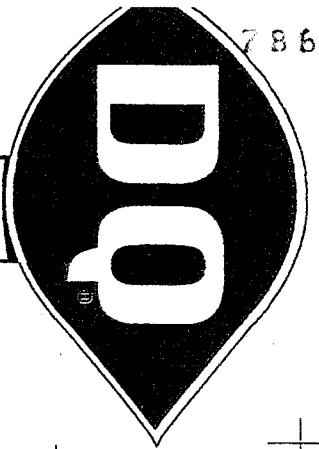
36  
37 Section 2: Said Special Permit shall be conditioned on and shall remain in full force and  
38 effect so long as the conditions set out in Ordinance . 7155, as now amended, are adhered to.



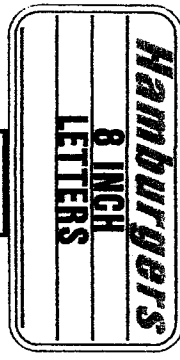


9'-6"

7869

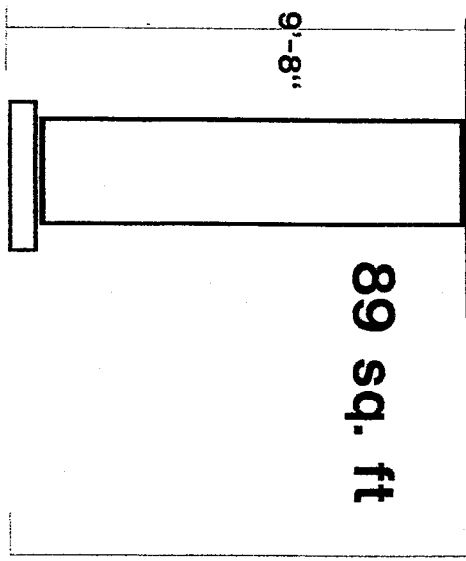


6'



89 sq. ft

9'-8"



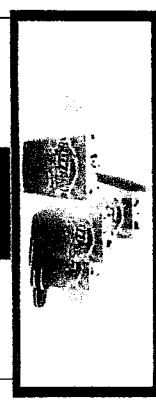
20'

10'



6'

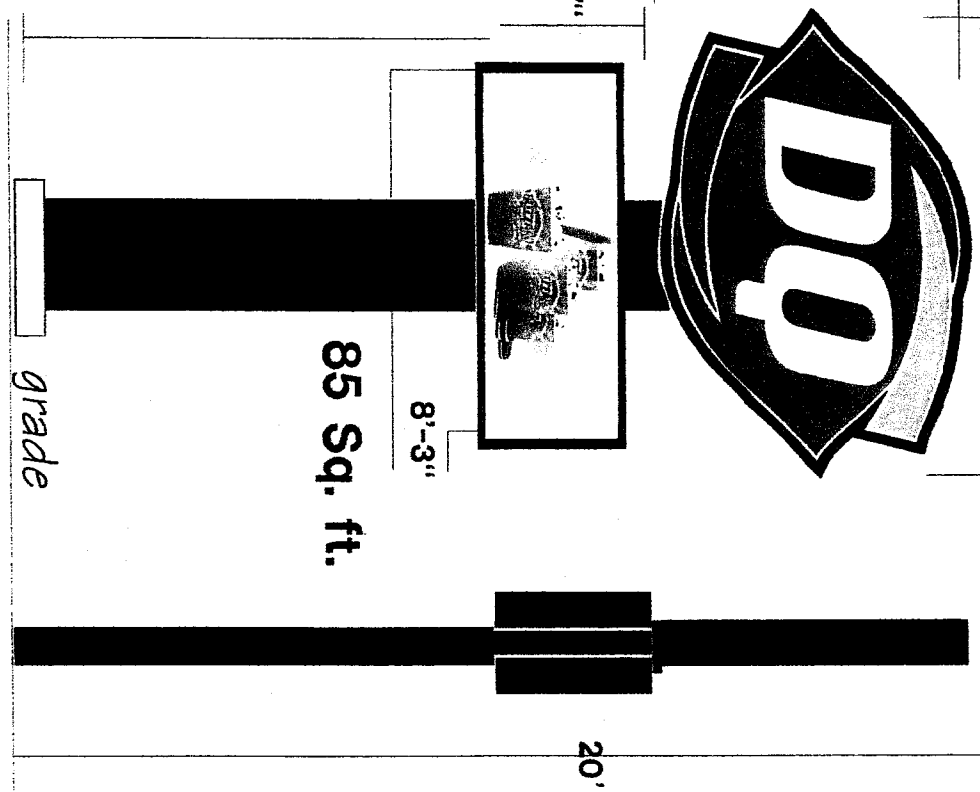
37"



8'-3"

85 Sq. ft.

9'-8"



grade

20'

- DQ sign from others
- Watchfire electronic messag
- 25 mm color
- Matrix 32 x 96
- Size 37 X 8'-3"
- 1-15 Quintillion colors
- 5 year parts warranty
- Radio control
- Time & temp

