



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 Rue St. Francois
MONDAY, MARCH 11, 2024
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

2-26-2024	Regular Meeting Minutes Executive Session Minutes	
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IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

24-03-008	Request to authorize a Special Use Permit to allow for a massage business for the property located at 1020 rue St. Francois (Erika Sharp Massage Therapy).	Erika Sharp
24-03-009	Request to authorize a Special Use Permit to allow for an adult day care for the property located at 695 Graham Rd (Green Haven Adult Day Program, LLC)	Tiffany Green
CDBG Public Hearing	Community Development Block Grant Fiscal Year 2024 Annual Plan	Staff

VII. OLD BUSINESS

	BILLS FOR SECOND READING	
9944	Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespass film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.	Siam

9957	Ordinance to authorize a Special Use Permit to Premier Auto Service & Body, Inc. to allow for automotive service garage for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District.	O'Donnell
9958	Ordinance to authorize a Special Use Permit for Florissant Auto Sales, Inc. to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District.	O'Donnell
9959	Ordinance authorizing an amendment to Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67.	Siam

VIII. NEW BUSINESS

	BOARD APPOINTMENTS	
Council	Ward 2 - Keith Hoormann, Property Maintenance BOA Ward 9 - Kellyn Holliday, Property Maintenance BOA	
Mayor	Ward 2 - Talya Perry - Arts Commission Ward 5 - Kim Jones - Arts Commission Ward 9 - Wendy Gordon - Arts Commission Ward 8 - Richard L. Rapp - Environmental Quality Comm Ward 9 - Samuel Word - Diversity and Inclusion Comm	
Mayor	Re-appt Ward 8 - Charles Beam - Citizen Police Review Board	
	RESOLUTIONS	
1057	Resolution of the Florissant City Council supporting the inclusion of communities with radioactive waste exposure, into the Federal Radioactive Waste Exposure Compensation Amendment (RECA).	Caputa
	BILLS FOR FIRST READING	
9962	Ordinance authorize a Special Use Permit for Erika Sharp Massage Therapy to allow for a massage business for the property located at 1020 rue St. Francois.	O'Donnell

9963	Ordinance to authorize a Special Use Permit for Green Haven Adult Day Program, LLC to allow for an adult day care for the property located at 695 Graham Rd.	O'Donnell
9964	Ordinance authorizing an appropriation of \$80,000 from the Park Improvement Fund to Account # 209-55024-400-00000 "Professional Services Park Improvement" to complete a Parks Master Plan.	Eagan

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETING BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON MARCH 8TH, 2024 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MONDAY, MARCH 11, 2024

CITY OF FLORISSANT



COUNCIL MINUTES

Monday, February 26, 2024

The Florissant City Council met in regular session at Florissant City Hall, 955 Rue St. Francois on Monday, February 26, 2024 at 7:00 PM with Council President Eagan presiding.

I. PLEDGE OF ALLEGIANCE

The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

II. ROLL CALL OF MEMBERS

On Roll Call the following Councilmembers were present: Siam, Manganeli, Eagan, Caputa, Schildroth, O'Donnell, Pagano, and Parson. Councilman Harris was excused. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney Jackie Graves. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

III. APPROVAL OF MINUTES

2-12-2024. Minutes 2-12-2024

Councilman O'Donnell made a motion to approve the City Council Minutes of February 12, 2024, seconded by Caputa. Motion carried.

IV. HEARING FROM CITIZENS

Justus Peterson-Rhodes, 2080 Shirley Dr, noted his concerns with navigating the city without a motor vehicle. He stated it is difficult to get to and from work due to the building infrastructure and vehicle parking. Mr. Peterson-Rhodes stated the concerns of pedestrians should be answered.

Walter Kaiser, 105 N St. Charles St, stated he joined the military in 1950 and retired a second time in 1991. Mr. Kaiser noted his accolades within the military. Nominations are being accepted for the Florissant Veteran of the Year and need to be turned in by September 2nd and can be turned in to Mr. Kaiser or the Florissant Police Department. Mr. Kaiser reminded everyone that the applications are held for three years. He asked the Council to nominate a veteran from their Ward. Additionally, he noted the council and residents are invited to come out at 7pm to Koch Park on March 29, 2024 for an event honoring Vietnam Veterans for Vietnam Veterans Day.

V. COMMUNICATIONS

There were none.

VI. PUBLIC HEARINGS

- 24-01-003.** Request to amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67. (Postponed to 2/26/24 at the request of the petitioner)

The City Clerk reported that Public Hearing 24-01-003 for the Request to amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67. The Chair declared the Public Hearing to be reopen.

Scott Pfeifer, petitioner, noted the request is an upgrade of the exterior of Walmart which will consist of repainting the rear exterior and a new trespa film.

Being no further comments, Councilman Siam made a motion to close the public hearing, seconded by Parson. Motion carried.

Councilman Eagan made a motion to amend the agenda to move Public Hearing 24-02-007 to the next item, seconded by Parson. Motion carried.

- 24-02-007.** Request to amend Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

The City Clerk reported that Public Hearing 24-02-007 for the Request to amend Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67. The Chair declared the Public Hearing to be open.

Scott Pfeifer, petitioner, noted the request for a relocation of the pick-up area, moving a signage, new canopies over the top of the pick-up entrance, and bollards.

Mayor Lowery requested the business take a look at the rear entrance to prevent people from making a left turn into or out of the rear parking area.

Being no further comments, Councilman Siam made a motion to close the public hearing, seconded by Manganeli. Motion carried.

- 24-02-005.** Request to authorize a Special Use Permit to allow for automotive service garage for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District (Premier Auto Service & Body, Inc).

The City Clerk reported that Public Hearing 24-02-005 for the Request to authorize a Special Use Permit to allow for automotive service garage for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District (Premier Auto Service & Body, Inc.). The Chair declared the Public Hearing to be open.

Glenn Travers, petitioner, noted the rear of the building will be an auto service garage with four bays in the rear and one on the north side. He stated the garage would only be used for dealership cars and not open to the public. Mr. Travers noted the business would be open around 7:30 am to 6pm and only being open Monday through Friday.

Being no further comments, Councilman Parson made a motion to close the public hearing, seconded by Schildroth. Motion carried.

- 24-02-006.** Request to authorize a Special Use Permit to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District (Florissant Auto Sales).

The City Clerk reported that Public Hearing 24-02-006 for the Request to authorize a Special Use Permit to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District (Florissant Auto Sales). The Chair declared the Public Hearing to be open.

Glenn Travers, petitioner, noted the Florissant Auto Sales location will be for pre-owned automobile sales. The cars will be displayed along the front of the parking lot and the wedge parking lot across the street. He stated the south side of the building would have additional parking as well. The parking lot will be resealed as well as cosmetic upgrades inside the building.

Being no further comments, Councilman O'Donnell made a motion to close the public hearing, seconded by Caputa. Motion carried.

VII. OLD BUSINESS

BILLS FOR SECOND READING

There were none.

VIII. NEW BUSINESS

BOARD APPOINTMENTS

Councilman Schildroth made a motion to accept the mayor's appointment of Joe Redden, 1365 Hialeah Place, to the Veteran's Commission with a term expiring on February 26, 2026, seconded by Caputa. Motion carried.

BILLS FOR FIRST READING

9944. Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespass film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Bill No. 9944 was read for the first time.

9957. Ordinance to authorize a Special Use Permit to Premier Auto Service & Body, Inc. to allow for automotive service garage for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District.

Bill No. 9957 was read for the first time.

9958. Ordinance to authorize a Special Use Permit for Florissant Auto Sales, Inc. to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District.

Bill No. 9958 was read for the first time.

9959. Ordinance authorizing an amendment to Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Bill No. 9959 was read for the first time.

9960. Ordinance repealing ordinance no. 8818 establishing a Grade and step schedule for uniformed employee positions within the City of Florissant and enacting in lieu thereof a new ordinance containing an effective date clause.

Bill No. 9960 was read for the first time.

Councilman Schildroth moved that Bill No. 9960 be read for a second time, seconded by Caputa.

Motion carried and Bill No. 9960 was read for a second time.

Councilman Caputa moved that Bill No. 9960 be read for a third time, seconded by Manganelli.

On roll call, the Council voted: Siam yes, Harris absent, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, Pagano yes, and Parson yes.

Having received a unanimous vote of all members present Bill No. 9960 was read for a third and final time and placed upon its passage.

Before the final vote, all interested persons were given an opportunity to be heard. Seeing none, on roll call the Council voted as follows:

VOTING

Motion by: Councilman Caputa, Jeff

Second by: Councilman Manganelli, Paul

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew					
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9960 to have passed and become Ordinance No. 8960.

9961. Ordinance to authorize the Mayor of the City of Florissant to enter into an agreement with St. Louis County Board of Police Commissioners to allow Officer Andrew Hale to serve as an instructor at the St. Louis County Police Academy.

Bill No. 9961 was read for the first time.

Councilman Schildroth moved that Bill No. 9961 be read for a second time, seconded by Pagano.

Motion carried and Bill No. 9961 was read for a second time.

Councilwoman Pagano moved that Bill No. 9961 be read for a third time, seconded by Parson.

On roll call, the Council voted: Siam yes, Harris absent, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, Pagano yes, and Parson yes.

Having received a unanimous vote of all members present Bill No. 9961 was read for a third and final time and placed upon its passage.

Before the final vote, all interested persons were given an opportunity to be heard. Seeing none, on roll call the Council voted as follows:

VOTING

Motion by: Councilwoman Pagano, Jackie

Second by: Councilman Parson Jr., Robert

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew					

Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9961 to have passed and become Ordinance No. 8961.

IX. COUNCIL ANNOUNCEMENTS

Councilman Parson recognized Paul Revere Williams who was an architect in Los Angeles, California who designed homes for celebrities including Frank Sinatra, Lucille Ball, and Desi Arnaz. He perfected the skill of drawing his designs upside down. Mr. Williams designed over 2,000 buildings and received honorary doctorates from Lincoln University in Missouri, Howard University, and Tuskegee Institute. In 1957, Paul Revere Williams became the first African American to be inducted into the American Institute of Architects College of Fellows.

Councilman O'Donnell noted Hacienda Food Truck will be across from City Hall from 4pm to 6:30pm on Tuesday, February 27th with 10% of all proceeds to benefit St. Baldrick's. He stated on Sunday, March 10th the annual St. Patrick's Day Parade and Run would be taking place. The festivities begin on March 9th with a Golf Tournament. Councilman O'Donnell commended the St. Patrick's Day Committee on all the work they have done to put together the St. Patrick's Festivities.

Councilman Manganelli reminded residents about Neighborhood Watch and sign ups are available on the Florissant Police Department Webpage. He noted he is looking for a Watch Captain in Ward 2.

Councilman Caputa reminded residents to keep firearms secured and not in their vehicles. He noted the pools at Koch Park and Bangert Park are on schedule.

Councilman Eagan noted the St. Patrick's Day Parade is still looking for parade participants and applications are available at florissantpatricksdaysparade.com. He stated St. Ferdinand had their opening weekend for the Charity Basketball Tournament and will be donating to Erica Bailey. Erica Bailey is a mother of seven kids who has been diagnosed with cancer. Councilman Eagan asked everyone to participate, eat barbeque and show support every Saturday and Sunday excluding March 10th and 17th.

X. MESSAGE FROM THE MAYOR

Mayor Lowery noted the city will hold a Public Hearing for the Consolidated Annual Performance and Evaluation Report for the Community Development Block Grant for Fiscal Year 2023 at 5pm on Wednesday, February 28th at the Government Building.

The 67th Annual Valley of Flowers Festival will take place from May 3 to May 5, 2024. Mayor Lowery noted there are several opportunities for sponsorships available on the festival website.


XI. ADJOURNMENT

The Council President stated the next regular City Council Meeting will be Monday, March 11, 2024, at 7:00 pm.

Councilman Parson moved to adjourn the meeting, seconded by Schildroth. Motion carried.

Adjourned at 7:49 PM

Respectfully submitted,



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

Bill No. 9960

Ord. No. 8960

Bill No. 9961

Ord. No. 8961



CITY OF FLORISSANT
CITY COUNCIL
OPEN EXECUTIVE SESSION

February 26, 2024

The City Council of the City of Florissant met in open Executive Session on Monday, February 26, 2024 at 6:45 pm. in the Council Chambers with President Eagan presiding. On Roll Call the following Council members were present: Siam, Eagan, Caputa, Schildroth, Manganelli, Pagano, Parson, and O'Donnell. Harris was excused. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, City Attorney Jackie Graves and Chief Tim Fagan.

Councilman Schildroth moved to go into closed session to confer with the City Attorney regarding and discuss personnel matters in accordance with Chapter 610.021 (1) of the Missouri Revised Statutes, seconded by Caputa, on roll call the Council voted: Siam – yes, Harris – absent, Manganelli – yes, Eagan – yes, Caputa – yes, Schildroth – yes, O'Donnell – yes, Pagano – yes, and Parson – yes. The Council proceeded into closed session.

Council discussed personnel matters with Chief Fagan.

Councilman Eagan moved to return to open session, seconded by Caputa, on roll call the motion carried as follows: Siam – yes, Harris – absent, Manganelli – yes, Eagan – yes, Caputa – yes, Schildroth – yes, O'Donnell – yes, Pagano – yes, and Parson – yes.

There being no further business to discuss, Councilman Eagan motioned to adjourn, seconded by Caputa. Motion carried and the meeting adjourned at 6:55 p.m.

Karen Goodwin
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.161 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 11, 2024 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to allow for a massage business for the property located at 1020 rue St. Francois (Erika Sharp Massage Therapy). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT

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To: P&Z Commissioners

Date: February 7, 2024

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From: Debra M. Irvin, Building Commissioner

cc: Director of Public Works
City Clerk
Deputy City Clerk
Economic Development Dir
Applicant
File

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Subject: Request recommended approval of a Special Use Permit for a massage therapy business (**Erika Sharp Massage Therapy**) located at **1020 Rue St. Francois** in the ‘‘HB’’ Historic Business District.

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STAFF REPORT

CASE NUMBER PZ-022024-01

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I. PROJECT DESCRIPTION:

This request is a recommended approval to the City Council for a massage therapy business (**Erika Sharp Massage Therapy**) located at **1020 Rue St. Francois** in the ‘‘HB’’ Historic Business District.

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II. EXISTING SITE CONDITIONS:

In the ‘HB’ District, the zoning code allows for a massage business as a Special Use under *Section 405.161 (D)(6)(h) Massage business, provided that the licensing requirements of the City are met.*

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III. SURROUNDING PROPERTIES:

The proposed new location is a corner space, located across from the Municipal Building and connected to a personal service business, and the local diner.

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IV. STAFF ANALYSIS:

The petitioner is relocating the business from an existing shopping center at 525 Rue St, Francois, where she has operated under a Special Use Permit for approximately 5 years.

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40 She has attached self-drawn floor plan for the new space with no changes to the site or
41 exterior of the building. The entire site contains approximately 14 shared parking spaces,
42 two of which are in her entrance door. There is public parking across the street and along
43 Brown Street.

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45 The space that is anticipated to be leased is approximately 1000 s.f.

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47 City regulations require the Finance Department to determine eligibility for licensure
48 with State and/or other agencies.

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61 **VI. STAFF OBSERVATIONS/RECOMMENDATIONS:**

- 62 1. *Suggested motion:* I move to recommend approval to the City Council for a
63 Special Use Permit for a massage therapy business (**Erika Sharp Massage**
64 **Therapy**) to be located at **1020 Rue St. Francois** in the ‘HB’ Historic Business
65 District, subject to the protective restrictions that the Council may deem
66 necessary; and the following recommendations:
- 67 a. All therapists shall comply with RsMO 324.265, qualifications and
68 licensure.
 - 69 b. A wall sign more than 40 sq. ft. at the front or side of the building will
70 require Planning Commission approval.
 - 71 c. Painted signs on exterior wall are prohibited in Historic District
 - 72 d. A grand opening banner is allowed by permit for 7-days.
 - 73 e. Logo signs or symbols in the Historic District shall have Landmark and
74 Historic District Commission (LHDC) approval.
 - 75 f. The Special Use Permit is granted solely to *Erika Sharp Massage Therapy*
 - 76 g. This Special Use Permit is transferable to another while the business is in
77 operation or within six months of closure.
 - 78 h. Should this Special Use cease operations for a period of six months, the
79 Special Use Permit shall be revoked.

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(end report and suggested motion)

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.: operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Erika Sharp _____ / erikasharp1@yahoo.com
 PRINT NAME SIGNATURE email and phone

FOR Erika Sharp Massage Therapy _____
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE *[Signature]* SIGN HERE
 ADDRESS 1020 St. Francois St. Florissant MO 63031
STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL 3143729129 / feelsharpagain@icloud.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Erika Sharp as
Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature] SIGN HERE
 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual Partnership _____ Corporation _____

(a) If an individual:

(1) Name and Address Erika Sharp 1705 Horseshoe Dr. 63033

(2) Telephone Number 3143729129

(3) Business Address 525 St. Francois St. Suite #5 63031

(4) Date started in business 9/2017

(5) Name in which business is operated if different from (1) Feel Sharp Massage Therapy

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust, (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Nai Desco

Address 8112 Maryland

Property Owner Nai Desco

Location of property 1020 Rue St. Francois St.

Dimensions of property 20x50 Corner space

Property is presently zoned HB Requests Rezoning To _____

Proposed Use of Property Massage Therapy Studio

Type of Sign Window Height Less than 40ft

Type of Construction Brick Number Of Stories 1

Square Footage of Building 81.6 x 50.11 Number of Curb Cuts 2

Number of Parking Spaces 2 Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter _____

No. of Shrubs N/A Size _____

Fence: Type N/A Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (I.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed 2/7/2024

STAFF REMARKS: _____

SIGN HERE

Debra M. Irwin

Building Commissioner or Staff Signature



Title XXII OCCUPATIONS AND PROFESSIONS

Chapter 324




Effective - 28 Aug 2020, 3 histories


324.265. Massage therapists, qualifications of applicants — waiver, when — licensure term, renewal — student license, when — provisional license, when — exemptions — exemptions for certain therapists licensed in other jurisdictions. — 1. A person desiring a license to practice massage therapy shall be at least eighteen years of age, shall pay the appropriate required application fee, and shall submit satisfactory evidence to the board of meeting at least one of the following requirements:

(1) Has passed a statistically valid examination on therapeutic massage and body work which is approved by the board, prior to August 28, 1999, and applies for such license by December 31, 2000; or

(2) Has completed a program of massage therapy studies, as defined by the board, consisting of at least five hundred hours of supervised instruction and subsequently passing an examination approved by the board. The examination may consist of school examinations. The program and course of instruction shall be approved by the board.

(a) The five hundred hours of supervised instruction shall consist of three hundred hours dedicated to massage theory and practice techniques, one hundred hours dedicated to the study of anatomy and physiology, fifty hours dedicated to business practice, professional ethics, hygiene and massage law in the state of Missouri, and fifty hours dedicated to ancillary therapies, including cardiopulmonary resuscitation (CPR) and first aid.

(b) A person completing a massage therapy program comprised of less than five hundred hours of supervised instruction may submit an application for licensure and the board shall establish requirements for the applicant to complete the requirements of paragraph (a) of this subdivision.

2. A person who has practiced less than three years or has less than one hundred hours of training may request a waiver of the requirements of subsection 1 of this section and apply for a temporary two-year license which shall not be renewable. By the end of such two-year period, such person shall complete at least one hundred additional hours of formal training, including at least twenty-five hours in anatomy and physiology, in a school approved by the board. Such person shall have until December 31, 2000, to apply for a temporary license pursuant to this subsection.

3. Each license issued pursuant to the provisions of this section shall expire on its renewal date. The board shall renew any license upon:

- (1) Application for renewal;
- (2) Proof, as provided by rule, that the therapist has completed twelve hours of continuing education; and
- (3) Payment of the appropriate renewal fee.

Failure to obtain the required continuing education hours, submit satisfactory evidence, or maintain required documentation is a violation of this subsection. As provided by rule, the board may waive or extend the time requirements for completion of continuing education for reasons related to health, military service, foreign residency, or other good cause. All requests for waivers or extensions of time shall be made in writing and submitted to the board before the renewal date.

4. An applicant who possesses the qualifications specified in subsection 2 of this section to take the examination approved by the board may be granted a provisional license to engage in the practice of massage therapy. An applicant for a provisional license shall submit proof that the applicant has applied for the examination approved by the board. A provisional license shall be valid for one year from the date of issuance and shall be deemed void upon its expiration date. A provisional licensee is prohibited from practicing massage therapy after expiration of the provisional license.

5. As determined by the board, students making substantial progress toward completion of their training in an approved curriculum shall be granted a student license for the purpose of practicing massage therapy on the public while under the supervision of a massage therapy instructor.

6. A student license may be renewed until the student completes such student's training. Upon request, the board may extend a provisional license for good cause at the discretion of the board. An application for the extension of a provisional license shall be submitted to the board prior to the expiration of the provisional license.

7. The following practitioners are exempt from the provisions of this section upon filing written proof with the board that they meet one or more of the following:

- (1) Persons who act under a Missouri state license, registration, or certification and perform soft tissue manipulation within their scope of practice;
- (2) Persons who restrict their manipulation of the soft tissues of the human body to the hands, feet or ears;

(3) Persons who use touch and words to deepen awareness of existing patterns of movement in the human body as well as to suggest new possibilities of movement;

(4) Persons who manipulate the human body above the neck, below the elbow, and below the knee and do not disrobe the client in performing such manipulation.

8. Any nonresident person licensed, registered, or certified by another state or territory of the United States, the District of Columbia, or foreign territory or recognized certification system determined as acceptable by the board shall be exempt from licensure as defined in this chapter, if such persons are incidentally called into the state to teach a course related to massage or body work therapy or to provide massage therapy services as part of an emergency response team working in conjunction with disaster relief officials.

9. Any nonresident person holding a current license, registration, or certification in massage therapy from another state or recognized national certification system determined as acceptable by the board shall be exempt from licensure as defined in this chapter when temporarily present in this state for the purpose of providing massage therapy services at special events such as conventions, sporting events, educational field trips, conferences, and traveling shows or exhibitions.


(L. 1998 H.B. 1601, et al., A.L. 1999 H.B. 343 merged with S.B. 362, A.L. 2006 S.B. 756, A.L. 2008 H.B. 1419, A.L. 2020 H.B. 2046)

---- end of effective **28 Aug 2020** ----
[use this link to bookmark section 324.265](#)

- All versions

	Effective	End
324.265	8/28/2020	
324.265	8/28/2008	8/28/2020
324.265	8/28/2006	8/28/2008

Click here for the **Reorganization Act of 1974 - or - Concurrent Resolutions Having Force & Effect of Law**

In accordance with Section **3.090**, the language of statutory sections enacted during a legislative session are updated and available on this website on the effective date of such enacted statutory section. 

► Other Information

► Other Links

CITY OF FLORISSANT

Public Hearing



In accordance with 405.120 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 11, 2024 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to allow for an adult day care for the property located at 695 Graham Rd (Green Haven Adult Day Program, LLC). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: February 9, 2024

From: Debra M. Irvin, Building Commissioner c: Director of Public Works
City Clerk
Deputy City Clerk
Economic Development Dir
Applicant
File

Subject: Request recommended approval of a Special Use Permit for an adult day care facility (**Green Haven Adult Day Program, LLC**) at **695 Graham Rd** in the "B-3" Extensive Commercial District

STAFF REPORT
CASE NUMBER PZ-022024-04

I. PROJECT DESCRIPTION:

This is a request for a recommended approval to the City Council for a Special Use Permit to operate an adult day care facility (**Green Haven Adult Day Program, LLC**) at **695 Graham Rd** in the "B-3" Extensive Commercial District

II. EXISTING SITE CONDITIONS:

According to St Louis County record, the existing building at 695 Graham Road is approximately 0.79 acres and the building is approximately 8,325 s.f., built in 1912, the structure is listed as a Mixed Residential/Commercial use. The property is currently being used as a Ministry building in the main structure, the lower level is being used as a hair salon since 2013; and a residential rental unit on the second floor, with a certificate of compliance since February 2, 1995.

III. PARKING CONDITIONS

The asphalt parking lot has 47 parking spaces. The lot will require sealing and stripping prior to occupancy. The minimum parking required for child-care centers, day nurseries

41 and adult day-care centers is 1 space for every 10 children or adults enrolled plus 1 per
42 employee (consider drop-off/pickup arrangement). The required spaces needed for this
43 use is ten (10).

44
45



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48 **IV. PROJECT OCCUPANCY LOAD:**

49 Applicant projects fifty (50) adult clients and 6 staff members, during operational hours
50 of 7:00am – 6:00pm, Monday – Friday. No weekend or holidays planned at this time.

51

52 **V. SURROUNDING PROPERTIES:**

53 Along Manion Park is an R-4 Zoning, consisting of an office building and a Baptist
54 Church. Along Graham, is Hutchens Mortuary & Cremation Center, and residential
55 parcels.

56

57 **VI. STAFF ANALYSIS:**

58 The petitioner is relocating the business from the City of Hazelwood. She has attached a
59 floor plan for the new space with no changes to the site or exterior of the building. The

60

61 **VII. STAFF RECOMMENDATIONS:**

- 62 1. *Suggested motion:* I move to recommend approval to the City Council for a
63 Special Use Permit for an adult day care facility (**Green Haven Adult Day
64 Program LLC**) to be located at **695 Graham Road** in the ‘B-3’ Extensive
65 Commercial District subject to the restrictions that the Council may deem
66 necessary; and the following recommendations:
- 67 a. Future occupancies for the 2nd floor unit and lower-level commercial space
68 shall comply with city ordinances before leasing.
 - 69 b. A grand opening banner is allowed by permit for 7-days.
 - 70 c. Seal and stripe asphalt parking lot.
 - 71 d. The Special Use Permit is granted solely to *Green Haven Adult Day
72 Program LLC*
 - 73 e. When not in use as Adult Day Program Center, space cannot be rented as
74 an Event Center or Banquet Center.

- 75 f. An operable kitchen is always required for the term of the use.
76 g. A Florissant commercial occupancy permit and business license is
77 required.
78 h. Remove large dead tree at corner of Manion and Graham Road, manicure
79 shrubs at front of property.
80 i. Construct trash can enclosure in accordance with Section 220.040 of the
81 city code of ordinances.
82 j. Owner shall possess and post a valid Missouri license/certification to
83 operate an Adult Day Care Program for the term of the Special Use
84 Permit.
85 k. This Special Use Permit is transferable to another while the business is in
86 operation or within six months of closure.
87 l. Should this Special Use cease operations for a period of six months, the
88 Special Use Permit shall be revoked.
89
90
91

(End of report and suggested motion)





93

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works
314-839-7648**

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 6 Zoning "B-3"

Initial Date Petitioner Filed 2/7/2024
**Building Commissioner to complete
ward, zone & date filed**

SPECIAL PERMIT FOR Adult Day Program

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 695 Graham Road Florissant, MO 63031
Address of property.

1) Comes Now Tiffany Green

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Buyer

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Ministry Office and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking. **Yes**
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application. **Yes**
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.: operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.): **Yes**

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Tiffany Green greenhavenstl@gmail.com 314-393-1639
 PRINT NAME SIGNATURE email and phone
 FOR **Green Haven Adult Day Program LLC**
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
- I (we) have a legal interest in the herein above described property.
 - I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE *Tiffany Green*
 ADDRESS **6207 N Lindbergh Blvd Hazelwood, MO 63042**
 STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL **314-942-3434**
 BUSINESS

I (we) the petitioner (s) do hereby appoint N/A as
 my (our) duly authorized agent to represent me (us) in regard to this petition.
 Print name of agent.

Tiffany Green
 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address Tiffany Green 6207 N Lindbergh Hazelwood, MO 63042
- (2) Telephone Number 314-393-1639
- (3) Business Address 6207 N Lindbergh Hazelwood, MO 63042
- (4) Date started in business 5/18/2021
- (5) Name in which business is operated if different from (1) N/A
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Tiffany Green/ Green Haven Adult Day Program LLC

Address 6207 N Lindbergh Blvd Hazelwood, MO 63042

Property Owner BAIT Ministries Christian Center

Location of property 695 Graham Road Florissant, MO 63031

Dimensions of property 2 Story Single Family

Property is presently zoned B-3 Requests Rezoning To N/A

Proposed Use of Property Adult Daycare

Type of Sign Ground Sign Height 120.5 Inches

Type of Construction Wood Frame Number Of Stories 2

Square Footage of Building 8325 Sq Ft Number of Curb Cuts 3

Number of Parking Spaces 47 Sidewalk Length N/A

Landscaping: No. of Trees 1 Diameter _____

No. of Shrubs 6 Size 4'

Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties. R4
2. Show location of property in relation to major streets and all adjoining properties. See Map
3. Show measurement of tract and overall area of tract. 0.79
4. Proposed parking layout and count, parking lighting. 47 Spaces
5. Landscaping and trash screening. Metal Trash Enclosure
5. Location, sizes and elevations of signage. Front Yard, Wood, Ground

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

A tract land in the city of Florissant, located at 695 Graham Road, consisting of 0.79 acres, filed in Saint Louis County, Book 20174, Page 2134 with lot dimensions 0175/0175-0197/0197, School District Ferguson Florissant, Saint Louis County, District 4 located in the Dan-Hoff subdivision

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

Please see attached

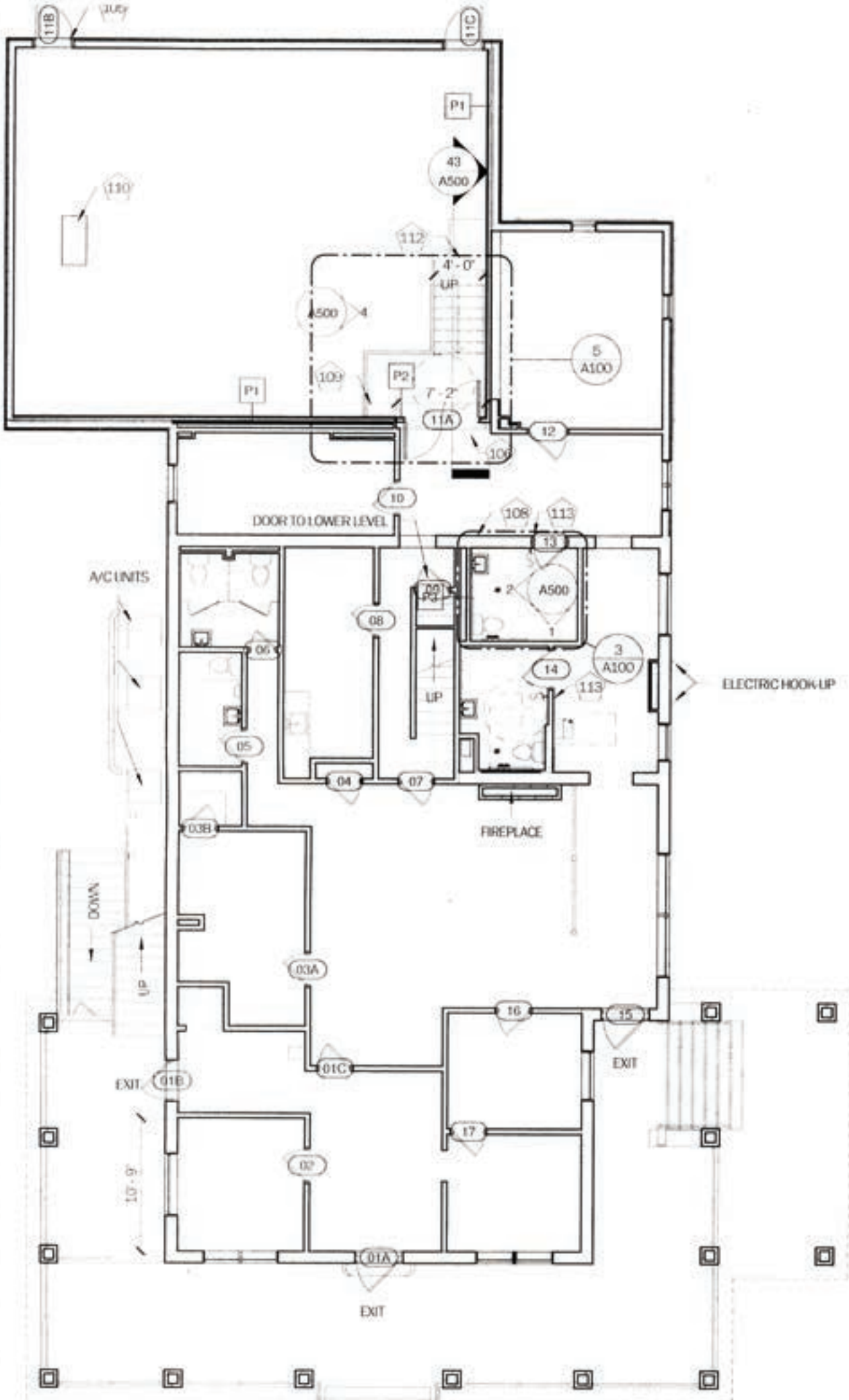
OFFICE USE ONLY

Date Application reviewed 2/7/2024

STAFF REMARKS: _____

Debra M. Irwin

Building Commissioner or Staff Signature

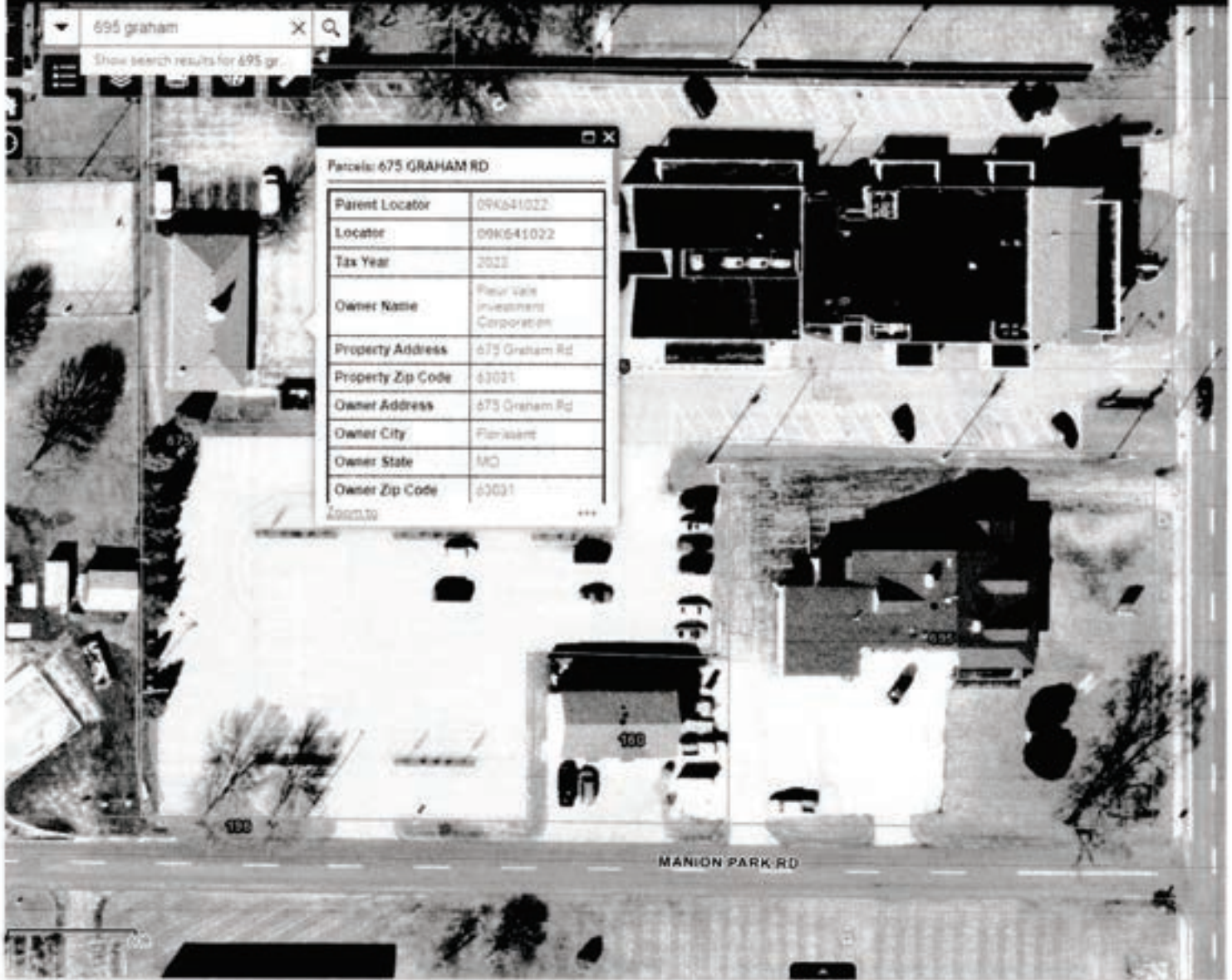


695 graham

Show search results for 695 gr

Parcel: 675 GRAHAM RD

Parent Locator	09K641022
Locator	09K641022
Tax Year	2023
Owner Name	Flour Valt Investment Corporation
Property Address	675 Graham Rd
Property Zip Code	63021
Owner Address	675 Graham Rd
Owner City	Florissant
Owner State	MO
Owner Zip Code	63021







695 Graham Rd - Sign, Trees, and Shrub



Planning Commission 2/20/2024



PUBLIC NOTICE CITY OF FLORISSANT

**Public Hearing for the Community Development Block Grant (CDBG)
Annual Action Plan FY 2024**

**Florissant Government Building
955 rue St. Francois
Florissant, Missouri 63031
March 11, 2024, at 7:00 p.m.**

PUBLIC NOTICE IS HEREBY GIVEN that a Public Hearing will be held on Monday, March 11, 2024, at 7:00 p.m. at Florissant Council Chambers, 955 rue St Francois, concerning the Fiscal Year 2024 Annual Action Plan for the Florissant Community Development Block Grant Program.

A draft of the plan will be available for review on the City's website or the Florissant Community Development Office (314) 839-7680. A 30-day comment period will start on March 12th and will end at 5 p.m. on Thursday, April 11, 2024. All written comments concerning this report during that time frame may be submitted to the Community Development Office at the above referenced address or to comara@florissantmo.com.

Anyone who needs assistance or auxiliary aids for the meeting should contact Carol O'Mara at (314) 839-7680 At least 24 hours before the meeting.

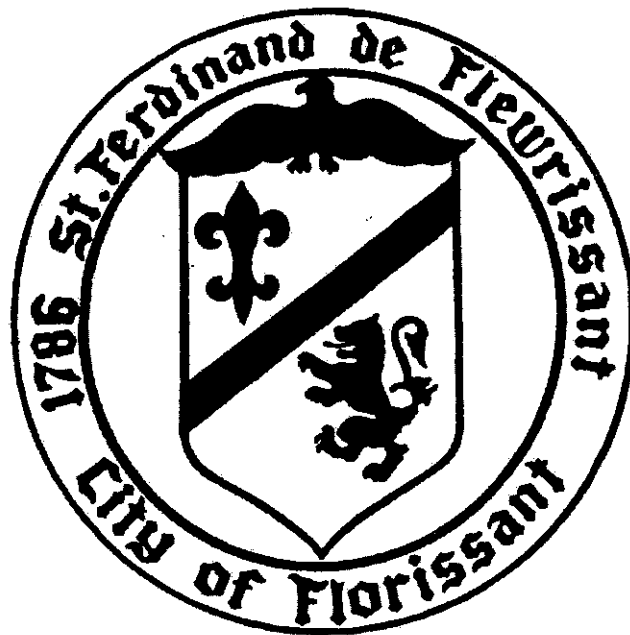
Posted this 20th day of February, 2024



M. Carol O'Mara, Director
Housing & Community Development
314.839.7680

CDBG

ANNUAL ACTION PLAN FY2024



DRAFT

Executive Summary

AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

The Consolidated Plan is a strategic planning instrument required by the Department of Housing and Urban Development (HUD) as part of the Community Development Block Grant (CDBG) Program. The Consolidated Plan helps the City of Florissant identify key community issues and the resources to deal with those issues.

This Annual Plan outlines the use of Community Development Block Grant (CDBG) funds for FY2024.

The Annual Action Plan process requires that the grantee outline an action plan, which addresses the priority needs and local objectives of the community over a one-year period.

2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items, or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis, or the strategic plan.

As an entitlement community, the City of Florissant has determined, through a need's assessment, market analysis, and public participation process that it is in the best interest of the community to continue to concentrate limited CDBG funds in a few areas of primary concern over the next five years. Housing, Public Services, and the Removal of Architectural Barriers have been the focus in the past and will remain the focus over the next five years. There continues to be a need and concern regarding the preservation and maintenance of existing structures, homeownership, lead, and emergency repair throughout the city. The programs addressing these issues that the City currently funds have been very popular and have met a great need in the community. In addition, Public Services programs such as programs for emergency mortgage, rental, and utility assistance have been identified through the needs assessment and public participation process as important strategies for serving City residents. In 2024 the city's Neighborhood

Annual Action Plan
2024

1

Stabilization Program will be closed out. Any remaining program income funds (approx. \$48,849) will be put towards funding the Project IMPACT Program and/or the Home Improvement Mechanical Program.

3. Evaluation of past performance

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

The City of Florissant has an excellent performance record and, as of the end of 2023, is on track to far exceed performance goals for the six CDBG funded activities from the last Consolidated Plan (covering FY2021-FY2025).

4. Summary of Citizen Participation Process and consultation process

Summary from citizen participation section of plan.

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring, and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council.

In accordance with our Citizen Participation Plan, our 2024 Annual Action Plan process included a public hearing. The CPC committee met on November 15, 2023, and a public hearing was held on March 11, 2024, at 7:00 p.m. in the Florissant City Council Chamber. Public hearing notices were published in the Community News on February 21, 2024, and posted on the City's cable television channel and the City's website, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website and all other media outlets. The summary described the contents of the plan, and the entire Annual Action Plan could be reviewed online and at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 12, 2024. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-action plan is made available to persons with disabilities in a format that is readily accessible upon request.

5. Summary of public comments

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

There have been no public comments beyond the discussion at the March 11, 2024, Public Hearing and Citizen Participation Committee meeting. Discussion of the FY2024 Annual Action Plan and data at that meeting revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet.

6. Summary of comments or views not accepted and the reasons for not accepting them

N/A

7. Summary

Annual Action Plan
2024 3

PR-05 Lead & Responsible Agencies – 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

Describe the agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	FLORISSANT	Community Development Department

Table 1 – Responsible Agencies

Narrative (optional)

The City of Florissant has always been proactive in its communications with residents, and we have many mechanisms for public input in place. We publish and mail a quarterly newsletter directly to residents. We also update social media accounts with information about the city. We have had an active Citizens Participation Committee (CPC) for many years. It was developed as part of the City of Florissant's effort to include as many citizens as possible in the community development planning process. The CPC is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring, and evaluation processes. The CPC is the major mechanism whereby the citizens of Florissant have an opportunity to express their needs as well as to be kept aware of the performance of the city's community development programs.

The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. The CPC:

- Conducts regular meetings on the second Thursday of each month, except June, July and August
- Evaluates and recommends priorities regarding community development needs
- Evaluates existing CDBG programs
- Evaluates and recommends programs for possible inclusion in future Annual Plans
- Evaluates any amendments to approved CDBG projects, except those for urgent need activities
- Evaluates suggested uses of any CDBG funds earmarked for contingency activities
- The CPC may recommend against such expenditures.

Annual Action Plan
2024

- Reviews the draft Consolidated Plan prior to its being made available for public comment
- Recommends changes in the draft Consolidated Plan.
- Reviews the Citizen Participation Plan annually
- Provides assistance and information to interested individuals and/or groups within Florissant

As a Metropolitan City and entitlement community, our goal is to educate the community on the Community Development Block Grant (CDBG) program and to encourage citizen participation in the local consolidated planning process. Our long-term goal is to keep the public involved in our community and to provide opportunities to participate in the consolidated planning process on an annual basis.

In accordance with our Citizen Participation Plan, our process included a public hearing. The CPC committee met and a public hearing for the FY2024 Annual Action Plan was held on March 11, 2024, at 7:00 p.m. in the Florissant City Council Chamber. Public hearing notices were posted on the City's website and social media sites, soliciting comments and participation in the process as well as published in the Community News on March 11, 2024. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.

A summary of the draft plan was posted on our website and social media sites. The summary described the contents of the plan, and the entire Annual Plan could be reviewed online, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 12, 2024. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-consolidated plan is made available to persons with disabilities in a format that is readily accessible upon request.

Consolidated Plan Public Contact Information

Mrs. M. Carol O'Mara
 Director of Housing and Community Development
 Florissant Government Building
 1055 rue St. Francois
 Florissant, Missouri 63031
 (314) 839-7680

AP-10 Consultation – 91.100, 91.200(b), 91.215(I)

1. Introduction

The City of Florissant collaborates with a vast network of area nonprofit organizations to utilize their experience and expertise in the areas of housing, homelessness, and identifying met and unmet needs in the city and St. Louis County community. Through the participation and partnerships with Nonprofits that serve the City’s aging community, residents with disabilities, as well as health, employment and wellness-based organizations serving the city’s LMI residents, city staff has learned and identified needs, service gaps and areas for improvement, while also identifying what organizations are already serving the community well. These aspects are important when it comes to identifying city and CDBG allocation goals and priorities.

Provide a concise summary of the jurisdiction’s activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(I))

The City of Florissant’s Housing & Community Development Office works closely with area nonprofits that serve those in the community in need of housing. The city has a relationship with the Community Action Agency of St Louis County that delivers a variety of social service programs to low-income elderly, youth, individuals with disabilities and LMI individuals and families through grants and contractual agreements with federal, state, county and local governments, other not-for-profit organizations, and private businesses. They also administer the city’s Mortgage Rent and Utility Assistance Program.

There is currently no Public Housing Authority or Public Housing Developments in the City of Florissant. However, the St Louis County Housing Authority has and continues to administer the Housing Choice Voucher (formerly called Section 8) Program for all of St Louis County where Florissant is located. The waiting list for vouchers is seldom open, but communication is shared quickly and effectively when it is open for application.

Aging Ahead is the Area Agency on Aging that serves the city’s population aged sixty plus. They offer the award-winning CHOICE program which was formed in partnership with the St. Louis County Library to offer innovative programs, a nutritious meal, and be a support to provide needed resources throughout the St. Louis County area. The City of Florissant senior center staff are available by phone and email to assist Florissant senior residents in need of resources, guidance, reassurance, and support with the goal of keeping the aging resident living safely and independently in their own homes. They provide referrals to other agencies and help to identify gaps in service for our residents.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

The City of Florissant relies on data provided by the COC to assess the need for programs aimed at eradicating homelessness in the area and assisting those who are currently homeless in the community. The city consults with the COC regarding future plans, reporting, and identifying needs in the community, especially as it relates to homelessness. We attend regular monthly meetings where we discuss the needs of the community as well as provide them with the opportunity to have input on our services and programs during the consultation process of the annual plan. In 2023 the COC hired a consultant to analyze evictions. This data will be helpful as we study the best ways to use resources to prevent homelessness.

The City of Florissant does not directly offer any shelters or beds for individuals or families who have lost their homes, but the city does offer a Mortgage, Rent & Utility Assistance program to our residents, and plans to continue to do so through CDBG funding. This program will provide funds to one or more social service agencies to help people on the verge of homelessness.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The City of Florissant does not receive ESG funds from HUD

2. Describe Agencies, groups, organizations, and others who participated in the process and describe the jurisdiction’s consultations with housing, social service agencies and other entities

1	Agency/Group/Organization	Citizen Participation Committee
	Agency/Group/Organization Type	Civic Leaders
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Market Analysis

<p>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring, and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2024 Annual Action Plan process included a public hearing. The CPC committee met, and a public hearing was held on March 11, 2024, at 7:00 p.m. in the Council Chambers. Public hearing notices were published on February 21, 2024, in the Community News and posted on the city website, cable television channel and social media sites, soliciting comments and participation in the process.</p>
<p>2 Agency/Group/Organization</p>	<p>Emergency Management Commission</p>
<p>Agency/Group/Organization Type</p>	<p>Agency-Emergency Management Other government-Local Regional Organization</p>
<p>What section of the Plan was addressed by Consultation?</p>	<p>Other-Resilience</p>

	<p>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</p> <p>The City of Florissant’s Emergency Management Organization is responsible for the Emergency Operations Plan that was drafted in conjunction with the Missouri Department of Public Safety State Emergency Management Agency. The plan is audited every two years by the Missouri Region C Emergency Management Coordinator. The plan outlines planned responses to natural hazards such as tornadoes, winter storms, floods, earthquakes, drought, heat wave, and wildfire.</p> <p>As part of the preparedness planning, the Florissant Emergency Management Organization worked with the St. Louis Area Regional Response System (S.T.A.R.R.S) to have a trailer of supplies to address emergencies. They offer Community Emergency Response Team training for volunteers as a partnering effort between emergency services and the people that they serve. Over 250 residents have completed this training.</p> <p>The Florissant Office of Community Development attended Preparedness Day to discuss disaster preparedness with St Louis County Office of Emergency Management, American Red Cross, and Missouri State Emergency Management Agency and how to best use funds to better prepare low to moderate income residents for disasters.</p>
3	<p>Agency/Group/Organization</p> <p>Spectrum Enterprise</p>
	<p>Agency/Group/Organization Type</p> <p>Services-Broadband Internet Providers Services – Narrowing the Digital Divide</p>
	<p>What section of the Plan was addressed by Consultation?</p> <p>Other: Broadband Services</p>

	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	In consultation with Spectrum about broadband opportunities available to LMI residents' discounts are available in conjunction with the Affordable Connectivity Program. However, this funding may be in jeopardy in 2024.
4	Agency/Group/Organization	AT&T
	Agency/Group/Organization Type	Services-Broadband Internet Providers Services – Narrowing the Digital Divide
	What section of the Plan was addressed by Consultation?	Other: Broadband Services
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The city consulted with AT&T regarding narrowing the digital divide. Broadband & fiber are available to Florissant residents. Service is widely available throughout the city. However, residents are no longer being enrolled in the Affordable Connectivity Program since federal funds are s in jeopardy.

Table 2 – Agencies, groups, organizations who participated

Identify any Agency Types not consulted and provide rationale for not consulting

The City of Florissant aims to consult with as many agencies as possible and did not exclude any agencies or agency types from consultation

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	St Louis County Continuum of Care	The Continuum of Care (COC) provides networking opportunities for area agencies to gather to discuss the state of the community regarding their clients, programs, and assistance and leads the charge to end homelessness. Florissant networks with Continuum agencies to provide assistance in reaching their goals to assist those in need within the community.

Table 3 – Other local / regional / federal planning efforts

Narrative (optional)

The City of Florissant coordinates with various St. Louis County departments and is a member of the St. Louis County Housing Consortium.

AP-12 Participation – 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal setting

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring, and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2024 Annual Action Plan process included a public hearing. The CPC committee met, and a public hearing was held on March 11, 2024, at 7:00 p.m. in the Florissant City Council Chamber. Public hearing notices were published on February 21, 2024, in the Community News and posted on the City's website, and social media sites soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website and social media sites. The summary described the contents of the plan, and the entire Annual Action Plan could be reviewed online, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 12, 2024. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-annual plan is made available to persons with disabilities in a format that is readily accessible upon request.

At this point in time, there have been no public comments beyond the discussion at the March 11, 2024, Public Hearing and Citizen Participation Committee meeting. Discussion revealed that the City's priority need is still single-family housing but with the continued increase in rental dwellings there is a need in this area that is currently going unmet. In response to this unmet need, the City of Florissant will continue to fund the Mortgage, Rental and Utility Assistance Program for FY2024. The funding of this program could assist in possibly opening more opportunities for Florissant residents.

Annual Action Plan
2024

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Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
1	Public Meeting	Minorities Non-English Speaking - Specify other language: various Persons with disabilities Non-targeted/broad community Citizen Participation Committee				

2	Public Hearing	<p>Minorities</p> <p>Non-English Speaking - Specify other language: various</p> <p>Persons with disabilities</p> <p>Non-targeted/broad community</p> <p>Residents of Public and Assisted Housing</p>	<p>In accordance with our Citizen Participation Plan, our 2024 Annual Action Plan process included a public hearing. The Citizen Participation Plan committee met, and a public hearing was held on March 11, 2024, at 7:00 p.m. in the Council Chambers. Public hearing notices were published on February 21, 2024, in The Community News and posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were</p>	<p><u>No comments received</u></p>		
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
			posted across the city at community centers, City Hall, and in the Independent Newspaper.			

3	Newspaper Ad	Non-targeted/broad community	<p>In accordance with our Citizen Participation Plan, our 2024 Annual Action Plan process included a public hearing. The CPC committee met, and a public hearing was held on March 11, 2024, at 7:00 p.m. Public hearing notices were published on February 21, 2024, in The Community News and posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and</p> <p>No comments received</p>
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
			in the Independent Newspaper.			
4	Internet Outreach	Non-targeted/broad community	Notice of CPC meeting and Public Hearing was put on the City's website, cable channel and social media for solicitation of comments, public hearing, and draft plan availability	No comments received		
5	Mailing to Tribes re: Public Hearing	Minorities Indian Tribes				
6	Public Municipal Posting-Public Hearing	Non-targeted/broad community				

Table 4 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources – 91.220(c) (1, 2)

Introduction

The City of Florissant expects an allocation of \$266,625 in CDBG funding for FY2024 and an additional \$48,849 of NSP Program Income. During the FY2016-FY2020 Consolidated Plan period, CDBG allocations varied between \$212,059 (lowest allocation) and \$257,640 (highest allocation) with an average allocation of \$296,579. The chart below assumes that same average allocation of \$296,579 for each of the five years FY2021, FY2022, FY2023, FY2024 and FY2025.

Priority Table

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 4			Expected Amount Available Remainder of ConPlan \$	Narrative Description	
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$			Total: \$
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	266,625	48,849	0	315,474	681,235	Funds various programs throughout the City of Florissant The City of Florissant expects a CDBG allocation of \$266,625 for FY2024 and the average allocation of \$296,579 for following years.

Table 5 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

While the City of Florissant has a small CDBG allocation, it is very highly leveraged through the Project I.M.P.A.C.T. program to provide additional assistance to low to moderate income Florissant residents and city spaces to purchase tools, cleaning supplies, and dumpster rentals. Using these tools, volunteers provide the labor to complete projects to improve the lives of Florissant residents.

The Project I.M.P.A.C.T. program uses CDBG funding to purchase materials, supplies, dumpster rentals. Volunteer labor allows more households to be served with limited funding.

If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

At the current time, no identified publicly owned land or property to be used to address the needs identified in the plan.

Discussion

Over the past decade The City of Florissant has become more effective at stretching CDBG dollars by creating new relationships with donors, volunteers, and other organizations to support the highly leveraged Project I.M.P.A.C.T. program.

Annual Goals and Objectives

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3) &(e)

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Home Improvement Program	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$129,800	Homeowner Housing Rehabilitated: 15 Household Housing Unit
2	Home Improvement Program - Mechanical	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$60,000	Homeowner Housing Rehabilitated: 12 Household Housing Unit
3	Project I.M.P.A.C.T.	2021	2025	Public Services	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$5,000	Public service activities other than Low/Moderate Income Housing Benefit: 15 Persons Assisted
4	Project IMPACT – Assist	2023	2025	ADA Modifications	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$2,000	Homeowner Housing Rehabilitated: 2 Household Housing Unit
5	Project IMPACT-ADA Modification for Public Facilities	2023	2024	ADA Modification	City of Florissant	Accessibility of Public Facilities	CDBG: \$48,849	Accessibility

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
6	Mortgage, Rental & Utility Assistance	2021	2025	Public Services	City of Florissant	Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$16,500	Public service activities other than Low/Moderate Income Housing Benefit: 10 Persons Assisted
7	Administration	2021	2025	Administration	City of Florissant	Housing Repair and Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$53,325	Other: 1 Other

Table 6 – Goals Summary

Goal Descriptions

1	Goal Name	Home Improvement Program
	Goal Description	<p>The Home Improvement Project will provide \$7,000 zero-percent interest, five-year forgivable loans to low to moderate level income households within the city limits of Florissant, MO. The loans will be provided to single-family owner-occupied residences to address code violations and perform much needed home repairs. All the homes will be in sufficient condition to be safely occupied, but repairs are needed to ensure the continued health and safety of the residents. The program doesn't permit any additions to be made to the land or the structure.</p> <p>The project benefits the community by maintaining and increasing property values. It also helps low to moderate income residents to build equity in their home which is critical to building generational wealth. The scope of work excludes remodeling and may include the repair or replacement of existing items and/or health and safety issues.</p>
2	Goal Name	Home Improvement Program - Mechanical
	Goal Description	<p>The Home Improvement Program – Mechanical provides grants up to \$5,000 to households for the replacement of HVAC units and/or water heaters. Funds are available for single-family owner-occupied households within the city limits of Florissant. The purpose of the program is to reduce temperature-related illness and death by ensuring that low- to moderate income residents have working furnaces, air conditioners and/or water heaters.</p>

3	Goal Name	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	Goal Description	Project IMPACT is the Initiative to Maintain Properties and Assist our Community Together. Program funds are used to purchase tools, cleaning supplies, and dumpster rentals. Using these tools, volunteers provide the labor to complete projects to improve the lives of Florissant residents. Funds up to \$3,000 for each project will be used for approximately 15 clientele.
4	Goal Name	Project IMPACT - Assist
	Goal Description	Project IMPACT-Assist will provide grants up to \$3,000.00 per residential property for grants to provide accessibility home modifications to help persons with disabilities. A broad range of home modifications can be considered based on a recommendation from a medical professional. Modifications may include ramps, grab bars, bathroom modifications, etc. Funds are available to assist approximately 2 Florissant residents of rental or owner-occupied homes.
5	Goal Name	Project IMPACT – ADA Public Facilities
	Goal Description	Funds will be used to modify public facilities including streets, walkways and building entrances to allow wheelchair access that follows the Americans with Disabilities Act of 1990.
6	Goal Name	Mortgage, Rental & Utility Assistance
	Goal Description	MRU Assist will provide payments up to \$1,500.00 to approximately 10 low- to moderate-income Florissant residents who have experienced severe economic hardship and are behind on payments of mortgage, rent, and/or utilities. This program is designed to reduce homelessness by helping residents stay in their homes, whether they are homeowners or renters.
7	Goal Name	Administration
	Goal Description	Will provide salary and benefits for staff who are administering the CDBG-funded programs. Other program administrative costs include training, travel, and mileage reimbursement

Table 7 – Goal Descriptions

Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.215(b):

The City of Florissant does not have a large enough allocation to provide new affordable housing units. However, The City of Florissant anticipates serving 265 households with programs to maintain affordability through home repair and mortgage and rental assistance over a five-year period.

AP-35 Projects – 91.220(d)

Introduction

The table below lists the six (6) projects that the City of Florissant will undertake in FY2024 to address the needs identified through this Consolidated Plan Process.

#	Project Name
1	Home Improvement Program
2	Home Improvement Program - Mechanical
3	Project IMPACT
4	Project IMPACT - Assist
5	Project IMPACT – ADA Public Facilities
6	Mortgage, Rental & Utility Assistance
7	Administration

Table 8 – Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

The most recent Analysis of Impediments to Fair Housing identified several impediments within the City of Florissant and surrounding community, as well as offered suggestions to tackle and ameliorate them. These projects and programs are the City's attempt to meet the identified needs in the community based on the A.I. feedback, consultation with area social service agencies, nonprofit organizations, elected officials, and housing Consolidated Plan organizations. Much of the city consists of single-family homes with a growing rate of rental housing. CDBG funds will be used to ensure the existing housing stock remains safe and accessible for its residents, while also providing services for residents to access essential living functions and providing financial assistance to agencies keeping residents in their homes and off the streets. Education will continue to be a priority for the City via CDBG funding to ensure better and more comprehensive understanding of fair and affordable housing. The CDBG funds will be used to work hard for the city's aging population, disabled and/or LMI, by helping Florissant's most vulnerable populations.

Projects

AP-38 Projects Summary

Project Summary Information

Table 9 – Project Summary

1	Project Name	Home Improvement Program
	Target Area	City of Florissant
	Goals Supported	Home Improvement Program
	Needs Addressed	Housing Repair and Improvement
	Funding	CDBG: \$129,800
	Description	<p>The Home Improvement Project will provide \$7,000 zero-percent interest, five-year forgivable loans to low-to-moderate level income households within the city limits of Florissant, MO. The loans will be provided to single-family owner-occupied residences to address code violations and perform much needed home repairs. All the homes will be in sufficient condition to be safely occupied, but repairs are needed to ensure the continued health and safety of the residents. The program doesn't permit any additions to be made to the land or the structure.</p> <p>The project benefits the community by maintaining and increasing property values. It also helps low to moderate income residents to build equity in their home which is critical to building generational wealth. The scope of work excludes remodeling and may include the repair or replacement of existing items and/or health and safety issues.</p>
	Target Date	8/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	The city estimates assisting 15 households with the Home Improvement Loan Program
	Location Description	The city will accept households within the city limits

	Planned Activities	The Home Improvement Program provides up to \$7000 as a 0% interest forgivable loan to eligible City of Florissant residents to assist with home improvement projects.
2	Project Name	Home Improvement Program - Mechanical
	Target Area	City of Florissant
	Goals Supported	Home Improvement Program - Mechanical
	Needs Addressed	Housing Repair and Improvement
	Funding	CDBG: \$60,000
	Description	The Home Improvement Program – Mechanical provides grants up to \$5,000 to low-to moderate income households for the replacement of HVAC units and/or water heaters. Funds are available for single-family owner-occupied households within the city limits of Florissant. The purpose of the program is to reduce temperature-related illness and death by ensuring that low- to moderate income residents have working furnaces, air conditioners and/or water heaters.
	Target Date	8/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	The city estimates assisting 12 households with the HIP-M Program
	Location Description	The city will accept households within the city limits
	Planned Activities	The Home Improvement Program - Mechanical provides up to a \$5000 grant to low to moderate-income homeowners for the replacement of water heaters, heating and/or cooling units.
3	Project Name	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	Target Area	City of Florissant
	Goals Supported	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	Needs Addressed	Housing Accessibility / Services for Persons with Disabilities
	Funding	CDBG: \$5,000

	Description	Project IMPACT is the Initiative to Maintain Properties and Assist our Community Together. Program funds are used to purchase tools, cleaning supplies, and dumpster rentals. Using these tools, volunteers provide the labor to complete projects to improve the lives of Florissant residents. Funds up to \$3,000 for each project will be used for approximately 15 clientele.
	Target Date	8/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	The city estimates that 15 households will be assisted with Project IMPACT
	Location Description	Participants of this program will be City Wide
	Planned Activities	The program uses CDBG funding to purchase materials, supplies, and dumpster rentals. Volunteer labor allows more households to be served with limited funding.
4	Project Name	Project IMPACT - Assist
	Target Area	City of Florissant
	Goal Supported	Project IMPACT - Assist
	Needs Addressed	Housing Accessibility / Services for Persons with Disabilities
	Funding	CDBG: \$2,000
	Description	Funds up to \$3,000.00 per residential property for grants to provide accessibility home modifications to help persons with disabilities. A broad range of home modifications can be considered based on a recommendation from a medical professional. Modifications may include ramps, grab bars, bathroom modifications, etc. Funds are available to assist approximately 2 Florissant residents of rental or owner-occupied homes.
	Target Date	8/30/2025

	Estimate the number and type of families that will benefit from the proposed activities	The city estimates that approximately 2 individuals will be assisted with this program.
	Location Description	City of Florissant
	Planned Activities	Project IMPACT – Assist provides grants up to \$3,000 to help disabled residents to make home modifications to continue to live independently.
5	Project Name	Project IMPACT – ADA Public Facilities
	Target Area	City of Florissant
	Goal Supported	Project IMPACT – ADA Public Facilities
	Needs Addressed	Accessibility / Removal of Architectural Barriers
	Funding	CDBG PI: \$48,849
	Description	Any Program Income Funds will be used to modify public facilities including streets, walkways and building entrances to allow wheelchair access that is in compliance with the Americans with Disabilities Act of 1990.
	Target Date	8/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	Everyone accessing the area improved will benefit from this improvement.
	Location Description	City of Florissant
	Planned Activities	Funds will be used to modify approximately 10 curb cuts or other public facilities
6	Project Name	Mortgage, Rental & Utility Assistance
	Target Area	City of Florissant
	Goals Supported	Mortgage, Rental & Utility Assistance
	Needs Addressed	Emergency Mortgage, Rental, and Utility Assistance
	Funding	CDBG: \$16,500

	Description	MRU Assist will provide a one-time payment up to \$1,500.00 to low- to moderate-income Florissant residents who have experienced severe economic hardship and are behind on payments of mortgage, rent, and/or utilities. This program is designed to reduce homelessness by helping residents stay in their homes, whether they are homeowners or renters.
	Target Date	8/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	The city estimates that 10 individuals will be assisted with the MRU Assist Program
	Location Description	Participants will be accepted from within the City of Florissant limits
	Planned Activities	Mortgage, rental, and utility assistance will be provided to those who are in jeopardy of becoming homeless due to past due or late rent/mortgage and utility payments.
7	Project Name	Administration
	Target Area	City of Florissant
	Goals Supported	Administration
	Needs Addressed	Housing Repair & Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance
	Funding	<u>CDBG: \$53,325</u>
	Description	Salary and benefits for staff who are administering the CDBG-funded programs. Other program administrative costs include training, travel, and mileage reimbursement.
	Target Date	8/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	This activity is administration and will not benefit low-income families directly.

	Location Description	City of Florissant
	Planned Activities	Administration of the program

AP-50 Geographic Distribution – 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide, since low- to moderate-income people are not concentrated in a single geographic area of the city. Instead, program funds will be distributed based on need and eligibility. Future Annual Action Plans will allow the City of Florissant to reevaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

Geographic Distribution

Target Area	Percentage of Funds
City of Florissant	100

Table 10 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide, since low- to moderate-income people are not concentrated in a single geographic area of the city. Instead, programs funds will be distributed based on need and eligibility.

Discussion

Future Annual Action Plans will allow the City of Florissant to re-evaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

It is important to note that other City of Florissant programs not covered by the Consolidated Plan are geographically targeted. For example, the City of Florissant applied for and received a grant from the Neighborhood Stabilization Program (NSP) through the Department of Housing and Urban Development (HUD) Recovery Act funds. The city was awarded \$1.5 million dollars for the purchase, rehabilitation, and resale of foreclosed homes to stabilize neighborhoods and stem the decline of house values of neighboring homes. The City is in the process of closing out this program and is anticipating receiving approximately \$49,000 of program income funds that will be put towards funding the Project IMPACT Program and/or the Home Improvement Mechanical Program.

AP-75 Barriers to affordable housing – 91.220(j)

Introduction

The Analysis of Impediments to Fair Housing Choice (AI) is a comprehensive review of a jurisdiction's laws, regulations, and administrative policies, procedures and practices affecting the location, availability, and accessibility of housing, as well as an assessment of conditions, both public and private, affecting fair housing choice. Impediments to fair housing choice are any actions, omissions, or decisions taken because of race, color, religion, sex, disability, familial status, or national origin. Policies, practices, or procedures that appear neutral on their face, but which operate to deny or adversely the provision of housing to persons of a particular race, color, religion, sex, disability, familial status, or national origin may constitute such impediments.

The City of Florissant, along with the other members of the St. Louis HOME Consortium (St. Louis County, St. Charles County, Jefferson County, and the City of O'Fallon) and the Housing Authority of St. Louis County during 2020 retained Mosaic Community Planning, LLC to conduct and prepare a Regional Analysis of Impediments to Fair Housing Choice study. This study, while regional, has specific recommendations for each of the consortium members. The City of Florissant will address all barriers identified within its jurisdiction and act accordingly.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

Many of the Impediments to Fair Housing that have been identified in the 2020 Analysis of Impediments to Fair Housing report are also Barriers to Affordable Housing. These barriers are largely systemic & will require effort from both private & public sectors across the entire regional area to correct. Florissant will strive to undertake the stated strategies recommended in the report in collaboration with St. Louis County, other local jurisdictions, agencies, & private entities. The Impediments/Barriers that were identified as applicable to the City of Florissant include: **Barrier:** Low labor market engagement & limited incomes restrict housing choice & access to opportunity among protected classes **Strategies:** Increase access to workforce development & employment opportunities **Barrier:** Lack of access to transportation services in some areas of the region limits housing choices & resources **Strategies:** Expand transportation services & connections to other areas of the region **Barrier:** Insufficient housing for people with disabilities **Strategies:** Consider opportunities to encourage or incentivize the construction of new accessible housing units for people with disabilities. Continue to partner with organizations to identify areas where the city can improve accessibility. **Barrier:** Limited access to quality schools disproportionately impacts residents of color **Strategies:** Support development of workforce housing in areas with high-performing school districts to reduce affordability barriers to accessing these districts. Partner with school districts, youth- and community development-focused organizations, community institutions, businesses, & residents to identify youth education, mentoring, recreation, & family support needs. **Barrier:** Lack of affordable housing prevents members of protected classes from living in areas of opportunity **Strategies:** Develop

& deliver community education around the need for affordable housing & its cultural and economic value to the community. Consider & adopt zoning codes amendments that could increase possibilities for the development of affordable multifamily housing **Barrier:** Ongoing need for fair housing outreach, education, & enforcement **Strategies:** Continued education regarding fair housing rights, recognizing discrimination, & how & where to file a housing discrimination for the community and housing professionals. Continued funding commitment to fair housing enforcement measures **Barrier:** Continued need for neighborhood investment & expanding opportunity in North St Louis County **Strategies:** Expand community engagement efforts focused on community needs & priorities in low-moderate income census tracts, including working with residents & community groups to shape the approach to community engagement. Implement targeted outreach to engage with residents to identify areas for investment. **Barrier:** NIMBYism and prejudice reduce housing choice for protected classes **Strategies:** Develop-deliver community education around the need for affordable housing & its cultural & economic value to the community. Explore-promote community events & programming such as cultural celebrations & food fairs that celebrate the region's diversity & encourage interaction among diverse participants in neighborhoods throughout the region.

While these barriers affect Florissant, many are regional issues that the City of Florissant cannot address on its own. In the AI Study, none of the impediments listed were related to public policies that would or could hinder the development, maintenance or rehabilitation of affordable housing or add to the cost of existing affordable units within the city, so there is no need, at this point in time, to develop a strategy to address such policies.

Discussion

As a member of the St. Louis HOME Consortium, the City of Florissant is served by several local fair housing, affordable housing, and homeless service organizations (EHOC-Equal Housing Opportunity Council, Beyond Housing, Community Action Agency of St Louis County, Better Family Life, The Housing Partnership, and Catholic Charities). Activities include fair housing testing, complaint investigation, fair housing education, transitional housing, rent and mortgage assistance, and other housing-related assistance.

AP-85 Other Actions – 91.220(k)

Introduction

The City of Florissant has a record of strong performance in meeting underserved needs through the CDBG program.

Actions planned to address obstacles to meeting underserved needs

The largest obstacle to meeting underserved needs is funding. City staff will investigate creative leveraging strategies, such as the leveraging of volunteers in the existing Project I.M.P.A.C.T. program, to continue to make a larger community impact with limited resources.

Actions planned to foster and maintain affordable housing

The City of Florissant will strive to undertake the following strategies recommended in the Analysis of Impediments to Fair Housing to remove or ameliorate the barriers to fair/affordable housing. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, and private entities. Therefore, specific action items are dependent on further community engagement, planning, and coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers and proposed strategies can be found in the Analysis of Impediments to Fair Housing.

The City of Florissant has historically had a considerable amount of quality affordable housing for sale. In recent years, city officials started noting a shift in the housing market and commissioned a housing study to understand the impacts of the COVID-19 pandemic on the housing market and provide recommendations for policy changes to ensure more equitable and balanced housing opportunities across the city.

Actions planned to reduce lead-based paint hazards

The City of Florissant continues to pursue an active role in eliminating the hazards of the lead-based paint in its housing stock. Staff successfully completed HUD's Office of Lead Hazard Control's Visual Assessment course pursuant to 24 CFR Part 35. All homeowners in the Home Improvement Program Loan Program with houses built before 1978 are given the "Protect Your Family from Lead in Your Home" Pamphlet and the Lead Renovation Guide and must sign a "Confirmation of Receipt" for documentation purposes. In addition, the homes must undergo Lead Based Paint Testing on the areas of the home where a visual inspection is made for flaking and peeling paint does not pass. Bid packages containing work specifications will be bid out to pre-approved licensed lead abatement contractors. Dust and soil clearance tests will be

performed after the work has been completed.

The city will continue to work with the St. Louis County Lead Surveillance Program to screen and evaluate children for lead absorption, and initiate treatment when needed. The Community Development Office will continue to be responsible for networking with appropriate City and County departments and other service providers in this area. In addition, the Community Development Office will maintain its close contact with the St. Louis Office of Community Development's Home Improvement staff and the designated lead coordinator, to comply with the lead-based paint regulations that went into effect in September 2000.

Actions planned to reduce the number of poverty-level families

While poverty is a complex issue and not solvable with CDBG funding alone, the City of Florissant has designed existing CDBG programs and policies with the goal of contributing to the reduction of the number of poverty-level families in the jurisdiction. The City of Florissant housing rehabilitation programs (the Home Improvement Program, Home Improvement Program – Mechanical and the Project IMPACT Program) provides a way for low-income persons to maintain their existing homes without investing their own resources into repairs and rehabilitation. The emergency mortgage, rental, and utility assistance program provide a similar safety net for both owner and renter households.

A great deal of national research has been done on the importance of "housing as a platform" to improve quality of life. Access to safe, stable, and affordable housing has been linked to higher educational achievement for children, better economic prospects for parents, and improved health and well-being. Given that the City of Florissant's Analysis of Impediments to Fair Housing identifies Florissant as an area of high opportunity (low poverty, high school proficiency, and high labor market engagement) relative to many areas in north St. Louis County, safe, stable, and affordable housing options within the City of Florissant are especially likely to contribute to positive outcomes for individuals and families and ultimately reduce poverty. Therefore, City of Florissant CDBG programs around housing repair and assistance are important tools for long term poverty reduction.

Actions planned to develop institutional structure

The institutional structure to carry out the programs referenced in this Annual Action Plan is already strong. The City of Florissant Department of Housing and Community Development administer the programs funded by the Community Development Block Grant. Private contractors do the actual work of rehabilitation services. The city staff can adequately monitor

these contractors to assure that services are provided as promised.

Actions planned to enhance coordination between public and private housing and social service agencies

City staff will continue to attend meetings involving a wide spectrum of agencies and groups involved in issues such as housing, homelessness, foreclosures, community services, AIDS, persons with disabilities, and environmental concerns. City staff will also continue to attend regular meetings to coordinate with the St. Louis County Continuum of Care.

Discussion

Program Specific Requirements

AP-90 Program Specific Requirements – 91.220(I)(1,2,4)

Introduction

Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

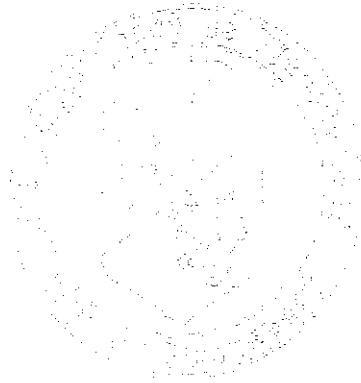
1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	0

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	100%

Discussion

Annual Action Plan 2024	38
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PROPOSED USE OF CDBG FUNDS

2024 ACTUAL Financial Summary

FY2024 CDBG Program

Community Development Block Grant Resources

Entitlement Amount Estimate	\$266,625.00
Anticipated Program Income from NSP Close Out	\$ 48,849.00
Total FY2024 Funding	\$315,474.00

Proposed Uses of CDBG Funds

• Home Improvement Program	\$129,800.00
• Home Improvement Program – Mechanical	\$ 60,000.00
• Project IMPACT – Assist	\$ 2,000.00
• Mortgage, Rental & Utility Assistance	\$ 16,500.00
• Project IMPACT – ADA Public Facilities	\$ 48,849.05
• Project IMPACT	\$ 5,000.00
• Grant Administration	\$ 53,325.00
Total	\$315,474.00



Agenda Request Form

For Administration Use Only:

Meeting Date: 12/4/2023

Open Closed

Report No. 91/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH 3390 N Hwy 67
2. Staff Report
3. Application
4. Plans

INTRODUCED BY COUNCILMAN SIAM
JANUARY 8, 2024

BILL NO. 9944
ORDINANCE NO.

ORDINANCE AUTHORIZING AN AMENDMENT ORDINANCE NO. 7965 FOR WALMART TO ALLOW FOR PAINTING OF THE EXTERIOR AND NEW TRESPA FILM IN A ‘B-5’ PLANNED COMMERCIAL DISTRICT LOCATED AT 3390 N HIGHWAY 67.

WHEREAS ordinance no. 7965 was passed in April of 2012 approving the rezoning of 3350 & 3400 N. Hwy 67 and 3605 Seville to a B-5 Planned Commercial District to allow for the construction of a new retail center; and

WHEREAS the St. Louis County Assessor’s office now identifies this property as 3390 N. Highway 67; and

WHEREAS BRR Architecture, Inc has applied on behalf of Walmart store #5927 for an amendment to the B-5 development plan authorized by ordinance 7965 to allow for the painting of the exterior and new Trespa Film;

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of December 4th, 2023 that an amendment to B-5 ordinance no. 7965, to allow for the painting of the exterior and new Trespa Film located at 3390 N. Highway 67; and

WHEREAS, due and lawful notice of a public hearing no. 24-01-003 on said proposed change was duly published, held and concluded on 8th day of January 2024 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no. 7965 to allow for the painting of the exterior and new Trespa Film located at 3390 N. Highway 67 is in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1:

B-5 ord. no. 7965, is hereby amended to allow for minor changes to the site development plan of the ‘B-5’

Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry Unit (CMU), and parapet caps; also apply film on front trespa panels, and install new signs at **3390 N Highway 67 (Wal-Mart)**

Related drawings are attached. The exterior modifications depict minor changes in the development plan, which is not in conflict with the nature of the development and meets all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this 'B-5' Planned Commercial District, and the following additional requirements:

1. PROJECT COMPLETION.

Construction shall start within 60 days issuance of building permits and the project and shall be developed in accordance of the approved amendments to the final development plan within 180 days of start of construction.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2024.

Joseph Eagan

President of the Council

Approved this _____ day of _____, 2024..

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT

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"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: November 8, 2023

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From: Debra Irvin, Building Commissioner cc: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

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Subject: Request an amendment of the B-5, minor ratification of the Building
Commissioner to allow painting exterior rear of the building Concrete
Masonry Unit (CMU), and parapet caps; apply film on front trespa panels,
and install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5'
Zoning District

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STAFF REPORT

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CASE NUMBER PZ-120423-4

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I. PROJECT DESCRIPTION:

Request an amendment of the B-5f , minor ratification of the existing ordinance to paint
exterior rear building CMU, and parapet caps; apply film on front trespa panels, and
install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District,
Ordinance No. 7965.

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II. EXISTING SITE CONDITIONS:

The existing property at 3390 N Highway 67 is a high traffic retail chain store. The
property is currently zoned 'B-5'.

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III. SURROUNDING PROPERTIES:

The property to the West is 3200 N Highway 67 in a 'B-3' District, the properties to the
South are in an 'R-4' District. The East is bounded by Coldwater Creek.

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IV. STAFF ANALYSIS:

Under the Zoning Code, Section 405.135 (for a 'B-5' District only), minor changes to a
previously recorded development plan may be approved without a public hearing if the

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41 Building Commissioner deems the changes to be minor in nature and is ratified by P&Z,
42 the Building Commissioner submits the proposed amendment to P&Z for review and
43 approval by motion to ratify approval by staff. **The attached plan was submitted for**
44 **review and consideration of approval to paint exterior rear of building CMU and**
45 **parapet caps; apply film on front trespa panels, and install new signs at 3390 N**
46 **Highway 67 (Wal-Mart) in a ‘B-5’ Zoning District**

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48 Excerpt from Zoning Code, section 405.135. para. L2c.:

49 *“c. Initial determination of consistency/minor changes. If the Building Commissioner determines that the*
50 *proposed amendment to the previously approved site plan is minor in nature and is not in conflict with the*
51 *nature of the proposal as originally or previously advertised for public hearing and meets all of the*
52 *conditions of the pertinent Planned Commercial District ordinance, the Building Commissioner shall notify*
53 *the Planning and Zoning Commission thereof and may conditionally approve such proposed amendment,*
54 *which approval shall be deemed ratified by the Planning and Zoning Commission unless five (5) or more*
55 *members thereof thereafter request at the first (1st) regularly scheduled and conducted meeting after*
56 *notification that such proposed amendment be submitted to the Planning and Zoning Commission for*
57 *review. In lieu of a grant of conditional approval, the Building Commissioner or designated representative*
58 *may submit the proposed amendment to the Planning and Zoning Commission for review. In case of*
59 *disapproval of the proposed amendment by the Building Commissioner, the applicant shall be notified and*
60 *may thereafter request review thereof by the Planning and Zoning Commission...”*

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62 The application is accompanied by attached plan.

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64 Comments on plans: Owner shall provide color samples for CMU

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66 See the following suggested motion:

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68 **V. STAFF RECOMMENDATION AND SUGGESTED MOTION:**

69 I move to amend the B-5 for minor changes to the site development plan of the ‘B-5’
70 Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry
71 Unit (CMU), and, parapet caps; also apply film on front trespa panels, and install new
72 signs at **3390 N Highway 67 (Wal-Mart)**

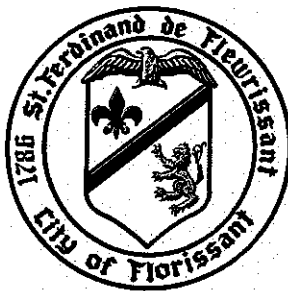
73
74 Related drawings are attached. The exterior modifications depict minor changes in the
75 development plan, which is not in conflict with the nature of the development and meets
76 all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this
77 ‘B-5’ Planned Commercial District, and the following additional requirements:

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80 1. PROJECT COMPLETION.

81 Construction shall start within 60 days issuance of building permits and
82 the project and shall be developed in accordance of the approved
83 amendments to the final development plan within 180 days of start of
84 construction.

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86 **(End of suggested motion and staff report)**

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant, while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 3390 N. Highway 67

Property Owners Name: THF Florissant Development LLC Phone/email:

Property Owners Address: PO Box 8050 Bentonville, AR 72712

Business Owners Name: Walmart Real Estate Business Trust Attn Realty Manager Store #5927 Phone/email: zach.luensmann@walmart.com

Business Owners Address: 2608 SE J St. Bentonville, AR 72716

DBA (Doing Business As) Walmart Store #5927

Authorized Agents Name: BRR Architecture, Inc. Co. Name: Kristi Burk (Authorized Agent to Appear Before The Commission)

Agents Address: 8131 Metcalf Ave. Suite 300 Phone/email: 479-286-2936

Request Paint exterior rear building CMU and parapet caps. Apply film on front trespa panels.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Kristi Burk

Digitally signed by Kristi Burk, DN: cn=US, email=kristi.burk@brrarch.com, o=BRR Architecture, Inc., cn=Kristi Burk Reason: I have reviewed this document Date: 2023.10.30 13:59:15 -0500

10/30/23

Applicant's Signature

Date

OFFICE USE ONLY

Received by: Receipt # Amount Paid: Date:

STAFF REMARKS:

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION



Agenda Request Form

For Administration Use Only:

Meeting Date: 2/5/2024

Open

Closed

Report No. 10/2024

Date Submitted:

To: City Council

Title: Ordinance to authorize a Special Use Permit to Premier Auto Service & Body, Inc. to allow for automotive service garage for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH Notice 1180 N Hwy 67
2. Staff Report
3. Special Use Application
4. Premier Auto Plans

INTRODUCED BY COUNCILMAN O'DONNELL
FEBRUARY 26, 2024

BILL NO. 9957

ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO PREMIER AUTO SERVICE & BODY, INC. TO ALLOW FOR AUTOMOTIVE SERVICE GARAGE FOR THE PROPERTY LOCATED AT 1180 N HIGHWAY 67 IN A 'B-3' EXTENSIVE BUSINESS DISTRICT.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of an auto service garage in the City of Florissant; and

WHEREAS, an application has been filed by Premier Auto Service & Body, Inc. to allow for the operation of an auto service garage located at 1180 N. Hwy 67, and

WHEREAS, the Planning and Zoning Commission at their meeting on February 5, 2024, recommended that a Special Permit be granted; and

WHEREAS due notice of public hearing no. 24-02-005 on said application to be held on the 26th day of February, 2024 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for an auto service garage would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Premier Auto Service & Body, Inc. to allow for the operation of an auto service garage located 1180 N. Hwy 67 with the following stipulations:

- 1.No vehicle or vehicle parts may be worked on outside of the building.
2. No outdoor storage of salvage vehicles or parts, temporary or otherwise, is permitted outside of the building.
3. The impounding or storage of derelict vehicles is prohibited.
4. The holder of this Special Use Permit shall be and remain fully licensed with the City of Florissant. License shall remain in good standing throughout the term of this Special Use Permit.
5. The Special Use Permit is granted solely to Premier Auto Service and Body, Inc.
6. This Special Use Permit is transferable to another while the business is in operation or within six months of closure.
7. Should this Special Use cease operations for a period of six months, the Special Use Permit shall considered abandoned.
8. Screening of HVAC shall match the current city code.
9. Repair is to be completed to the trash enclosure to meet current city code.
10. The repair and maintenance of vehicles is limited to the hours of operation.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the Council

Approved this _____ day of _____, 2024.

Mayor Timothy J. Lowery

ATTEST: _____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, February 26, 2024 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to allow for automotive service garage for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District (Premier Auto Service & Body, Inc). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: January 24, 2024

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Economic Development
Applicant
File

Subject: Request **recommended approval** of a Special Use Permit for the operation of an automotive and body repair shop, at **1180 N Highway 67 (Premier Auto Service and Body, Inc)** in a 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-020524-01

I. PROJECT DESCRIPTION:

This is a request for recommended approval of a special use permit to allow for the operation of automotive service and body repair shop at 1180 N Highway 67, currently zoned 'B-3'.

II. EXISTING SITE CONDITIONS:

The existing property at 1180 N Hwy 67 has been vacant since May 2023. The site is paved for parking. The grassy area along N. Highway 67 is in the right of way. The petitioner is the legal owner of record who in past years operated an auto sales lot at this location.

There are 32 parking spaces; 24 are required. The parking is shared with an adjoining business.

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III. SURROUNDING PROPERTIES:

The properties to the west and south are in a B-3 District. Causing no impact to the existing businesses.

IV. STAFF ANALYSIS:

The application is accompanied by a site plan for Florissant Auto Sales, a shared commercial space.

The current zoning Section 405.125 K (8) (9) allows for an automotive and repair shop if a Special Use is granted by the City Council and since the current special use has expired, a new Special Use is required.

VI. STAFF RECOMMENDATIONS:

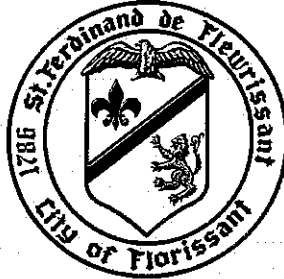
Suggested Motion for 1180 N Highway 67- Premier Auto Service and Body, Inc.

I move to recommend approval to the City Council for a Special Use Permit to ***Premier Auto Service and Body, Inc*** with the following conditions:

1. No vehicles or vehicle parts may be worked on outside of the building.
2. No outdoor storage of salvage vehicles or parts, temporary or otherwise, is permitted outside of the building.
3. The impounding or storage of derelict vehicles is prohibited.
4. The sale of automobiles or other vehicles is prohibited.
5. The holder of this Special Use Permit shall be and remain fully licensed with the City of Florissant. License shall remain in good standing throughout the term of this Special Use Permit
6. The Special Use Permit is granted solely to *Premier Auto Service and Body, Inc.*
7. This Special Use Permit is transferable to another while the business is in operation or within six months of closure.
8. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be revoked.

(end report and suggested motion)

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works
314-839-7648**

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 6 Zoning B-3

Initial Date Petitioner Filed 1/24/2024
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR PREMIER AUTO SERVICE & BODY, INC

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # 5895 TO ALLOW FOR AUTOMOBILE SERVICE & BODY WORK
ordinance # Statement of what the amendment is for.

LOCATION 1180 NORTH HIGHWAY 67 FLORISSANT, MO 63031

Address of property.

1) Comes Now MISSION HILLS DEVELOPMENT, INC
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) OWNER
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.


2) The petitioner(s) further state(s) that the property herein described is presently being used for AUTOMOBILE SERVICE AND BODY REPAIR and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

PZ-020524-01

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
 (If more space is needed, separate sheets maybe attached)


GLENN TRAVERS  GMTAUTO@YAHOO.COM 314-960-4175
 PRINT NAME SIGNATURE email and phone

FOR **MISSION HILLS DEVELOPMENT INC**
 (company, corporation, partnership)

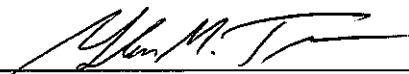
Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE 
 ADDRESS **743 ST MARYS RD VILLA RIDGE MO 63089**
 STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL **314-517-5101** / **JOED07864@GMAIL.COM**
 BUSINESS

I (we) the petitioner (s) do hereby appoint **JOE DALE** as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.


 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation XXX

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners GLENN TRAVERS
- (2) Telephone numbers 314-960-4175
- (3) Business address 225 N HWY 67 FLORISSANT, MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MISSOURI
- (5) Date of Incorporation JANUARY 28, 1998
- (6) Missouri Corporate Number 004513869
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name PREMIER AUTO SERVICE & BODY, INC
Address 1180 N HWY 67 FLORISSANT, MO 63031
Property Owner MISSION HILLS DEVELOPMENT, INC
Location of property 1180 NORTH HIGHWAY 67 FLORISSANT, MO 63031
Dimensions of property 565.73' x 134.99' x 31.92' x 566.11'
Property is presently zoned B-3 Requests Rezoning To N/A
Proposed Use of Property AUTOMOBILE SERVICE AND BODY REPAIR
Type of Sign EXISTING Height 18 FEET
Type of Construction MASONRY WALLS STEELE ROOF Number Of Stories 1
Square Footage of Building 9688 Number of Curb Cuts 4
Number of Parking Spaces 20 Sidewalk Length N/A
Landscaping: No. of Trees NONE PROPOSED Diameter N/A
No. of Shrubs NONE PROPOSED Size N/A
Fence: Type EXISTING Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

ARTICLES OF INCORPORATION

OF

MISSION HILLS DEVELOPMENT COMPANY, INC.,

a Missouri Corporation

FILED AND CERTIFICATE OF
INCORPORATION ISSUED

JAN 28 1998

HONORABLE REBECCA McDOWELL COOK
SECRETARY OF STATE
STATE OF MISSOURI
JEFFERSON CITY, MO 65101

Rebecca McDowell Cook
SECRETARY OF STATE

The undersigned natural person or persons of the age of eighteen years or more, for the purpose of forming a Corporation under the General and Business Corporation Law of Missouri, adopts the following Articles of Incorporation.

ARTICLE ONE

The name of the Corporation is:

MISSION HILLS DEVELOPMENT COMPANY, INC.

ARTICLE TWO

The address, including street and number, if any, of the Corporation's initial registered office in this State is: 5840 Oakland Avenue, St. Louis, Missouri 63110, and the name of its initial registered agent at such address is: Michael W. Flynn.

ARTICLE THREE

The aggregate number, class and par value of shares which the Corporation shall have authority to issue shall be: thirty thousand (30,000) shares of common stock with a par value of One Dollar (\$1.00) per share.

The preferences, qualifications, limitations, restrictions, and special or relative rights, including convertible rights, if any, in respect of the shares of each class are as follows: None.

ARTICLE FOUR

Each shareholder shall have preemptive rights to purchase additional shares issued by this Corporation in order to maintain its, his or her relative position in relation to all shares issued and outstanding.

ARTICLE FIVE

The name and place of residence of each incorporator is as follows:

<u>Name</u>	<u>Address</u>
Michael W. Flynn	1471 Dietrich Oaks Dr. Ballwin, MO 63021

ARTICLE SIX

The number of directors to constitute the Board of Directors is one (1). ~~Thereafter, the number of directors shall be fixed by, or in the manner provided in the By-Laws. Any change in the number will be reported to the Secretary of State within thirty (30) days of such change.~~ Upon a majority vote of all directors, the Board has the power to make, alter, amend or repeal the By-Laws of the Corporation. NK per
WD

ARTICLE SEVEN

The duration of the Corporation is perpetual.

ARTICLE EIGHT

The nature of the business and objects and purposes for which the Corporation is formed and which may be transacted, promoted and carried on by the Corporation are to do any and all of the things mentioned as fully and to the same extent as natural persons might or could do, viz:

1. To buy, acquire, own, hold, develop, lease, sell, or otherwise dispose of and to mortgage or otherwise encumber real property, inventory, stock, supplies, and personal property of all kinds.
2. To own, hold, build, construct, and erect buildings and structures of all types and to buy, sell, lease, own, manage, operate, maintain, repair, restore, and rebuild the same.
3. To execute deeds, mortgages, deeds of trust, contracts, security agreements, chattel mortgages, financing statements and other types of written instruments.
4. To manufacture, purchase or otherwise acquire, own, mortgage, pledge, sell, assign and transfer, or otherwise dispose of, to invest, trade, deal in and deal with goods, wares, and merchandise and personal property of every class and description.