**DTS** Bill Yount  
 2002 Wenden Rd  
 St. Louis, MO 63114  
 PH: 314-423-2933  
 FAX: 314-423-2934  
 www.billyoungsigns.com

DATE: 8/17/06  
 PROJECT: FLORESANT  
 CUSTOMER: FLORESANT, MO  
 JOB LOCATION: FLORESANT, MO

**Bill Yount SIGN and Graphics**  
 2002 Wenden Rd  
 St. Louis, MO 63114  
 PH: 314-423-2933  
 FAX: 314-423-2934  
 www.billyoungsigns.com

PRODUCT	CUSTOMER	JOB LOCATION	CONTACT	SALES PERSON	DATE	SIGNED AS	SCALE	PIECES	REVISIONS	APPROVED AS IS	APPROVED AS NOTED	REUSE & REBURST

# Existing sign

# Proposed sign



**Parking Mandate:**  
 1 space per 2 seats  
 1 for each 3 employees

**Dairy Queen requirement:**  
 28 seats = 14 spaces  
 6 employees = 2 spaces  
 16 total spaces

**As Shown:**  
 16 spaces

1. New lane stripes and arrows  
Two 10ft wide traffic lanes
2. New 3ft x 16ft x 6" concrete curb
3. New 4.5' x 10' menu board



4. Employee Only Parking

This print and design is exclusive property of Bill Yount Signs & Electric. Any unauthorized use or duplication will result in a 20% charge per occurrence per the value of the display.

**CUSTOMER**  
Dairy Queen

**DATE**  
3/8/2024

**SALESPERSON**  
David Williams

**BASIC SPECS**  
New twin drive-thru lanes and parking plan

**LOCATION**  
2678 N Hwy 67  
Florissant, MO

**CONTACT**  
David Greer

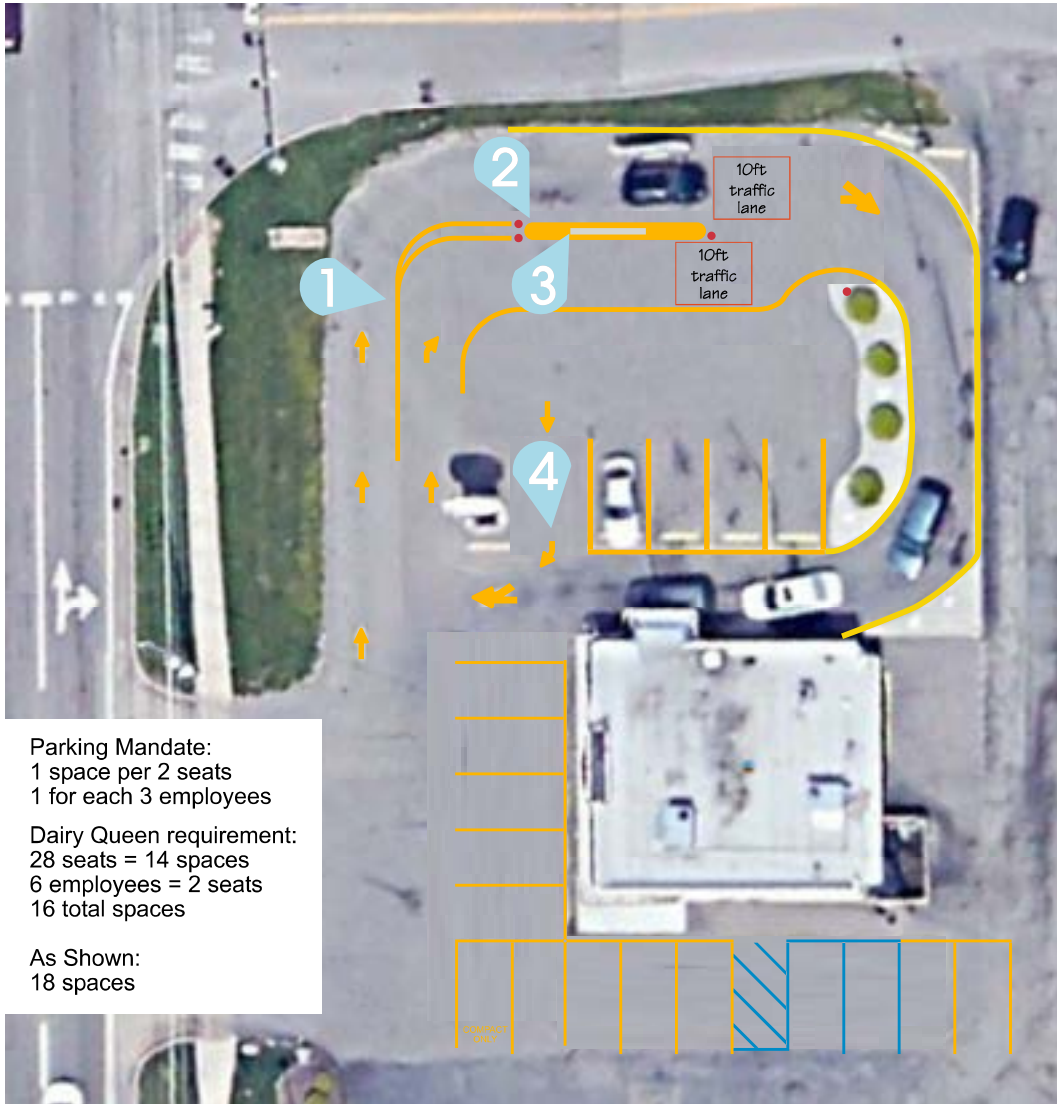
**DESIGNER**  
David Williams

Approved As Is
Approved As Noted
Revise & Resubmit



2002 Woodson Rd., St. Louis, MO 63114  
 (314) 423-2933 ph (314) 423-8056 fax  
[www.BillYountSigns.com](http://www.BillYountSigns.com)





Parking Mandate:  
 1 space per 2 seats  
 1 for each 3 employees

Dairy Queen requirement:  
 28 seats = 14 spaces  
 6 employees = 2 seats  
 16 total spaces

As Shown:  
 18 spaces

1. New lane stripes and arrows  
Two 10ft wide traffic lanes
2. New 3ft x 16ft x 6" concrete curb
3. New 4.5' x 10' menu board
4. New parking exit

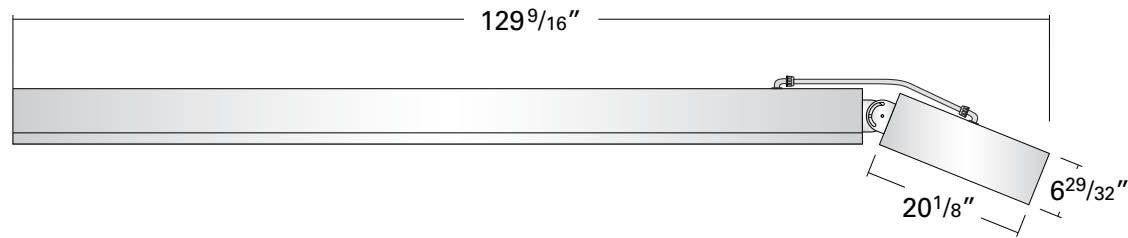


This print and design is exclusive property of Bill Yount Signs & Electric. Any unauthorized use or duplication will result in a 20% charge per occurrence per the value of the display.

CUSTOMER Dairy Queen	DATE 1/24/2024	SALESPERSON David Williams	BASIC SPECS New twin drive-thru lanes and parking plan	<input type="checkbox"/> Approved As Is <input type="checkbox"/> Approved As Noted <input type="checkbox"/> Revise & Resubmit	
LOCATION 2678 N Hwy 67 Florissant, MO	CONTACT David Greer	DESIGNER David Williams		2002 Woodson Rd., St. Louis, MO 63114 (314) 423-2933 ph (314) 423-8056 fax <a href="http://www.BillyountSigns.com">www.BillyountSigns.com</a>	



# 4 Door LED Drive Thru with LED Adder



**Square Footage:**

**MENU BOARD:**

40.19 sqft

**ADDER:**

7.62 sqft

**Volts:**

**MENU BOARD:**

3.0 Amps. @ 120 VAC 60Hz

**ADDER:**

.50 Amps. @ 120 VAC 60Hz

**LED Color Temperature:**

5000K

Drawing Type Art Creative

Customer Dairy Queen

Project Description 4 Door LED DT w/ LED Adder

Drawn By: DL

Proj. Man.:

Date: 01/14/20

Proj. No.:

Note:





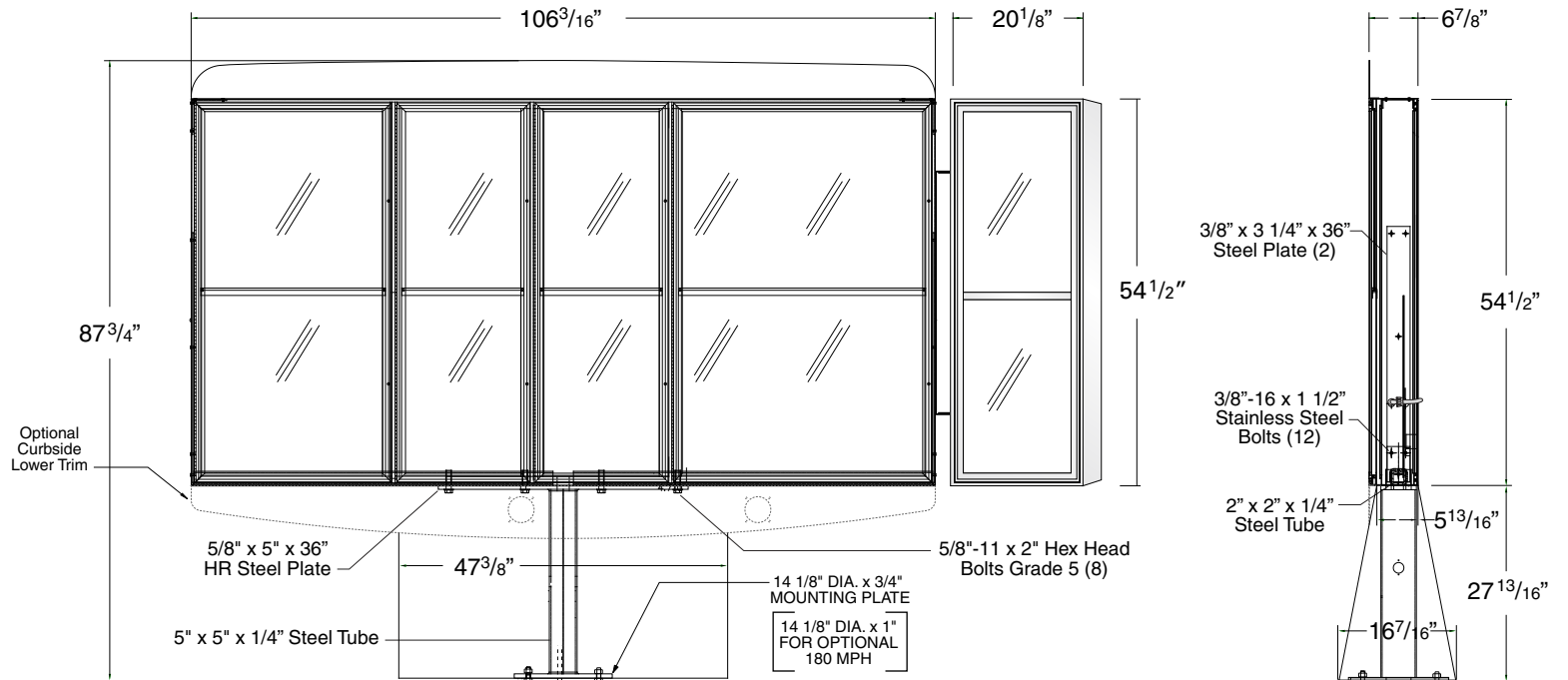
# LED Drive-Thru Menu Board with Adder

**NOTES:**  
 1) Housing Constructed of Aluminum Extrusion Welded  
 2) Door Frames Will Be Extruded Aluminum  
 3) Door Plex Will Be 1/8" Non Glare Acrylic  
 4) Entire Board Powder Coat Silver

**NOTES:**  
**MATERIALS:**  
 All Joints To Be Welded All Around  
 Grade A36 Steel Shapes  
 Grade A500 B Steel Tube

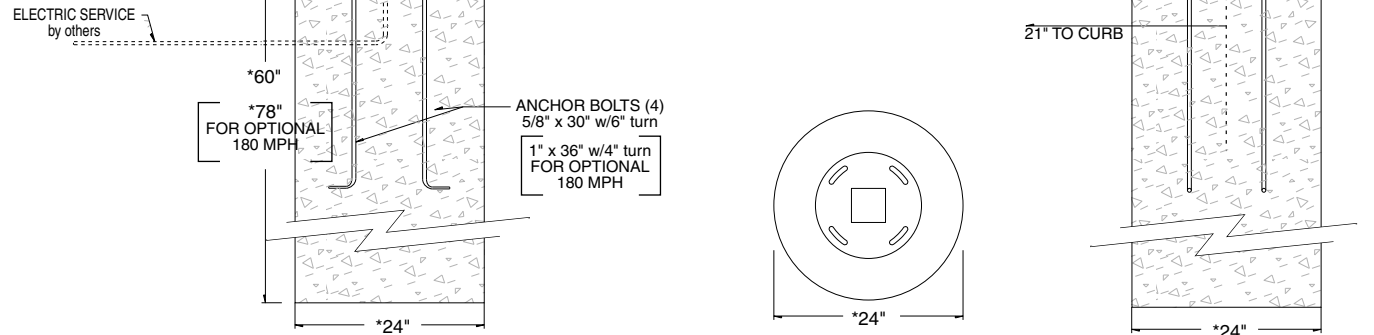
MICROPHONE AND SPEAKER FOR CURBSIDE OPTION ONLY

**THIS SIGN IS UL/CSA LISTED**  
**STANDARD WIND LOAD: 110 mph**



**\*NOTE: These are approximate foundation measurements. The soil bearing capacity at the erection site must be considered when designing the foundation. The sign manufacturer is not able to predetermine the specific needs of each location. Consult a local engineer for design specifications.**

**\*NOTE: This is a suggested plan. Local requirements may exceed this design. The contractor is responsible to verify this plan.**



## Drive Thru

**VOLTS: 3.0Amps. @ 120 VAC 60Hz**

## Adder

**VOLTS: .50Amps. @ 120 VAC 60Hz**

Drawing Type Art Creative

Customer Dairy Queen

Project Description 4 Door LED DT Spec

Drawn By: DL

Proj. Man.:

Date: 06/22/18

Proj. No.:

Note:



# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 25, 2024 at 7:00 p.m. on the following proposition:**

**To amend Special Use Permit No. 8909 for Sugarfire Barbeque to allow for exterior changes for the property located at 1290 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [cityclerk@florissantmo.com](mailto:cityclerk@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**



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**MEMORANDUM**



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**CITY OF FLORISSANT**

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*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

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To: Planning and Zoning Commissioners Date: February 27, 2024

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From: Debra M. Irvin, Building Commissioner c: Director Public Works  
Deputy City Clerk  
Economic Development  
Applicant  
File

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Subject: Request to amend the existing Special Use Permit issued under Ordinance No. 8909 at **1290 N Highway 67 (Sugarfire)** in a 'B-3' Zoning District.