5. To acquire and pay for in cash, stock or bonds of this Corporation or otherwise, the goodwill, rights, assets and property and to undertake or assume the whole or any part of the obligations or liabilities of any persons, firms, corporations, or associations.

6. To employ, hire and to appoint corporations, firms and individuals to act as agents for this Corporation in such capacity and on such conditions as may be determined from time to time by the Board of Directors.

7. To be appointed and to act as the agent or representative, or both, of any corporation, firm or individual in any and all parts of the world for the sale and disposition of goods, wares and merchandise, and as such, to develop and extend the business interest of firms, corporations, and individuals in such capacity and on such terms and conditions as may from time to time be mutually agreed upon.

8. To guarantee, purchase, hold, sell, assign, transfer, mortgage, pledge, or otherwise dispose of shares of the capital stock of, or any bonds, securities or evidences of indebtedness created by any other corporation or corporations organized under the laws of this state or any other state, country, nation, or government, and while the owner thereof, to exercise all the rights, powers and privileges of ownership, including the right to vote thereon.

9. To enter into, make and perform contracts of every kind and description with any person, firm, association, corporation, municipality, country, state, body politic or government or colony or dependency thereof.

10. To borrow or raise moneys for any of the purposes of the Corporation and, from time to time, without limits as to amount, to draw, make, accept, endorse, execute and issue promissory notes, drafts, bills of exchange, warrants, bonds, debentures, and other negotiable or non-negotiable instruments and evidences of indebtedness and to secure the payment of any thereof and of the interest thereon by mortgage upon or pledge, conveyance or assignments in trust of the whole or any part of the property of the Corporation, whether at the time owned or hereafter acquired, and to sell, pledge or otherwise dispose of such bonds or other obligations of the Corporation for its corporate purposes.

11. To buy, sell or otherwise deal in notes, open accounts, and other similar evidences of debt, stocks, bonds, and securities, or to loan money and take the same, and other similar evidences of debt as collateral security therefor.

12. To acquire, own, buy, hold, sell, transfer, and otherwise dispose of patents, patent rights, copyrights, trademarks, trade names, license franchises, permits and other evidences of right.

13. To have one or more offices to carry on all of or any of its operations and business and without restriction or limit as to amount, to purchase, sell or otherwise dispose of real and personal property of every class and description in any of the states, districts, territories, or colonies of the United States, and in any and all foreign countries, subject to the laws of such state, district, territory, colony or country.

14. In general, to carry on any other business in connection with the foregoing, and to have and exercise all powers conferred by the laws of Missouri upon corporations formed under the Act hereinbefore referred to, and to do any or all of the things hereinbefore set forth to the same extent as natural persons might or could do.

15. The objects and purposes specified in the foregoing clauses shall, except where otherwise expressed, be in nowise limited or restricted by reference to, or inference from, the terms of any other clause in these Articles of Incorporation, but the objects and purposes specified in each of the foregoing clauses of this Article shall be regarded as independent objects and purposes.

FILED AND CERTIFICATE OF INCORPORATION ISSUED

JAN 28 1998

ARTICLE NINE

The Corporation reserves the right to amend, alter, change or repeal any provision contained in these Articles of Incorporation upon the majority vote of the Shareholders of the Corporation.

IN WITNESS WHEREOF, these Articles of Incorporation have been signed this 28th day of January, 1998.

Michael W. Flynn
MICHAEL W. FLYNN, Incorporator

STATE OF MISSOURI)
) SS.
CITY OF ST. LOUIS)

I, HELEN L. AMPTMAN, a Notary Public, do hereby certify that on the 28th day of January, 1998, personally appeared before me MICHAEL W. FLYNN, who, being by me first duly sworn, declared that he is the person who signed the foregoing document as Incorporator, and that the statements therein contained are true.

Helen L. Amptman
Notary Public

My Commission Expires:

HELEN L. AMPTMAN
NOTARY PUBLIC STATE OF MISSOURI
ST. LOUIS CITY
MY COMMISSION EXP. JAN. 1, 2001

STATE OF MISSOURI



Rebecca McDowell Cook
Secretary of State

CORPORATION DIVISION
CERTIFICATE OF INCORPORATION

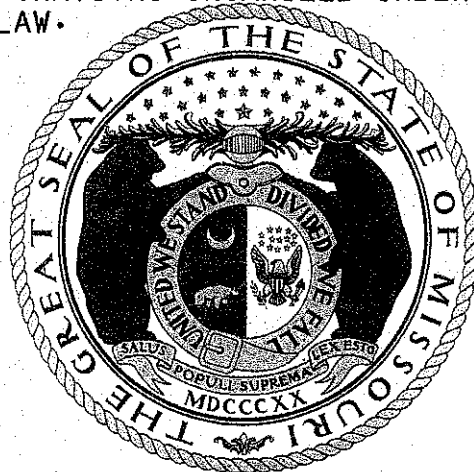
WHEREAS, DUPLICATE ORIGINALS OF ARTICLES OF INCORPORATION OF
MISSION HILLS DEVELOPMENT COMPANY, INC.

HAVE BEEN RECEIVED AND FILED IN THE OFFICE OF THE SECRETARY OF
STATE, WHICH ARTICLES, IN ALL RESPECTS, COMPLY WITH THE
REQUIREMENTS OF GENERAL AND BUSINESS CORPORATION LAW;

NOW, THEREFORE, I, REBECCA McDOWELL COOK, SECRETARY OF STATE
OF THE STATE OF MISSOURI, BY VIRTUE OF THE AUTHORITY VESTED IN
ME BY LAW, DO HEREBY CERTIFY AND DECLARE THIS ENTITY A BODY
CORPORATE, DULY ORGANIZED THIS DATE AND THAT IT IS ENTITLED TO
ALL RIGHTS AND PRIVILEGES GRANTED CORPORATIONS ORGANIZED UNDER
THE GENERAL AND BUSINESS CORPORATION LAW.

IN TESTIMONY WHEREOF, I HAVE SET MY
HAND AND IMPRINTED THE GREAT SEAL OF
THE STATE OF MISSOURI, ON THIS, THE
28TH DAY OF JANUARY, 1998.

Rebecca McDowell Cook
Secretary of State



\$58.00



* 2005052000998 *

JANICE M. HAMMONDS, RECORDER OF DEEDS
ST. LOUIS COUNTY MISSOURI
41 SOUTH CENTRAL, CLAYTON, MO 63105

TYPE OF INSTRUMENT: WD
GRANTOR: CANCILA MARTIN A TR ETAL
TO: TO
GRANTEE: MISSION HILLS DEV CO INC

PROPERTY DESCRIPTION: NEW TOWN OF ST FERDINAND BLK PT 99 PB 5 PG 1 W/O/P

Lien Number	Notation	Locator
-------------	----------	---------

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to the TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

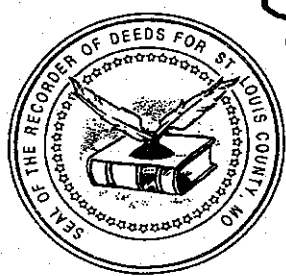
STATE OF MISSOURI)
SS.
COUNTY OF ST. LOUIS)

Document Number
998

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 4 pages, (this page inclusive), was filed for record in my office on the 20 day of May 2005 at 01:48 PM and is truly recorded in the book and at the page shown at the top and/or bottom of this page.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

J. Ann Reber
Deputy Recorder



Janice M. Hammonds
Recorder of Deeds
St. Louis County, Missouri

- ___ N.P
- ___ N.P.C
- ___ N.N.C.
- ___ N.N.I.

RECORDING FEE \$30.00
(Paid at the time of Recording)

Mail to:

Destination code: 14 P

W-16543 P-2655/2658

3
w/01P**SPECIAL WARRANTY DEED**

TIA 1014e8

This Special Warranty Deed is made on May 18, 2005, by Martin A. Cancila, as Trustee of the Martin A. Cancila Revocable Living Trust U/I Dated June 16, 1997, as amended and/or restated, with an address of 2175 North Highway 67, Florissant, Missouri 63033, Attn: Tony Cancila ("Grantor"), to Mission Hills Development Company, Inc., a Missouri corporation, with an address of 225 North Highway 67, Florissant, Missouri 63031 ("Grantee").

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration paid by the said Grantee, the receipt of which is hereby acknowledged, does by these presents BARGAIN and SELL, CONVEY and CONFIRM unto the said Grantee the Real Estate situated in the County of St. Louis, and State of Missouri, as more particularly described as follows:

See Exhibit A attached hereto.

Subject to the following: (a) City of Florissant zoning regulations; (b) general taxes payable for the year 2005 and thereafter; (c) any lien or encumbrance created by or assumed by Grantee in writing or any easement accepted by Grantee in writing; and (d) use and other deed restrictions, rights-of-way and utility easements, all of record.

TO HAVE AND TO HOLD the same, with all rights, immunities, privileges and appurtenances thereunto belonging, unto said Grantee and Grantee's heirs and assigns, forever; and the Grantor hereby covenants that Grantor will warrant and defend the title to these premises unto said Grantee, and Grantee's heirs and assigns, forever, against the lawful claims of all persons claiming through the Grantor, except as set forth above.

IN WITNESS WHEREOF, Grantor has executed this Special Warranty Deed as of the 18th day of May, 2005.

[Signatures to Follow]

GRANTOR:

Martin A. Cancila

Martin A. Cancila, Trustee of the Martin A. Cancila Revocable Living Trust U/I Dated June 17, 1997, as amended and/or restated

STATE OF Missouri)
)
COUNTY OF St. Louis) SS

On this 18th day of May, 2005, personally appeared before me Martin A. Cancila, Trustee of the Martin A. Cancila Revocable Living Trust U/I Dated June 17, 1997, as amended and/or restated, known to me to be the person described in and who executed the foregoing instrument and acknowledged that he executed same as his free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid on the day and year first above written.

Linda S. Turley
Notary Public *Linda S. Turley*

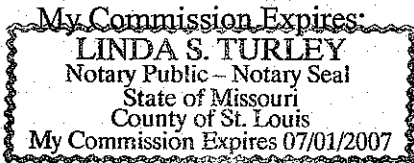
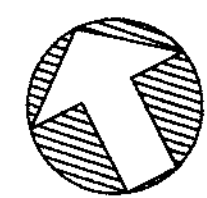
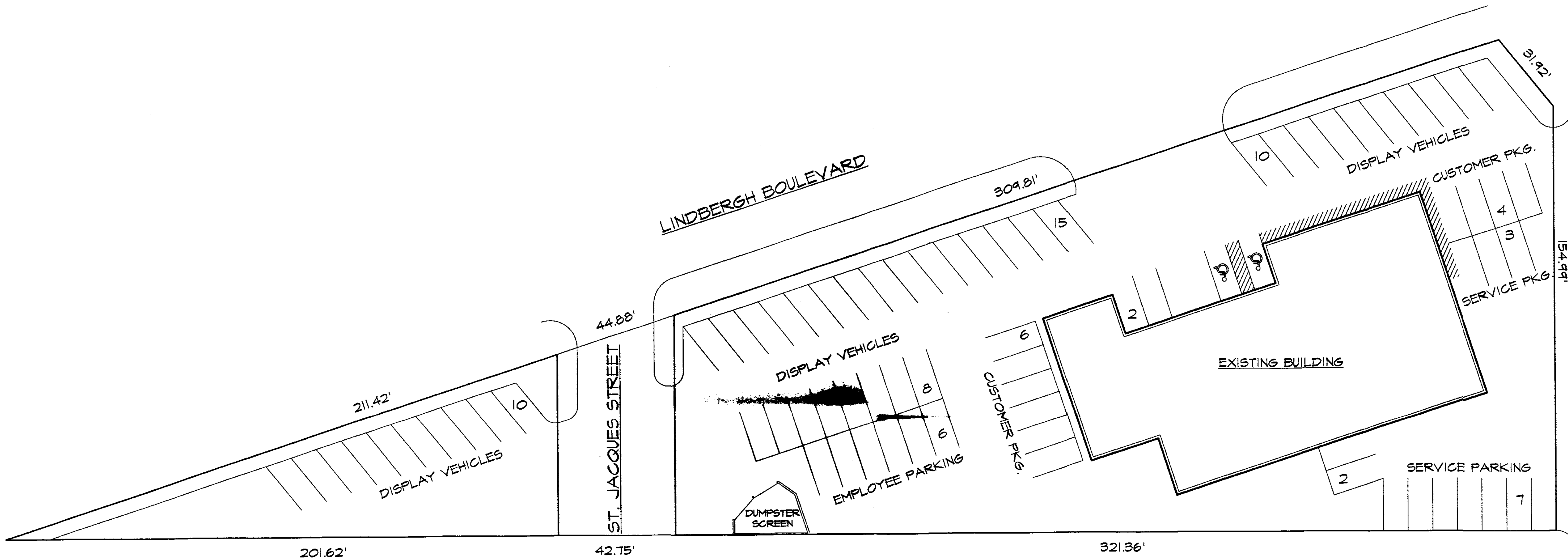


Exhibit A

Parcel 1: All that part of Block 99 of New Town of St. Ferdinand according to plat recorded in Plat Book 5 page 1 of the St. Louis City (Former County) Records, that lies South of Lindbergh Boulevard, as now established and widened by deed recorded in Book 6109 page 10 of the St. Louis County Records and all of the North 1/2 of St. Michael Street (vacated by Ordinance #139 of the City of Florissant recorded in Book 4772 page 580 of the St. Louis County Records) lying south of and adjoining said part of Block 99 above described.

Parcel 2: Part of Block 100 of the New Town of St. Ferdinand and the North 1/2 of St. Michael Street vacated by Ordinance #139, a certified copy of which ordinance is recorded in Book 1697 page 610 and more particularly described as: Beginning at an iron pipe at the intersection of the South line of Lindbergh Boulevard (Highway 140), 60 feet wide, and the East line of St. Jacques Street, 42 feet 9 inches wide; thence Southwardly along the East line of St. Jacques Street, 92.71 feet to an iron pipe; thence Eastwardly 321.70 feet to an iron pipe set in the West line of Jefferson Street, 42 feet 9 inches wide, distance 197.04 feet Southwardly from an iron pipe at the intersection of the South line of Lindbergh Boulevard (Highway 140) and the west line of Jefferson Street; thence Northwardly along the West line of Jefferson Street, 197.04 feet to an iron pipe at the intersection of the South line of Lindbergh Boulevard (Highway 140) and the west line of Jefferson Street; thence Westwardly along the South line of Lindbergh Boulevard (Highway 140) 338.24 feet to an iron pipe and the point of beginning according to survey executed by Steele Surveying Company on May 19 and 20, 1960, Excepting Therefrom that portion conveyed to the State of Missouri by instrument recorded in Book 6106 page 622.



SITE PLAN

SCALE: 1" = 20'-0"
 SITE AREA: ± 1.13 ACRES

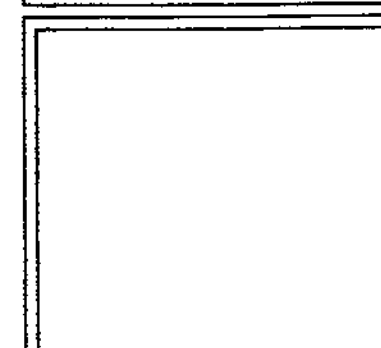
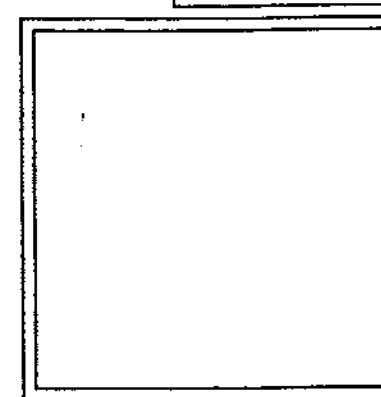
PARKING TABULATION

SHOWROOM: 1,340 # @ 3 SPACES PER 1,000=	4 SPACES
SERVICE: 4 BAYS @ 3 SPACES PER BAY=	12 SPACES
OFFICE AREA: 1,193 # @ 3 SPACES PER 1,000=	3 SPACES
SERVICE AREA/BODY SHOP: 1 SPACES PER EACH EMPLOYEE ON MAXIMUM SITE=	5 SPACES
TOTAL PARKING REQUIRED:	24 SPACES
TOTAL REQUIRED PARKING PROVIDED:	32 SPACES
2 ACCESSIBLE SPACES EXISTING	
BALANCE OF SITE TO BE USED FOR VEHICLES FOR SALE DISPLAY	

no.	date	description

revisions

ARCHITECT
 JOE A. DALE, NCARB
 743 Saint Mary's Road
 Villa Ridge, Missouri 63089
 314-517-5101
 joed07864@gmail.com



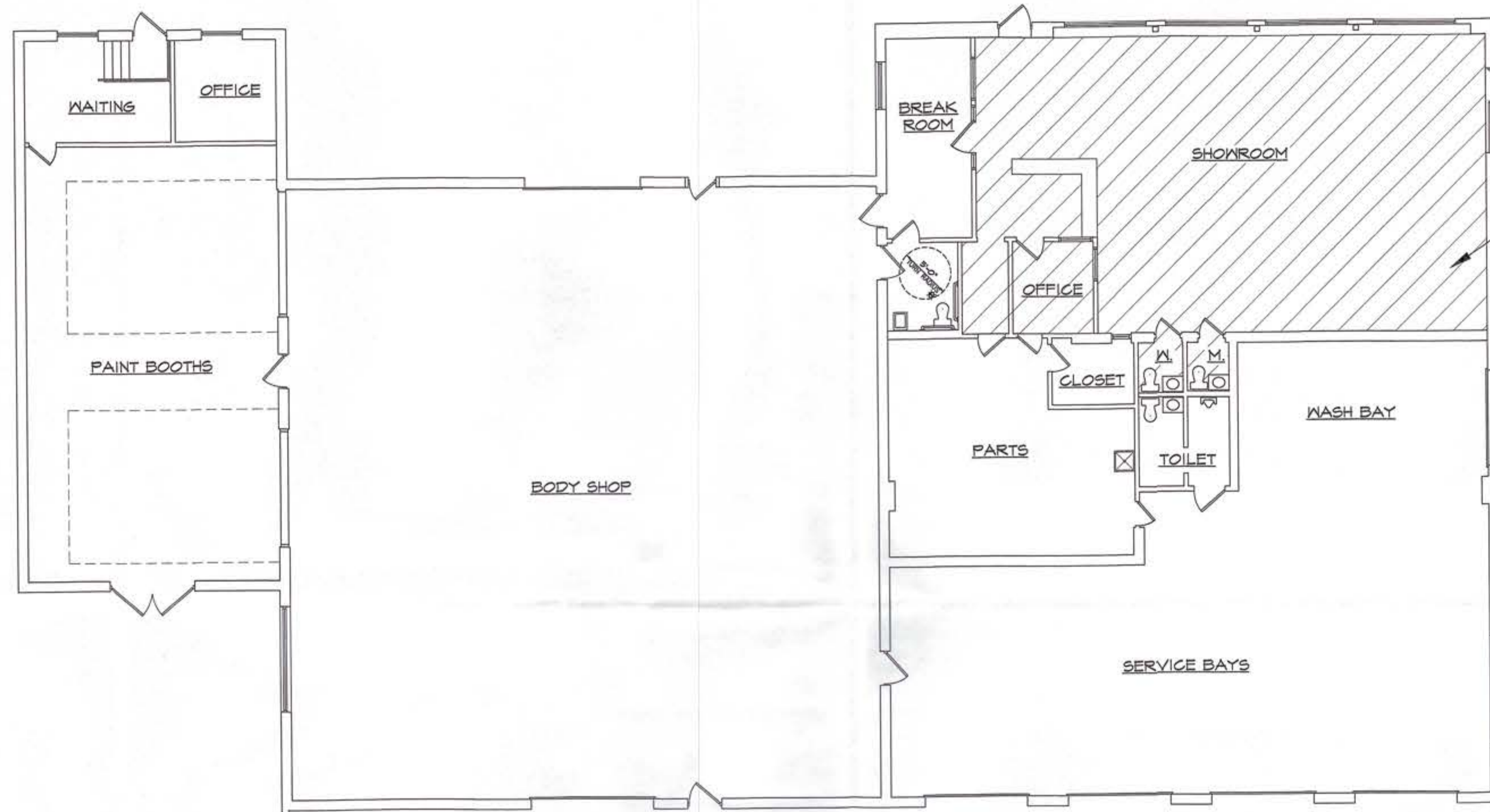
a existing site layout for:
Florissant Auto Sales
 1180 NORTH LINDBERGH BLVD.
 FLORISSANT, MISSOURI 63031

project number

file name

date 01/24/24

sheet no. SP-1 of




FLOOR PLAN
 SCALE: 1/8" = 1'-0"

no.	date	description

revisions

ARCHITECT
 JOE A. DALE, NCARB
 743 Saint Mary's Road
 Villa Ridge, Missouri 63089
 joed07864@gmail.com

a existing floor plan layout for:
Florissant Auto Sales
 1180 NORTH LINDBERGH BLVD.
 FLORISSANT, MISSOURI 63031

project number	
file name	
date	01/24/24
sheet no.	A-1
of	



Agenda Request Form

For Administration Use Only:

Meeting Date: 2/5/2024

Open Closed

Report No. 11/2024

Date Submitted:

To: City Council

Title: Ordinance to authorize a Special Use Permit for Florissant Auto Sales, Inc. to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District.

Prepared by: Administrator

Department:

Justification:

Please see attachments

Attachments:

1. PH Notice 1180 N Hwy 67
2. Staff Report
3. Special Use Application

INTRODUCED BY COUNCILMAN O'DONNELL
FEBRUARY 26, 2024

BILL NO. 9958

ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT FOR FLORISSANT AUTO SALES, INC. TO ALLOW FOR PRE-OWNED CAR SALES FOR THE PROPERTY LOCATED AT 1180 N HIGHWAY 67 IN A 'B-3' EXTENSIVE BUSINESS DISTRICT.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a pre-owned car sales business the City of Florissant; and

WHEREAS, an application has been filed by Florissant Auto Sales, Inc. to allow for the operation of a pre-owned car sales business located at 1180 N. Hwy 67; and

WHEREAS the Planning and Zoning Commission at their meeting on February 5, 2024, recommended that a Special Permit be granted; and

WHEREAS due notice of public hearing no. 24-02-006 on said application to be held on the 26th day of February 2024 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for a pre-owned car sales business would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Florissant Auto Sales to allow for the operation of a pre-owned car sales business located 1180 N. Hwy 67 with the following stipulations:

1. The holder of this Special Use Permit shall be and remain fully licensed with the State of Missouri and the City of Florissant. Both licenses shall remain in good standing throughout the term of this Special Use Permit.
2. The Special Use Permit is granted solely to Florissant Auto Sales.
3. This Special Use Permit is transferrable to another while the business is in operation or within six months of closure.
4. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be considered abandoned.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2024.

Joseph Eagan
President of the Council

Approved this ____ day of _____, 202.

Mayor Timothy J. Lowery

ATTEST: _____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, February 26, 2024 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to allow for pre-owned car sales for the property located at 1180 N Highway 67 in a 'B-3' Extensive Business District (Florissant Auto Sales). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT

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"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: January 24, 2024

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From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Economic Development
Applicant
File

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Subject: Request **recommended approval** of a Special Use Permit for the sale of pre-owned vehicles, at **1180 N Highway 67 (Florissant Auto Sales)** in a 'B-3' Zoning District.

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STAFF REPORT

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CASE NUMBER PZ-020524-02

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I. PROJECT DESCRIPTION:

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This is a request for recommended approval of a special use permit for the sale of pre-owned vehicles at 1180 N Highway 67, currently zoned 'B-3'.

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II. EXISTING SITE CONDITIONS:

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The existing property at 1180 N Hwy 67 has been vacant since May 2023. The site is paved for parking. The grassy area along N. Highway 67 is in the right of way. The petitioner is the legal owner of record who in past years operated an auto sales lot at this location for more than 20 years under Ordinance No. 7250.

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There are 32 parking spaces; 24 are required.

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III. SURROUNDING PROPERTIES:

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The properties to the west and south are in a B-3 District. Causing no impact to the existing businesses.

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IV. STAFF ANALYSIS:

The application is accompanied by an existing floor plan.

The current zoning Section 405.125 (K)(19) allows for auto sales if a Special Use is granted by the City Council; and, since the special use has expired, a new Special Use is required.

VI. STAFF RECOMMENDATIONS:

Suggested Motion for 1180 N Highway 67- Florissant Auto Sales

I move to recommend approval to the City Council for a Special Use Permit to ***Florissant Auto Sales with the following conditions:***

1. The holder of this Special Use Permit shall be and remain fully licensed with the State of Missouri and the City of Florissant. Both licenses shall remain in good standing throughout the term of this Special Use Permit
2. The Special Use Permit is granted solely to *Florissant Auto Sales*
3. This Special Use Permit transferrable to another while the business is in operation or within six months of closure.
4. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be revoked.

(end report and suggested motion)

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 6 Zoning B-3

Initial Date Petitioner Filed 1/24/2024
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR FLORISSANT AUTO SALES, INC

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # 5895 TO ALLOW FOR AUTOMOBILE SALES
ordinance # Statement of what the amendment is for.

LOCATION 1180 North Highway 67 Florissant MO 63031
Address of property.

1) Comes Now MISSION HILLS DEVELOPMENT INC
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) OWNER
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.


2) The petitioner(s) further state(s) that the property herein described is presently being used for AUTO SALES and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

P2-020524-02

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
 (If more space is needed, separate sheets maybe attached)


GLENN TRAVERS  GMTAUTO@YAHOO.COM 314-960-4175
 PRINT NAME SIGNATURE email and phone
 FOR MISSION HILLS DEVELOPMENT, INC
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE 
 ADDRESS 743 ST MARYS RD VILLA RIDGE MO 63089
 STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL 314-517-5101 / JOED07864@GMAIL.COM
 BUSINESS

I (we) the petitioner (s) do hereby appoint JOE DALE as
 my (our) duly authorized agent to represent me (us) in regard to this petition.
 Print name of agent.


 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation XXX

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners GLENN TRAVERS
- (2) Telephone numbers 314-960-4175
- (3) Business address 225 N HWY 67 FLORISSANT MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MISSOURI
- (5) Date of Incorporation JANUARY 28, 1998
- (6) Missouri Corporate Number 004513869
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name FLORISSANT AUTO SALES, INC
Address 1180 N HWY 67 FLORISSANT MO 63031
Property Owner MISSION HILLS DEVELOPMENT, INC
Location of property 1180 N HWY 67 FLORISSANT MO 63031
Dimensions of property 565.73' x 134.99' x 31.92' x 566.11'
Property is presently zoned B-3 Requests Rezoning To N/A
Proposed Use of Property AUTOMOBILE SALES
Type of Sign EXISTING Height 18 FEET
Type of Construction MASONRY WALLS STEEL ROOF Number Of Stories 1
Square Footage of Building 9688 Number of Curb Cuts 4
Number of Parking Spaces 4 Sidewalk Length N/A
Landscaping: No. of Trees NONE PROPOSED Diameter N/A
No. of Shrubs NONE PROPOSED Size N/A
Fence: Type EXISTING Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

Pro
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Parcel 1: All that part of Block 95 of New Town of St. Ferdinand according to plat recorded in Plat Book 5 page 1 of the St. Louis City (Former County) Records, that lies South of Lindbergh Boulevard, as now established and widened by deed recorded in Book 6109 page 10 of the St. Louis County Records and all of the North 1/2 of St. Michael Street (vacated by Ordinance #139 of the City of Florissant recorded in Book 4772 page 580 of the St. Louis County Records) lying south of and adjoining said part of Block 99 above described.

if what
y is a

Parcel 2: Part of Block 100 of the New Town of St. Ferdinand and the North 1/2 of St. Michael Street vacated by Ordinance #139, a certified copy of which ordinance is recorded in Book 1697 page 610 and more particularly described as: Beginning at an iron pipe at the intersection of the South line of Lindbergh Boulevard (Highway 140), 60 feet wide, and the East line of St. Jacques Street, 42 feet 9 inches wide; thence Southwardly along the East line of St. Jacques Street, 92.71 feet to an iron pipe; thence Eastwardly 321.70 feet to an iron pipe set in the West line of Jefferson Street, 42 feet 9 inches wide, distance 197.04 feet Southwardly from an iron pipe at the intersection of the South line of Lindbergh Boulevard (Highway 140) and the west line of Jefferson Street; thence Northwardly along the West line of Jefferson Street, 197.04 feet to an iron pipe at the intersection of the South line of Lindbergh Boulevard (Highway 140) and the west line of Jefferson Street; thence Westwardly along the South line of Lindbergh Boulevard (Highway 140) 338.24 feet to an iron pipe and the point of beginning according to survey executed by Steele Surveying Company on May 19 and 20, 1960, Excepting Therefrom that portion conveyed to the State of Missouri by instrument recorded in Book 6105 page 622.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

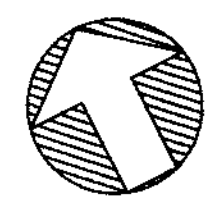
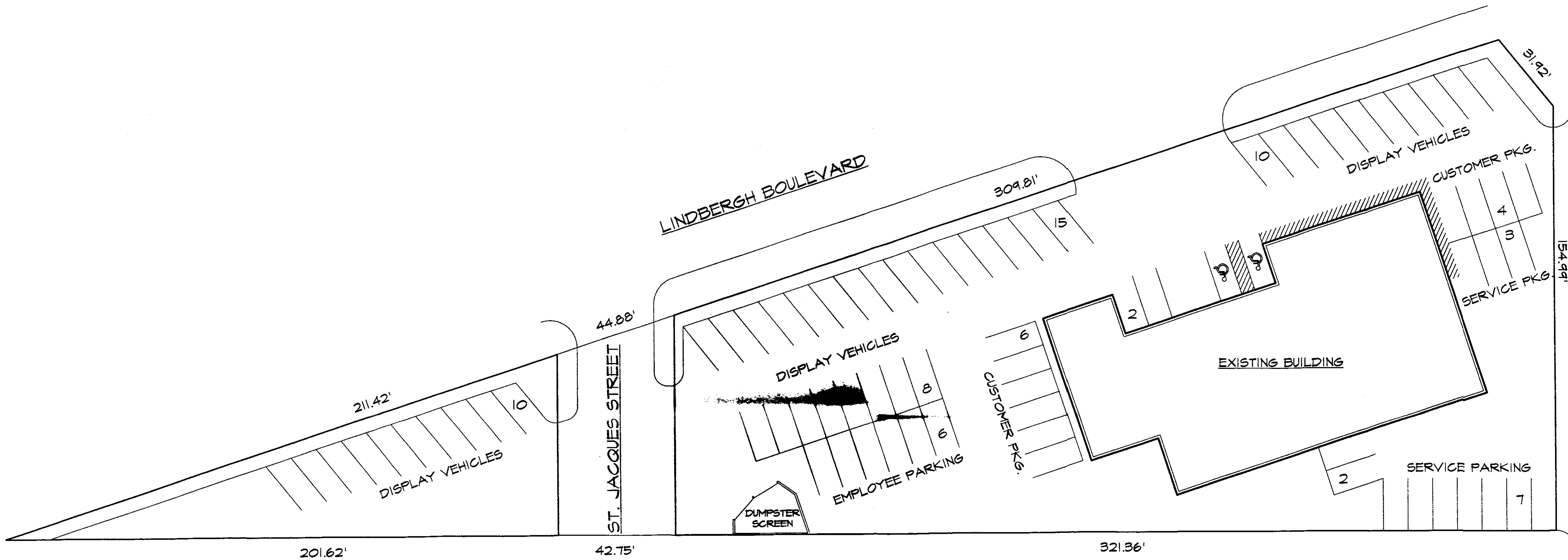


OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature



SITE PLAN

SCALE: 1" = 20'-0"
 SITE AREA: ± 1.13 ACRES

PARKING TABULATION

SHOWROOM: 1,340 # @ 3 SPACES PER 1,000 = 4 SPACES
 SERVICE: 4 BAYS @ 3 SPACES PER BAY = 12 SPACES
 OFFICE AREA: 1,113 # @ 3 SPACES PER 1,000 = 3 SPACES
 SERVICE AREA/BODY SHOP: 1 SPACES PER EACH EMPLOYEE ON MAXIMUM EMPLOYEES = 5 SPACES
 TOTAL PARKING REQUIRED: 24 SPACES
 TOTAL REQUIRED PARKING PROVIDED: 32 SPACES
 2 ACCESSIBLE SPACES EXISTING
 BALANCE OF SITE TO BE USED FOR VEHICLES FOR SALE DISPLAY

no.	date	description

revisions

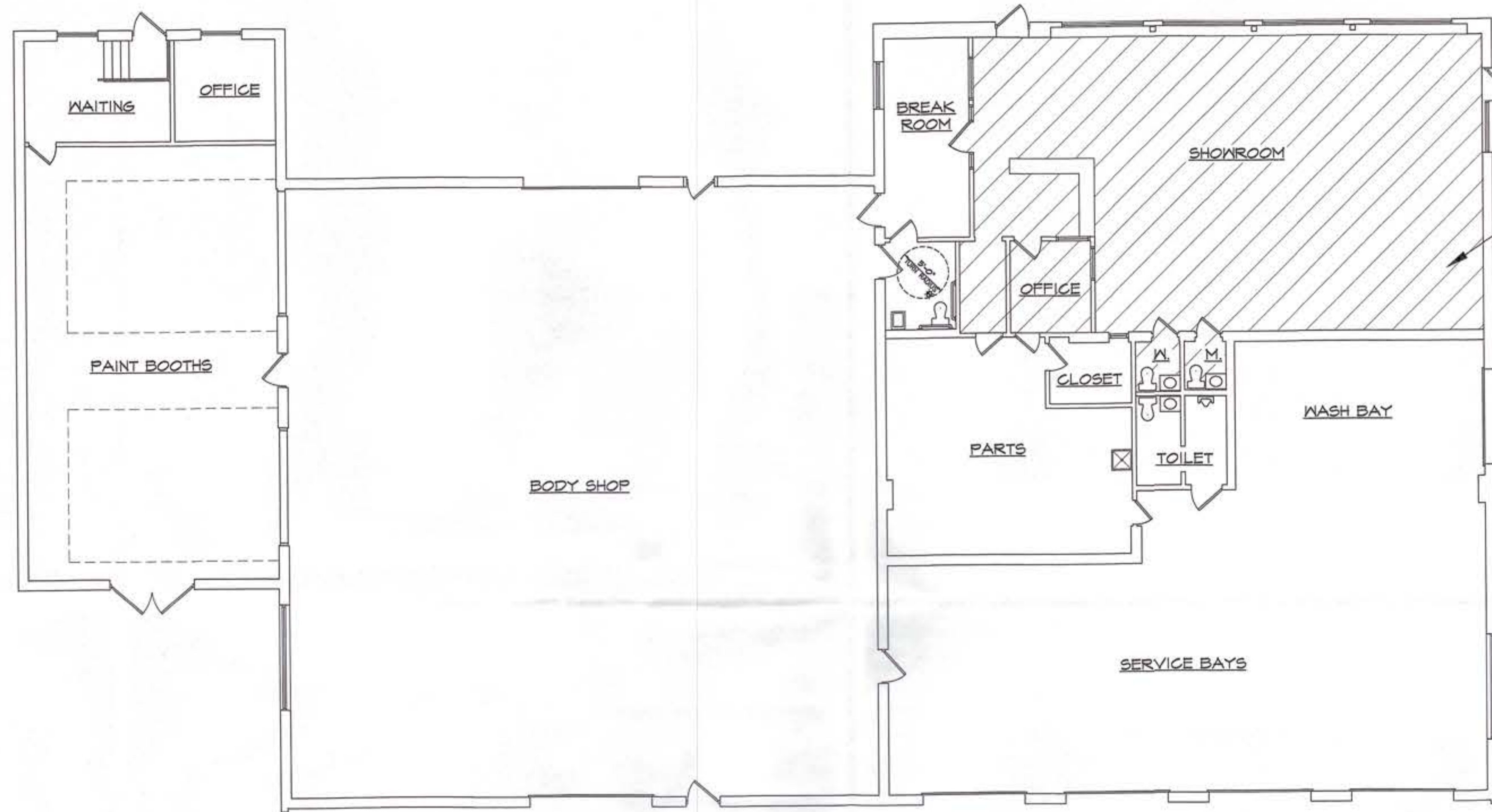
no.	date	description

ARCHITECT
 JOE A. DALE, NCARB
 743 Saint Mary's Road
 Villa Ridge, Missouri 63089
 joed07864@gmail.com

PROJECT NO.
 FILE NO.
 DATE

a existing site layout for:
Florissant Auto Sales
 1180 NORTH LINDBERGH BLVD.
 FLORISSANT, MISSOURI 63031

project number	
file name	
date	01/24/24
sheet no.	SP-1
of	




FLOOR PLAN
 SCALE: 1/8" = 1'-0"

no.	date	description

revisions

ARCHITECT
 JOE A. DALE, NCARB
 743 Saint Mary's Road
 Villa Ridge, Missouri 63089
 joed07864@gmail.com

a existing floor plan layout for:
Florissant Auto Sales
 1180 NORTH LINDBERGH BLVD.
 FLORISSANT, MISSOURI 63031

project number	
file name	
date	01/24/24
sheet no.	A-1
of	



Agenda Request Form

For Administration Use Only:

Meeting Date: 2/26/2024

Open Closed

Report No. 12/2024

Date Submitted:

To: City Council

Title: Ordinance authorizing an amendment to Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. Ph Notice 3390 N Hwy 67
2. Staff Report
3. B-5 Application
4. Plans

INTRODUCED BY COUNCILMAN SIAM
FEBRUARY 26, 2024

BILL NO. 9959
ORDINANCE NO.

**ORDINANCE AUTHORIZING AN AMENDMENT TO ORDINANCE NO. 7965
FOR WALMART TO ALLOW FOR EXTERIOR MODIFICATIONS IN A 'B-5'
PLANNED COMMERCIAL DISTRICT LOCATED AT 3390 N HIGHWAY 67.**

WHEREAS ordinance no. 7965 was passed in April of 2012 approving the rezoning of 3350 & 3400 N. Hwy 67 and 3605 Seville to a B-5 Planned Commercial District to allow for the construction of a new retail center; and

WHEREAS the St. Louis County Assessor's office now identifies this property as 3390 N. Highway 67; and

WHEREAS BRR Architecture, Inc has applied on behalf of Walmart store #5927 for an amendment to the B-5 development plan authorized by ordinance 7965 to allow for exterior modifications;

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of February 5, 2024 that an amendment to B-5 ordinance no. 7965, as to allow for exterior modifications located at 3390 N. Highway 67.

WHEREAS, due and lawful notice of a public hearing no. 24-02-007 on said proposed change was duly published, held and concluded on the 26th day of February 2024 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no 7965 to allow for exterior modifications located at 3390 N. Highway 67 in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Changes to the site development plan at 3390 North Highway 67, in an existing 'B-5' development under Ordinance No. 7965 is hereby approved to allow for the relocation of the curbside pickup with additional parking spaces, new

wall signs, additional directional signage; new concrete pavement; a canopy extension, and proposed replacement of sidewalk at 3390 N Highway 67 (Walmart).

Related drawings are attached. The modifications depict changes in the development plan, which is not in conflict with the nature of the development and meets all the conditions of Ordinance No. 7965. Recommend City Council approval, with the following additional requirement:

1. Project Completion.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2024.

Joseph Eagan

President of the Council

Approved this _____ day of _____, 2024.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, February 26, 2024 at 7:00 p.m. on the following proposition:

To amend Ordinance No. 7965 for Walmart to allow for exterior modifications in a 'B-5' Planned Commercial District located at 3390 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1

MEMORANDUM



2

CITY OF FLORISSANT

3

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: January 24, 2024

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From: Debra Irvin, Building Commissioner cc: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Economic Development
Applicant
File

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Applicant's Representative: Scott Pfeifer with BRR Architecture.

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Subject: Request a ratification for exterior changes at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District:

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STAFF REPORT

CASE NUMBER PZ-020524-03

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I. PROJECT DESCRIPTION:

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This is a request for a ratification of the existing ordinance as listed in the subject line at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District, Ordinance No. 7965. Wal-Mart desires to remodel and make exterior changes to the existing site, much of the site detail is closing the current curbside pickup and returning the space to general store use; and creating a new more visible pickup area at the front parking lot with additional spaces, signage, lighting and concrete. The initial approval for the main logo sign and clearcoat on the CMU wall at rear of the building was approved by the commissioners December 4, 2023 meeting.

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Below is a brief outline of the exterior changes for the commissioners to consider:

- New Wall Signs schedule - Sheet -A2.1 (across the front of the building)
- Relocate the entire curbside pickup from existing location to two rows at the front parking lot near garden entry creating 26 pickup spaces– Sheet OSP-1
- Relocate directional signs to new pickup area.

- 41 • Install lighting poles in new designated pickup area. Lighting Detail –
- 42 Sheet DTL-2
- 43 • Add permanent banner signs “PICK UP” to light poles in new
- 44 designated pickup area.
- 45 • Sawcut and replace concrete throughout certain areas of the main
- 46 parking lot Sheet OIP-1.
- 47 • Install new sidewalks with stamped concrete - Sheet SP2; grading plan
- 48 on Sheet OIP-1
- 49 • Prep and paint all existing light pole bases and all existing bollards -
- 50 Sheet SP2; Color legend – Sheet A2
- 51 • Install new bollards in certain areas (main entry, and garden)
- 52 • Replace screen wall caps- Sheet SP2
- 53 • Extend canopy in new pickup area - Sheet SP2
- 54 • Parking Sign Detail – Sheet DTL 1
- 55 • Temporary Banner – 125 sq ft in place until all signs are installed.
- 56 • Stop Signs and Markings -Sheet SSM-1
- 57

58 **II. EXISTING SITE CONDITIONS:**

59 The existing property at 3390 N Highway 67 is a high traffic retail chain store. The
 60 property is currently zoned ‘B-5’. This new pickup area will be closer to the main
 61 entrance of Hwy 67 at the garden entrance.

62

63 **III. SURROUNDING PROPERTIES:**

64 The property to the West is 3200 N Highway 67 in a ‘B-3’ District, the properties to the
 65 South are in an ‘R-4’ District. The East is bounded by Coldwater Creek.

66

67 **IV. STAFF ANALYSIS:**

68 **The attached plans were submitted for recommended approval as site**
 69 **improvements at 3390 N Highway 67 (Wal-Mart) in a ‘B-5’ Zoning District**

70

71 Excerpt from Zoning Code, section 405.135. para. L2c.:

72 *“c. Initial determination of consistency/minor changes. If the Building Commissioner determines that the*
 73 *proposed amendment to the previously approved site plan is minor in nature and is not in conflict with the*
 74 *nature of the proposal as originally or previously advertised for public hearing and meets all of the*
 75 *conditions of the pertinent Planned Commercial District ordinance, the Building Commissioner shall notify*
 76 *the Planning and Zoning Commission thereof and may conditionally approve such proposed amendment,*
 77 *which approval shall be deemed ratified by the Planning and Zoning Commission unless five (5) or more*
 78 *members thereof thereafter request at the first (1st) regularly scheduled and conducted meeting after*
 79 *notification that such proposed amendment be submitted to the Planning and Zoning Commission for*
 80 *review. In lieu of a grant of conditional approval, the Building Commissioner or designated representative*
 81 *may submit the proposed amendment to the Planning and Zoning Commission for review. In case of*
 82 *disapproval of the proposed amendment by the Building Commissioner, the applicant shall be notified and*
 83 *may thereafter request review thereof by the Planning and Zoning Commission...”*

84

85 The application is accompanied by attached plans from BBR Architects, dated
 86 01/19/2024.

87

88 Comments on plans: The property has 801 spaces for customer parking; they are required
89 to have 678; increasing the pickup spaces will not impact parking.

90
91 See the following suggested motion:

92
93 **V. STAFF RECOMMENDATION AND SUGGESTED MOTION:**

94 I move to recommend approval to the City Council of the changes to the site
95 development plan at 3390 No Hwy 67, an existing B-5' development under Ordinance
96 No. 7965 to allow for the relocation of the curbside pickup with additional parking
97 spaces, new wall signs, additional directional signage; new concrete pavement; a canopy
98 extension, and proposed replacement of sidewalk at **3390 N Highway 67 (Wal-Mart)**
99

100 Related drawings are attached. The modifications depict changes in the development
101 plan, which is not in conflict with the nature of the development and meets all the
102 conditions of Ordinance No. 7965. Recommend City Council approval, and the site is
103 subject to the regulations of this 'B-5' Planned Commercial District, with the following
104 additional requirement:

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107 **1. PROJECT COMPLETION.**

108 Construction shall start within 60 days of issuance of building permits and
109 the project shall be developed in accordance with the approved
110 amendments to the final development plan within 180 days of start of
111 construction.

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(End of suggested motion and staff report)

Application to the City of Florissant Planning & Zoning Commission (P&Z) to Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the Provisions of an Existing 'B-5' Ordinance



PLANNING & ZONING ACTION:

Address of Property:

3390 N. Highway 67

Council Ward 9 Zoning "B-5"

Initial Date Petitioner Filed _____
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT ORDINANCE # _____

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Walmart Real Estate Business Trust DBA Walmart Store #5927

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Walmart Walmart Real Estate Business Trust

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".
 - B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
 - C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed _____
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as commercial retail store

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: Signs, exterior parking lot changes

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Scott Pfeifer scott.pfeifer@brrarch.com
Print Name Email address

PETITIONER(S) SIGNATURE (S) Zach Luensmann Digitally signed by Zach Luensmann
Date: 2024.01.23 16:39:35 -06'00'

FOR Walmart
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 6. I (we) hereby certify that (indicate one of the following):
() I (we) have a legal interest in the herein above described property.
(X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME Scott Pfeifer, BRR Architecture, Inc.
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS 8131 Metcalf Ave. Suite 300 Overland Park, KS 66204
STREET CITY STATE ZIP CODE

PHONE 913-262-9095

I (we) the petitioner (s) do hereby appoint Scott Pfeifer scott.pfeifer@brrarch.com as
BUSINESS Print name of agent. Email address

my (our) duly authorized agent to represent me (us) in regard to this petition.

Scott Pfeifer Digitally signed by Scott Pfeifer
DN: C=US, E=Scott.Pfeifer@brrarch.com, O=BRR Architecture,
CN=Scott Pfeifer
Date: 2024.01.23 12:32:59-06'00'
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please fill in applicable information requested.