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**STAFF REPORT**

**CASE NUMBER PZ- 03042024-03**

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**I. PROJECT DESCRIPTION:**

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This is a request to amend Special Use Permit **Ordinance 8909** to allow for additional uses, i.e. parking, placement of animal statute, outdoor dining, increase occupant load, outdoor cooking; erect a rear fence, and install an artist painting on the fence at 1920 N, Hwy 67, currently zoned 'B-3'.

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**II. EXISTING SITE CONDITIONS:**

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The property at 1920 N Hwy 67 is occupied. The site is paved, with outdoor cooking grills at the rear of the building. The grassy area along N. Hwy 67 is in the right-of-way.

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37

The property is approximately 2550 square feet under roof, with indoor dining, counter line food service, and kitchen. The walls of the building are CMU (concrete units) painted. There are parking spaces around the building and off-street parking off N. Lafayette, a total of 23 spaces. Occupancy requires 25. Applicant has an unofficial agreement with U-Haul (see plan page A106) for additional 5-spaces. An official agreement is outlined in Section 405.225 (f) (13) on **line 38** in this report.

38

38 **SHARE PARKING REQUIREMENTS – SECTION 405.225 (F)(13):**

39 All parking spaces required herein shall be located on the same parcel of land as the use  
40 to be served except as follows:

41 a. Parking for one (1) or more uses in a commercial or industrial district may be  
42 provided on a separate lot when said separate lot is within a similar zoning district type  
43 and within three hundred (300) feet of the use or uses to be served, as measured along a  
44 pedestrian walkway designed to allow pedestrians to safely access the use.

45 b. When two (2) or more owners agree to provide their required parking spaces  
46 jointly, the number of joint parking spaces shall be equal to the number of parking spaces  
47 required if each were to provide parking separately, unless otherwise stated herein.

48 (1) The applicants for joint parking shall submit a joint parking plan and an  
49 appropriate legal instrument of agreement among the involved property owners for  
50 review by the Building Commissioner and approval by the City Attorney.

51 (2) Such joint parking plan and agreement shall include language binding  
52 the owners of the properties and their successors and assigns to the agreement  
53 and limiting and controlling use of land to those uses and conditions approved by  
54 the City.

55 (3) The applicant shall record the joint parking agreement with the County  
56 Recorder of Deeds.

57  
58 **Reference Ord No. 8235 (U-Haul) lines 114-116** states U-Haul must always have 10  
59 parking spaces available. Currently, the city staff considers the parking agreement as a  
60 non-binding, “handshake” agreement that has relieved parking pressure on SugarFire’s  
61 lot. An official parking agreement would not place U-Haul in violation of Ord. 8235; their  
62 required 10 parking spaces would not be impacted.

63  
64 **III. SURROUNDING PROPERTIES:**

65 The property to the west 1920 N Highway 67 and the property to the South are both  
66 located in a B-3 District, it is also across N Lafayette from U-Haul at 1350 N Highway 67  
67 in a B-5 Zoning District.

68  
69 **IV. STAFF ANALYSIS:**

70 The application is accompanied by CAD drawing for the fence sign, parking spaces and  
71 patio dining. *Work previously done without zoning approval is the privacy fence at rear*  
72 *enclosing outdoor grills, and curbside pickup.*

73  
74 The current zoning allows for a restaurant if a Special Use Permit is granted by the City  
75 Council.

76  
77 **VI. STAFF RECOMMENDATIONS:**

78 Approve the applicant’s request to amend the existing Special Use Permit, Ordinance  
79 8909.

80  
81



82 **Suggested Motion for 1920 N Highway 67- Sugarfire**

83  
84 I move to recommend approval to the City Council to amend the Special Use  
85 Permit to allow for parking, curbside pickup, placement of animal statute, outdoor  
86 dining, increased occupant load, outdoor cooking; erect a rear fence, and install an  
87 artist painting on the chain-link fence, subject to the conditions set forth below  
88 with these conditions being part of the record.