Name Walmart

Address 3390 N. Highway 67

Property Owner Walmart Real Estate BUS

Location of property 3390 N. Highway 67

Dimensions of property N/A

Property is presently zoned B-5 per ordinance # N/A

Current & Proposed Use of Property Commercial

Type of Sign Like for Like Height N/A

Type of Construction N/A Number Of Stories N/A

Square Footage of Building N/A Number of Curb Cuts N/A

Number of Parking Spaces 793 Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter N/A

No. of Shrubs N/A Size N/A

Fence: Type N/A Length N/A Height N/A

For reference of full exterior scope reference the submitted plans.

PLEASE SUBMIT (10) FOLDED COPIES OF THE FOLLOWING:

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.



EXISTING SQFT: 164,544
 REMODELED SQFT: 30,000

FLORISSANT, MO
 STORE NO.: 05927 - 220

PROTO CYCLE: 08/02/23
 DATE: 10/20/23
 PROTO: 150 SC

DRAWING INDEX

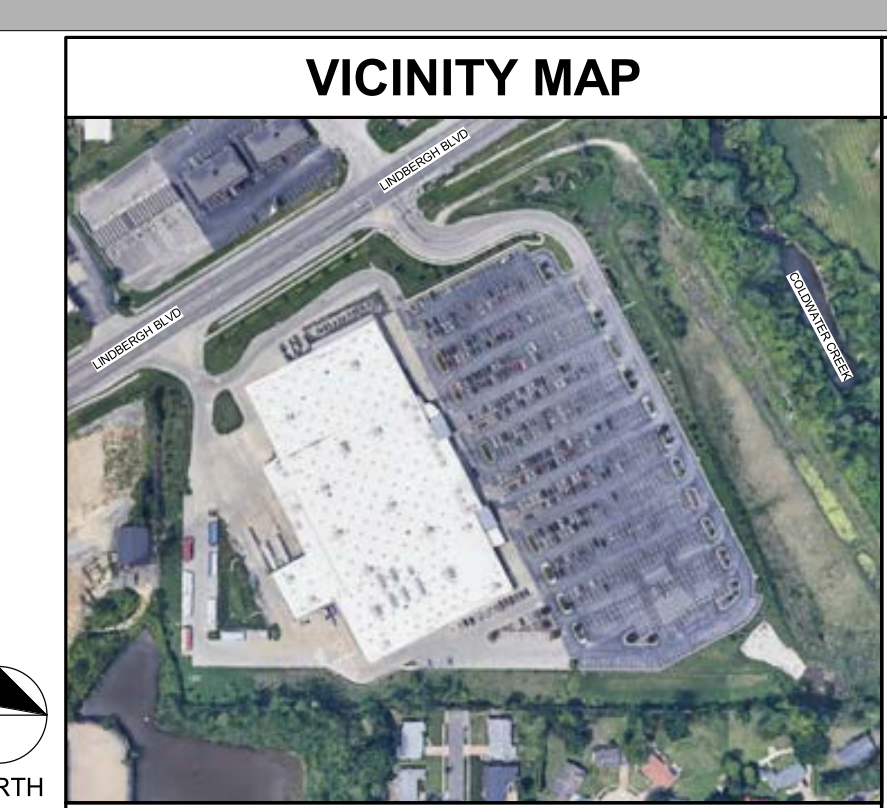
GENERAL		PHM1	MODULAR PHARMACY PLANS, ELEVATION AND SCHEDULES	FIRE PROTECTION		REFRIGERATION		E4.4	PANEL/BUSWAY SCHEDULES
C1	COVER SHEET			FP1	FIRE SPRINKLER SITE PLAN	BASR1	BUILDING AUTOMATION SYSTEM REFRIGERATION PLANS	EPH1	PHARMACY ELECTRICAL PLAN
C2	RESPONSIBILITY MATRIX	PHM2	MODULAR PHARMACY SECTIONS AND DETAILS	FP2	FIRE SPRINKLER DEMOLITION PLAN	BASR2	BUILDING AUTOMATION SYSTEM REFRIGERATION SCHEDULES	EV1	VISION CENTER ELECTRICAL PLANS
N1	GENERAL INFORMATION	PHM2.1	PHARMACY RESTROOM DETAILS	FP3	FIRE SPRINKLER UPGRADE PLAN NORTH	BASR3	BUILDING AUTOMATION SYSTEM REFRIGERATION DETAILS	GE2	GROCERY POWER PLANS
SA1	BID ALLOWANCE SCHEDULE	PHM3	PHARMACY EQUIPMENT (FOR REFERENCE ONLY)	FP4	FIRE SPRINKLER UPGRADE PLAN SOUTH	BASR4	BUILDING AUTOMATION SYSTEM REFRIGERATION DETAILS	RE1	REFRIGERATION ELECTRICAL PLAN
LS1	LIFE SAFETY PLAN			FP5	FIRE SPRINKLER DETAILS				
ARCHITECTURAL		PHM4	PANEL PLAN					RACKING	
SP1	SITE PLAN	PHM5	PHASING PLAN					FXS1	FIXTURE ANCHORAGE PLAN AND NOTES
SP2	SITE DETAILS	PHM5.1	PHASING PLANS					FXS2	FIXTURE ANCHORAGE DETAILS
D1	DEMOLITION PLAN	PHM5.2	PHASING PLANS	PLUMBING					
D1.1	ENLARGED DEMO PLANS AND DETAILS	VC1	VISION CENTER PLANS AND ELEVATION	P0	PLUMBING LEGEND	ELECTRICAL		CIVIL	
A1	FLOOR PLAN	VC1.1	VISION CENTER ELEVATIONS	PD1	DEMOLITION PLUMBING DRAIN PLAN	E1	LIGHTING PLAN	SSM-1	STOP SIGNS AND MARKINGS PLAN
A1.1	FLOOR FINISH PLAN	VC1.2	REFLECTED CEILING PLAN AND DETAILS (FOR REF ONLY)	PD2	DEMOLITION PLUMBING SUPPLY PLAN	E1.1	ENLARGED LIGHTING PLANS	SECP-1	DEMOLITION AND SITE CONSTRUCTION PLAN
A2	EXTERIOR ELEVATIONS	VC1.3	REFLECTED CEILING PLAN	PD3	DEMOLITION ENLARGED PLUMBING PLANS	E1.2	ENLARGED LIGHTING PLANS	SECP-2	DEMOLITION AND SITE CONSTRUCTION PLAN SHEET
A2.1	EXTERIOR SIGNAGE	VC2	SECTIONS	P1	PLUMBING DRAIN PLAN	E1.3	ENLARGED LIGHTING PLANS	SECP-SSM 1	SECP AND STOP SIGNS MARKING DETAIL SHEET
A3	SECTIONS AND DETAILS	VC3	EQUIPMENT (FOR REFERENCE ONLY)	P2	PLUMBING SUPPLY PLAN	E1.4	LIGHTING DETAILS AND SCHEDULES	SECP-SSM 2	SECP AND STOP SIGNS MARKING DETAIL SHEET
A4	ROOF PLAN AND DETAILS	GA1	FRONT GROCERY PLAN	P3	PLUMBING ENLARGED PLANS	E1.5	SITE LIGHTING PLAN	CSS-1	SPECIFICATION SHEET
A5	ENLARGED PLANS, ELEVATIONS, AND DETAILS	GA1.1	FRONT GROCERY FINISH PLAN	P3.1	PLUMBING ENLARGED PLANS	E2	POWER PLAN	CSS-2	SPECIFICATION SHEET
A5.1	RESTROOM PLANS AND DETAILS	GA2	REAR GROCERY PLAN AND DETAILS	P4	PLUMBING EQUIPMENT DETAILS	E2.1	POWER DROP PLAN	OSP-1	OVERALL SITE PLAN
A5.2	RESTROOM FLOOR FINISH PLANS AND DETAILS	GA5	RESPONSIBILITY SCHEDULES	P5	PLUMBING SCHEDULES	E2.2	ENLARGED POWER PLAN	OIP-1	OGP IMPROVEMENT PLAN
A5.3	RESTROOM FINISH PLANS AND DETAILS	GA5.1	RESPONSIBILITY SCHEDULES			E2.3	ENLARGED POWER PLAN	DTL-1	DETAIL SHEET 1
A5.4	ENLARGED PLANS AND DETAILS	OP1	ONLINE PICK UP PLANS			E2.4	ENLARGED POWER PLAN	DTL-2	DETAIL SHEET 2
A6	REAR OFFICE PLAN	OP1.1	ONLINE PICK UP DETAILS	MECHANICAL		E3	ELECTRICAL DETAILS		
A6.1	PARTITION TYPES AND WALL DETAILS			M0	MECHANICAL LEGEND	E4	ELECTRICAL ONE-LINE, DETAILS AND SCHEDULES		
A8	DOOR AND ROOM FINISH SCHEDULE	STRUCTURAL		M1	MECHANICAL PLAN	E4.1	PANELBOARD SCHEDULES	CANOPY	
A9	CASEWORK	S1	INSULATED SLAB AND OPENING PLAN AND DETAILS	M1.1	MECHANICAL ENLARGED PLANS	E4.2	PANELBOARD SCHEDULES	CAS1	FRAMING AND FOUNDATION PLAN
BR1	BREAK ROOM PLAN AND DETAILS	S2	OPENING AND VISION CENTER PLAN AND DETAILS	M2	ROOF MECHANICAL PLAN	E4.3	PANELBOARD SCHEDULES	CAS2	CANOPY ELEVATIONS
MC1	MONEY CENTER FLOOR PLAN	S3	ROOFTOP EQUIPMENT PLANS AND DETAILS	M3	MECHANICAL DETAILS			CAS3	TYPICAL CONSTRUCTION DETAILS AND NOTES
MC3	EQUIPMENT PLANS	S4	NEW OPENING PLAN AND DETAILS	M4	MECHANICAL SCHEDULES				

CANOPY VENDOR DRAWINGS ARE INCLUDED FOR PERMITTING PURPOSES ONLY

CANOPY VENDOR DRAWINGS ARE INCLUDED FOR PERMITTING PURPOSES ONLY

BUILDING CODE SUMMARY

NAME OF PROJECT	FLORISSANT, MO
STREET ADDRESS	3390 N HIGHWAY 67
PROPOSED USE	RETAIL
CODES	2021 INTERNATIONAL EXISTING BUILDING CODE, WORK AREA METHOD, LEVEL 2 ALTERATION (IEBC)
ELECTRICAL CODE	2020 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING CODE	2021 INTERNATIONAL PLUMBING CODE (IPC)
MECHANICAL CODE	2021 INTERNATIONAL MECHANICAL CODE (IMC)
FIRE CODE	2021 INTERNATIONAL FIRE CODE (IFC)
ACCESSIBILITY CODE	2017 ICC A117.1
ENERGY CODE	2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
ADDITIONAL CODES	2021 INTERNATIONAL FUEL GAS CODE (IFGC)
OCCUPANCY	M - MERCANTILE; WHOLESALE OR RETAIL STORE (MAIN OCCUPANCY) S1 - STORAGE AREA, RECEIVING AND STOCKROOMS (MIXED OCCUPANCY) A2 - ASSEMBLY USE; BREAKROOM AND FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY) B - BUSINESS; NON FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY)
TYPE OF CONSTRUCTION	V-B UNPROTECTED (SPRINKLERED)
ALLOWABLE AREA	UNLIMITED
FIRE PROTECTION	BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM AND IS SURROUNDED ON ALL SIDES BY 60 FEET MINIMUM OF PERMANENT OPEN SPACE. UNLIMITED AREA CRITERIA IS APPLICABLE.



- GENERAL NOTES**
- BUILDING IS FULLY SPRINKLERED AS REQUIRED BY CONTRACT DOCUMENTS
 - SUBMIT FIRE SPRINKLER SYSTEM DRAWINGS AND CALCULATIONS TO AUTHORITIES HAVING JURISDICTION (FIRE DEPARTMENT AND FIRE MARSHAL)
 - OBTAIN ALL APPROVALS PRIOR TO FABRICATION OR INSTALLATION
 - OWNER WILL PROVIDE, OR HAS ALREADY PROVIDED, FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10
 - AUTHORITY HAVING JURISDICTION WILL APPROVE FINAL FIRE EXTINGUISHER LOCATIONS.
 - WALMART'S ALARM CENTRAL'S ENGINEERING TEAM HAS CONTACTED THE AUTHORITY HAVING JURISDICTION FOR PRE-PLAN DATA ABOUT STATE AND LOCAL REQUIREMENTS THAT DIFFER FROM THE NATIONALLY PUBLISHED CODES AND STANDARDS
 - A COMPLETE SITE SPECIFIC SUBMITTAL IS BEING MADE DIRECTLY TO THE AUTHORITY HAVING JURISDICTION
 - QUESTIONS SHALL BE DIRECTED TO 1-800-530-9924, OPTION 3
 - THE MAXIMUM STORAGE HEIGHT IS TWELVE FEET EXCEPT IN THE GENERAL MERCHANDISE RECEIVING AREA IMMEDIATELY ADJACENT TO THE DOCK DOORS
 - THE STOCKROOM WILL HAVE A STACKING HEIGHT OF 15 FEET OF CLASS I-IV COMMODITIES IN FIXED, SINGLE AND DOUBLE ROW RACKS
 - THE STACKING HEIGHT OF THE ROLLING RACK AREA WILL NOT EXCEED 12 FEET
 - REINSTATE ALL FIRE EXTINGUISHERS IMMEDIATELY FOLLOWING COMPLETION OF FINAL FINISH TO MOUNTING SURFACE
 - REFER TO GENERAL CONTRACTOR PERMIT, REGISTRATION, NOTIFICATION INSPECTION AND INSTALLER CERTIFICATION (GCPRI) REPORT LOCATED IN GC PERMIT INFORMATION FOLDER ON OWNER'S DOCUMENT DELIVERY WEBSITE

- GENERAL SCOPE OF WORK**
- EXTERIOR SURFACES: CLEAN, PREP AND PAINT
 - INTERIOR WALLS: CLEAN, PREP AND PAINT
 - PHARMACY: REMODEL, ADD HEALTH SERVICES ROOM
 - PHOTO LAB: REMOVE EXISTING AND REPLACE FIXTURES, ADD MONITORS
 - GARDEN CENTER: PAINT AND CLEAN
 - RESTROOMS: FULL RESTROOM REMODEL, REPLACE SINKS AND ACCESSORIES
 - BREAK ROOM: REMODEL, INSTALL KITCHEN ASSEMBLY
 - CUSTOMER SERVICE: REMODEL, REPLACE CHECKOUT COUNTERS, REVISE RETURNS STORAGE
 - WHITE BOX TENANT: ADD SPACE, DOORS
 - VESTIBULES: REVISE BOLLARDS AND PEDESTALS, ADD RUBBER FLOORING, CLEAN AND PAINT
 - GROCERY: ADD CASE, FAUX TILE, EQUIPMENT, REPLACE DOORS
 - ROOF: ADD RCU'S AND RTU
 - SIGNAGE: INSTALL/REPLACE EXTERIOR SIGNS
 - ONLINE PICKUP: DEMO EXISTING PICKUP AREA, RELOCATE TO SALES FLOOR, ADD CANOPY, COOLER AND FREEZER, ADD TRI-FOLDING SLIDER DOOR AND INFILL EXISTING DOOR
 - VISION CENTER: FULL REMODEL TO OPTICAL SALES, REVISE ADJUSTMENTS ROOM EQUIPMENT AND FIXTURES
 - MONEY CENTER: RELOCATE AND FULL REMODEL ON SALES FLOOR
 - MOTHER'S ROOM: ADD ROOM
 - CSL ROOM: REVISE LAYOUT OF ROOMS, REPLACE COUNTERTOPS
 - ASSISTANT MANAGER OFFICE: REPLACE COUNTERS
 - PERSONNEL OFFICE: DEMO EXISTING COUNTERS, ADD COUNTERS AND CABINETS

ARCHITECTURAL	STRUCTURAL	FIRE PROTECTION	PLUMBING	MECHANICAL	REFRIGERATION	ELECTRICAL	RACKING	CIVIL	BUILDING OFFICIAL
BRR ARCHITECTURE, INC. ARCHITECT OF RECORD 8131 METCALF AVENUE, SUITE 300 OVERLAND PARK, KANSAS 66204	JOHNSTON BURKHOLDER ASSOCIATES ENGINEER OF RECORD 930 CENTRAL KANSAS CITY, MISSOURI 64105	TELGIAN ENGINEERING & CONSULTING ENGINEER OF RECORD 900 CIRCLE 75 PARKWAY SE SUITE 680 ATLANTA, GA 30339	HP ENGINEERING, INC. ENGINEER OF RECORD 5214 W VILLAGE PARKWAY SUITE 120 ROGERS, AR 72758	HP ENGINEERING, INC. ENGINEER OF RECORD 5214 W VILLAGE PARKWAY SUITE 120 ROGERS, AR 72758	HENDERSON ENGINEERS, INC. ENGINEER OF RECORD 8345 LENEXA DRIVE, SUITE 300 LENEXA, KS 66214	HP ENGINEERING, INC. ENGINEER OF RECORD 5214 W VILLAGE PARKWAY SUITE 120 ROGERS, AR 72758	JOHNSTON BURKHOLDER ASSOCIATES ENGINEER OF RECORD 930 CENTRAL KANSAS CITY, MISSOURI 64105	BFA, INC. ENGINEER OF RECORD 103 ELM STREET WASHINGTON, MO 63090	AHJ CITY OF FLORISSANT, MO 955 RUE ST FRANCOIS FLORISSANT, MO 63031

Walmart

STIPULATION FOR REUSE: THE DRAWINGS ARE PREPARED FOR THE SOLE USE OF THE PROJECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. ANY REUSE OF THESE DRAWINGS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. IS STRICTLY PROHIBITED.

CONSULTANTS

Walmart

FLORISSANT, MO
3390 N HIGHWAY 67
STORE NO. 05927 - 220
JOB NUMBER: 95646884 | PROTO: 150 SC

ISSUE BLOCK

1	PR#1	01/19/24
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CHECKED BY: ZSM SP
 DRAWN BY: NRS
 PROTO CYCLE: 08/02/23
 DOCUMENT DATE: 10/20/23

TREVOR TYSON
HOLCOMB
ARCHITECT
LICENSE NO. A-2022000409
01/22/2024

TREVOR TYSON
HOLCOMB
ARCHITECT
LICENSE NO. A-2022000409

BRR ARCHITECTURE, INC.
ARCHITECTURAL CORPORATION
MISSOURI LICENSE NO. ARC 000160

COVER SHEET

SHEET: C1

DOOR AND FRAME SCHEDULE

MARK	ROOM NAME	DOOR						FRAME						DETAIL	FIRE RATING (MIN)	NOTES	MARK
		NEW/ETR	TYPE	MATERIAL	QTY	NOMINAL SIZE WIDTH	NOMINAL SIZE HEIGHT	GLASS	NEW/ETR	TYPE	MATERIAL	HEAD	JAMB				
106A	RETURNS STORAGE	NEW	F	HM-STL	1	3'-0"	7'-0"	---	NEW	1	HM-STL	12	13	14	---	27	106A
184A	MOTHER'S ROOM	NEW	F	HDPE	1	3'-0"	7'-0"	---	NEW	1	HM-STL	3	4	---	---	27, 28	184A
300G	PHARMACY	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	NEW	1	HM-STL	---	---	---	---	28, 33	300G
303B	HEALTH SERVICES ROOM	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	NEW	1	HM-STL	---	---	---	---	28, 31, 33	303B
303C	HEALTH SERVICES ROOM	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	NEW	1	HM-STL	---	---	---	---	28, 32, 33	303C
700A	OPTICAL SALES	NEW	X	AL	PR	24'-4"	9'-0"	---	NEW	---	---	10	11	---	---	---	700A
700B	OPTICAL SALES	NEW	F	HM-STL	1	3'-0"	7'-0"	---	NEW	2	HM-STL	12	13	14	---	27	700B
800A	MONEY CENTER	NEW	Y	PLASTIC	1	3'-0"	3'-2"	---	NEW	---	---	---	---	---	27	800A	
801A	WHITE BOX	NEW	F	HDPE	PR	3'-0"	7'-0"	---	NEW	1	HM-STL	3	4	---	---	27, 28	801A
801B	WHITE BOX	NEW	F	HM-STL	1	3'-0"	7'-0"	---	NEW	2	HM-STL	15	16	14	---	---	801B
900A	GROCERY SALES	NEW	X	ALUM	1	9'-0"	7'-6"	---	NEW	---	---	---	---	---	---	46	900A
900B	GROCERY SALES	NEW	X	ALUM	1	9'-0"	7'-6"	---	NEW	---	---	---	---	---	---	46	900B
901A	DELI UTILITY	NEW	E	PLASTIC	PR	3'-0"	7'-0"	ACRYLIC	NEW	---	STL-BP	5	6	---	---	22, 27	901A
903A	DELI UTILITY	NEW	E	PLASTIC	PR	3'-0"	7'-0"	ACRYLIC	NEW	---	STL-BP	5	6	---	---	22, 27	903A
909A	BAKERY	NEW	E	PLASTIC	1	3'-0"	7'-0"	ACRYLIC	NEW	---	STL-BP	5	6	---	---	22, 27	909A
919A	ALCOVE	NEW	F	HM-STL	1	3'-0"	7'-0"	---	ETR	2	HM-STL	---	---	---	---	27	919A
946A	PICKUP AREA	NEW	C4	ALUM	1	8'-0"	8'-0"	TEMPERED	NEW	---	ALUM	8	9	7	---	38, 40, 41, 45	946A
946B	PICKUP AREA	NEW	Y	PLASTIC	PR	3'-10 1/2"	3'-2"	---	NEW	---	---	---	---	---	---	27	946B

GENERAL DOOR NOTES

- ALL DOORS SCHEDULED AS ARE TO RECEIVE COMPLETE HARDWARE SETS AS LISTED IN SPECS
- REFERENCE ELEVATIONS ON A2 FOR EXTERIOR DOOR COLORS
- SCHEDULED WIDTH AND HEIGHT INDICATE FINISHED OPENING SIZE AT ALL OVERHEAD AND COILING DOOR LOCATIONS
- SCHEDULED WIDTH AND HEIGHT INDICATE ROUGH OPENING SIZE AT ALL AUTOMATIC SLIDING DOOR LOCATIONS
- INSTALL DRIP CAP AT ALL EXTERIOR DOORS
- REPLACE ALL EXTERIOR HM DOOR WEATHERSTRIPPING AND CLEAN THRESHOLDS

GENERAL FINISH NOTES

- PAINT ALL METAL DOOR FRAMES VISIBLE TO CUSTOMER WITH EPOXY PAINT, EXCEPT DOORS IN CMU WALLS
 - PREP SURFACE TO BE PAINTED PER SPECS
- PAINT ALL HM DOORS P162 UNO
- PAINT ALL HM FRAMES LOCATED IN PAINTED WALLS P162 UNO
 - AT WALL STANDARDS, GONDOLAS AND WAREHOUSE RACKING WITHOUT PEG-BOARD BACKING
 - AT EXPOSED PAINTED STRUCTURE OR DECK, PAINT CONDUIT, DUCTWORK AND FIRE SPRINKLER PIPING TO MATCH ADJACENT STRUCTURE OR DECK
 - FIRE SPRINKLER HEADS TO REMAIN UNPAINTED
- FOR PROTECTIVE WALL SURFACING WAINSCOT, INSTALL OUTSIDE CORNER TRIM. REFERENCE SPECS WHERE PROTECTIVE SURFACING WAINSCOT IS TO BE INSTALLED, REMOVE EXISTING LAMINATE AND/OR FINISHES TO BASE SUBSTRATE PRIOR TO INSTALLATION OF NEW
 - INSTALLATION OF PROTECTIVE SURFACING OVER EXISTING IS NOT ACCEPTABLE, NO EXCEPTIONS
- TAN TRAFFIC DOOR FRAMES TO BE PAINTED BLACK