- 89  
90 1. Parking spaces shall remain at 23 with 5 spaces at U-Haul  
91 2. Parking agreement shall be presented as required in code section  
92 405.225 (F)(13)  
93 3. Relocate the “curbside pickup” sign to the front parking lot.  
94 4. Outdoor dining patrons shall be protected from vehicles entering  
95 parking lot with rails that will meet with architecture of the surrounding  
96 area.  
97 5. No Lafayette access entrance is strictly for trash vehicle (no other  
98 vehicles permitted)  
99 6. Fence mural shall be maintained during the life of its use. If tattered or  
100 torn, mural must be removed and replaced with a new mural subject to  
101 Building Commissioner’s approval.  
102 7. Trash and debris shall always be picked up.  
103 8. Complete the screening for the roof top units (RTU). RTU should not be  
104 visible.  
105 9. Paint exterior brick walls shall be maintained at times.  
106 10. Install a **“no parking”** sign on the gate for the dumpster enclosure.  
107 11. Special Use Permit shall remain in full force and effect and subject to  
108 all of the ordinances of the City of Florissant.  
109 12. When Sugar Fire BBQ discontinues the operation of the business for  
110 longer than one hundred and eighty days (180) days, the Special Use  
111 Permit herein granted shall no longer be in force and effect.

112  
113 **(End report and suggested motion)**  
114





- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

Charles M Downs

cdowns@sugarfiresmokehouse.com

PRINT NAME

SIGNATURE

email and phone

Sugarfire Barbecue, LLC

FOR

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.

2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE \_\_\_\_\_

ADDRESS \_\_\_\_\_  
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL \_\_\_\_\_  
 BUSINESS

I (we) the petitioner (s) do hereby appoint \_\_\_\_\_ as  
 my (our) duly authorized agent to represent me (us) in regard to this petition.  
 Print name of agent.

Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual \_\_\_\_\_ Partnership   X   Corporation \_\_\_\_\_

(a) If an individual:

(1) Name and Address \_\_\_\_\_

(2) Telephone Number \_\_\_\_\_

(3) Business Address \_\_\_\_\_

(4) Date started in business \_\_\_\_\_

(5) Name in which business is operated if different from (1) \_\_\_\_\_

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

Please see attached 1290

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers 314 852-1897

(3) Business address 1290 North Highway 67

(4) Name under which business is operated Sugarfire Smokehouse

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers \_\_\_\_\_

(3) Business address \_\_\_\_\_

(4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_

(5) Date of Incorporation \_\_\_\_\_

(6) Missouri Corporate Number \_\_\_\_\_

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_

(8) Name in which business is operated \_\_\_\_\_

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.



Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner \_\_\_\_\_

Location of property \_\_\_\_\_

Dimensions of property \_\_\_\_\_

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

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**OFFICE USE ONLY**

Date Application reviewed 2/22/2024

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Debra N. Jan  
Building Commissioner or Staff Signature







KAEMMERLEN  
FOODSERVICE  
SOLUTIONS



1290 N. HWY 67, FLORISSANT, MO

# SUGARFIRE - FLORISSANT

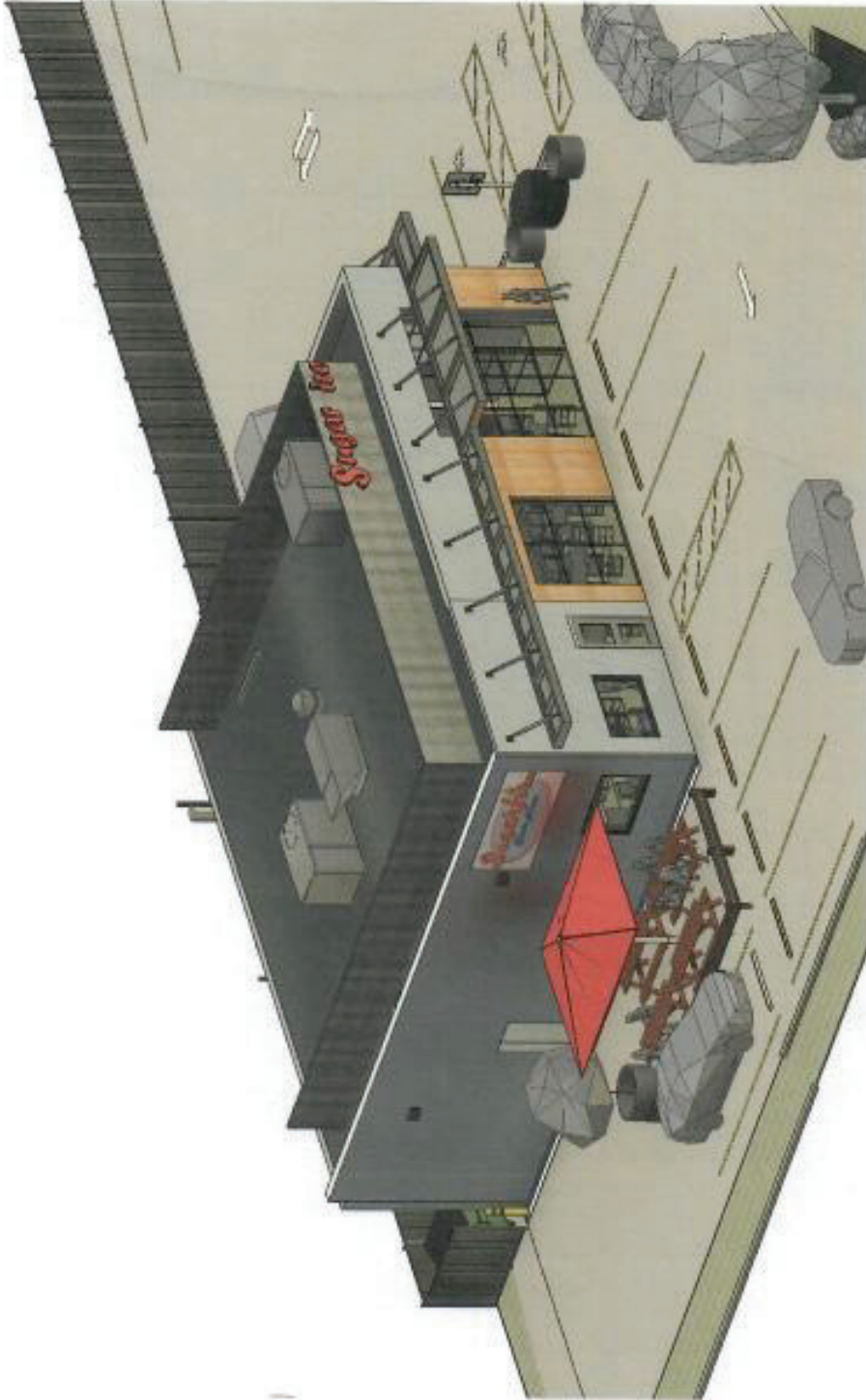
REVISION

SCALE

ISSUE DATE  
ISSUE

A107

3D SITE



1 3D BUILDING

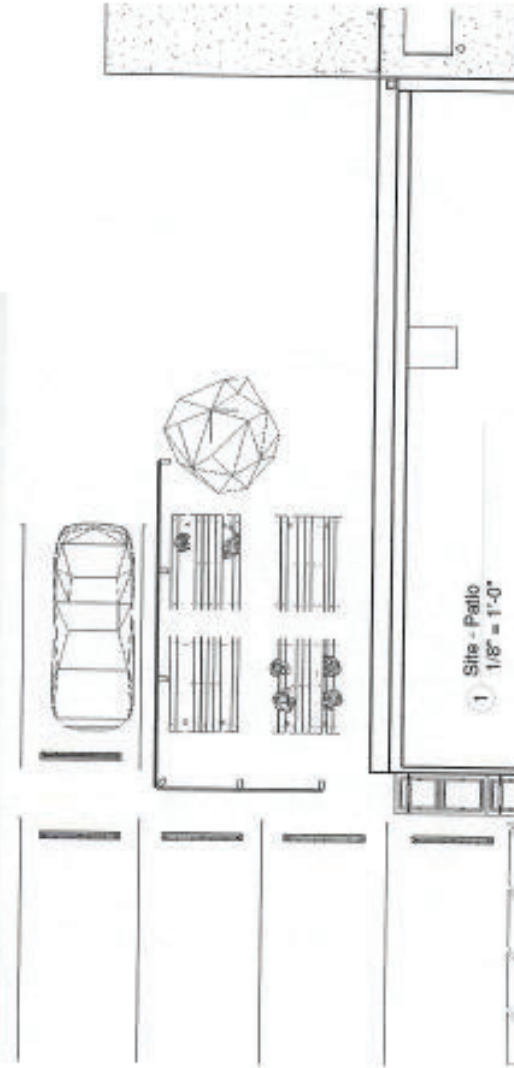
SCALE AS NOTED WHEN PRINTED ON 11X17 SHEET





**PARKING / SEATING ANALYSIS**

INDOOR SEATING	42
OUTDOOR SEATING	16
58 SEATS / 3 (ROUND UP)	29
EMPLOYEE SPACES REQ.	5
TOTAL PARKING NEEDED	25
PARKING AVAILABLE	28 (25+3 @ LEHALL)



SCALE AS NOTED WHEN PRINTED ON 11X17 SHEET









Rear of Building before fence  
and roof over hang.

12/18/2023 Site Inspection

Sugar Fire  
1290 N. Hwy 67











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4. TRASH ENCLOSURES

Any exterior trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawing attached and shall include the entire property, trash enclosures, landscape, lighting, legal description and building setbacks.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

(1) Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on the Final Development Plan indicating existing parking.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 10 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks

(1) There shall be a modification of the sidewalk area to include burning bush plantings, trees, walks, tree wells and lighting per the Lindbergh Improvement Plan, provided on the highway frontage of the property.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting shall be a minimum of 0.5 fc on the property and shall not project light or glare onto adjacent residentially zoned property.

(2) All site lighting and exterior building lighting shall be directed down and inward



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# MEMORANDUM



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## CITY OF FLORISSANT

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*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

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To: Planning and Zoning Commissioners Date: March 7, 2024

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From: Debra Irvin-Building Commissioner c: Director Public Works  
Deputy City Clerk  
Economic Development  
Applicant  
File

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Subject: Request **recommended approval** to change the color of the existing brick building at **1180 N Highway 67** in a 'B-3' Zoning District.