DOOR MATERIAL KEY

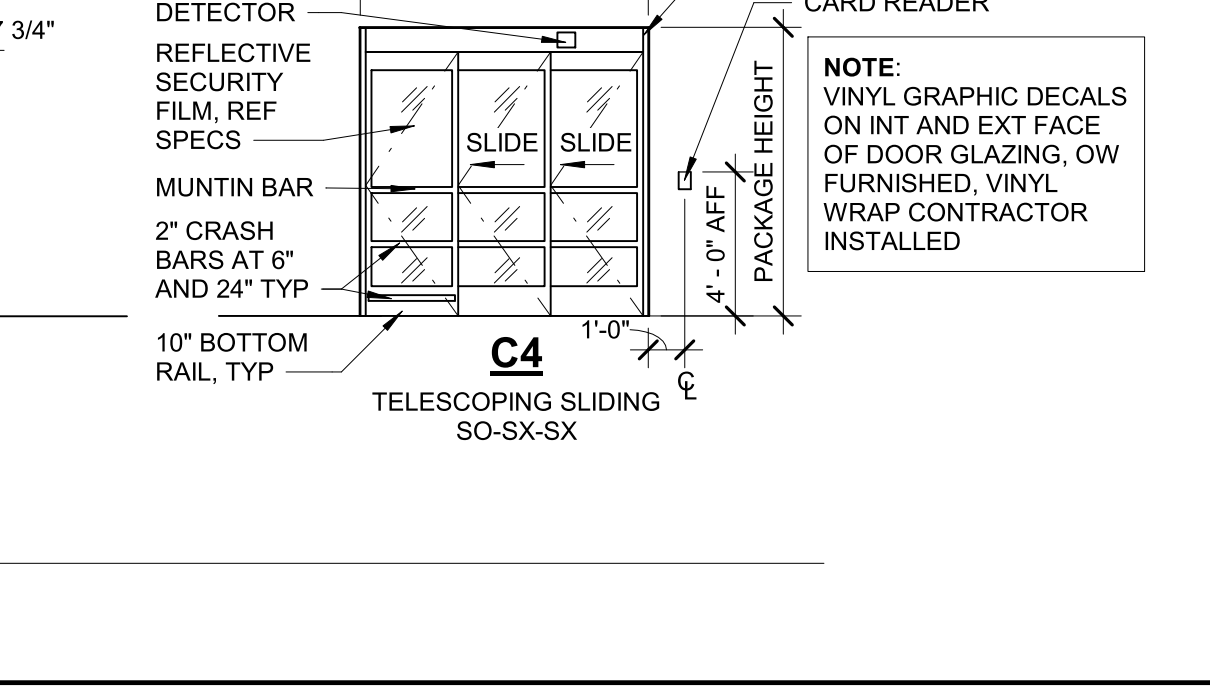
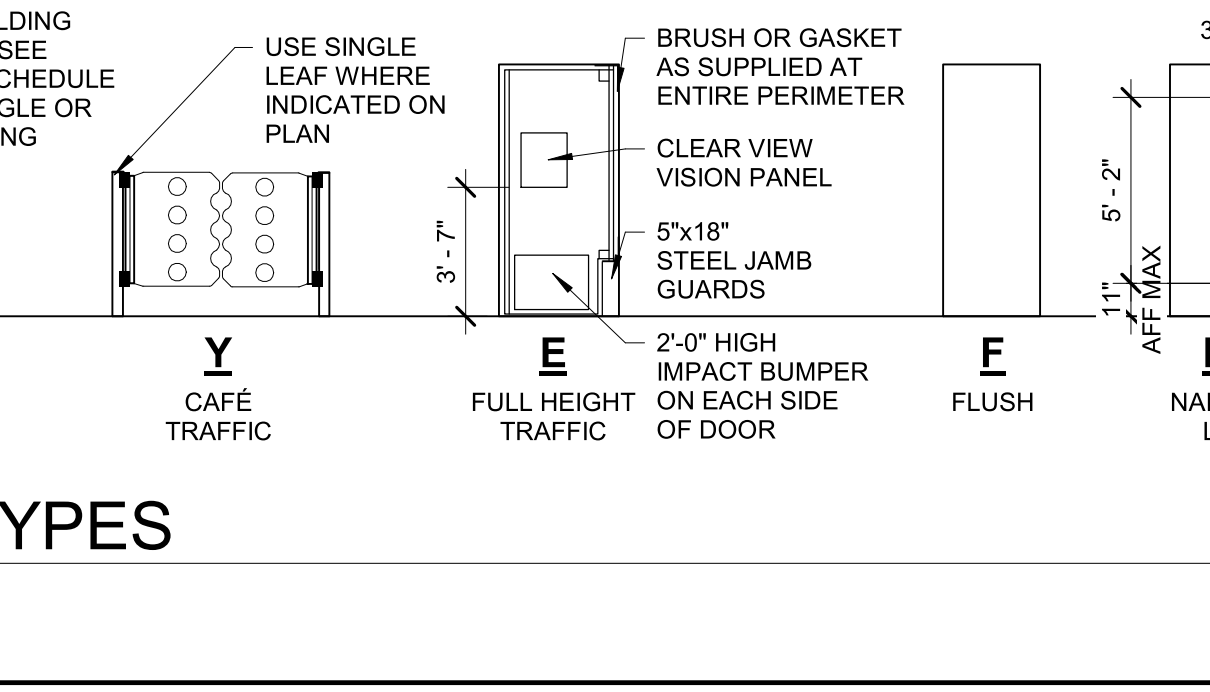
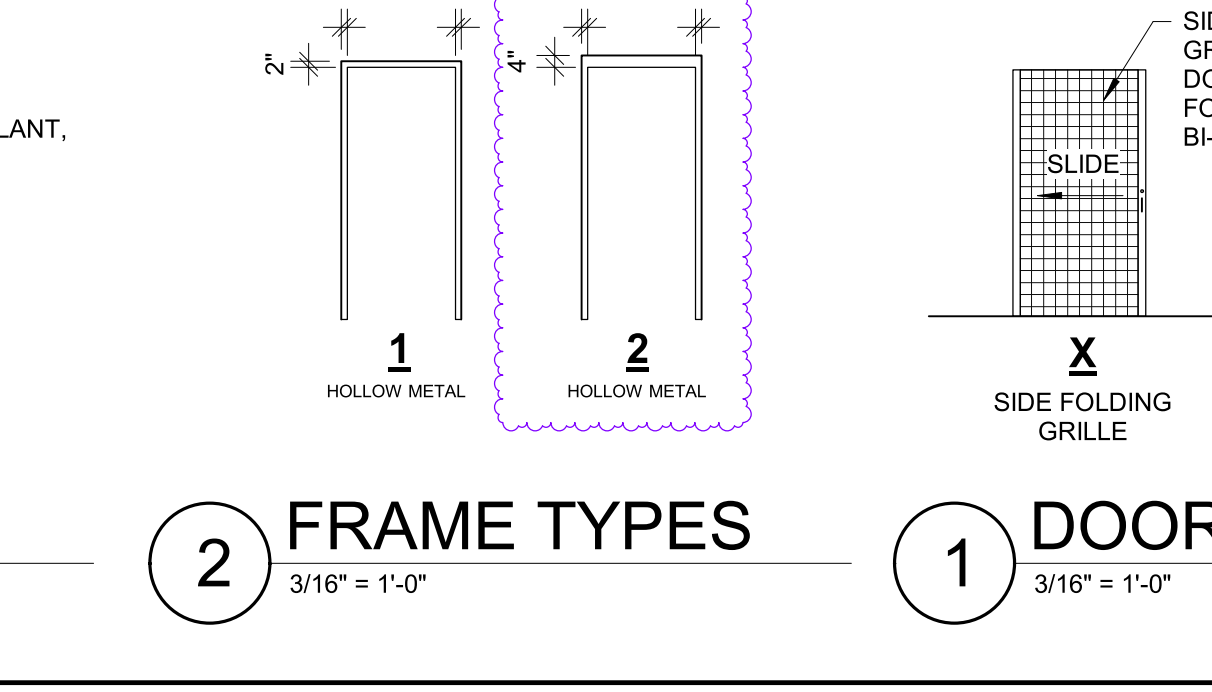
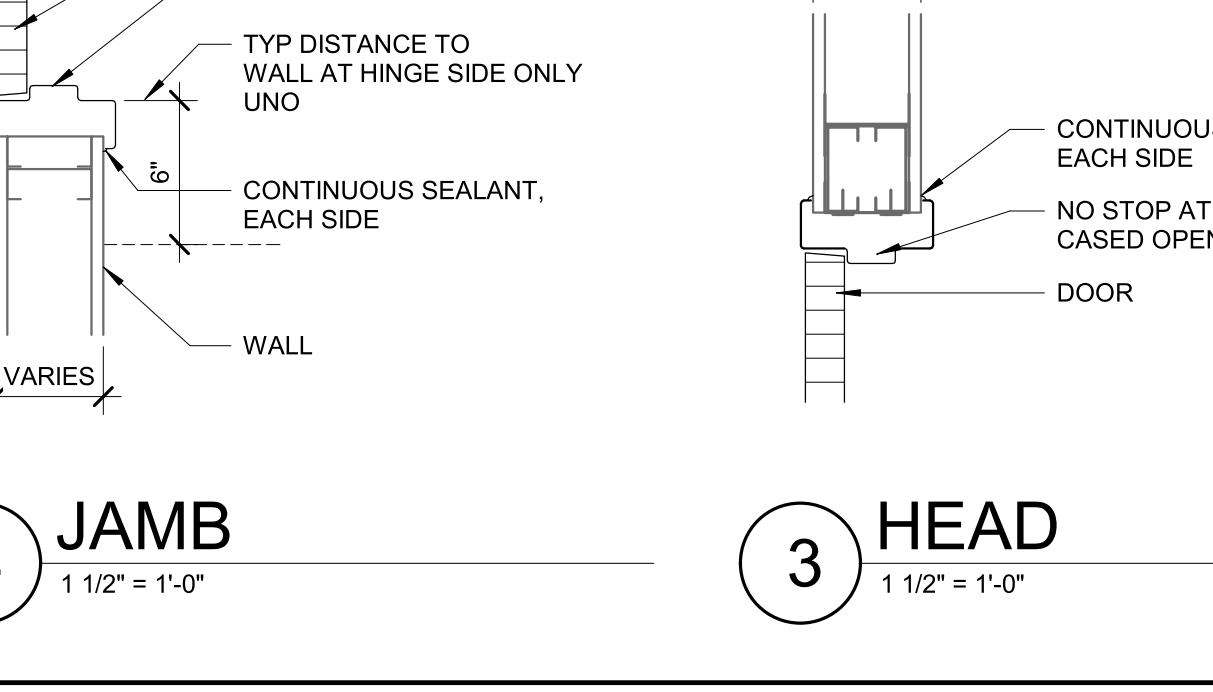
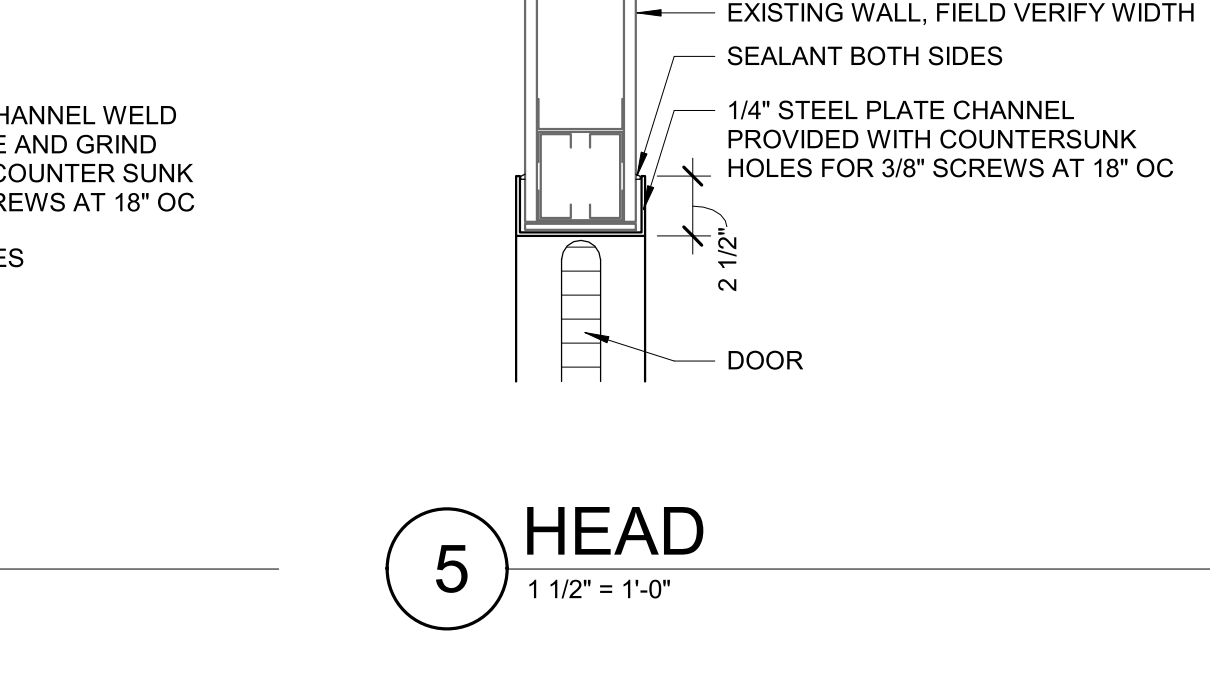
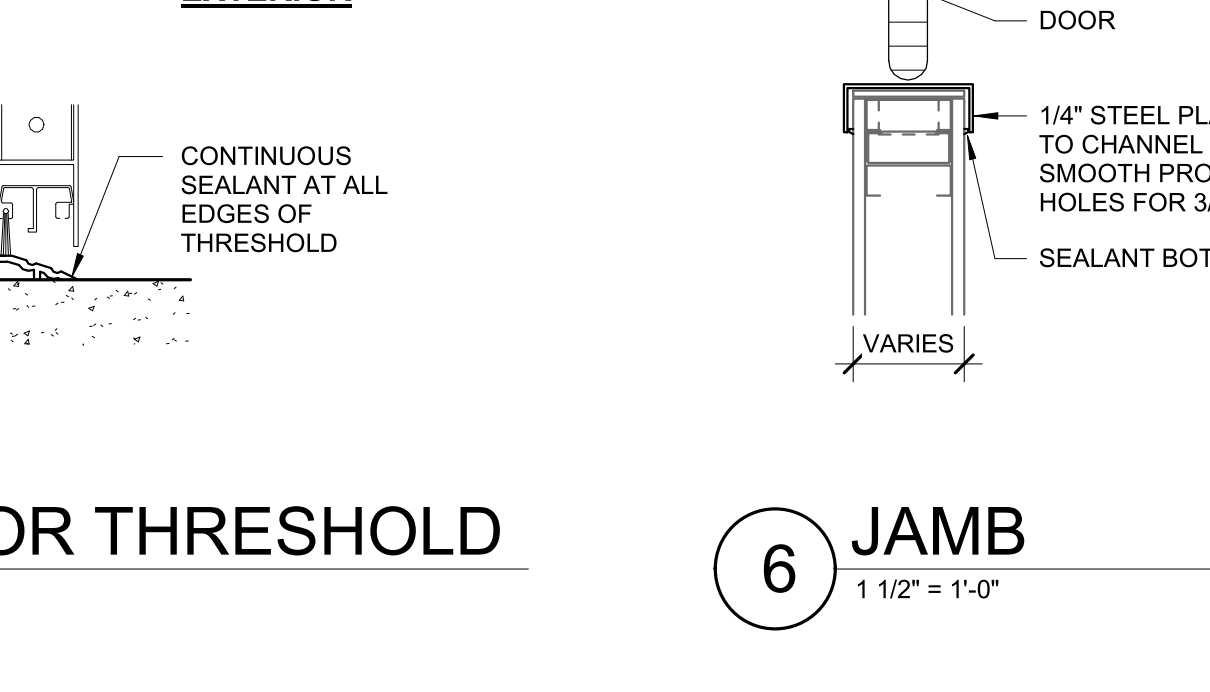
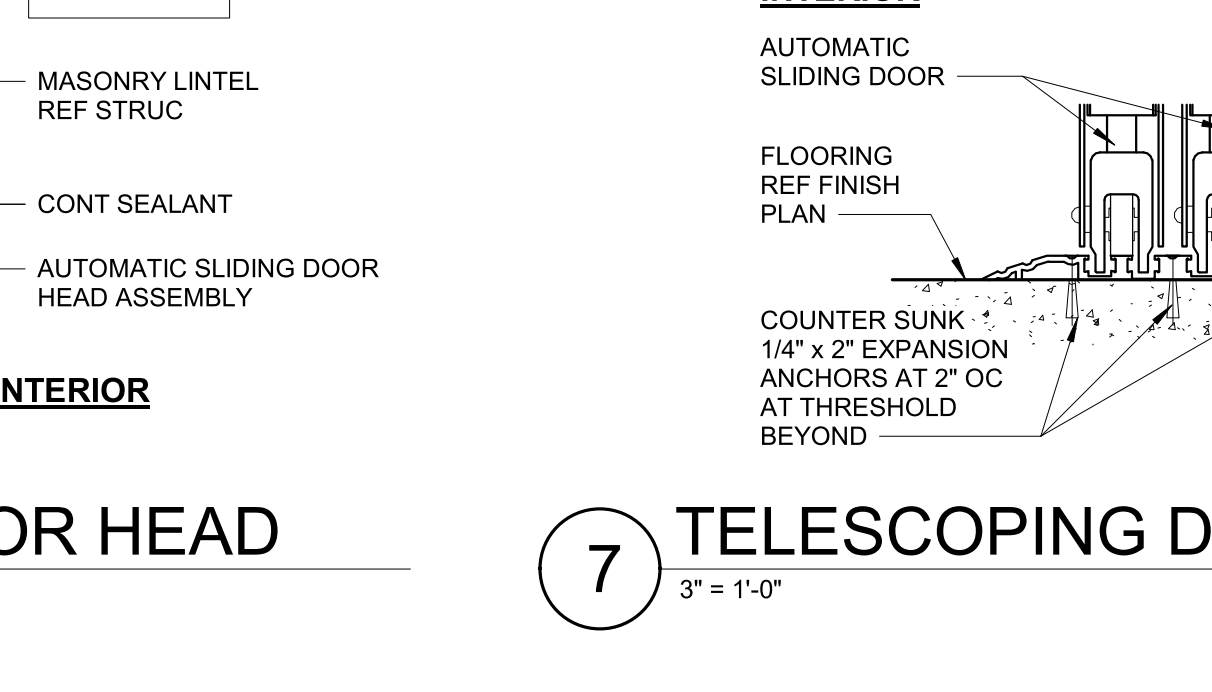
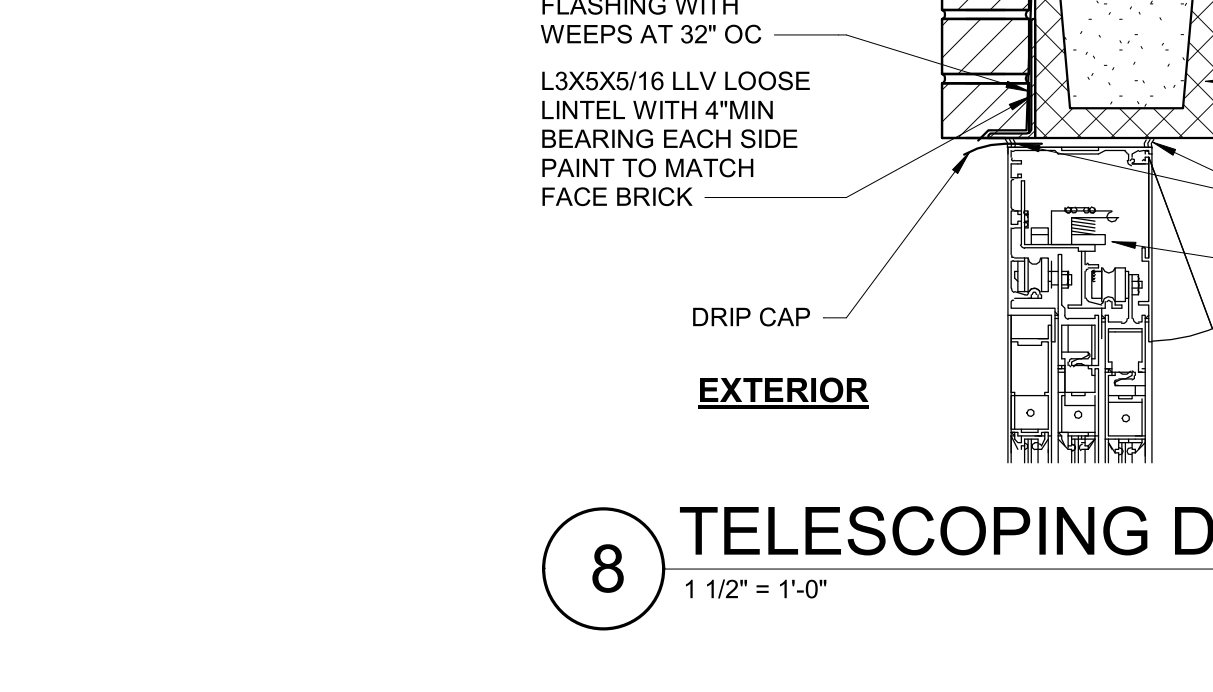
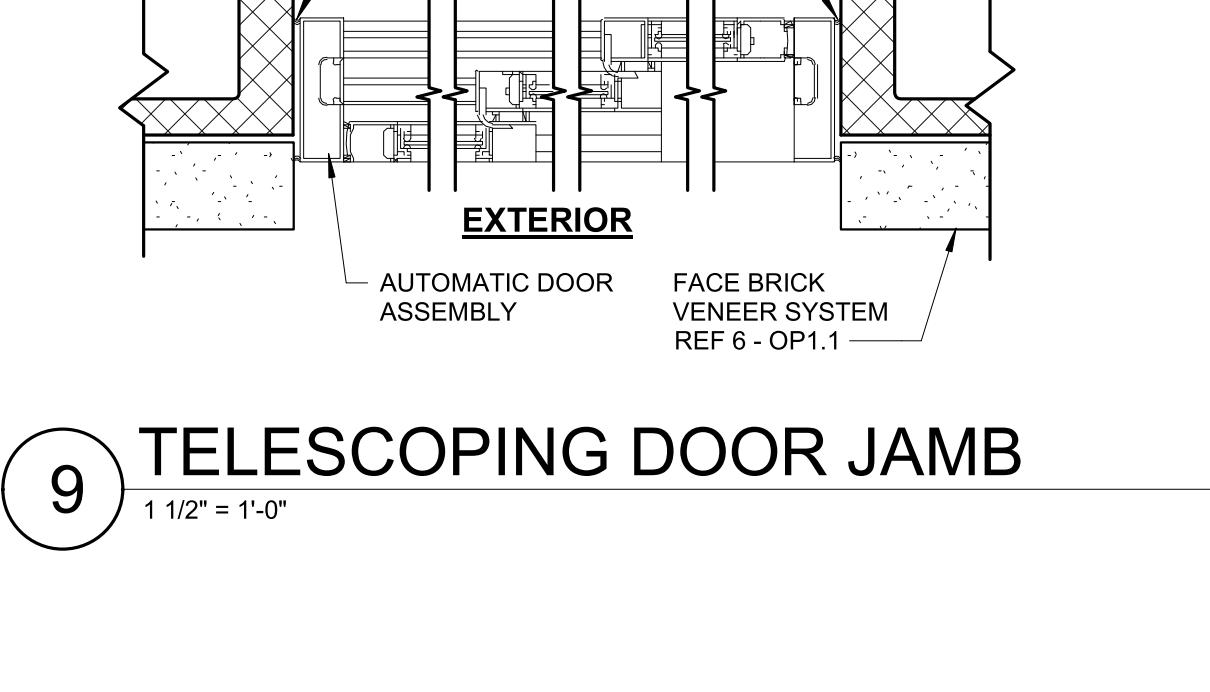
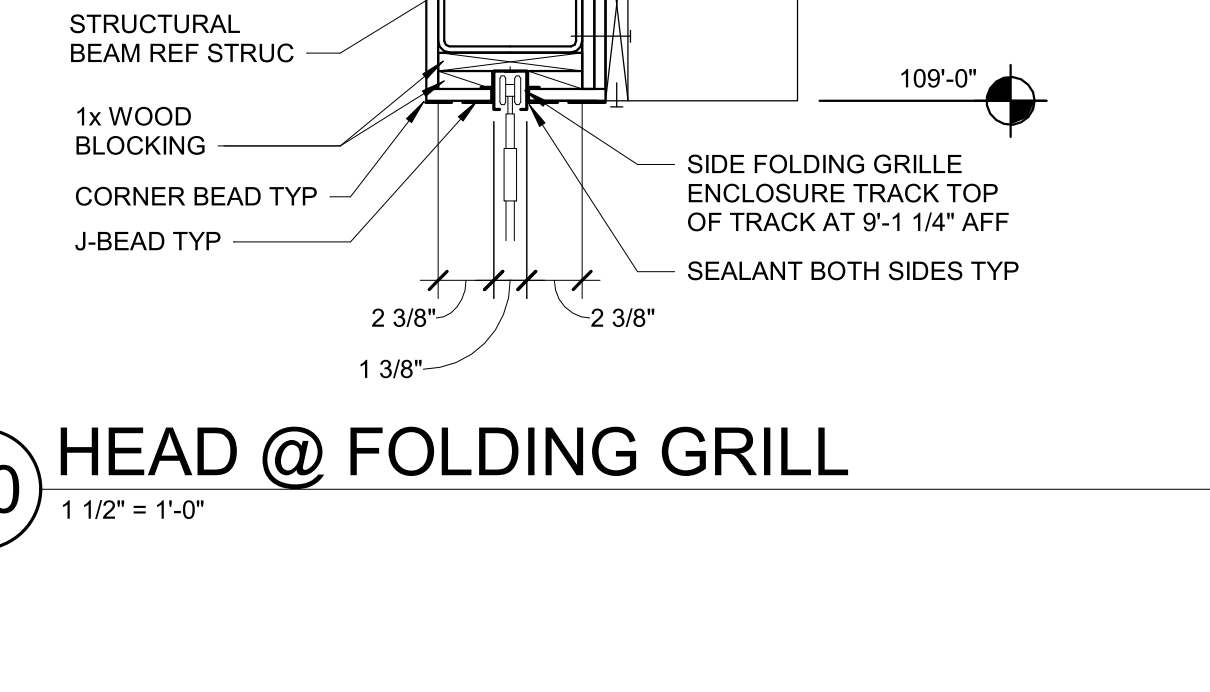
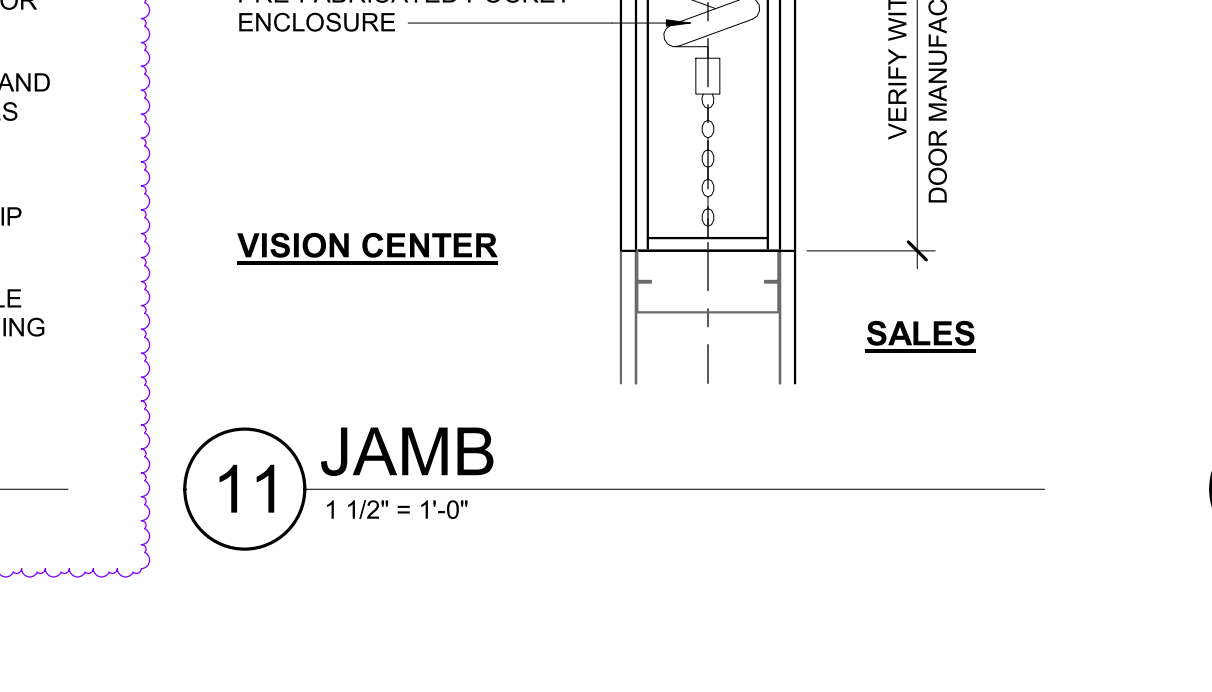
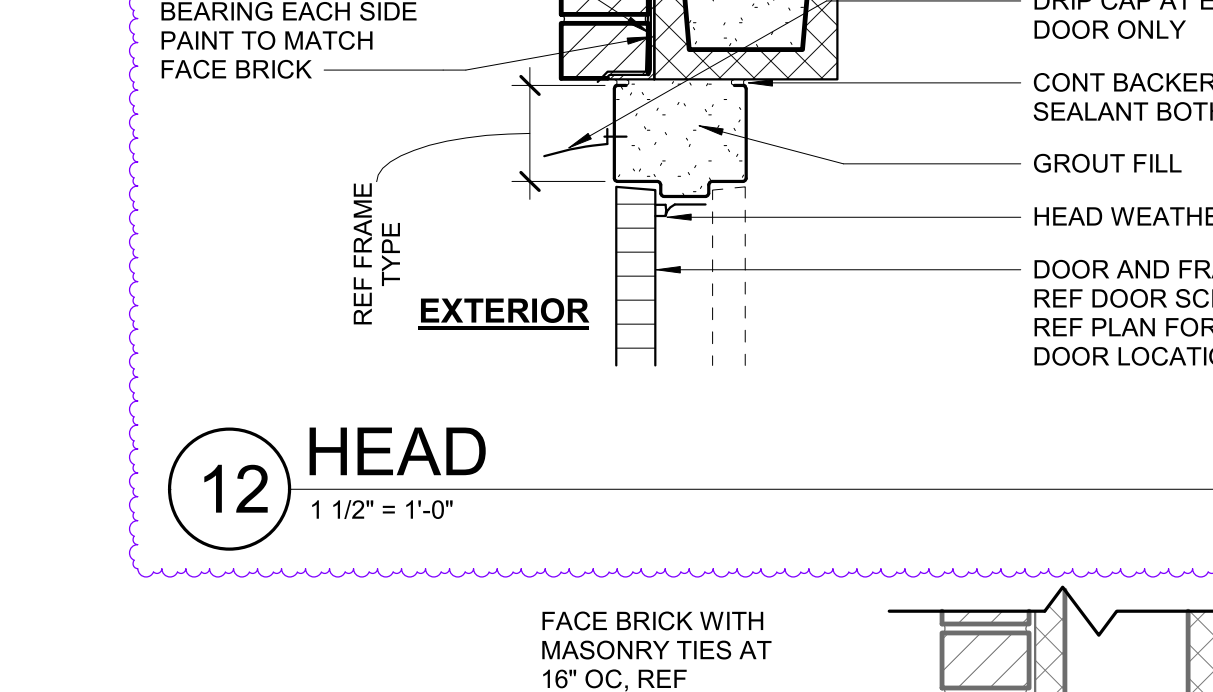
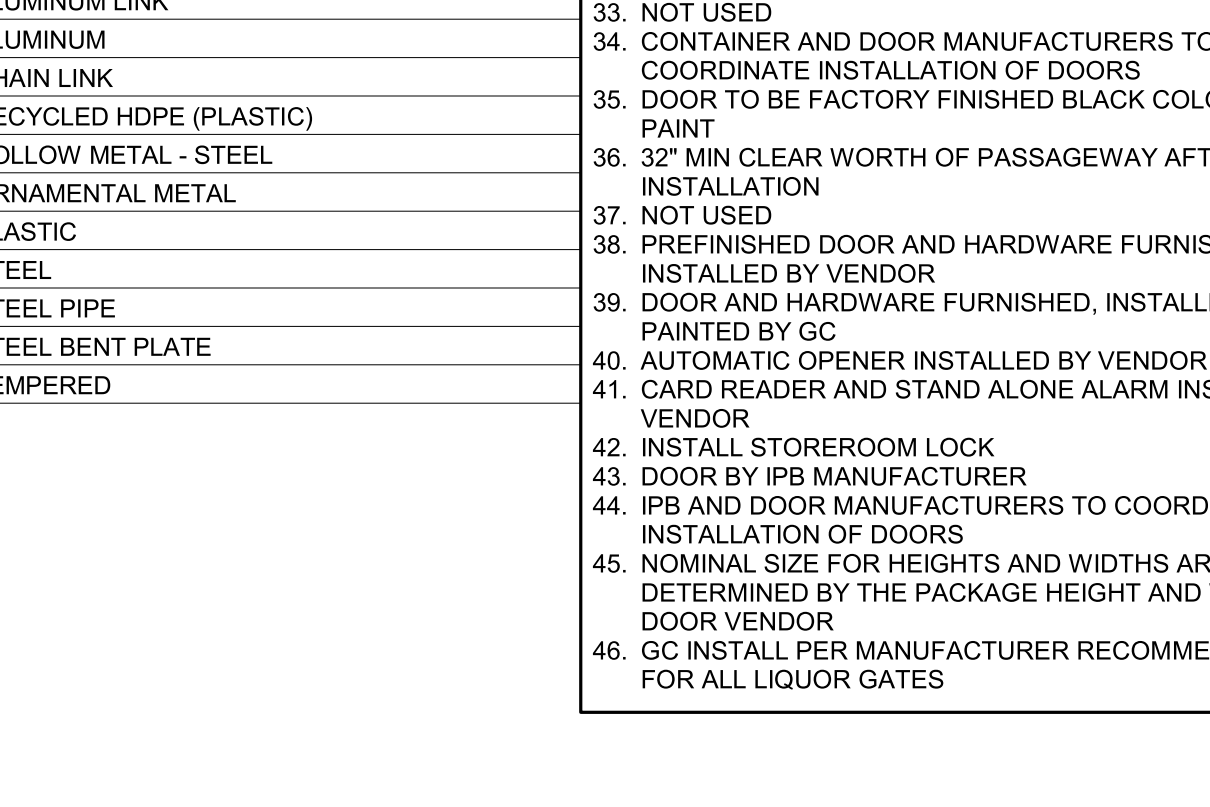
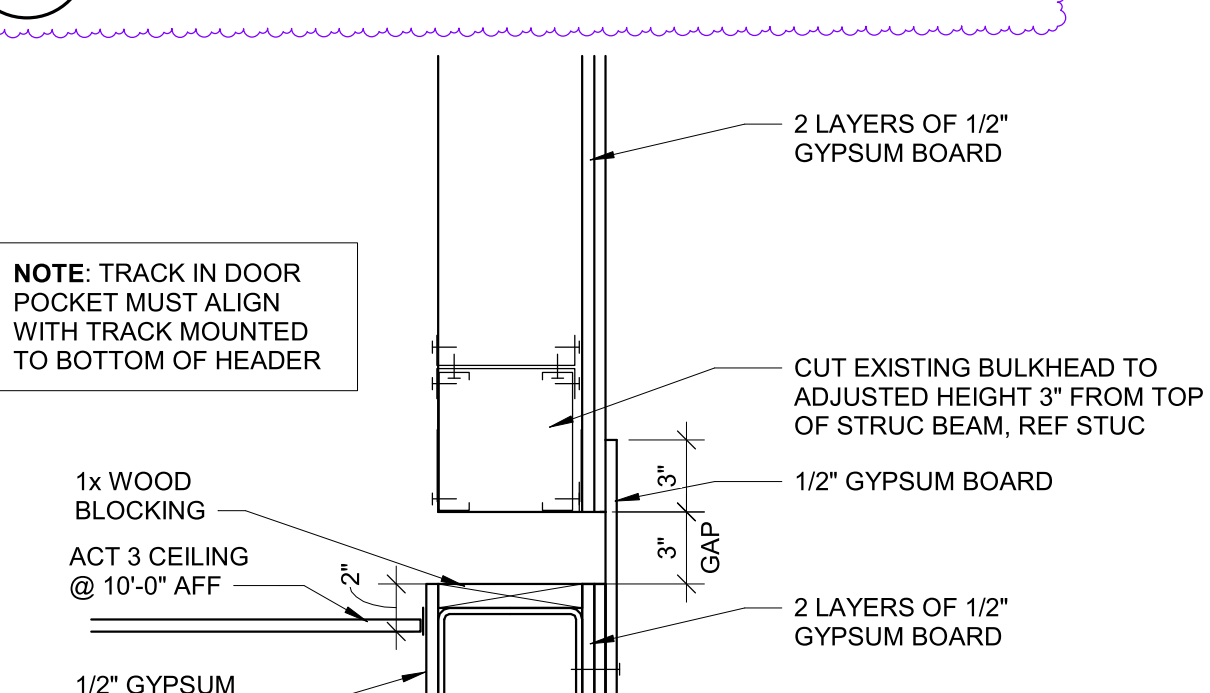
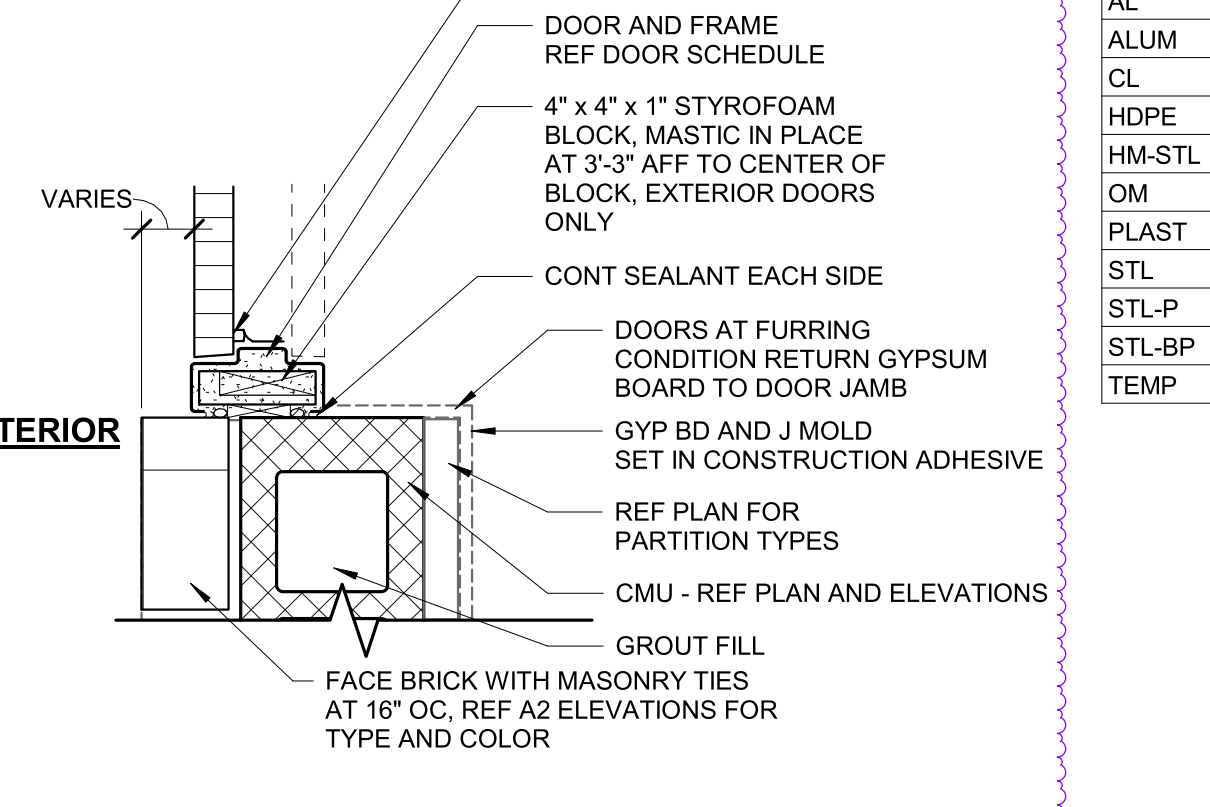
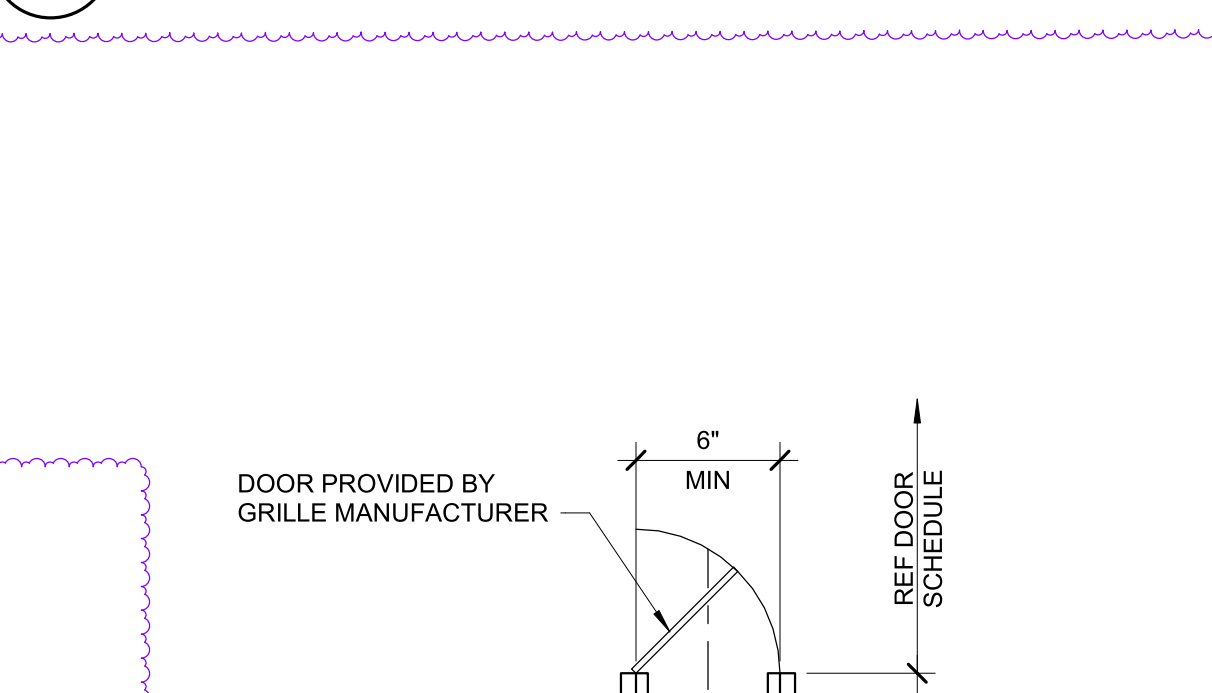
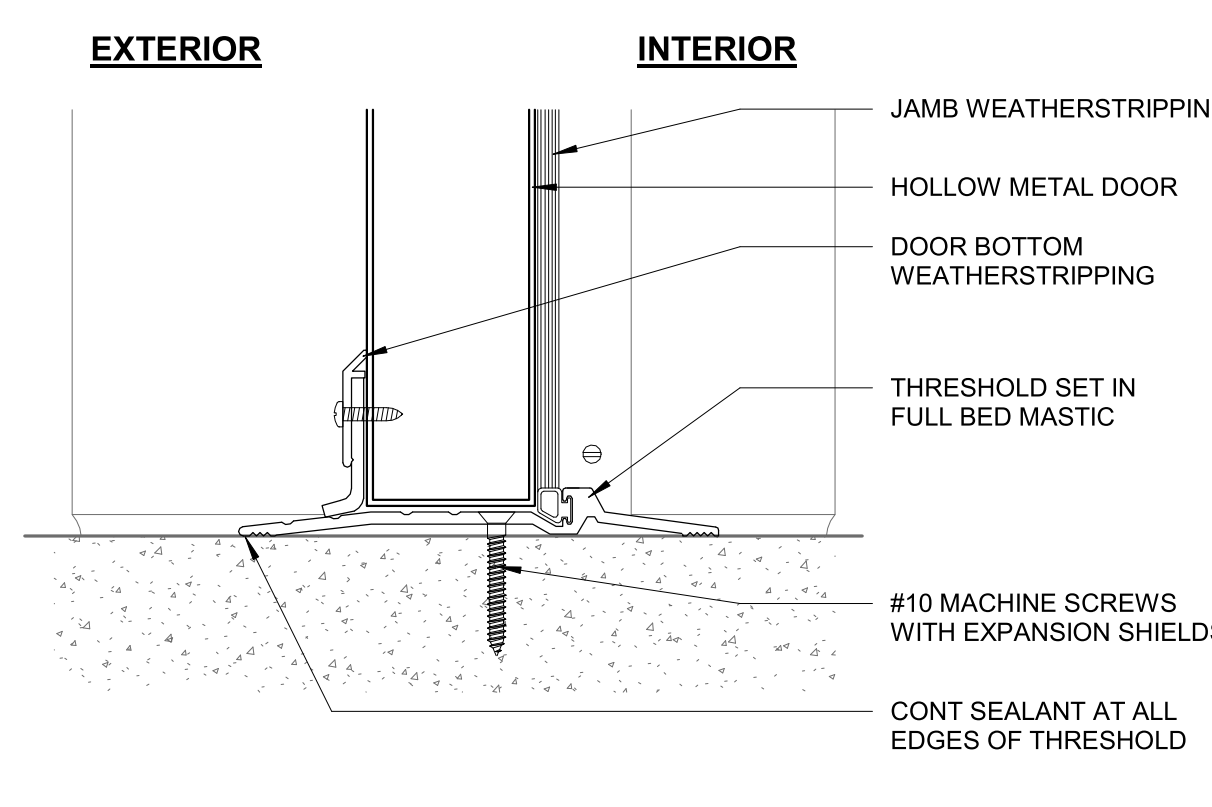
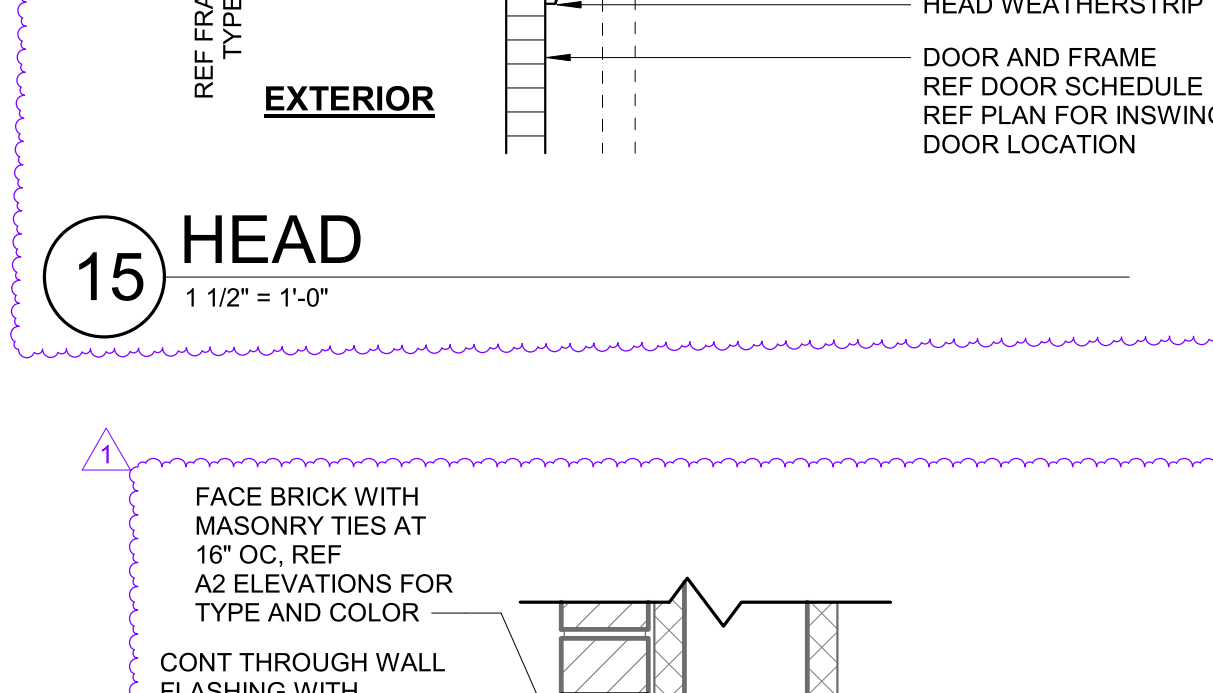
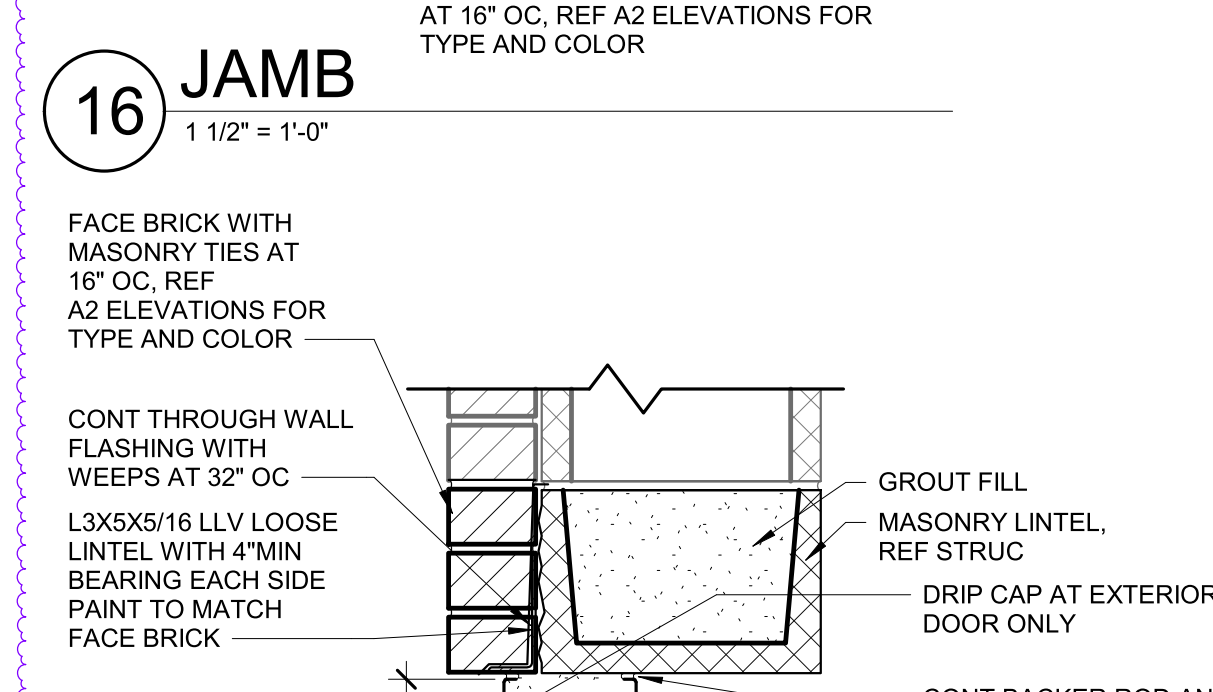
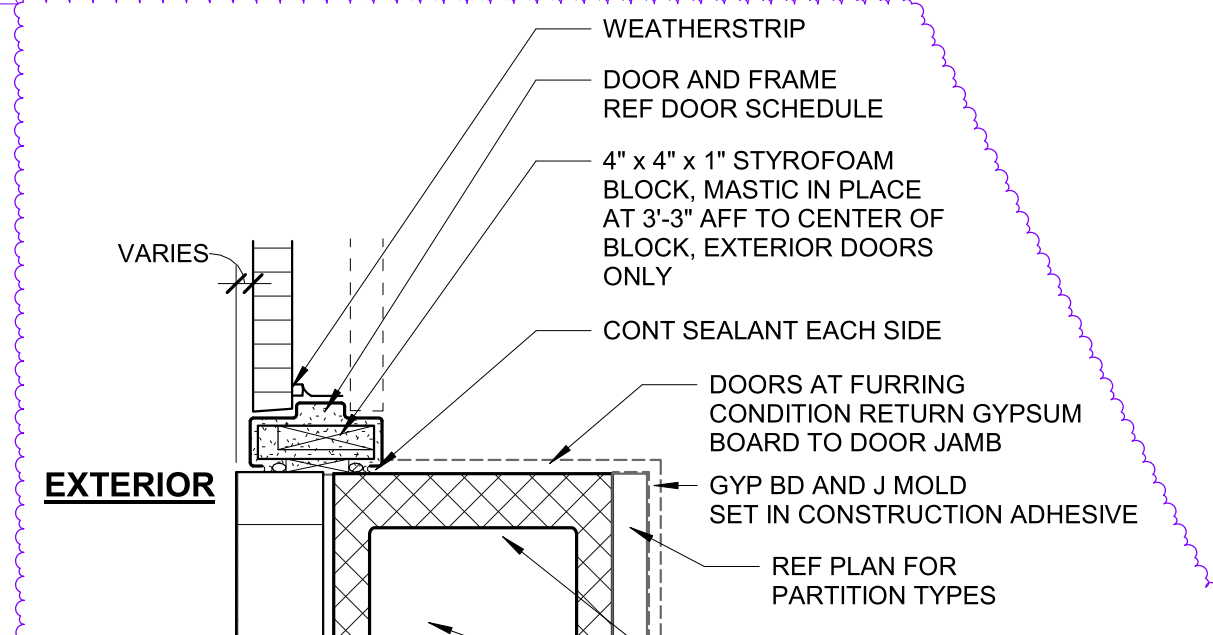
MARK	DESCRIPTION
ACRYL	ACRYLIC
AL	ALUMINUM LINK
ALUM	ALUMINUM
CL	CHAIN LINK
HDPE	RECYCLED HDPE (PLASTIC)
HM-STL	HOLLOW METAL - STEEL
OM	ORNAMENTAL METAL
PLAST	PLASTIC
STL	STEEL
STL-P	STEEL PIPE
STL-BP	STEEL BENT PLATE
TEMP	TEMPERED

DOOR SCHEDULE NOTES

- BUTTS OR HINGES
- ALARM OR EXIT DEVICE
- LATCH OR LOCK SET
- PUSH AND/OR PULL
- INSTALL AUTOMATIC CLOSER
- ARMOR PLATE AND/OR KICK PLATE
- STOP, HOLDER, OR ELECTROMAGNETIC DOOR HOLDER
- THRESHOLD
- INSTALL CONT GEARED HINGE
- DOOR COORDINATOR
- ELECTROMAGNETIC LOCK
- LOCK GUARD
- ONE-WAY VIEWER
- INSTALL 5/8" WINDOW IN DOOR
- INSTALL FLEXIBLE STRIP CURTAIN
- INSTALL SECTIONAL DOOR TRACK RETURN AT MAXIMUM HEIGHT AND AS CLOSE TO ROOF STRUCTURE AS ALLOWED BY MANUFACTURER
- FULLY GASKETED FOR NEUTRALIZATION
- PROVIDE 1" CLEARANCE BETWEEN EDGE OF STRIKE SIDE OF DOOR AND ADJACENT CASEWORK
- COORDINATE INSTALLATION OF SIGNAGE WITH DOOR MANUFACTURER. 1" HIGH LETTERS IN CONTRASTING COLORS TO BACKGROUND. TEXT TO READ "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"
- REMOVE EXISTING DOOR AND HARDWARE
 - EXISTING FRAME TO REMAIN
 - INSTALL HINGE FILLER PLATE AND STRIKE FILLER PLATE IN HOLLOW METAL FRAME
- FLEXIBLE TRAFFIC DOOR COLOR TO BE BLACK
 - PAINT DOOR FRAME P36
 - DO NOT PAINT STAINLESS STEEL FRAMES
- INSTALL HINGE FILLER PLATE PRIOR TO INSTALLATION OF CONT HINGE
- PROVIDE VENDOR WITH FIELD VERIFIED DIMENSION OF CLEAR WIDTH AFTER REFRIGERATED CASES HAVE BEEN INSTALLED, DOOR COLOR TO BE BLACK
- THRESH ON DOOR TO BE STOPPED, CLEANED, AND REFINISHED
- SIGNAGE: PROVIDE 1" HIGH LETTERS IN CONTRASTING COLORS TO BACKGROUND. TEXT TO READ "IN EMERGENCY PUSH TO OPEN"
- DOOR SHALL BE OWNER PROVIDED, GC INSTALLED, REF SPECS
- DOOR TO BE FACTORY FINISH, DO NOT PAINT
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- CONTAINER AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
- DOOR TO BE FACTORY FINISHED BLACK COLOR, DO NOT PAINT
- 32" MIN CLEAR WORTH OF PASSAGEWAY AFTER INSTALLATION
- NOT USED
- PREFINISHED DOOR AND HARDWARE FURNISHED AND INSTALLED BY VENDOR
- DOOR AND HARDWARE FURNISHED, INSTALLED, AND PAINTED BY GC
- AUTOMATIC OPERATOR INSTALLED BY VENDOR
- CARD READER AND STAND ALONE ALARM INSTALLED BY VENDOR
- INSTALL STOREROOM LOCK
- DOOR BY IPB MANUFACTURER
- IPB AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
- NOMINAL SIZE FOR HEIGHTS AND WIDTHS ARE DETERMINED BY THE PACKAGE HEIGHT AND WIDTH FROM DOOR VENDOR
- GC INSTALL PER MANUFACTURER RECOMMENDATIONS FOR ALL LIQUOR GATES

FINISH KEY

MARK	FINISH	COLOR	DESCRIPTION
ACT1-A	ACOUSTICAL CEILING TILE	WHITE	24"x18"x5/8"
ACT1-B	ACOUSTICAL CEILING TILE	WHITE	24"x24"x5/8"
ACT2-A	ACOUSTICAL CEILING TILE	WHITE	24"x48"x5/8" VINYL FACED NON-PERFORATED
ACT2-B	ACOUSTICAL CEILING TILE	WHITE	24"x24"x5/8" VINYL FACED NON-PERFORATED
ACT3	ACOUSTICAL CEILING TILE	WHITE	24"x48"
ACT4	ACOUSTICAL CEILING TILE	WHITE	24"x48"
ACTG	ACOUSTICAL CEILING GRID	WHITE	24"x24"x5/8" VINYL FACED NON-PERFORATED
B4	RESILIENT BASE	BLACK	4"
B6	PLASTIC BASE	BLACK	6"x1/4"
B9	PLASTIC BASE	BLACK	4"x1/4"
B10	PLASTIC BASE OUTSIDE CORNER	BLACK	
C1	CUSHION BACK TILE CARPET	CHARCOAL	
C3	CUSHION BACK TILE CARPET		
CC	CONCRETE CURB		
CC	CONCRETE OVERLAY		
CT18	SANITARY FLOOR MOLDING	SUNSET	
CT19	PORCELAIN WALL TILE	IVORY	5"
CT44	PORCELAIN FLOOR TILE		12" x 12" x 3/8"
CT45	WALL TILE	WHITE	4" x 8" x 3/8"
CT46	PORCELAIN WALL TILE	GREEN	4" x 8" x 3/8"
CT47	WALL TILE	BLUE	4" x 8" x 3/8"
CT52	FLOOR TILE	DARK GRAY	12" x 24"
CT53A	TILE BASE	DARK GRAY	6 x 12
CT53B	COVE BASE	DARK GRAY	6 x 6
CT54	WALL TILE	WHITE	4 x 12 LINEAR
DB5	DURO BASE	BLACK	
DB6	DURO BASE	BLACK	6"
DB10	DURO BASE	BLACK	10"
DP1	ALUMINUM DIAMOND (TREAD) PLATE	---	OWNER PROVIDED
EC	EXPOSED CONCRETE	CLEAR SEALER	
ETR	EXISTING TO REMAIN		
FB1	FACE BRICK	BUFF - CONCORD BLEND	
FB2	FACE BRICK	BUFF - NUTMEG VELOUR	
FRP1	FIBERGLASS REINFORCED PLASTIC	WHITE	FRP WALL PANEL
FT1	FAUX SUBWAY TILE	WHITE	
G1	GROUT	DARK GRAY	
G2	GROUT	DARK GRAY	
G3	GROUT	LIGHT TAN	
G4	GROUT	GRAY	
G9	GROUT	L' GRAY	
G15	GROUT	BLACK	
G16	GROUT	GRAY	
HRC1	HEAT RESISTANT COATING	TO MATCH COPPER BROWN BY BERRID	
HRC4	HEAT RESISTANT COATING	MATCH DARK GRAY	
ICC	INTEGRAL COLORED CONCRETE	BROWN	
LUTZP	PLANK FLOORING	LIGHT GRAY	
P1	PAINT	"LOYAL BLUE" #6510	
P5	PAINT	"SAFETY YELLOW" OSHA STANDARD	
P5E	PAINT	"SAFETY YELLOW"	
P6	PAINT	"PURE WHITE" #7005	
P14	PAINT	"GOLDENROD" # 6617	
P15	PAINT	"SUMMIT GRAY" #7669	
P15E	PAINT	GRAY	
P16	PAINT	"SOFTWARE" #7074	
P17	PAINT	"SAFETY RED" #4081	
P21E	PAINT	"SAFETY RED"	
P33	PAINT	"DOVER WHITE" #6395	
P33E	PAINT	CREAM	
P36	PAINT	"DOMINO" #6989	
P36E	PAINT	BLACK	
P57	PAINT	"ROYCROFT PEWTER" #2848	
P59	PAINT	"CLASSIC FRENCH GRAY" #0077	
P76	PAINT	"WALMART BLUE" #076	
P76U	PAINT	WALMART BLUE (URETHANE-LIKE)	
P81	PAINT	"TRICORN BLACK" #6259	
P83	PAINT	"COBBLE BROWN" #6082	
P83E	PAINT	DARK BROWN	
P93	PAINT	"TAMARIND" #7538	
P94	PAINT	"EXTERIOR DROMEDARY CAMEL" #7694 (EXT)	
P94E	PAINT	TAN	
P100	PAINT	"NOTABLE HUE" #6521	
P102	PAINT	"BEACH HOUSE" #7518	
P107	PAINT	"STRAW HARVEST" #7698	
P112	PAINT	"BUTTERFIELD" #6676	
P124	PAINT	"MEADOWLARK" #7522	
P124E	PAINT	LIGHT BROWN	
P131	PAINT	"WHITE FLOUR" #7102	
P140	PAINT	"SNOWBOUND" #7004	
P140E	PAINT	WHITE	
P150	PAINT	"ONLINE" #7072	
P159	PAINT	"CASA BLANCA" #7571	
P162	PAINT	"PEPPERCOOR" #7674	
P162E	PAINT	BLACK GRAY	
P163	PAINT	"TURQUOISE" #6939	
P164	PAINT	"ESSENTIAL GRAY" #6002	
P206	PAINT	"IBIS WHITE" #7000	
P207	PAINT	"CONTEMPORARY GRAY" #1465	
P208	PAINT	"CANDID BLUE" #6953	
P209	PAINT	"PASSIVE GRAY" #7064	
P213	PAINT	"VAST SKY" #6506	
P215E	PAINT	LIGHT TAN	
P217E	PAINT	DARK BRONZE	
PF4	LEAD-COTE	METALLIC	
PL3	PLASTIC LAMINATE	"ORGANIC COTTON" WILSONART 4945-38	
PL4	PLASTIC LAMINATE	MAPLE	
PL6	PLASTIC LAMINATE	LIGHT TAN	
PL11	PLASTIC LAMINATE	NORTH SEA GRAY	
PL12	PLASTIC LAMINATE	MYSTED ZEPHYR	
PL15	PLASTIC LAMINATE	BROWN	
PL20	PLASTIC LAMINATE	TAN	
PL22	PLASTIC LAMINATE	DEEPSTAR AGATE	
PL30	PLASTIC LAMINATE	"STEEL MESH" WILSONART 4879	
PL31	PLASTIC LAMINATE	"GREY" WILSONART 1500-69	
PL32	PLASTIC LAMINATE	"VISION VAVA" NEVAMAR VA2002	
PS1	PROTECTIVE SURFACE	WALMART MED BLUE IMPACT SPECIALTIES	
PS3	PROTECTIVE SURFACE	BRUSHED SURFACING	
PS4	PROTECTIVE SURFACE	"GLOWING EMBER" IMPACT SPECIALTIES	
PS5	PROTECTIVE SURFACE	"FRESH LINES" IMPACT SPECIALTIES	
PS6	PROTECTIVE SURFACE	YELLOW	
PS7	PROTECTIVE SURFACE	"GRAY PATTERN"	
PS8	PROTECTIVE SURFACE	"MAPLE"	
PS9	PROTECTIVE SURFACE	"GLOSS WHITE"	
PS10	PROTECTIVE SURFACE	"BLACK"	
PS11	PROTECTIVE SURFACE		
PS12	PROTECTIVE SURFACE	OAK RIFT NATURAL	
PVC1	PVC PLANK FLOORING	WOODGRAIN	
QT3	QUARRY TILE	GRAY	6"x6" ABRASIVE
QT31	QUARRY TILE	RED	6"x6" ABRASIVE
RB1	RESILIENT BASE	BLACK	4"x18"
RB5	RESILIENT BASE	NO. 179 STEEL WITH TOE	
RCS1	RECYCLED CERAMIC SOLID SURFACE	GREY "BIRCH PRADA"	
RF1	RESINOUS FLOOR	GRAY	
RF2	RESINOUS FLOOR	RED	
RRF3	RECYCLED RUBBER FLOORING	GRAY	
SCB5	SANITARY COVE BASE	GRAY	8" H ANTIMICROBIAL PLASTIC
SS	STAINLESS STEEL		
SST1	SOLID SURFACE		
TC	TEXTURED CONCRETE		
TS1	ALUMINUM TRANSITION STRIP		
VCT9	VINYL COMPOSITION TILE	WHITE	12"x12"x1/8"
VCT11	VINYL COMPOSITION TILE	BEIGE	12"x12"x1/8"
VCT20	VINYL COMPOSITION TILE	GRAY	12"x12"x1/8"
WB	2x8 WOOD BASE		
WB10	2x10 WOOD BASE		
WG	PLASTIC WALL GUARD	BLACK OR GRAY	



ARCHITECT OF RECORD:
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CONSULTANTS

Walmart
FLORISSANT, MO
3390 N HIGHWAY 67
STORE NO. 05927 - 220
JOB NUMBER: 96546584 | PHOTO: 1501 SC

ISSUE BLOCK

1	PR#1	01/19/24
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PROTO CYCLE: 08/02/23
DOCUMENT DATE: 10/20/23



KEYNOTES

- 16.024 CONNECT CIRCUIT TO DUAL TAP CIRCUIT BREAKER INDICATED. CONNECT CIRCUIT CONTAINING NIGHT/EMERGENCY LIGHTING TO UNUSUAL TAP CIRCUIT BREAKER.
- 16.492 E.C. SHALL COORDINATE WITH GENERAL CONTRACTOR AND ARCHITECT TO DEMOLITION POINTS THE EXTENT OF ELECTRICAL DEMOLITION. REMOVE UNUSED DEVICES, BOXES, CONDUITS, AND WIRING BACK TO ORIGINATING JUNCTION BOXES OR PANELBOARDS. REFERENCE POWER PLANS FOR CIRCUITRY TO BE REUSED. DEMOLITION SHALL NOT AFFECT ACTIVE CIRCUITS. IF CIRCUIT IS DEMOLISHED ALL THE WAY TO PANELBOARD, REMOVE CIRCUIT BREAKER AND REPLACE WITH FILLER PLATE. UPDATE TYPEWRITTEN CIRCUIT DIRECTORY IDENTIFYING CIRCUIT AS "SPACE". COORDINATE EXACT REQUIREMENTS WITH EXISTING CONDITIONS PRIOR TO BID.
- 16.775 E.C. SHALL DISCONNECT, EXTEND, AND RECONNECT ALL ELECTRICAL CIRCUITRY FOR NEW OR RELOCATED EQUIPMENT. REFERENCE POWER PLANS AS APPLICABLE. VERIFY CONDITION OF BRANCH CIRCUIT, CONDUIT, AND WIRE PRIOR TO USE TO ENSURE THAT THEY MEET ALL U.L. RATINGS AND REPLACE AS REQUIRED. COORDINATE THIS PROCESS WITH CONSTRUCTION MANAGER TO MINIMIZE DOWNTIME. LABEL ALL ASSOCIATED PANELBOARD SCHEDULES TO REFLECT LOAD DESCRIPTIONS.

brr
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 hpengineering.com

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FLORISSANT, MO
 3380 N HIGHWAY 67
 STORE NO.: STORE NO.: 05927 - 220
 JOB NUMBER: 96546594

ISSUE BLOCK

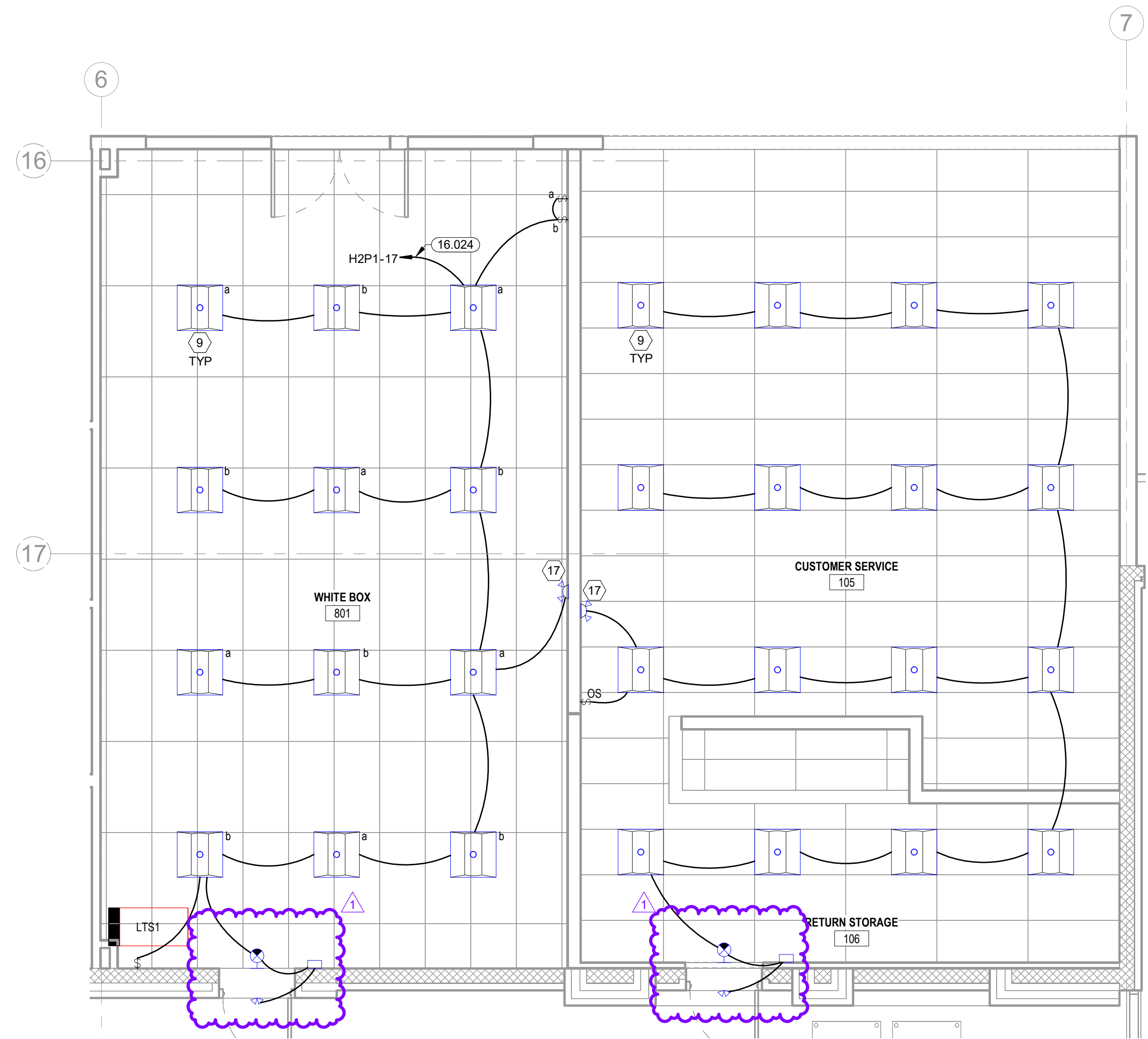
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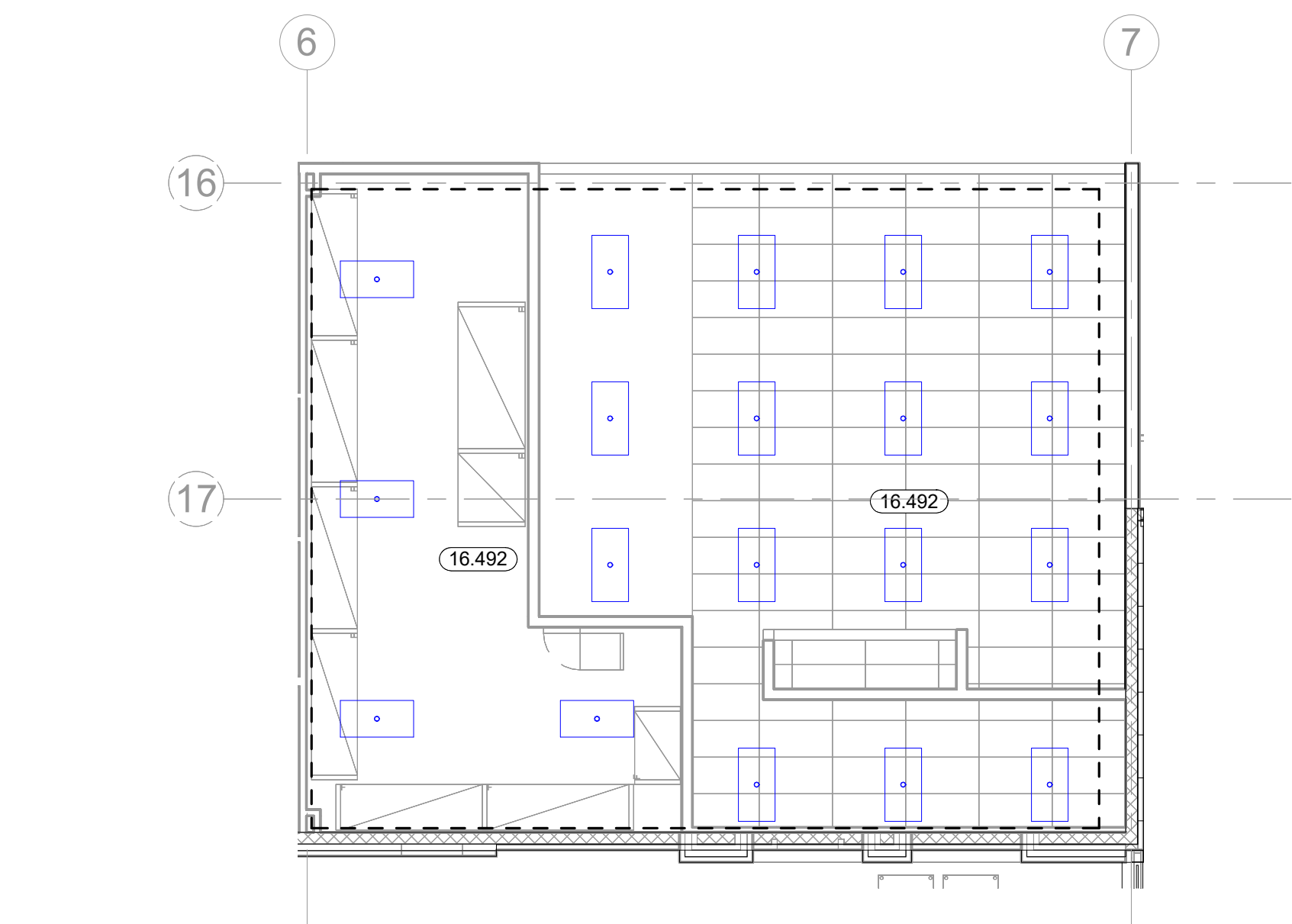


ENLARGED LIGHTING PLANS

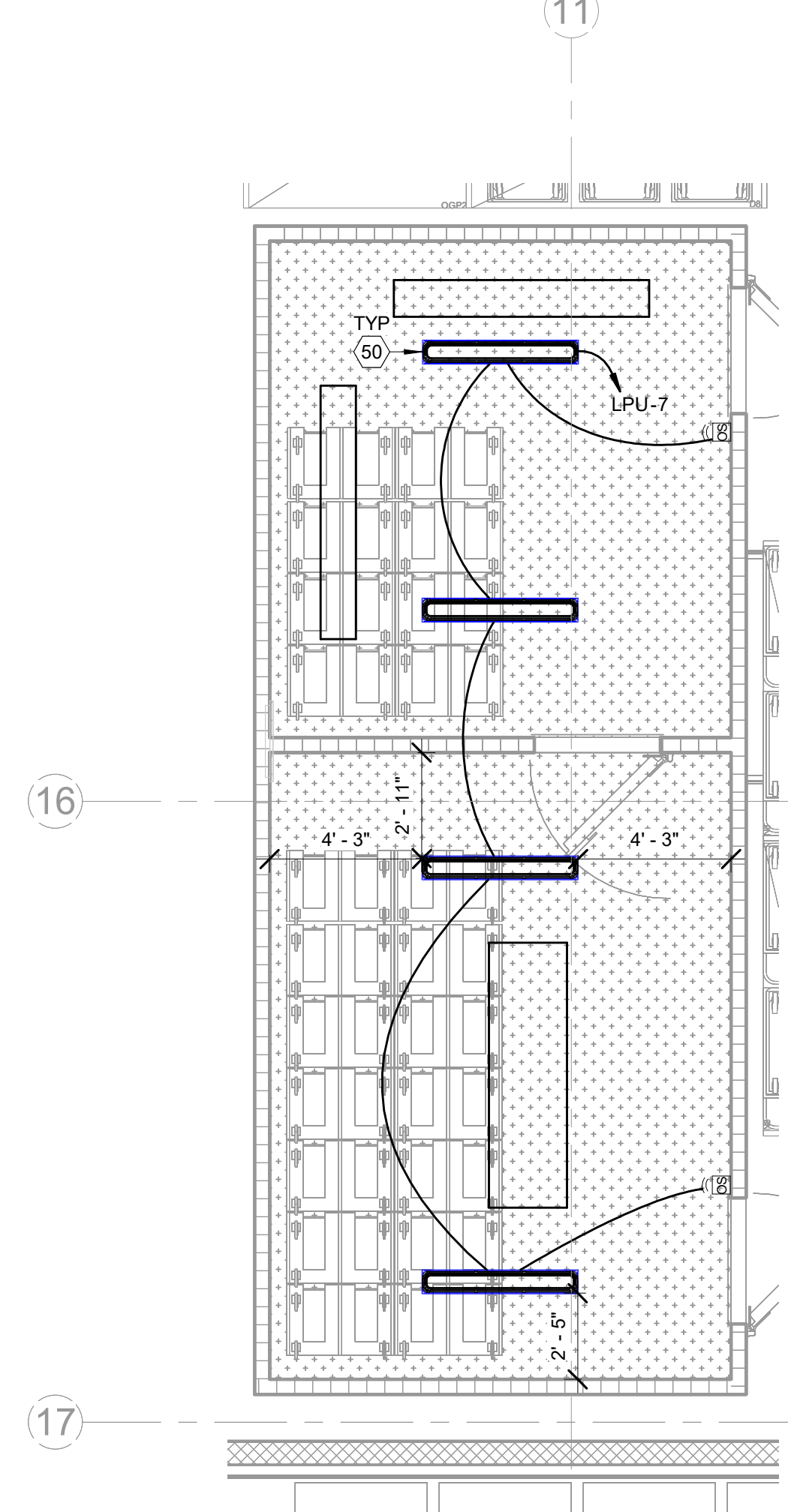
SHEET: **E1.3**



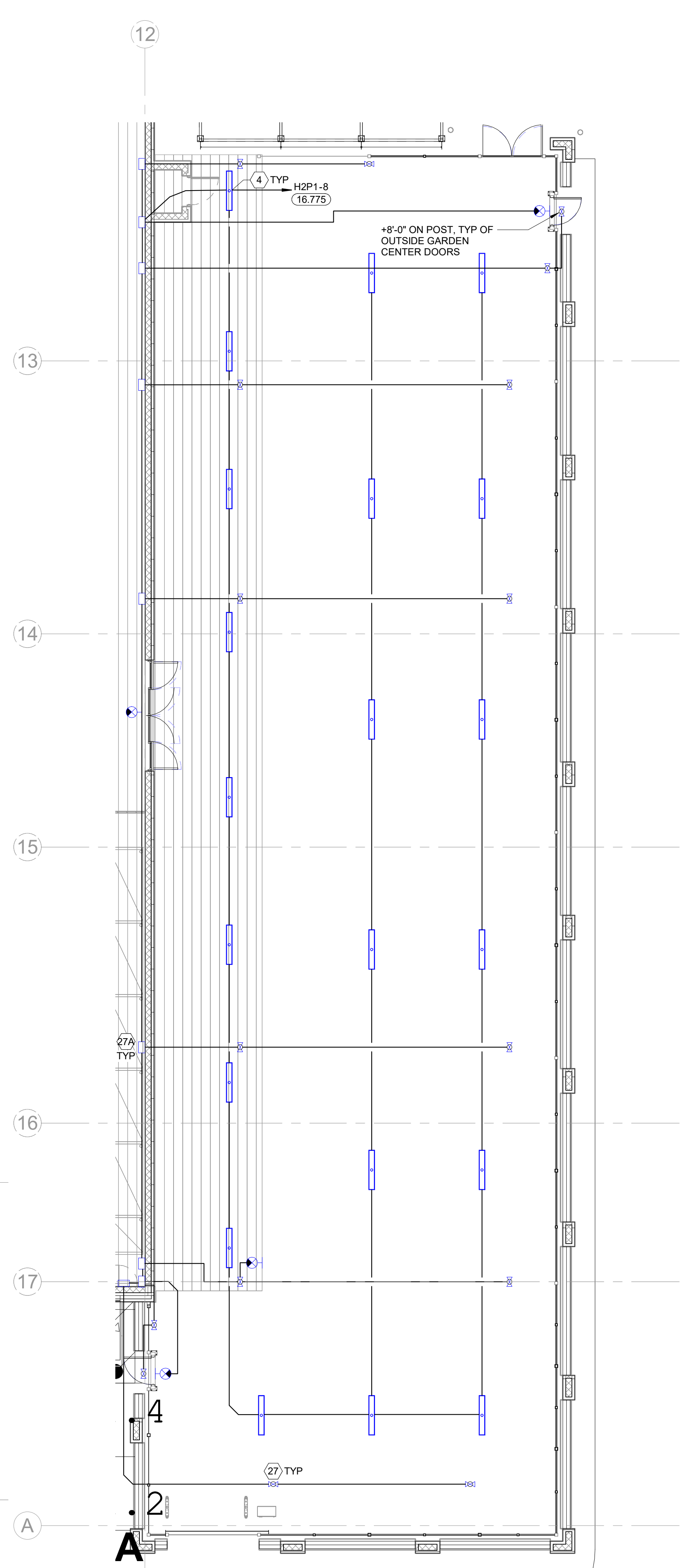
1 ENLARGED TENANT/RETURN LIGHTING PLAN
 1/4" = 1'-0"



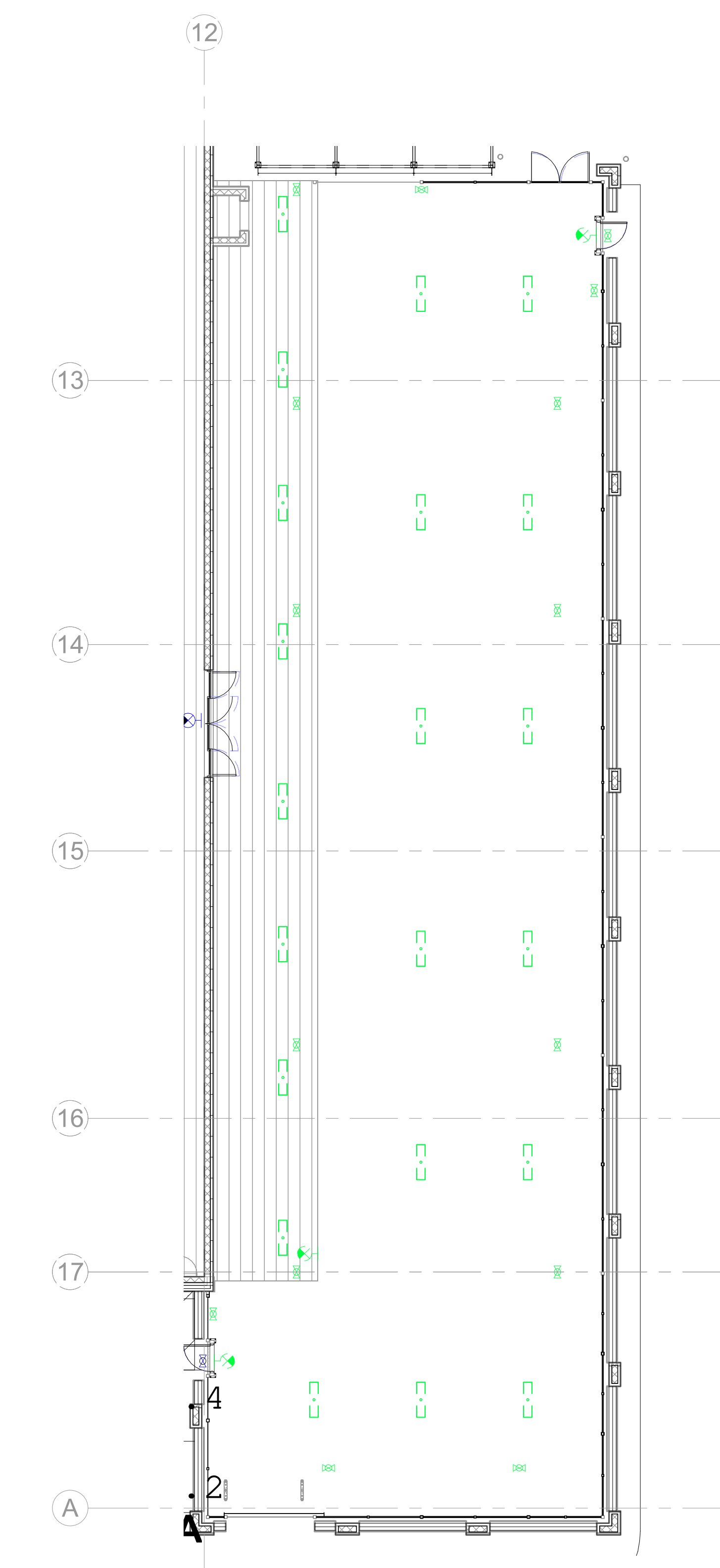
2 TENANT INFILL DEMOLITION LIGHTING PLAN
 1/8" = 1'-0"



3 REFRIGERATION LIGHTING PLAN
 1/4" = 1'-0"



4 ENLARGED GARDEN CENTER LIGHTING PLAN
 1/8" = 1'-0"



5 GARDEN CENTER DEMOLITION LIGHTING PLAN
 3/32" = 1'-0"

EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. CONTRACTOR SHALL CAREFULLY COORDINATE NEW WORK AND DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.

EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THE RESPONSIBILITY OF PERFORMING THE WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.

PARKING DATA TABLE

EXISTING PARKING COUNT = 801 SPACES
 EXISTING BUILDING AREA = 169,426 SF
 EXISTING PARKING RATIO = 4.73 SP/1,000 SF

AHJ REQUIRED PARKING RATIO = 4 SP/1,000 SF
 AHJ REQUIRED PARKING COUNT = 678 SPACES

PARKING COUNTS AND BUILDING SF SHALL BE CONSIDERED APPROXIMATE

NOTE: STOP SIGNS AND PAVEMENT MARKINGS REFLECT ON SITE CONDITIONS AT THE TIME OF CEC'S SITE VISIT. CONTRACTOR SHALL NOTIFY THE WALMART CONSTRUCTION MANAGER IF EXISTING CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN.

IMAGE SOURCE: NEARMAP

IMAGE DATE: 07/06/2023

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN.
 - (E) EXISTING CROSSWALK TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING AND/OR SINGLE YELLOW STRIPE TO BE REMOVED.
 - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - (I) NEW 30"x30" STOP SIGN.
 - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (L) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
 - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 13'-8" WHITE STRIPE PERPENDICULAR TO DIRECTION OF TRAFFIC. SEE OTHER SHEETS FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED, INCLUDING: NO PARKING FIRE LANE AND/OR RED STRIPE TO MATCH EXISTING.
 - (P) LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
 - (R) EXISTING STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE TO BE REMOVED.
 - (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
 - (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (U) EXISTING FIRE LANE STRIPING AND/OR "NO PARKING FIRE LANE" TEXT TO REMAIN / BE REFRESHED.
 - (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE.
 - (W) EXISTING STOP SIGN TO REMAIN / BE REUSED.
 - (X) EXISTING SIGN TO BE RAISED/OR LOWERED / STRAIGHTENED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES.
 - (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
 - (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (a) EXISTING PICKUP SIGN ATTACHED TO ROW SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.
 - (b) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (c) NEW OGP CROSSWALK MARKINGS - SEE DETAIL.
 - (d) EXISTING CROSSWALK AREA (YIELD PAVEMENT MARKINGS AND CROSSWALK STRIPING) TO BE REMOVED AND THEN RESEALED COMPLETELY.
 - (e) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / RE-USED / RELOCATED.
 - (f) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
 - (h) EXISTING CROSSWALK TO REMAIN / BE REFRESHED.
 - (i) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS AND/OR "ENTER", "EXIT", "ONLY" TEXT TO REMAIN / BE REFRESHED.
 - (j) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
 - (m) NEW DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (n) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.
 - (o) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 4'-0" O.C.
 - (p) NEW CROSS-TRAFFIC DOES NOT STOP PLAQUE.
 - (t) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
 - (u) EXISTING 4" WIDE DOUBLE YELLOW, YELLOW OR WHITE SINGLE AND/OR WHITE AND/OR YELLOW DASHED STRIPE TO REMAIN / BE REFRESHED.
 - (w) EXISTING FOLIAGE THAT IMPEDES VISIBILITY OF DRIVE AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
 - (x) EXISTING NO-PARKING FIRE LANE SIGN TO REMAIN.
 - (y) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (z) EXISTING PICKUP SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.

**WALMART SUPERCENTER
 #05927-220**

CONTRACTOR TO REFER TO SHEET SECP-1 FOR ADDITIONAL IMPROVEMENTS ALONG BFR

NOTES TO GENERAL CONTRACTOR:

1. STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDE AND REAR OF STORE).
2. DO NOT STRIPE/REFRESH IF SIMILAR WORK WAS COMPLETED WITHIN LAST YEAR. CONFIRM WITH CONSTRUCTION MANAGER.

NOTES TO CONTRACTOR:

1. BFR (BUILDING FRONTAGE ROAD)
 OCR (OUTER CIRCULATION ROAD)
2. CONTRACTOR SHALL INSTALL "NEW" STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
3. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.
4. ALL LIGHT POLES BASES SHALL BE REPAINTED, AND BOLT COVERS REPLACED WHERE MISSING OR DAMAGED. PREVIOUS OR NEW OVERSPRAY ON SURROUNDING PAVING SHALL BE REMOVED. SEE ARCHITECTURAL SPECIFICATION SECTION 09900 FOR ADDITIONAL INFORMATION.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



STOP SIGNS AND MARKINGS

REVISIONS	
1	
2	
3	
4	

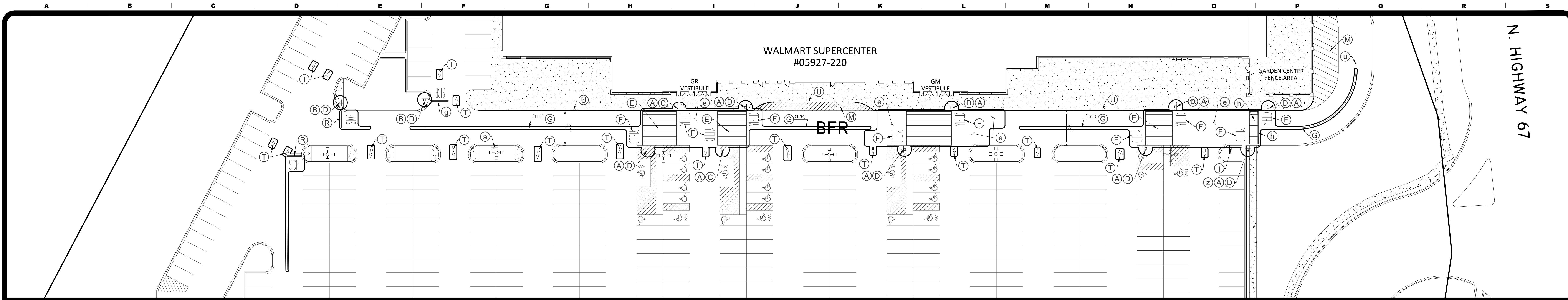
bleng.com
 TELEPHONE: (630) 239-4751
BFA
 Engineering & Surveying
 WASHINGTON, MISSOURI 63090
 103 ELM STREET

10/20/2023
 Rick Rogers
 Registered Professional Engineer for State of Missouri
 BFA, Inc. Professional Engineering Corporation #000472

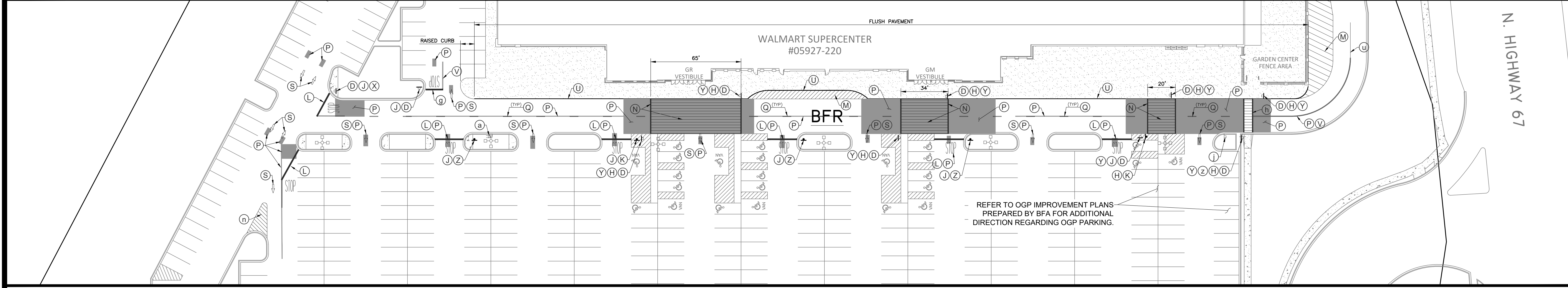
Walmart #05927-220
 3390 N. Highway 67
 Florissant, St. Louis County, Missouri
 Walmart, Inc. c. 2608 SE J Street
 Bentonville, AR 72716

DRAWN	S.A.M.
CHECKED	R.G.R.
DATE	10/20/23
SCALE	1" = 40'
JOB No.	7716
SHEET NAME	

SSM-1



DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTE:
REFERENCE ARCHITECTURAL PLANS FOR
BOLLARD LOCATIONS, TEXTURED
CONCRETE AND DETAILS.

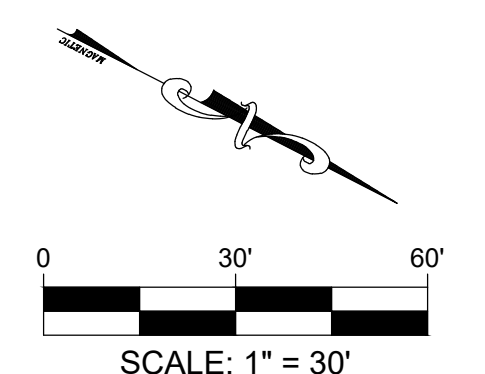
- NOTES TO CONTRACTOR:**
1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
 2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
 3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
 4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

- REFERENCE DETAIL SHEET
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
 - (B) EXISTING STOP SIGN TO BE REMOVED.
 - (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
 - (D) EXISTING SIGN POST AND BASE TO REMAIN.
 - (E) EXISTING CROSSWALK TO BE REMOVED.
 - (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
 - (G) EXISTING CENTERLINE STRIPING AND/OR SINGLE YELLOW STRIPE TO BE REMOVED.
 - (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - (J) NEW 30"x30" STOP SIGN.
 - (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - (L) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
 - (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1) 8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPPED, INCLUDING "NO PARKING FIRE LANE" AND/OR RED STRIPE TO MATCH EXISTING.
 - (P) LIMITS OF SEAL COAT: APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
 - (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
 - (R) EXISTING STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE TO BE REMOVED.
 - (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
 - (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (U) EXISTING FIRE LANE STRIPING AND/OR "NO PARKING FIRE LANE" TEXT TO REMAIN / BE REFRESHED.
 - (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE.
 - (W) EXISTING STOP SIGN TO REMAIN / BE REUSED.
 - (X) EXISTING SIGN TO BE RAISED/OR LOWERED / STRAIGHTENED / RELOCATED TO MATCH CURRENT DETAILS / GUIDELINES.
 - (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
 - (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - (G) EXISTING PICKUP SIGN ATTACHED TO ROW SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.
 - (H) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (I) NEW OGP CROSSWALK MARKINGS - SEE DETAIL.
 - (J) EXISTING CROSSWALK AREA (YIELD PAVEMENT MARKINGS AND CROSSWALK STRIPING) TO BE REMOVED AND THEN RESEALED COMPLETELY.
 - (K) EXISTING "STOP HERE FOR PEDESTRIANS" SIGN TO REMAIN / RE-USED / RELOCATED.
 - (L) EXISTING STOP PAVEMENT MARKINGS, "STOP" TEXT TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
 - (M) EXISTING CROSSWALK TO REMAIN / BE REFRESHED.
 - (N) EXISTING OPEN ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS; AND/OR "ENTER," "EXIT," "ONLY" TEXT TO REMAIN / BE REFRESHED.
 - (O) EXISTING MISCELLANEOUS TRAFFIC AND/OR INFORMATION SIGN TO REMAIN.
 - (P) NEW DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
 - (Q) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.
 - (R) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 4'-0" O.C.
 - (S) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
 - (T) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
 - (U) EXISTING 4" WIDE DOUBLE YELLOW, YELLOW OR WHITE SINGLE AND/OR WHITE AND/OR YELLOW DASHED STRIPE TO REMAIN / BE REFRESHED.
 - (V) EXISTING FOLIAGE THAT IMPEDES VISIBILITY OF DRIVE AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
 - (W) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
 - (X) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.
 - (Y) EXISTING PICKUP SIGN. REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

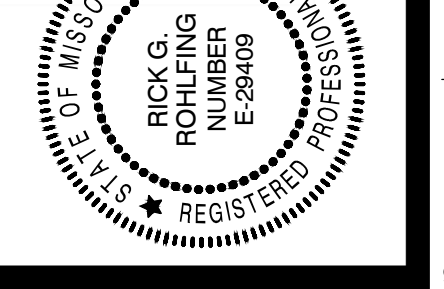
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



REVISIONS	
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Rick Rogers
 Rick G. Rogers, P.E. #29409
 Registered Professional Engineer for
 State of Missouri
 BFA, Inc. Professional Engineering Corporation #000472



Walmart #05927-220
 3390 N. Highway 67
 Florissant, St. Louis County, Missouri
 Walmart, Inc. 2608 SE J Street
 Bentonville, AR 72716

DRAWN	S.A.M.
CHECKED	
DATE	10/20/23
SCALE	1" = 30'
JOB No.	7716
SHEET NAME	

DEMOLITION AND SITE CONSTRUCTION PLAN SECP-1

ACC

ACC

OGP

REFER OGP IMPROVEMENT PLANS PREPARED BY BFA FOR INFORMATION REGARDING OGP PARKING

THERE IS NOT AN ACC AT THIS LOCATION

THERE IS NOT AN ACC AT THIS LOCATION

REFER OGP IMPROVEMENT PLANS PREPARED BY BFA FOR INFORMATION REGARDING OGP PARKING

DEMOLITION PLAN

SITE CONSTRUCTION PLAN

DEMOLITION PLAN

SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
3. EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED SHALL BE REMOVED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

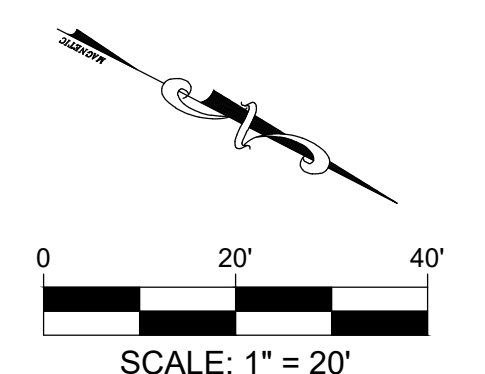
SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST AND BASE TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN.
- (E) EXISTING CROSSWALK TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING AND/OR SINGLE YELLOW STRIPE TO BE REMOVED.
- (H) NEW "STOP HERE FOR PEDESTRIANS" SIGN.
- (J) NEW 30"x30" STOP SIGN.
- (K) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (L) NEW STOP AND/OR "ONLY" TEXT AND/OR STOP BAR WITH 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (M) EXISTING 4" WIDE PAINTED YELLOW STRIPES AT 45° TO REMAIN / BE REFRESHED.
- (N) NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 11'-0" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPPED, INCLUDING "NO PARKING FIRE LANE" AND/OR RED STRIPE TO MATCH EXISTING.
- (P) LIMITS OF SEAL COAT: APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (Q) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 38' GAPS.
- (R) EXISTING STOP BAR / STOP TEXT PAVEMENT MARKINGS / DOUBLE YELLOW AND/OR SINGLE WHITE STRIPE TO BE REMOVED.
- (S) NEW OPEN AND/OR SOLID ARROW PAVEMENT MARKINGS.
- (T) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (U) EXISTING FIRE LANE STRIPING AND/OR "NO PARKING FIRE LANE" TEXT TO REMAIN / BE REFRESHED.
- (V) NEW 4" WIDE DOUBLE SOLID YELLOW AND/OR SINGLE SOLID WHITE STRIPE.
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- (Y) EXISTING SIGN POST AND BOLLARD TO BE REPAINTED.
- (Z) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (1) EXISTING PICKUP SIGN ATTACHED TO ROW SIGN - REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.
- (2) NEW 36"x36" STOP SIGN WITH DOUBLE SIGN MOUNTING, BREAK AWAY POSTS, AND BASES.
- (3) NEW OGP CROSSWALK MARKINGS - SEE DETAIL.
- (4) EXISTING CROSSWALK AREA (YIELD PAVEMENT MARKINGS AND CROSSWALK STRIPING) TO BE REMOVED AND THEN RESEALED COMPLETELY.
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- (11) NEW 4" WIDE PAINTED YELLOW ISLAND WITH 45° STRIPES AT 2'-0" O.C.
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- (13) NEW CROSS TRAFFIC DOES NOT STOP PLAQUE.
- (14) EXISTING SOLID ARROW PAVEMENT MARKING TO BE REVISED / REFRESHED TO MATCH CURRENT DETAILS.
- (15) EXISTING 4" WIDE DOUBLE YELLOW, YELLOW OR WHITE SINGLE AND/OR WHITE AND/OR YELLOW DASHED STRIPE TO REMAIN / BE REFRESHED.
- (16) EXISTING FOULAGE THAT IMPEDES VISIBILITY OF DRIVE AND/OR SIGNAGE TO BE TRIMMED / PRUNED.
- (17) EXISTING NO PARKING FIRE LANE SIGN TO REMAIN.
- (18) EXISTING PICKUP GRAPHIC AND ORANGE ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (19) EXISTING PICKUP SIGN - REFER TO OGP IMPROVEMENTS PLANS FOR ADDITIONAL INFORMATION.

Three working days prior to the start of any excavation on this site the Contractor shall contact 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



REVISIONS	
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Rick Roeder
 Rick G. Roeder, P.E. #29409
 Registered Professional Engineer for State of Missouri
 BFA, Inc. Professional Engineering Corporation #000472
 10/20/2023

Walmart #05927-220
 3390 N. Highway 67
 Florissant, St. Louis County, Missouri
 Walmart, Inc. 2608 SE J Street
 Bentonville, AR 72716