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## STAFF REPORT

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### CASE NUMBER PZ-03182024-04

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#### **I. PROJECT DESCRIPTION:**

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This is a request for a recommend approval to change the color of existing brick building at 1180 N Highway 67, currently zoned "B-3."

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#### **II. EXISTING SITE CONDITIONS:**

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The existing brick building is used for car sales and car repair. According to St Louis County Records, the building 9,723 s.f. under roof, built in 1961. Wall type is Brick and Block; and construction class is Masonry.

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#### **III. CODE REQUIREMENTS – SECTION 505.060(D):**

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##### **Restrictions On Use of Masonry**

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1. Masonry shall not be painted, but clear sealers may be applied if approved by the Building Commissioner.

33

34

2. Any masonry that was lawfully painted may only be repainted for maintenance purposes and only with written permission from the Director of Public Works. In cases where there is a need to perform maintenance on a painted area, the Director of Public Works or their designee may review and approve any repainting for

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3. *Repainting for reasons other than for maintenance of current painted surfaces upon the approval of the Director of Public Works and requests to change the color or texture of the existing brick or masonry surface **may not be done without the review***

39

40

41 *and recommendation from the Planning and Zoning Commission and approval of*  
42 *the City Council.*

43 4. Nothing contained herein shall excuse or authorize the unlawful painting or  
44 repainting of brick or masonry surfaces.  
45

46 **III. SURROUNDING PROPERTIES:**

47 The surrounding commercial properties are in a “B-3” Extensive Commercial District  
48 consisting of brick, stone, or stucco wall material, and colors are neutral shades of beige,  
49 brown, and white.  
50

51 **IV. STAFF ANALYSIS:**

52 The application is accompanied by paint color samples.  
53

54 **V. SUPPORTING DOCUMENTS**

- 55 Staff Report
  - 56 Application
  - 57 Google Site Photo
  - 58 Paint Color Sample
- 59

60 **VI. STAFF RECOMMENDATIONS:**

61 **Suggested Motion for 1180 N Highway 67- Changing paint colors on existing masonry**  
62  
63

64 I move to recommend approval to the City Council to allow for the change of paint  
65 colors on existing masonry **1180 N Highway 67 in accordance with Section**  
66 **505.060(D).**  
67

68 **(end report and suggested motion)**  
69  
70



71 *Source: Google Image – August 2022*  
72  
73



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works  
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1180 N HIGHWAY 67

Property Owners Name: MISSION HILLS DEVELOPMENT INC Phone #: 314-960-4175

Property Owners Address: 225 N HIGHWAY 67

Business Owners Name: GLENN TRAVERS Phone #: 314-960-4175

Business Owners Address: 785 ST PAUL RD WILDWOOD MO 63021

DBA (Doing Business As) \_\_\_\_\_

Authorized Agents Name: GLENN TRAVERS CO. Name: MISSION HILLS DEVELOPMENT INC  
(Authorized Agent to Appear Before The Commission)

Agents Address: 225 N HIGHWAY 67 Phone #: 314-960-4175

Request PAINT BUILDING A NEW COLOR WITH A STRIPE

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Glenn Travers  
Applicant's Signature

MARCH 5, 2024  
Date

OFFICE USE ONLY

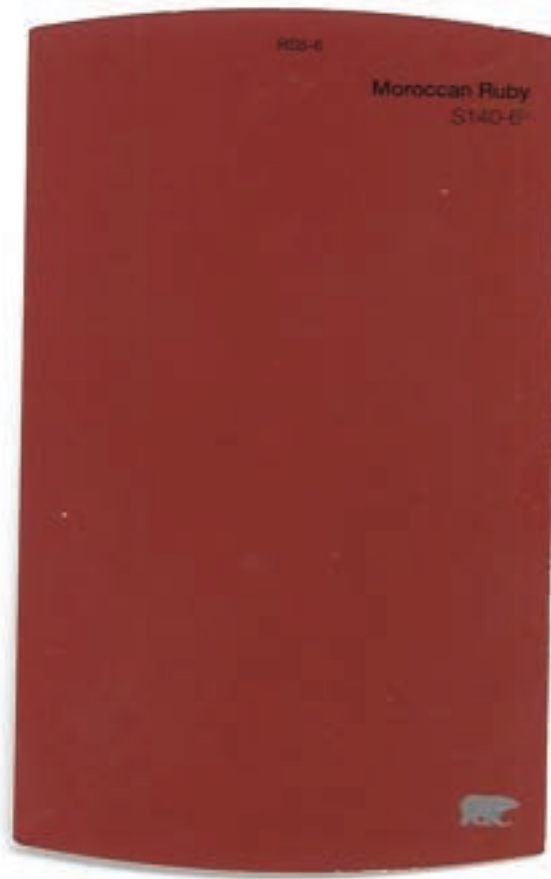
Received by: \_\_\_\_\_ Receipt # \_\_\_\_\_ Amount Paid: \_\_\_\_\_ Date: \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: \_\_\_\_\_

SIGNATURE OF STAFF WHO REVIEWED APPLICATION







**1180 N. LINDBERGH**