DRAWN	S.A.M.
CHECKED	R.G.R.
DATE	10/20/23
SCALE	1"=20'
JOB No.	7716
SHEET NAME	

DEMOLITION AND SITE CONSTRUCTION PLAN SECP-2

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10/20/2023 10:12 AM

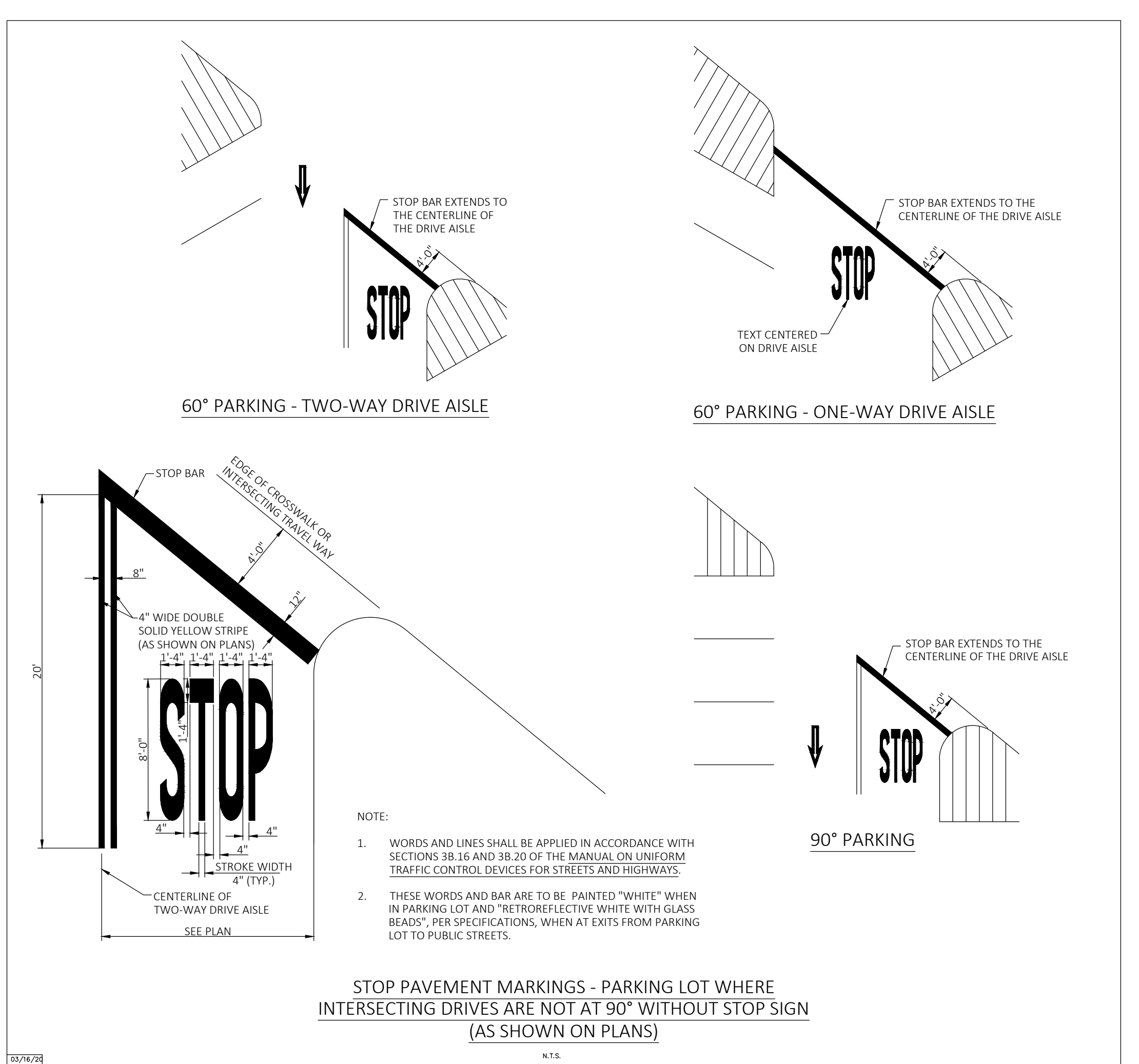
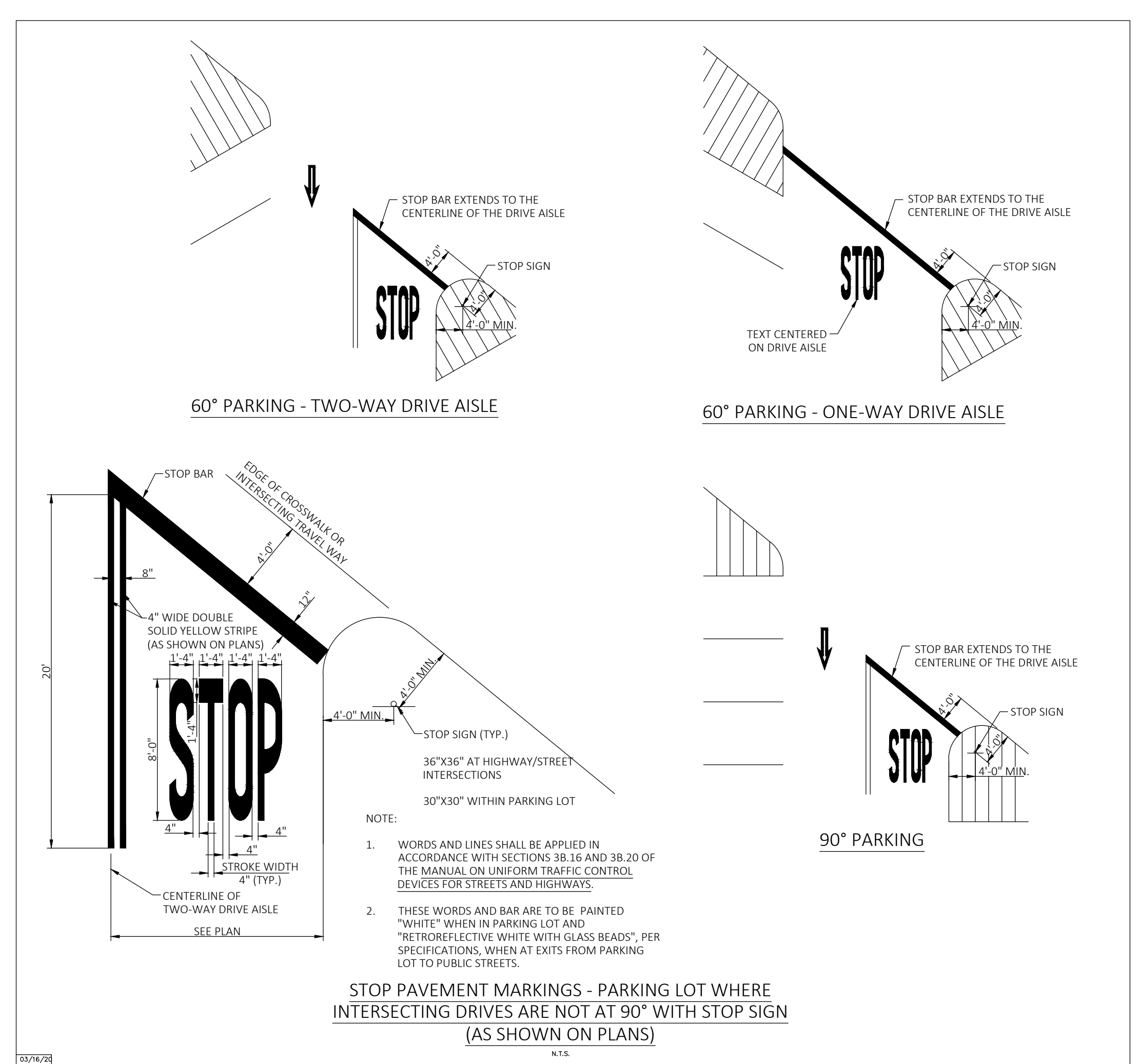
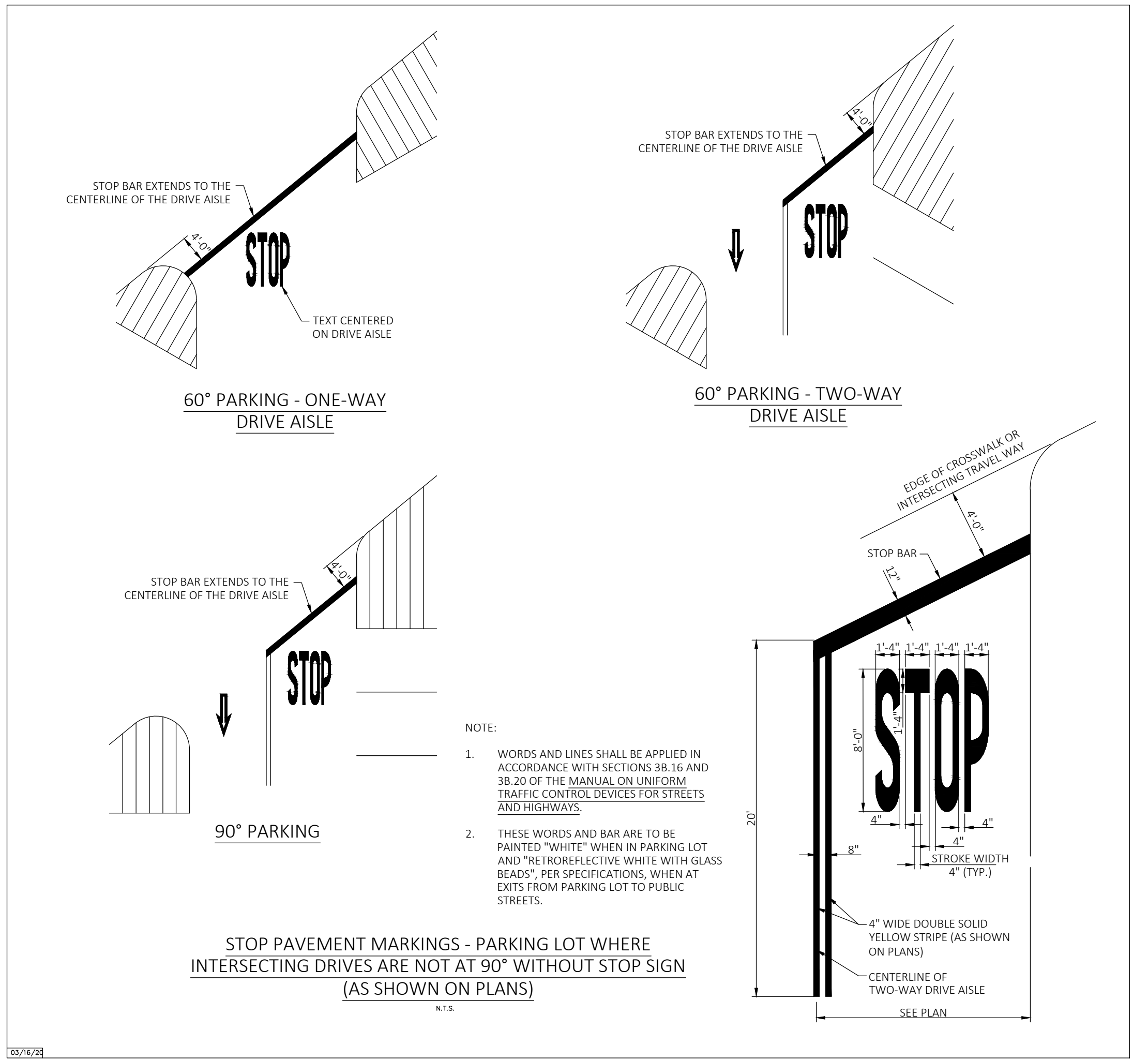
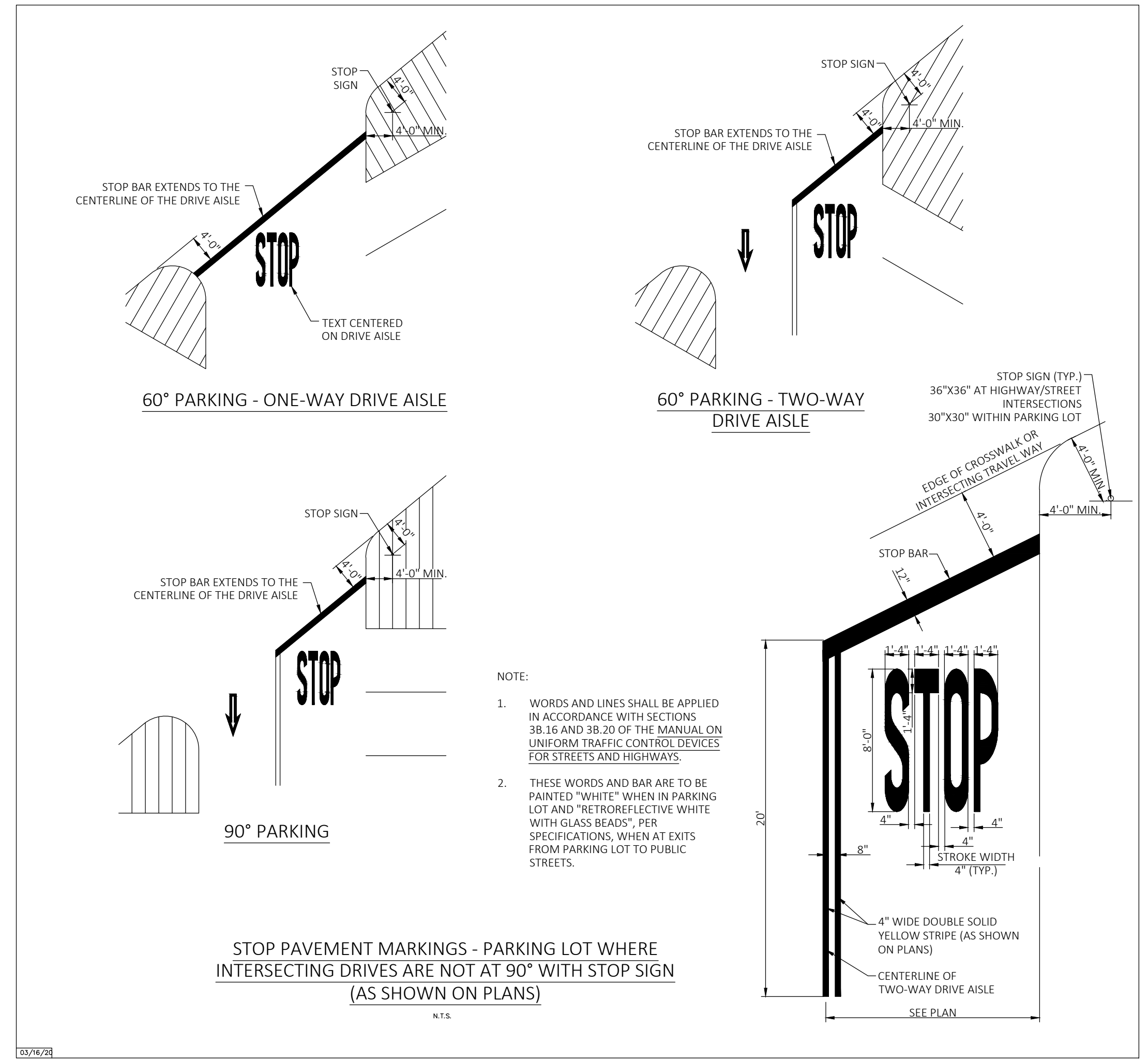
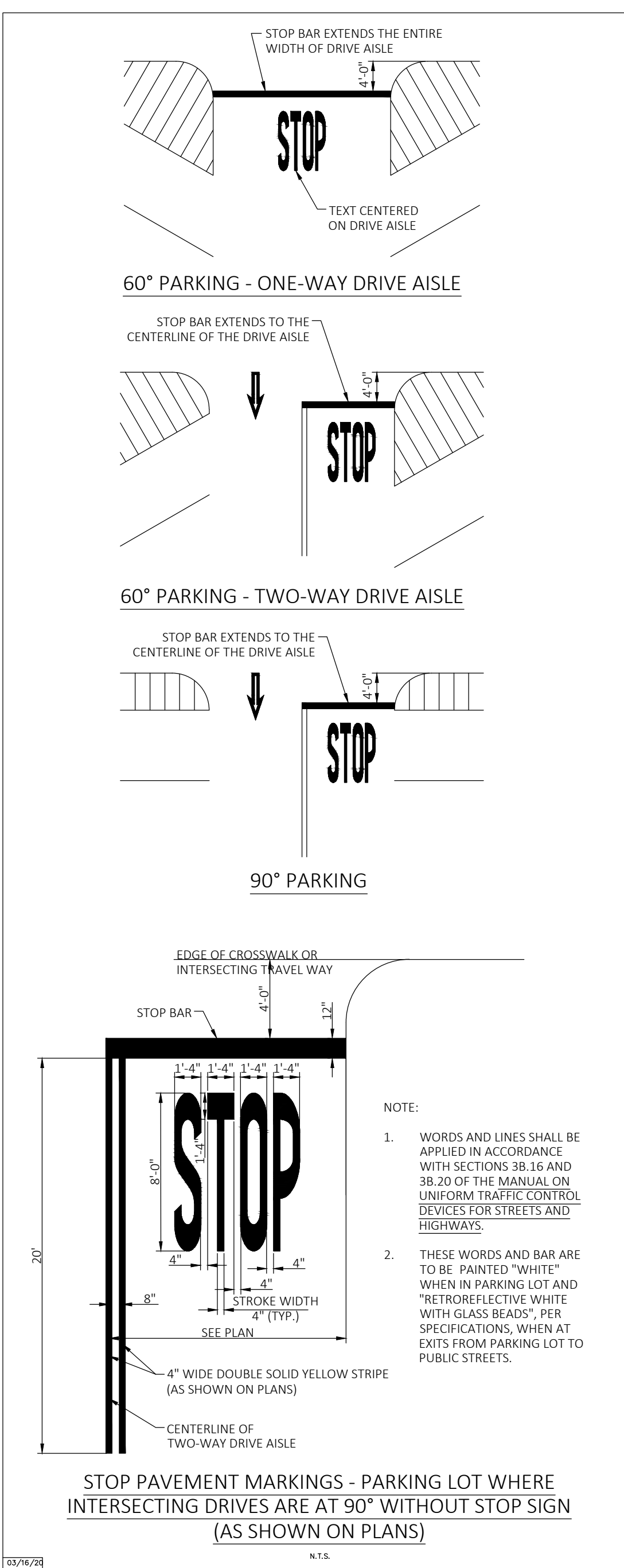
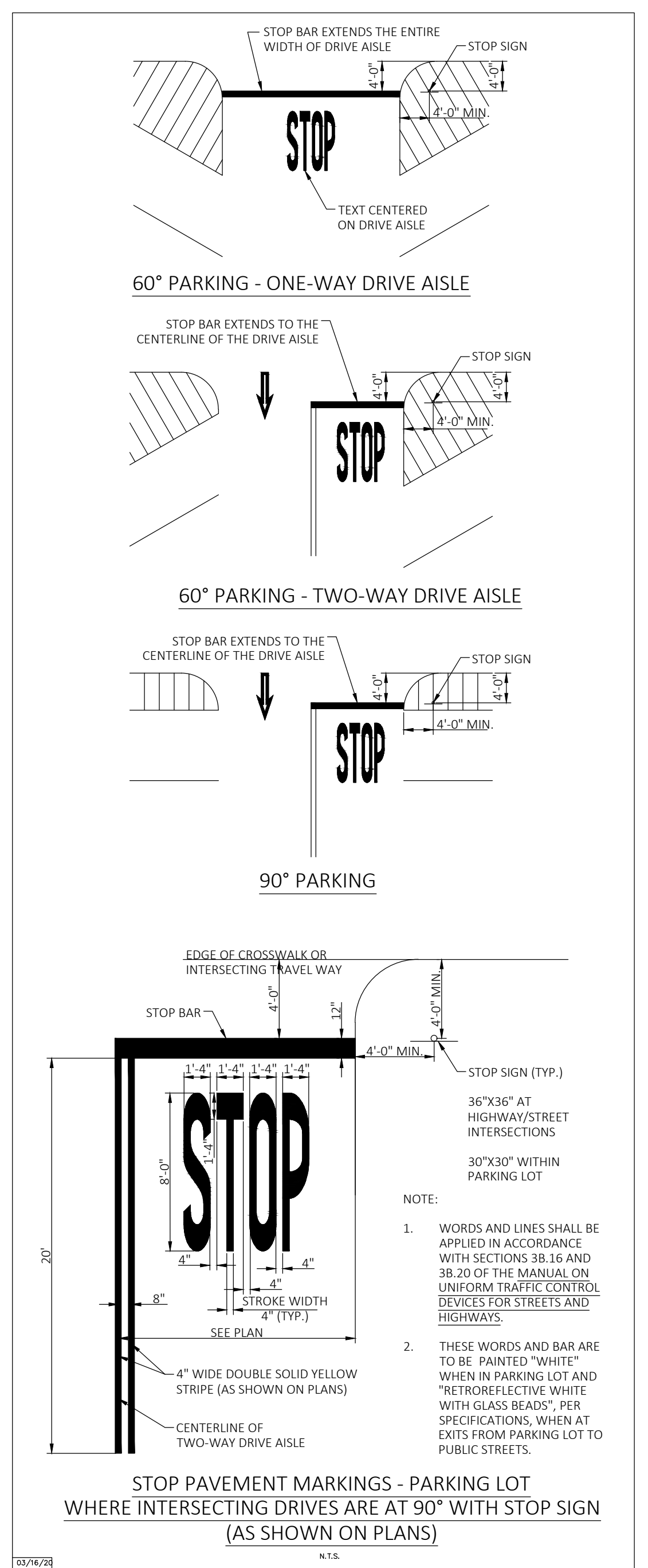
REVISIONS	
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BFA Engineering & Surveying
WASHINGTON, MISSOURI 63090
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10/20/2023
Rick G. Roeloffs, P.E. #29409
Registered Professional Engineer for State of Missouri
BFA, Inc. Professional Engineering Corporation #000472

Walmart #05927-220
3390 N. Highway 67
Florissant, St. Louis County, Missouri
Walmart, Inc. 2608 SE J Street
Bentonville, AR 72716

DRAWN S.A.M.
CHECKED R.G.R.
DATE 10/20/23
SCALE NO SCALE
JOB No. 7716
SHEET NAME SECP/SSM DETAILS 2

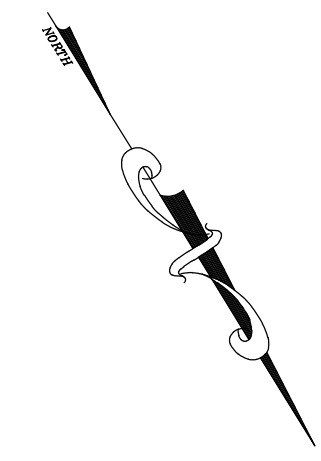
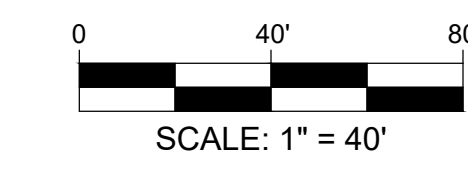


Three working days prior to the start of any excavation on this site the Contractor shall contact 81.1 for utility location information.
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET

OVERALL SITE PLAN

(IMAGE BASED ON GOOGLE MAPS AERIAL)



NOTES:
BFA ENGINEERING'S SCOPE OF WORK FOR REVISED SITE PLAN INCLUDES DESIGN AND IMPROVEMENTS WHICH ARE LIMITED ONLY TO HIGHLIGHTED AREAS. ORIGINAL PROVIDED SITE PLAN WAS DESIGNED BY OTHERS AND/OR AERIAL PHOTO TAKEN FROM GOOGLE.

PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO SCALE.

ACTUAL SITE FEATURES MAY BE DIFFERENT THAN THOSE SHOWN ON THIS AERIAL PHOTO, INCLUDING BUT NOT LIMITED TO PARKING, UTILITIES, LANDSCAPING, LIGHTING, SIDEWALKS, ETC.

PICKUP DIRECTIONAL SIGNAGE HAS ALREADY BEEN INSTALLED ON THIS SITE. NEW WALMART BLUE SIGNS, POSTS, AND BASES ARE REQUIRED.



CONSTRUCTION COORDINATION

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

DEWATERING NOTE: WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE, AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFIC SPECIFICATIONS.

PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	
WAITING SPACES RIGHT	18 X 24	
WAITING SPACES AHEAD	18 X 24	
RESERVED WAITING	18 X 24	
PICKUP LEFT PHARMACY RIGHT	18 X 24	
PICKUP RIGHT PHARMACY LEFT	18 X 24	
STOP THANKS FOR ORDERING	18 X 36	
PICKUP HOURS	18 X 36	
RESERVED	18 X 18	
PHONE NUMBER	8 X 18	
VERTICAL PICKUP	18 X 36	
PICKUP LEFT	18 X 24	1
PICKUP AHEAD	18 X 24	
PICKUP RIGHT	18 X 24	
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	1
TEMPORARY PARKING SIGN WITH PYRAMID BASE	24 X 60	

CONTRACTOR SHALL REMOVE PAVEMENT, BASE MATERIALS, AND SPOIL MATERIALS IMMEDIATELY FROM THE SITE IN A MANNER MEETING SITE SPECIFIC SPECIFICATIONS AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. STOCKPILING OF THESE MATERIALS ON THE SITE IS PROHIBITED.

CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES
THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.
ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved site-plan requirements established for the type of construction required by these plans.

REVISIONS

NO.	DATE	BY	APP.
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10/20/23
Rick C. Rohlfing, P.E. #29409
Registered Professional Engineer for
BFA, Inc. Professional Engineering Corporation #000472

Walmart #05927-220
3390 N HWY 67
Florissant, St. Louis County, Missouri
Walmart, Inc. 2608 SE J Street
Bentonville, AR 72716

DRAWN: C.M.W.
CHECKED: R.G.R.
DATE: 10/20/2023
SCALE: 1" = 40"
JOB No.: 7716A
SHEET NAME: OVERALL SITE PLAN

OSP-1

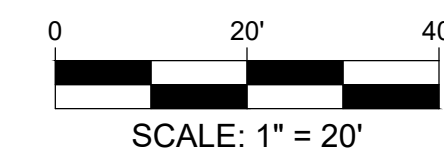
EXISTING CONDITIONS / DEMOLITION PLAN

WALMART SUPERCENTER
#05927-220
F.F.E. ~ 515.00

STRIPING / SITE PLAN

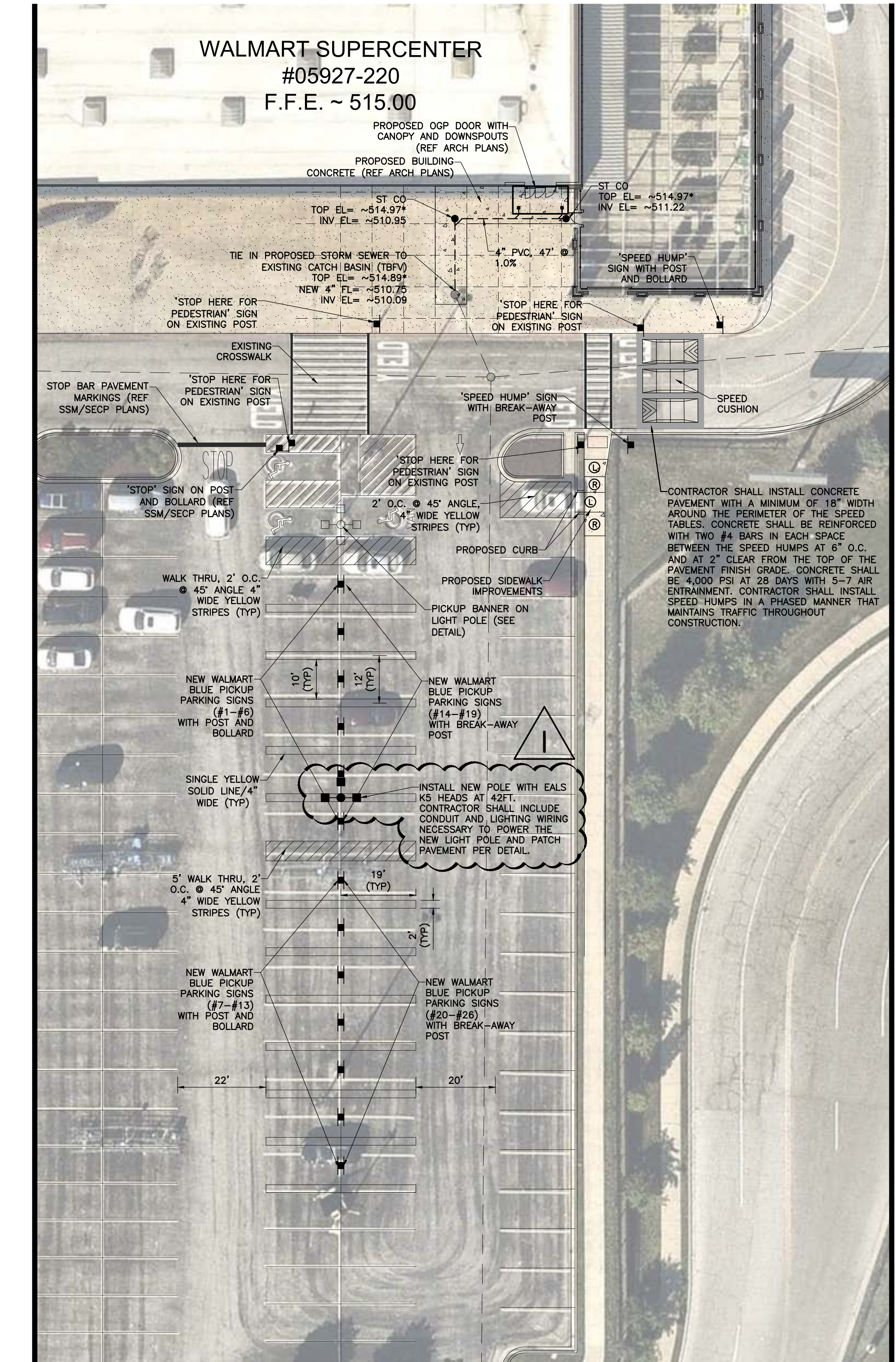
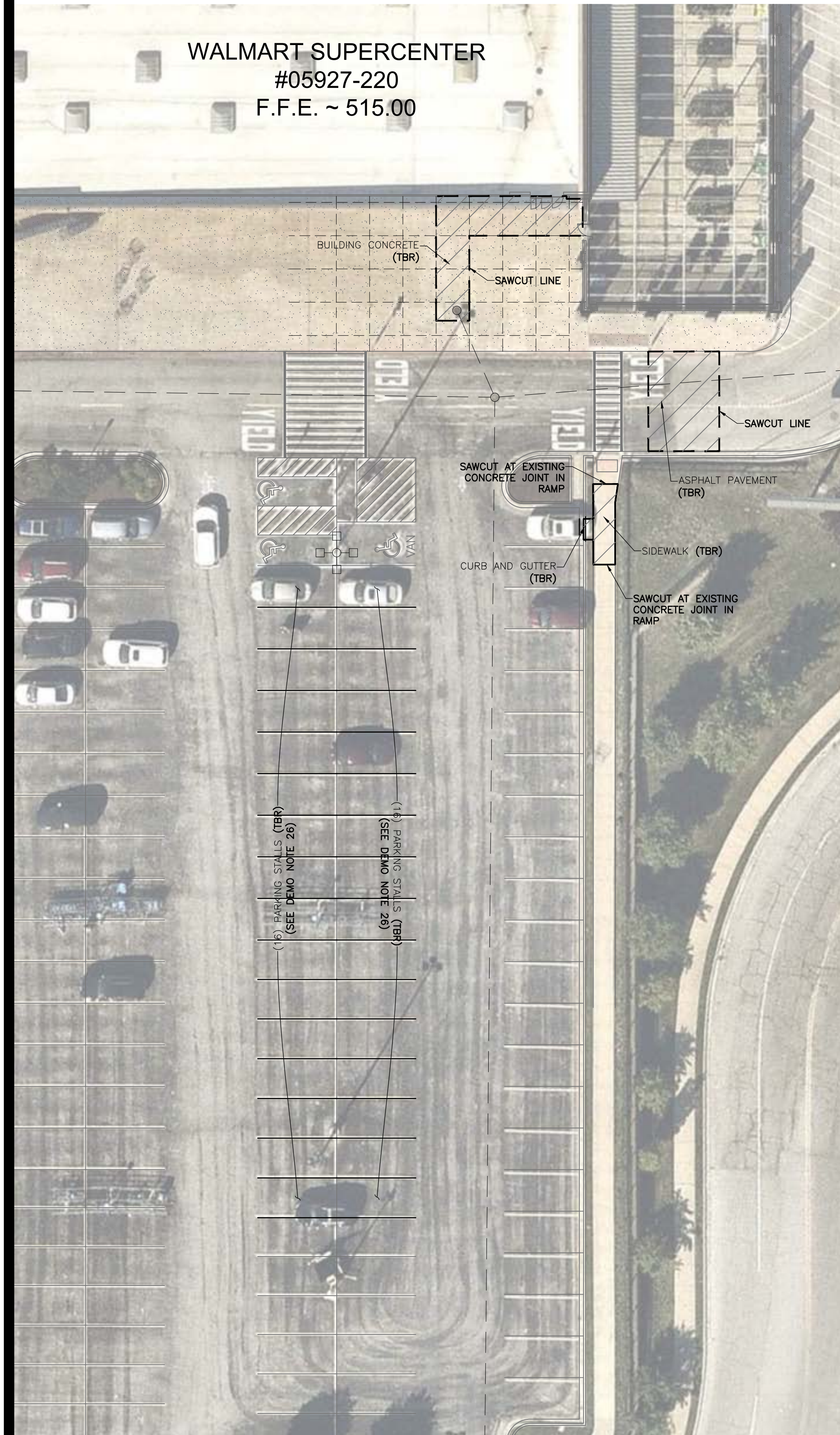
WALMART SUPERCENTER
#05927-220
F.F.E. ~ 515.00

OGP IMPROVEMENT PLAN



REVISIONS

PR #	DATE	BY	APP.
1	01/19/24	By: C.M.W.	App: R.G.R.
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EXISTING CONDITIONS NOTES:

- BFA performed a site visit on 09/20/2023 for this project as part of the P24 Remodel Program. BFA did not measure pavement elevations, grades, or conditions, and we did not review or determine if there were any existing utilities that may be within this project's scope of work during this site visit.
- Contractor shall determine exact location of underground utilities prior to drilling, boring, excavating, or driving for columns, footings, signs, proposed utilities, etc. Contractor shall notify BFA and Walmart Construction Manager immediately of any conflicts with proposed improvements as indicated on these plans.

UNDERGROUND FACILITIES, STRUCTURES, UTILITIES, SURFACE ELEVATIONS, EASEMENTS, ETC. THAT MAY BE ON THESE DRAWINGS HAVE BEEN SCALED FROM AVAILABLE AERIAL PHOTOS. A TOPOGRAPHIC SURVEY WAS NOT PERFORMED FOR THE PREPARATION OF THESE PLANS. THEREFORE, SITE FEATURE LOCATIONS AS SHOWN HEREON MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. EXACT LOCATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR THAT WILL BE PERFORMING THE WORK. CONTRACTOR SHALL NOTIFY BFA AND WALMART OF ANY DISCREPANCIES OF ACTUAL UTILITY LOCATIONS AND SITE FEATURES FROM THOSE AS SHOWN HEREON AS WELL OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DEMOLITION PLAN NOTES:

- The Contractor shall conform to all applicable state and local codes for demolition of structures, safety of adjacent structures, dust control, and sediment and erosion control during construction.
- The Contractor shall verify that all required permits and licenses from appropriate authorities have been obtained prior to construction.
- The Contractor shall notify and coordinate scheduling with affected utility companies before starting work and comply with their requirements.
- The Contractor shall not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- The Contractor shall accurately record actual locations of capped utilities and subsurface obstructions that will remain after demolition.
- The Contractor shall provide, erect, and maintain sediment and erosion control devices, temporary barriers, and security devices during construction.
- The Contractor shall protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Any damage caused by demolition operations shall be repaired by the Contractor at no cost to Owner.
- The Contractor shall protect and maintain in a safe and operable condition utilities that are to remain. The Contractor shall prevent interruption of existing utility services to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. The Contractor shall provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- The Contractor shall notify adjacent owners of work that may affect their property, potential noise, utility outages or disruptions.
- Completely fill below grade areas and voids resulting from demolition or removal of structures, and/or utilities, using approved select fill materials consisting of stone, gravel, and sand. Fill materials shall be free from debris, trash, frozen materials, roots, and other organic matter.
- All items that are to remain shall be raised or lowered to match the new grade indicated to be flush with the surrounding pavement. (i.e. manhole rims, valve covers, grates, etc.) Contractor shall protect all items that are to remain throughout construction and shall replace and/or repair any item damaged during construction at no additional cost to the owner.
- Unless noted otherwise, utilities designated to be removed shall be removed in their entirety. Trenches shall then be backfilled and compacted as per the site work specifications.
- Should hazardous materials be found during demolition operations, the Contractor shall notify the owner and all governing agencies, if necessary, and conform to all applicable regulatory procedures.
- The Contractor shall provide, install, and maintain traffic control at all times during construction. This includes signs, barriers, construction fencing, striping, etc. necessary to safely control site traffic.
- The Contractor shall keep the premises clean and free of debris during construction.
- The Contractor shall maintain pedestrian safe access between the building and the parking lot at all times during construction. The Contractor shall coordinate all work which may affect customer access to the store with the Walmart Store Manager and the Walmart Construction Manager.
- The fire protection for the site shall remain in service at all times during construction.
- All survey monuments disturbed during construction shall be replaced by a licensed land surveyor, licensed in the state where this project is located.
- The edges of all pavement and curb sections to be removed shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. Depending on Contractors Means and Methods, this may mean more than one sawcut will be necessary. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of debris will not be permitted.
- The site work for this project shall meet or exceed "The Site Specific Specifications".
- The Contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in the low areas on the site may be required during construction.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- The demolition plan is intended to provide general information, only, regardless items to be demolished and/or removed. The contractor must also review the other site plan drawings and include in demolition activities all incidental work necessary for the construction of the new site improvements.
- Contractor shall determine exact location of underground utilities prior to drilling, boring, excavating, or driving for columns, footings, signs, proposed utilities, etc. Contractor shall notify BFA and Walmart Construction Manager immediately of any conflicts with proposed improvements as indicated on these plans.
- Contractor shall compact subgrade and pavement/sidewalk base material prior to placing new pavement and/or sidewalk. Pavement and sidewalk section shall match existing thicknesses unless otherwise shown on these plans. Concrete shall be 4000 PSI min.
- Striping that is to be removed shall be removed in its entirety and then have a seal coat placed over that area. Limits of seal coat: Apply coat over all striping (including where striping was removed and where new striping and pavement markings will be applied). Apply new striping and pavement markings over seal coat.

DEMOLITION PLAN NOTES:

- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions are to the face of curb and radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and wiring as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- All signing and pavement striping must conform to manual on uniform traffic control devices or locally approved supplement.
- Location of existing site lighting conduit/underground wiring is not known. Contractor shall have private locate performed and reroute lighting conduit and wiring as required. Lighting shall remain operational throughout construction. Any temporary utilities shall be provided by the Contractor as needed to maintain operation of light poles.
- Contractor shall determine exact location of underground utilities prior to drilling, boring, excavating, or driving for columns, footings, signs, proposed utilities, etc. Contractor shall notify BFA and Walmart Construction Manager immediately of any conflicts with proposed improvements as indicated on these plans.
- The Contractor shall provide, install, and maintain traffic control at all times during construction. This includes signs, barriers, construction fencing, striping, etc. necessary to safely control site traffic.
- Striping that is to be removed shall be removed in its entirety and then have a seal coat placed over that area. Limits of seal coat: Apply coat over all striping (including where striping was removed and where new striping and pavement markings will be applied). Apply new striping and pavement markings over seal coat.
- The proposed OGP parking improvements as shown hereon result in a reduction of 8 parking spaces on the site.

ADA INSTRUCTIONS TO CONTRACTOR:
Contractors shall exercise appropriate care and precision in construction of ADA (handicap) accessible components and access routes for the site. These components, as construction, must comply with the current ADA Standards and regulations' barrier free access and any modifications, revisions or updates to same. Finished surfaces along the accessible route of travel from parking space, public transportation, pedestrian access, inter-building access, to points of accessible building entrance/exit, must comply with these ADA code requirements. These included, but are not limited to the following:

- Parking spaces and parking aisles - slope shall not exceed 1:50 (1/4" per foot or nominally 2.0%) in any direction.
- Curb ramps - slope shall not exceed 1:12 (8.3%). And have a rise of no more than six inches without a handrail.
- Landings - shall be provided at each end of ramps, must provide positive drainage, and must not exceed 1:50 (1/4" per foot or nominally 2.0%) in any direction.
- Path of travel along accessible route - must provide a 36-inch or greater unobstructed width of travel (car overhangs and/or handrails cannot reduce this minimum width). The slope must be no greater than 1:20 (5.0%). ADA ramp requirements must be adhered to. A maximum slope of 1:12 (8.3%), for a maximum rise of 2.5 feet, shall be provided. The ramp must have ADA hand rails and 60" L Landings on each end that are cross sloped no more than 1:50 in any direction (1/4" per foot or nominally 2.0%) for positive drainage.
- Doorways - must have a "level" landing area on the exterior side of the door that is sloped away from the door no more than 1:50 (1/4" per foot or nominally 2.0%) for positive drainage. This landing area must be no less than 60 inches (5 feet) long, except where otherwise permitted by ADA Standards for alternative doorway opening conditions. (See ICC/ANSI A117.1-2009 and other referenced incorporated by COD).
- When the proposed construction involves reconstruction, modification, revision or extension of or to ADA components from existing doorways or surfaces, contractor must verify existing elevations shown on the plan. Note that ADA 405.2 of the Department of Justice's ADA Standards for Accessible Design allows for steeper ramp slopes, in rare circumstances. The Contractor must immediately notify the design engineer of any discrepancies and/or field conditions that differ in any way or any respect from what is shown on the plans, in writing, before commencement of work. Constructed improvements must fall within the maximum and minimum limitations imposed by the barrier free regulations and the ADA requirements.
- The Contractor must verify the slopes of the Contractor's forms prior to pouring concrete. If any non-conformance is observed or exists, Contractor must immediately notify the engineer prior to pouring concrete. Contractor is responsible for all costs to remove, repair and replace non-conforming concrete.

SPOT GRADE LEGEND

TOP OF CURB/CONCRETE	000.000E
TOP OF PAVEMENT	000.000P
INTERIOR PAVEMENT/ GROUND ELEVATIONS	000.00
GUTTER ELEVATION @ FACE OF CURB	000.00E
TOP OF PAVEMENT ELEVATION/MATCH EXISTING PAVEMENT ELEVATION	000.000P*

CONSTRUCTION COORDINATION

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

DEMATERING NOTE: WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE, AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFIC SPECIFICATIONS.

CONTRACTOR SHALL REFER TO SECP-1 AND SECP-2 PLAN SHEETS FOR ADDITIONAL INFORMATION AND IMPROVEMENTS

CONTRACTOR SHALL REMOVE PAVEMENT, BASE MATERIALS, AND SPOIL MATERIALS IMMEDIATELY FROM THE SITE IN A MANNER MEETING SITE SPECIFIC SPECIFICATIONS AS WELL AS APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. STOCKPILING OF THESE MATERIALS ON THE SITE IS PROHIBITED.

CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

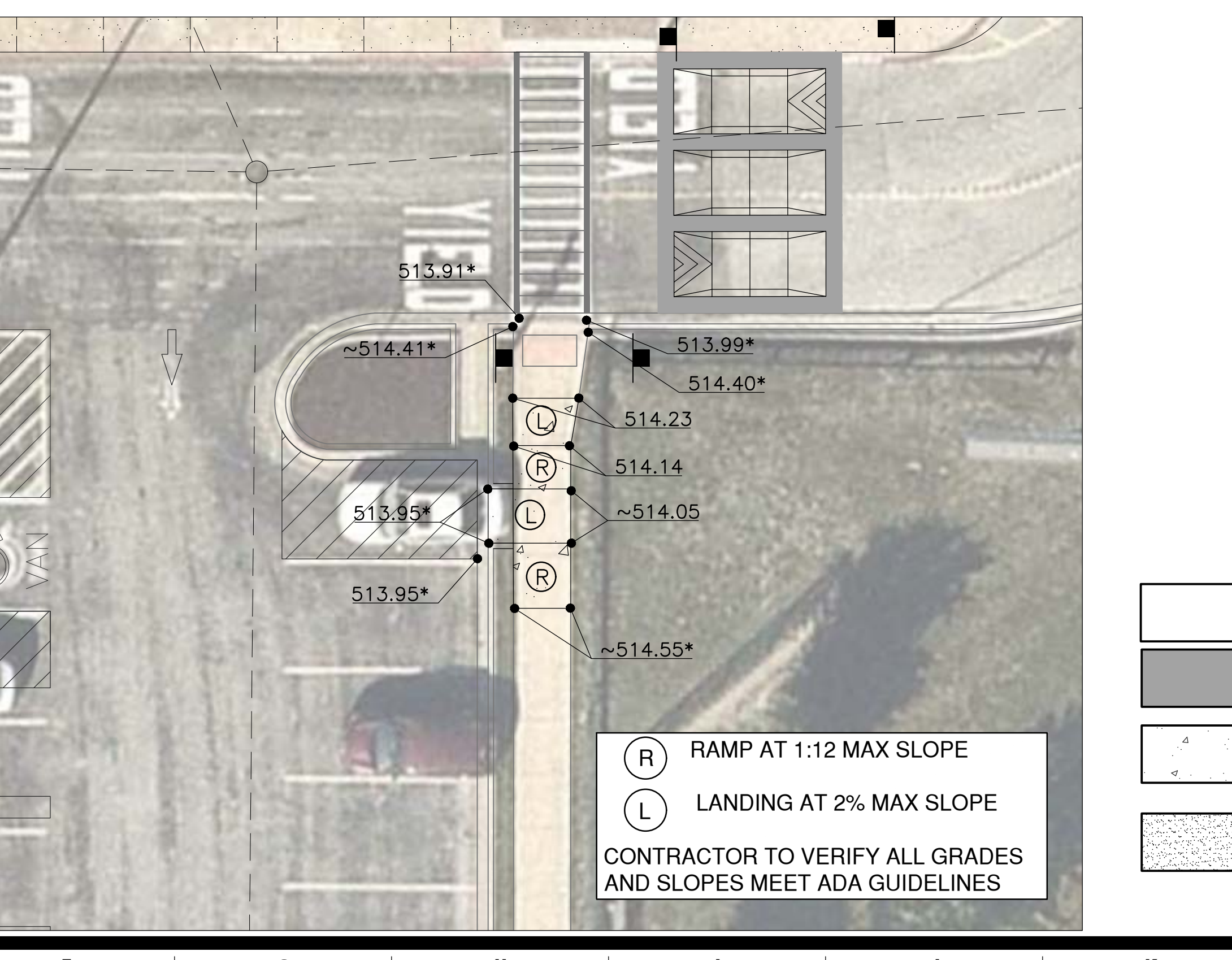
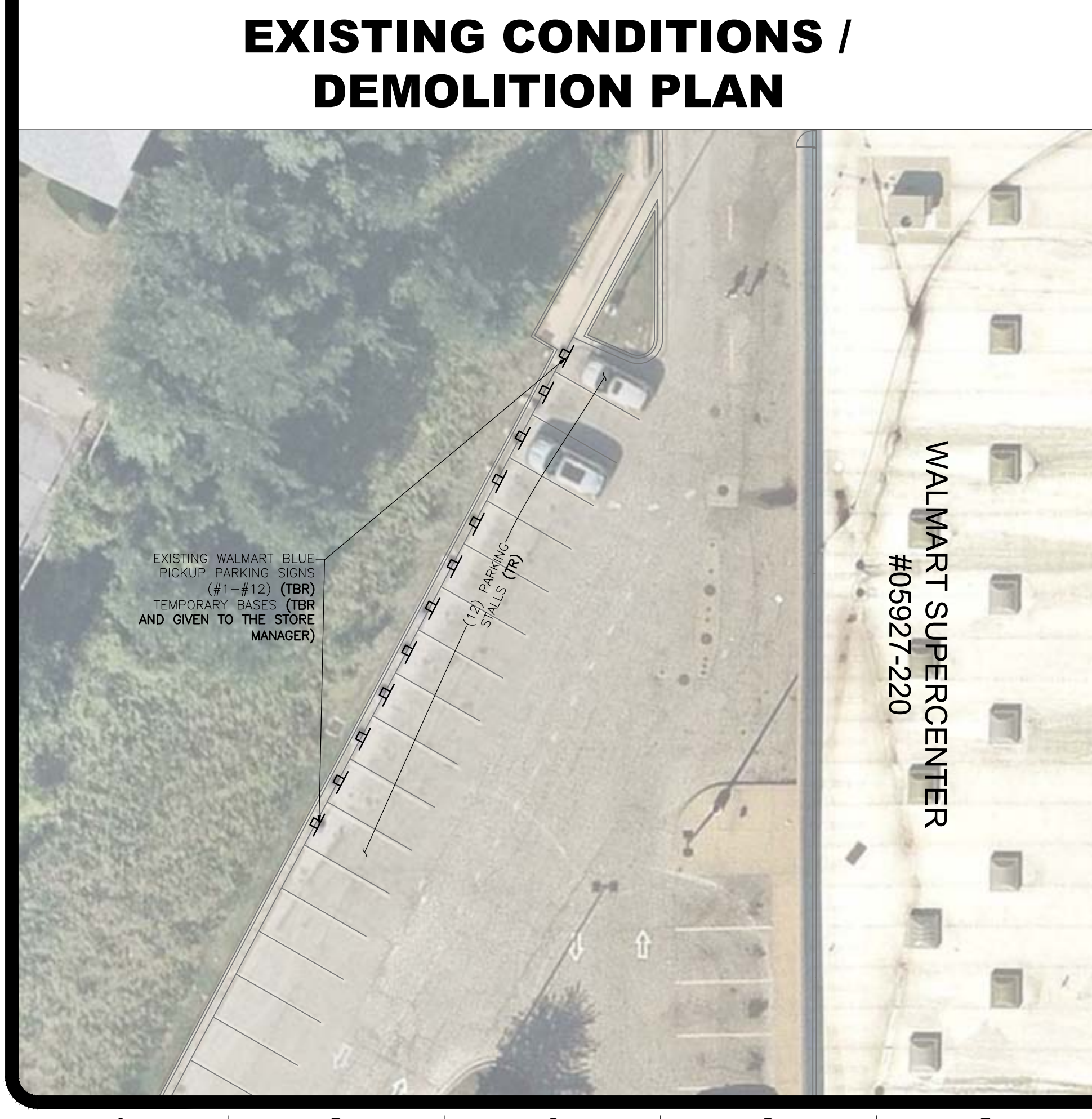
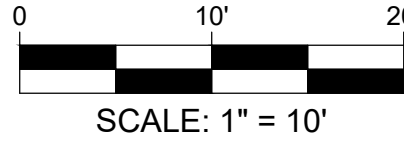
ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan requirements established for the type of construction required by these plans.

EXISTING CONDITIONS / DEMOLITION PLAN

SIDEWALK GRADING PLAN



PARKING DATA TABLE

EXISTING PARKING COUNT = 801
EXISTING BUILDING AREA = 169,426 SF
EXISTING PARKING RATIO = 4.73

AHJ REQUIRED PARKING RATIO = 4.0 SP/1,000 SF
AHJ REQUIRED PARKING COUNT = 678
ORDINANCE #8252 REQUIRED PARKING COUNT = 811

POST OGP IMPROVEMENTS PARKING COUNT = 793
POST OGP IMPROVEMENTS BUILDING AREA = 169,426 SF
POST OGP IMPROVEMENTS PARKING RATIO = 4.69

PARKING COUNTS AND BUILDING AREAS SHALL BE CONSIDERED APPROXIMATE

PAVEMENT LEGEND

	EXISTING STANDARD DUTY PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	EXISTING BUILDING & SIDEWALK CONCRETE (SEE ARCH. PLANS AND SPECS.)
	EXISTING BUILDING & SIDEWALK CONCRETE (SEE ARCH. PLANS AND SPECS.)

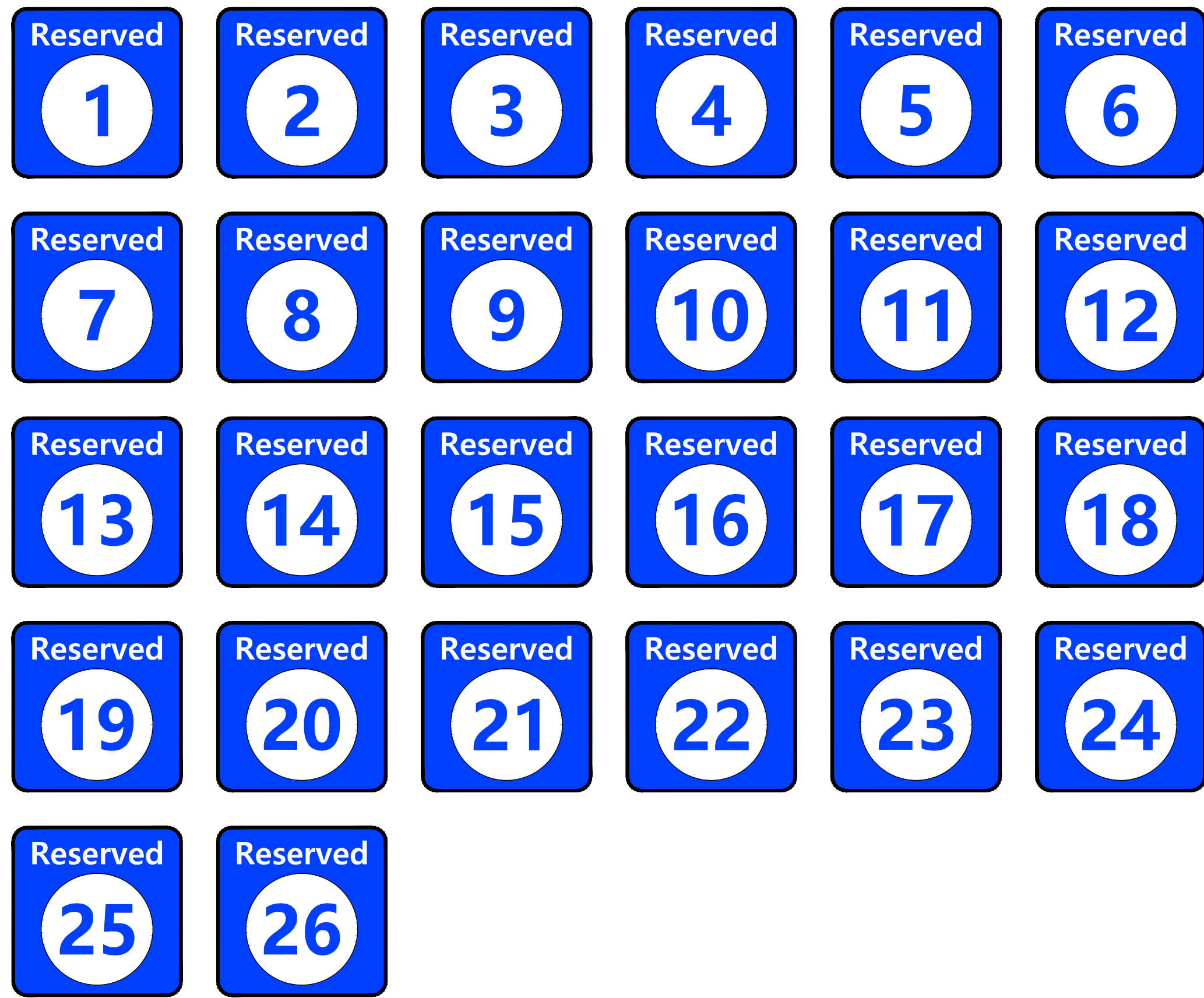
DESCRIPTION	LEGEND	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—	—UT—
GAS LINE	—G—	—G—	—G—
WATERLINE	—W—	—W—	—W—
SANITARY SEWER	—SS—	—SS—	—SS—
STORM SEWER	=====	=====	=====
PROPERTY LINE	=====	=====	=====
CHANLINK FENCE	—X—X—X—	—X—X—X—	—X—X—X—
BARBWARE FENCE	—X—X—X—	—X—X—X—	—X—X—X—
CONTOURS	(100)	—100—	—100—
UTILITY POLE	•	•	•
GUARD POST	⊙	⊙	⊙

Walmart #05927-220
3390 N HWY 67
Florissant, St. Louis County, Missouri
Walmart, Inc. 2608 SE J Street
Bentonville, AR 72716

DRAWN: C.M.W.
CHECKED: R.G.R.
DATE: 10/20/2023
SCALE: 1" = 20"
JOB No.: 7716A
SHEET NAME: OGP IMPROVEMENT PLAN

OIP-1

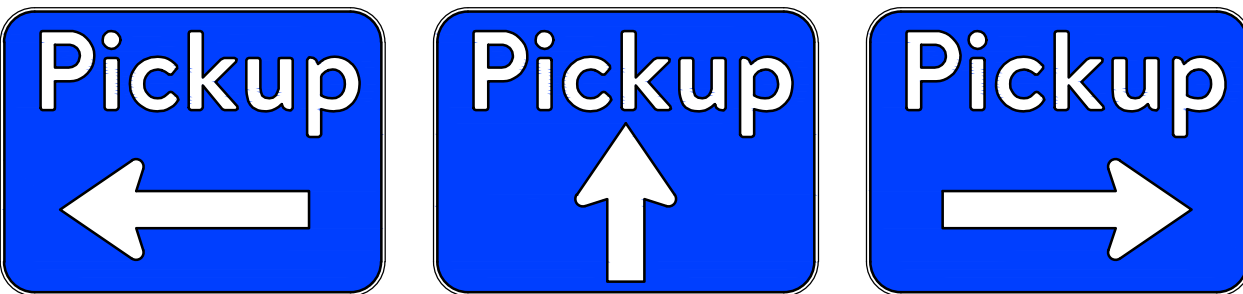
F:\1487_029\7716A Florissant, MO 05927-220\OGP Improvement Plan - Florissant, MO 05927-220.dwg
1/16/2024 2:40 PM



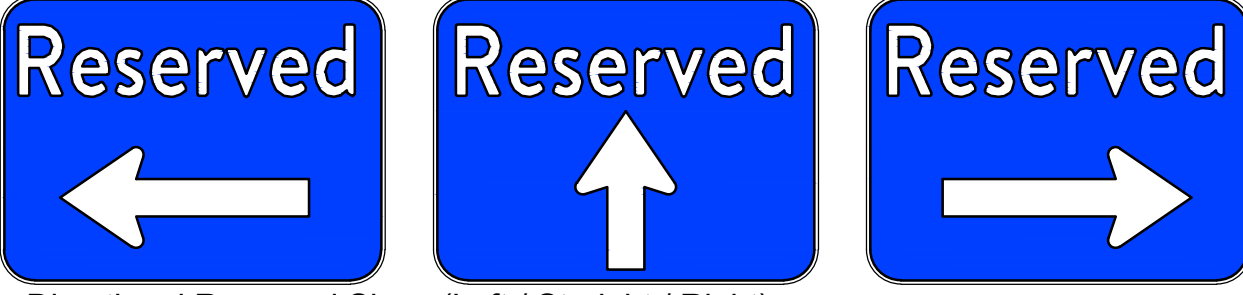
Stall Designation Signs
18" x 18" 2.25 SF



Logo Signs (Small) 18" x 8" 1.00 SF
Logo Signs (Large) Also Pickup Hours sign size 36" x 18" 4.50 SF
*NTD: Use if AHJ does not allow Spark



Directional Signs (Left / Straight / Right) 18" x 24" 3.00 SF



Directional Reserved Signs (Left / Straight / Right) 18" x 24" 3.00 SF

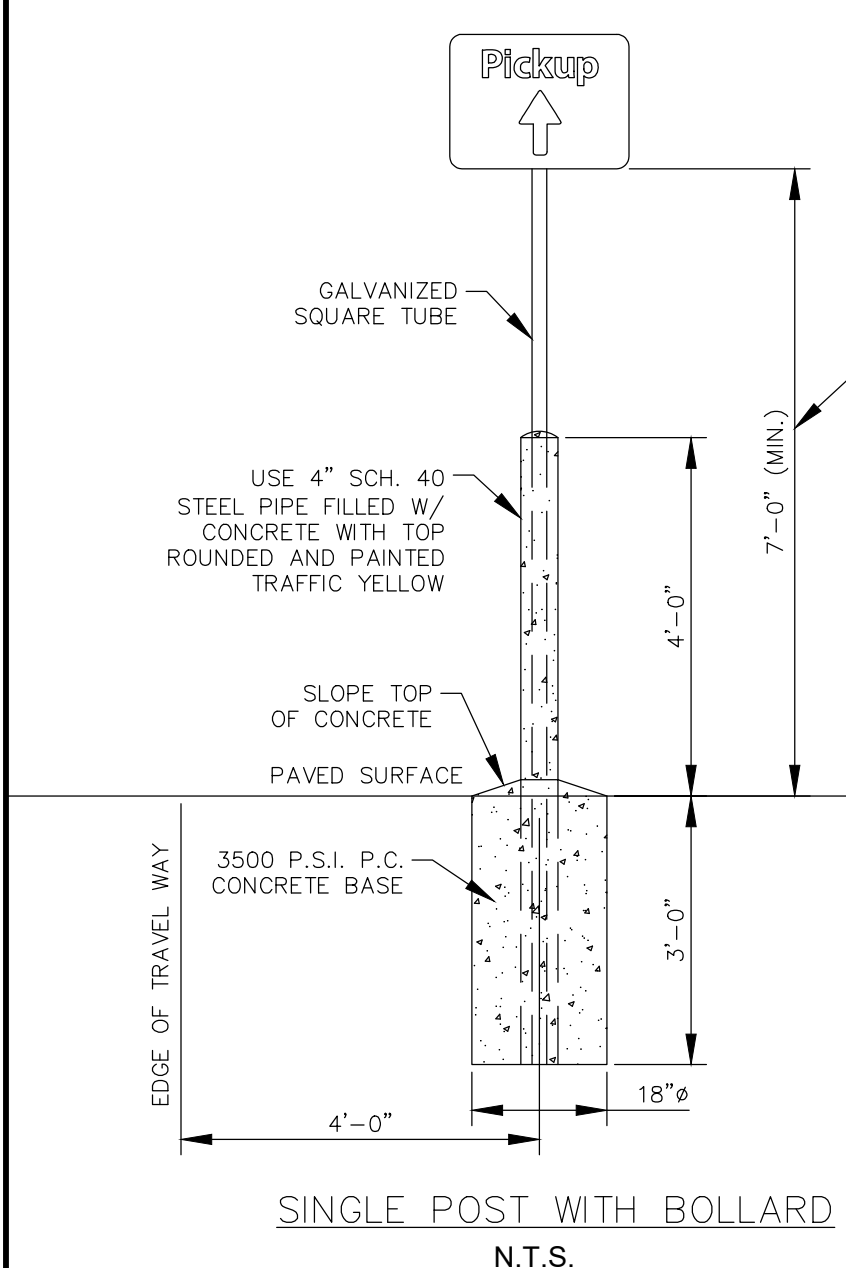


Parking Stall Placard
SIGNIS FURNISHED BY WALMART. ATTACHMENT TO WALL OR BOLLARD BY G.C.

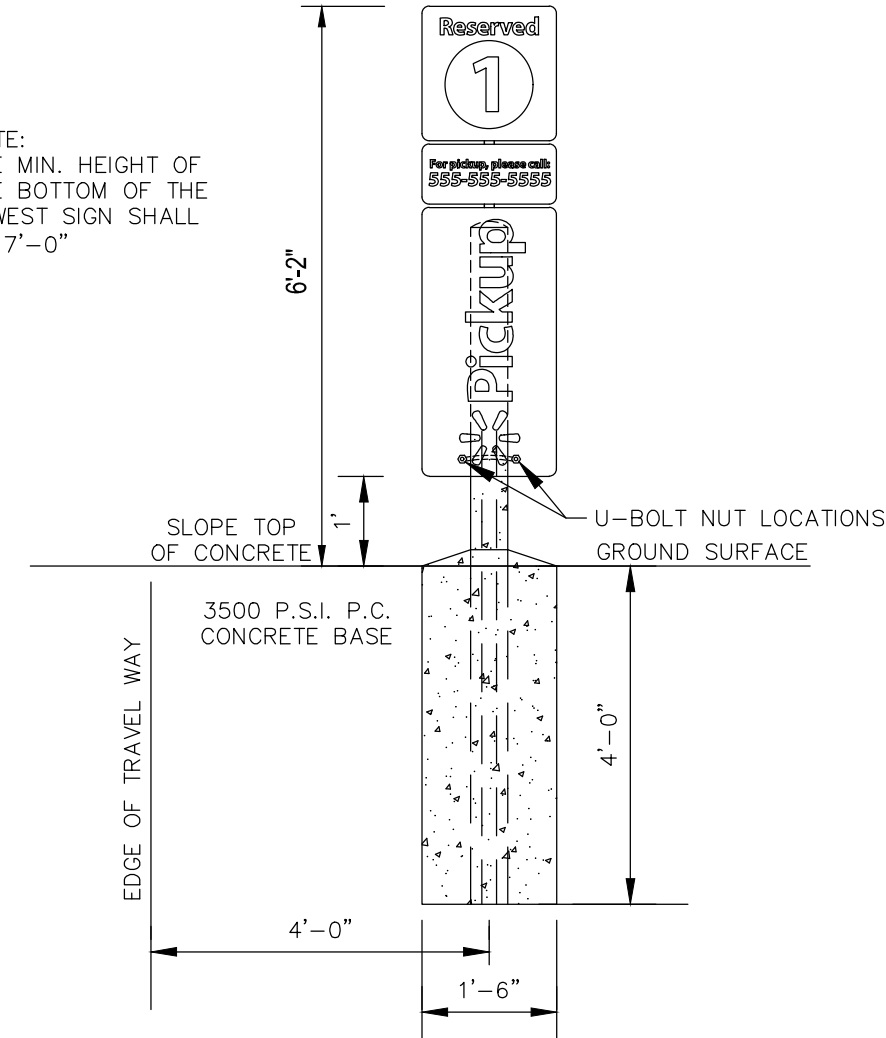


Informational Signs 18" x 36" 4.50 SF

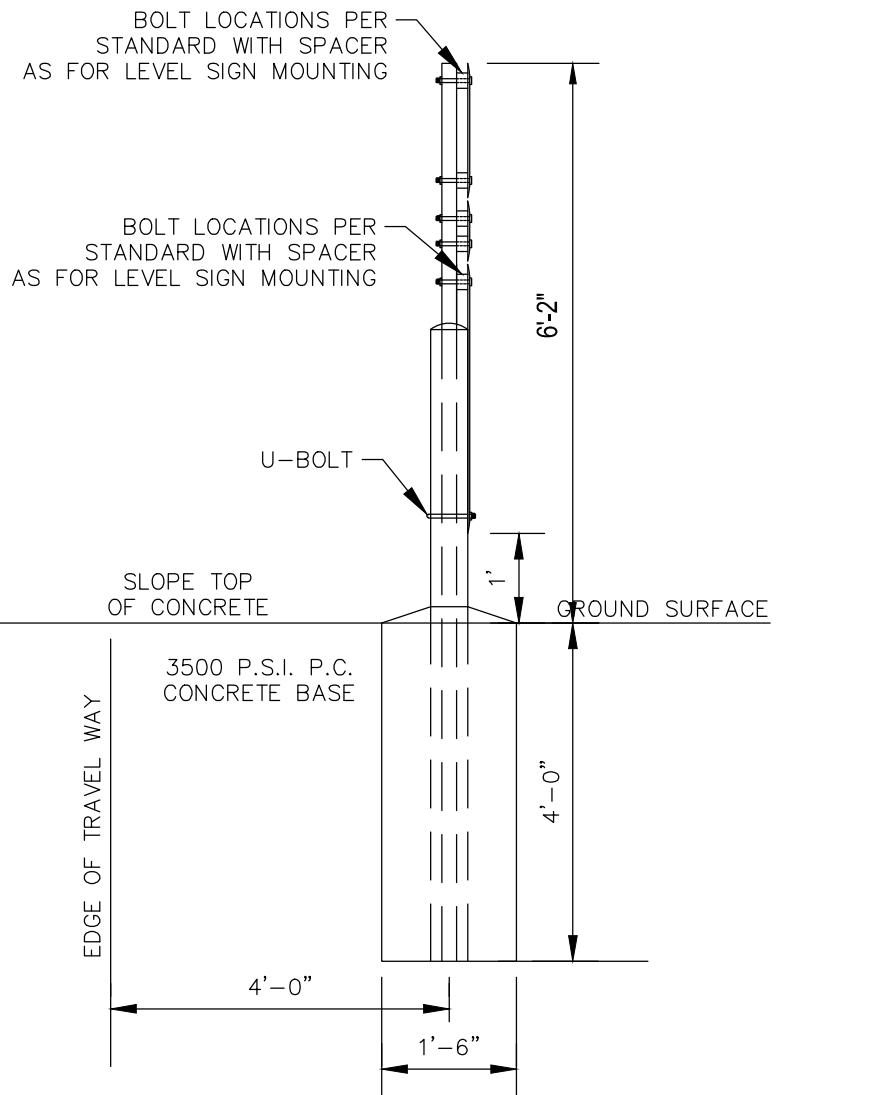
"PICKUP" SIGNAGE
N.T.S.



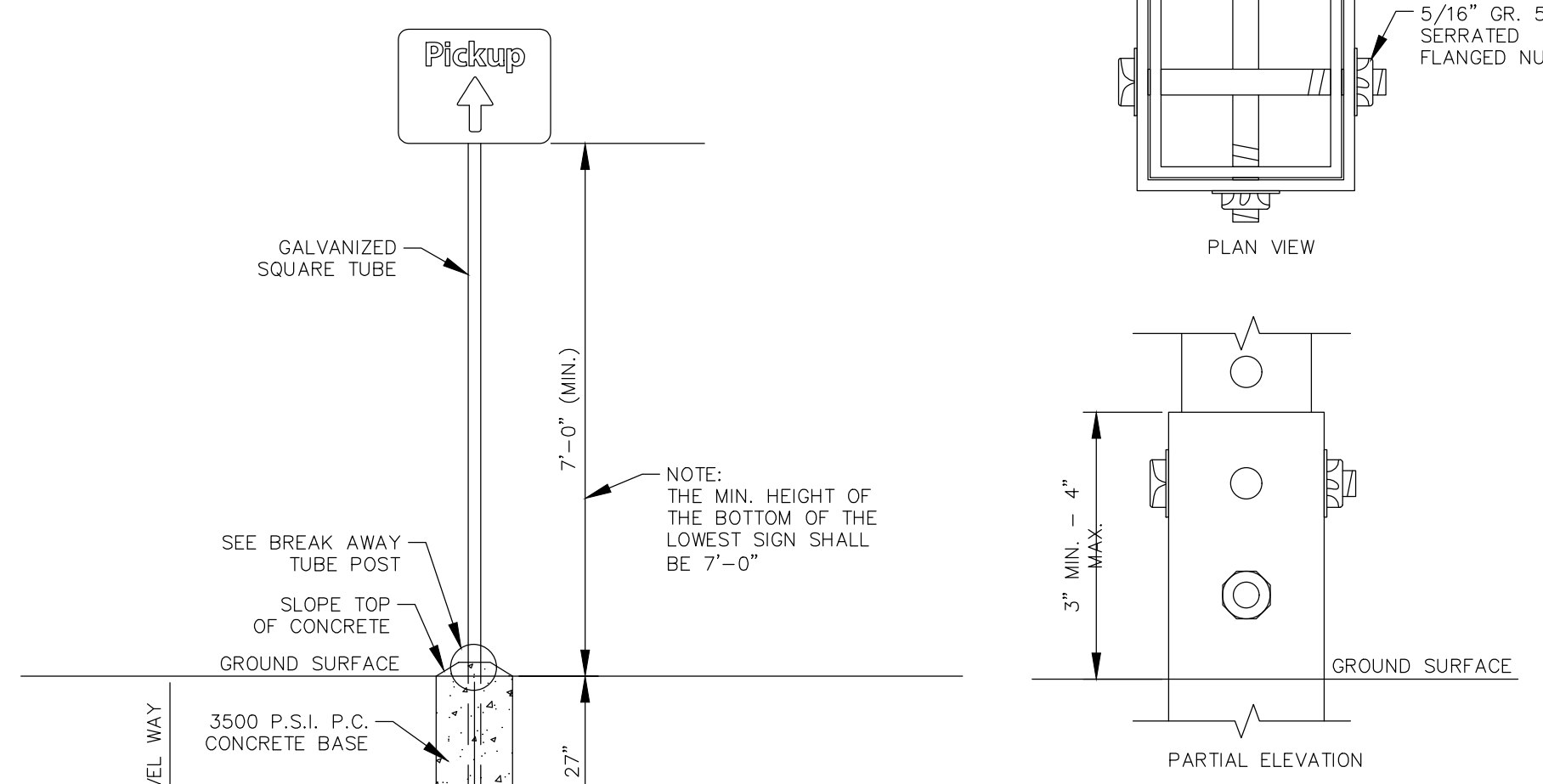
SINGLE POST WITH BOLLARD
N.T.S.



FRONTVIEW - TYPICAL PICKUP PARKING SIGNAGE
N.T.S.

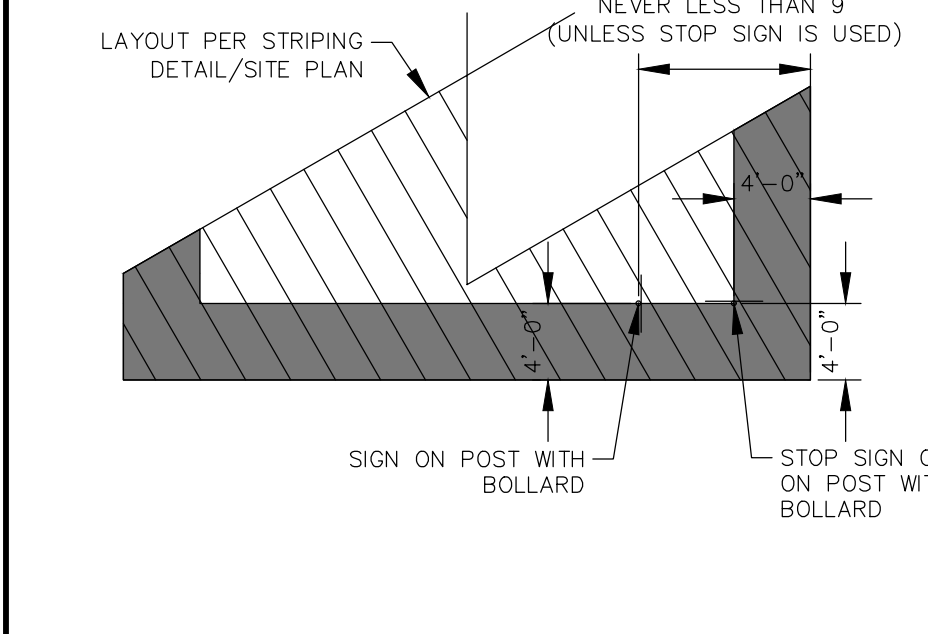


SINGLE POST WITH BREAK AWAY POST
N.T.S.

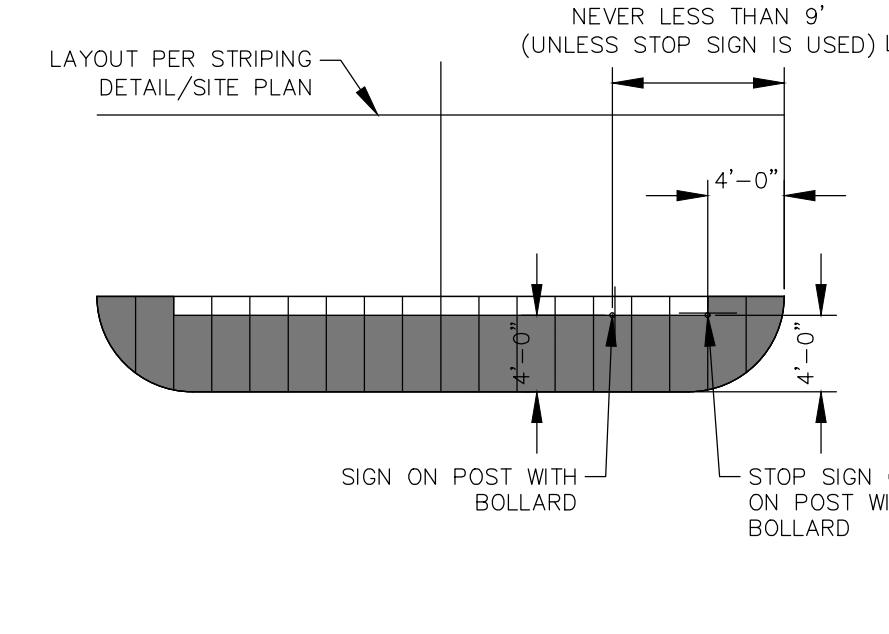


SQUARE TUBE BREAK AWAY POST
N.T.S.

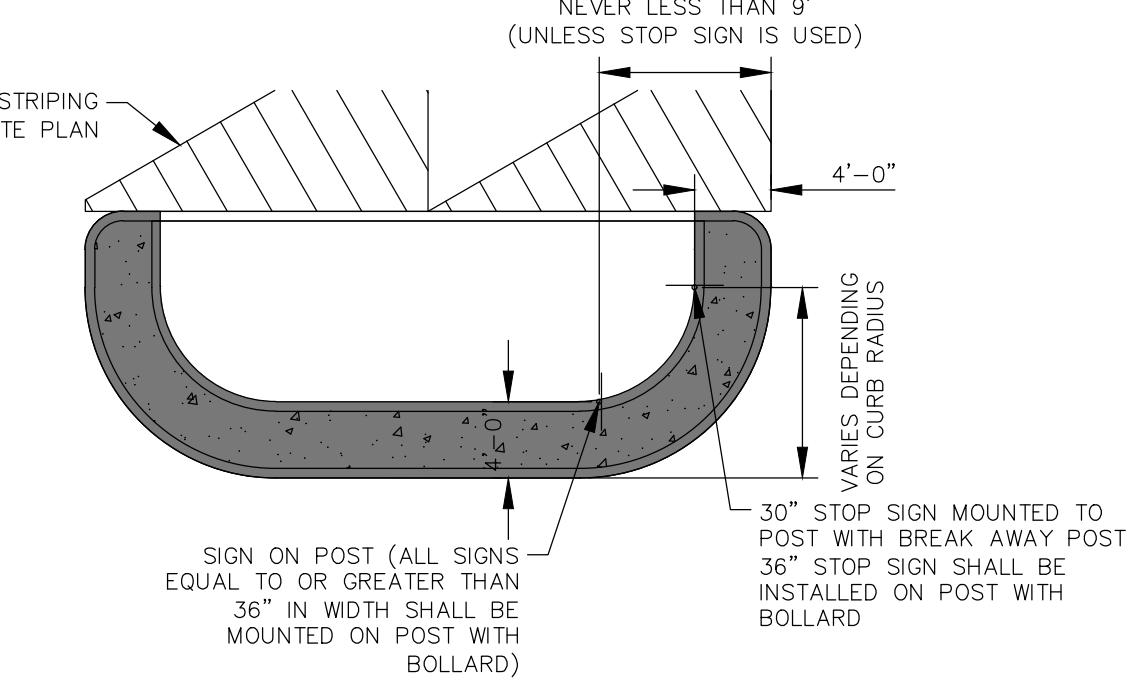
NOTES FOR SINGLE POST WITH BREAK AWAY POST:
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. GALVANIZED SQUARE TUBE
POST TUBES - 2"x2" 12ga
POST TUBE SHALL MEET ASTM A1011 GRADE 50.
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
ANCHOR TUBE - 2-1/4"x2-1/4" 12ga
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B. STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.
THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



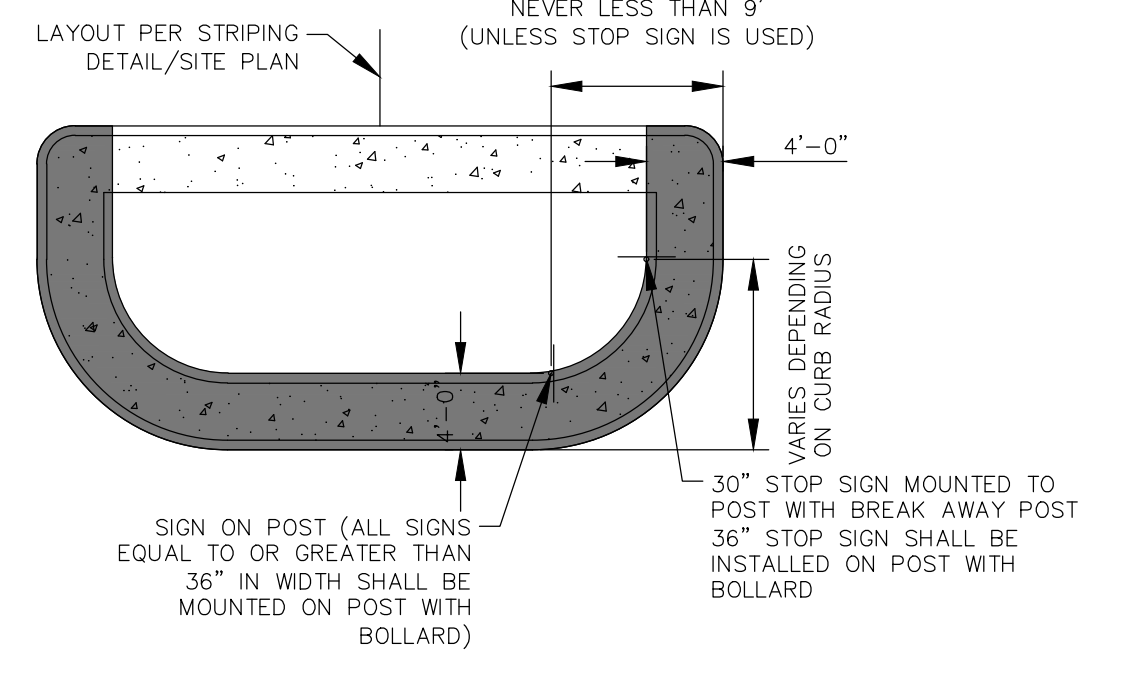
PAINTED ENDCAP - 60°
SIGN LOCATIONS - 60° PARKING



PAINTED ENDCAP - 90°
SIGN LOCATIONS - 90° PARKING

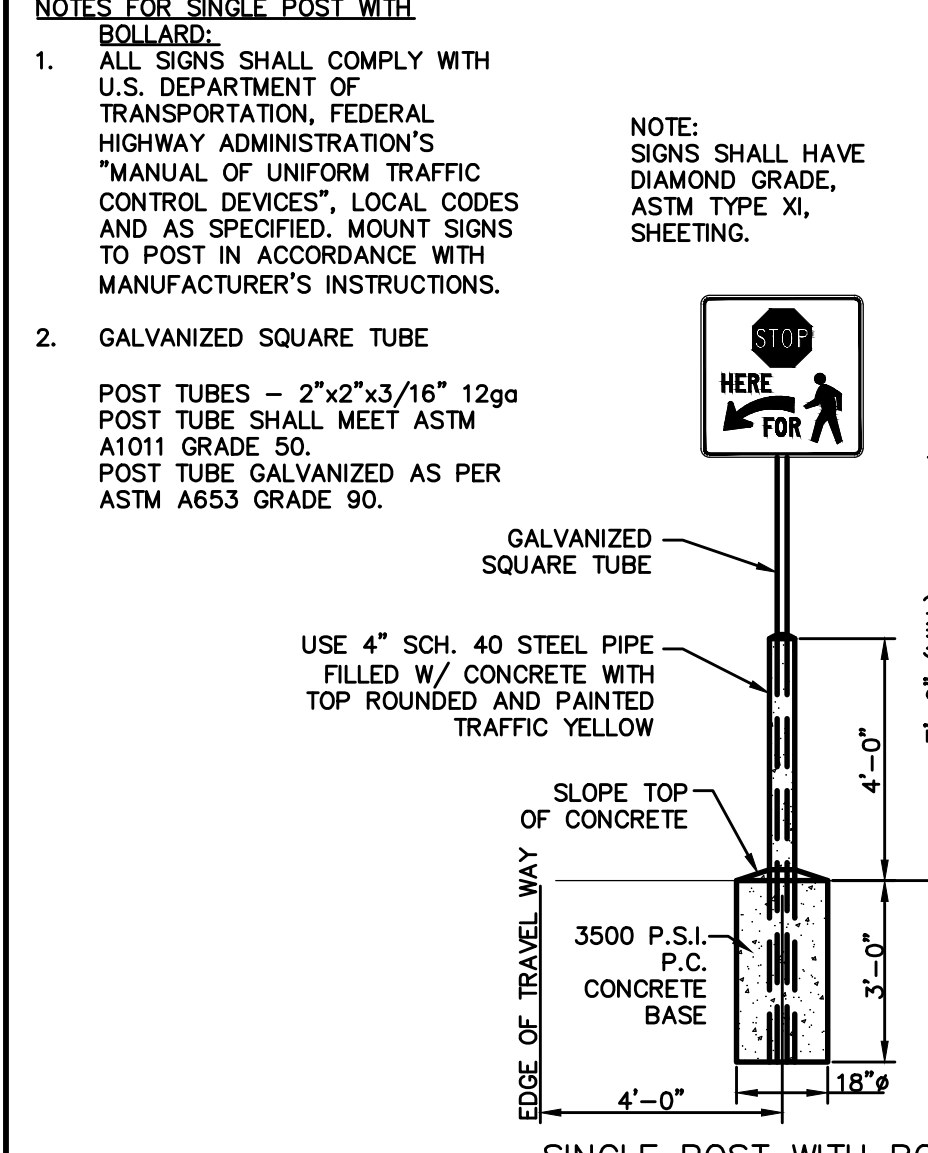


CURBED ISLAND - 60°
SIGN LOCATIONS - 60° PARKING

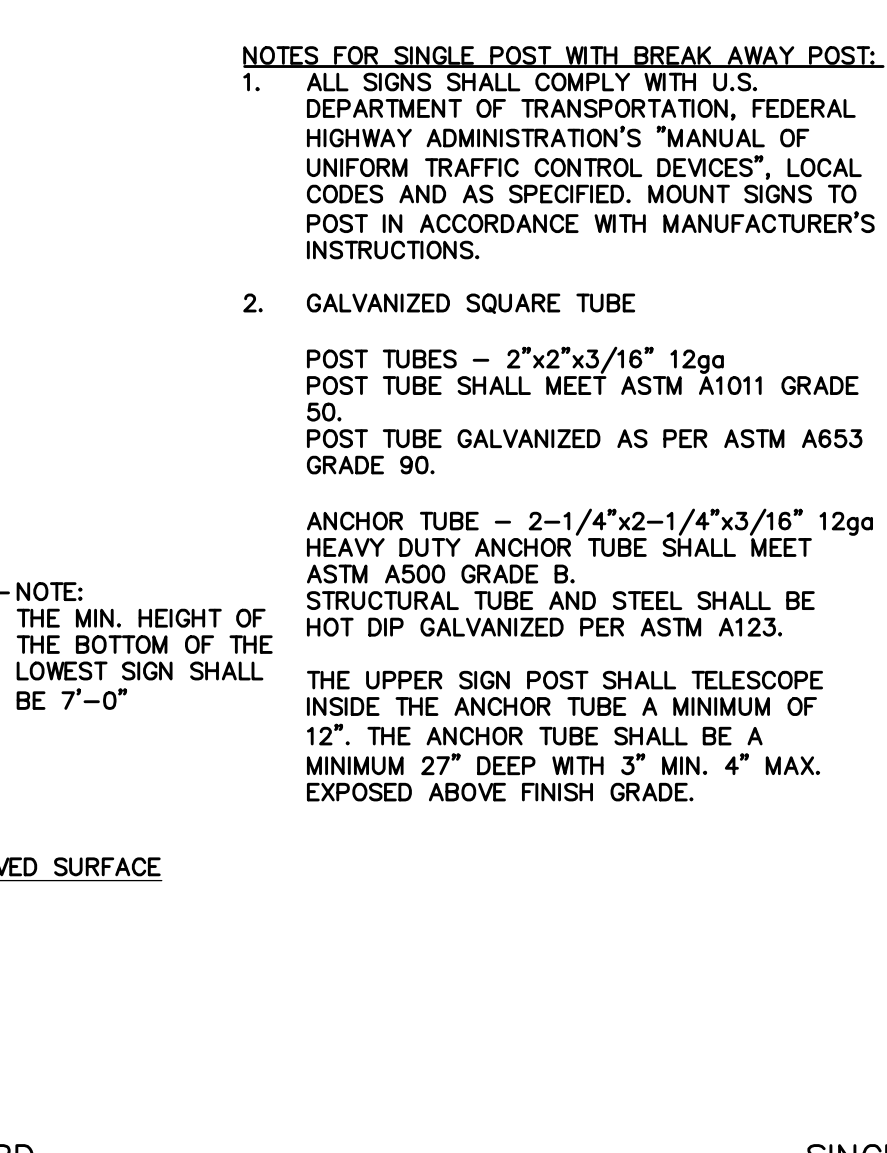


CURBED ISLAND - 90°
SIGN LOCATIONS - 90° PARKING

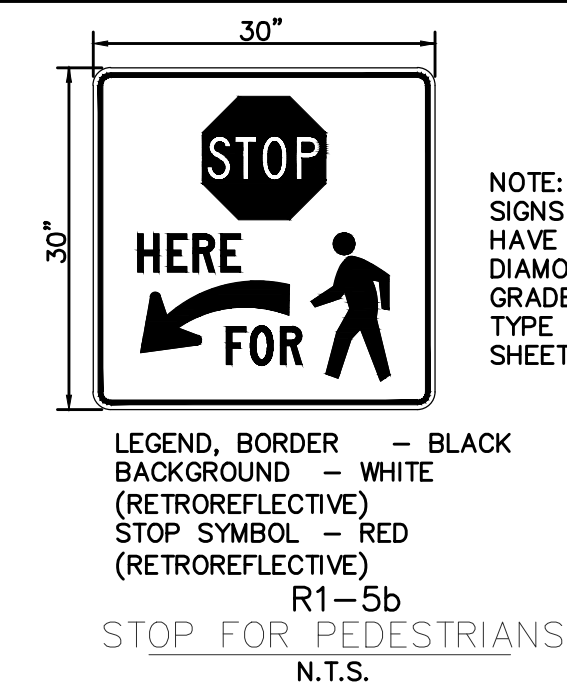
PICKUP SIGN MOUNTING AND BASE
N.T.S.



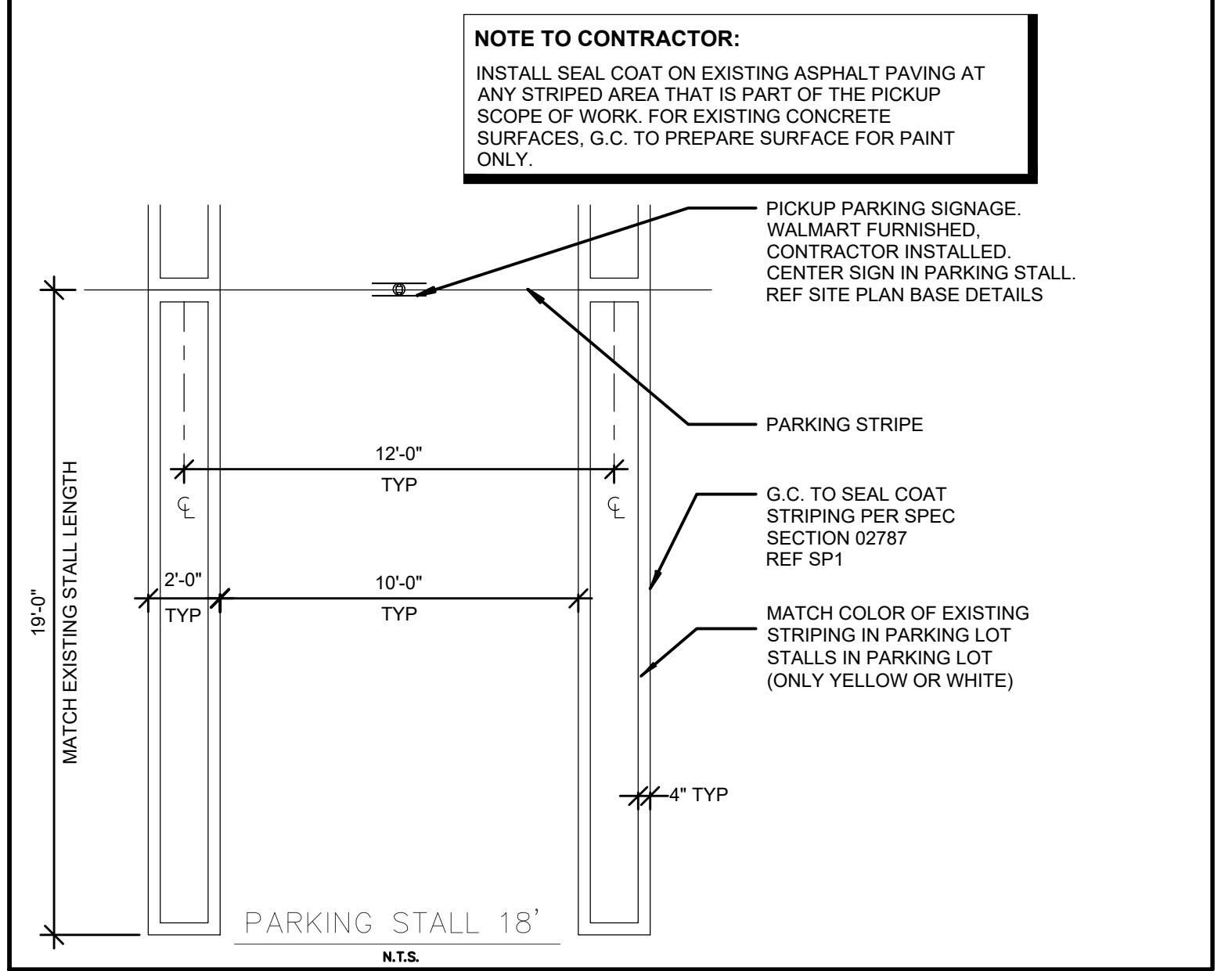
SINGLE POST WITH BOLLARD
SIGN MOUNTING AND BASE
NO SCALE



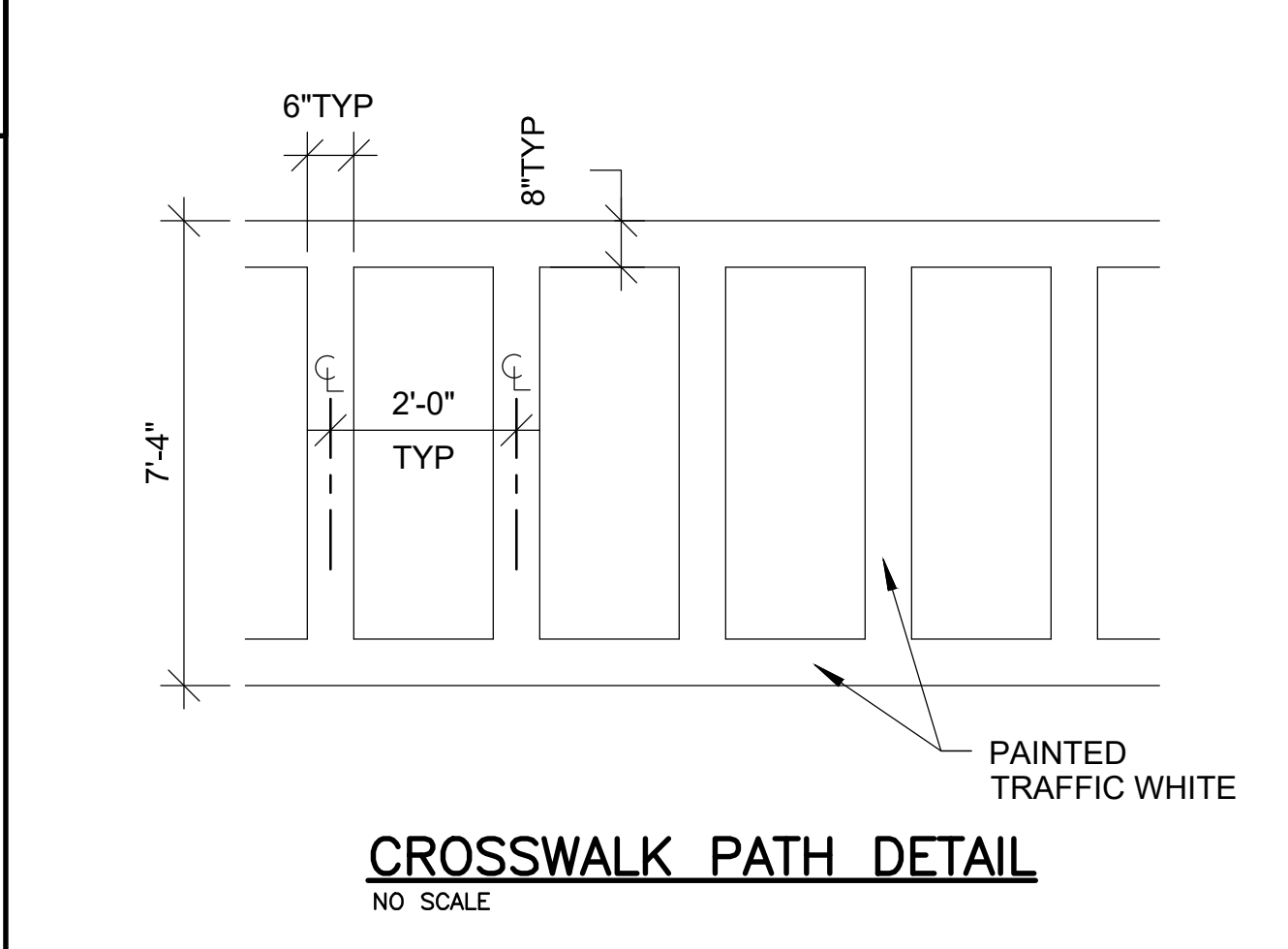
SINGLE POST WITH BREAK AWAY POST
SIGN MOUNTING AND BASE
NO SCALE



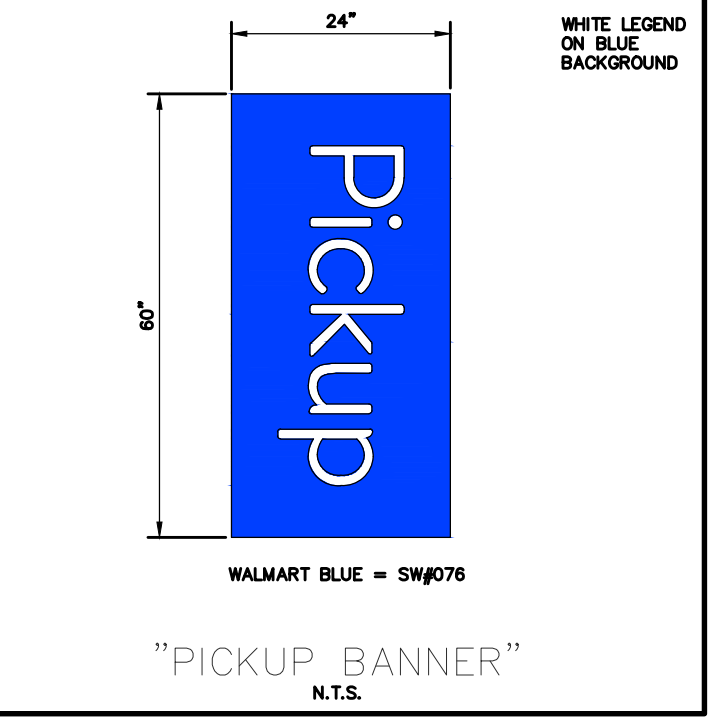
STOP FOR PEDESTRIANS
N.T.S.



PARKING STALL 18'
N.T.S.



CROSSWALK PATH DETAIL
NO SCALE



"PICKUP" BANNER
N.T.S.

Three working days prior to the start of any excavation on this site the Contractor shall call 811 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

REVISIONS	
1	
2	
3	
4	

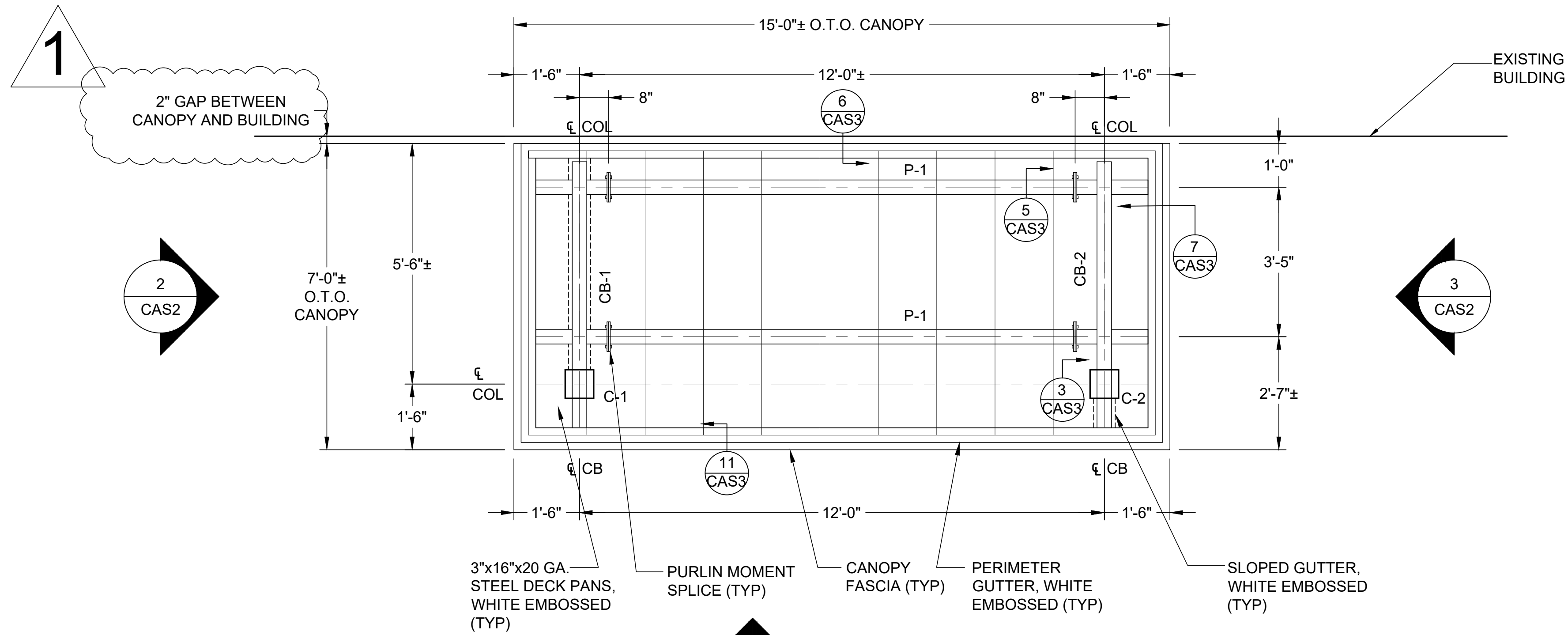
TELEPHONE: (503) 239-4751
BFA
Engineering-Surveying
103 ELM STREET
WASHINGTON, MISSOURI 63090

10/20/23
Rick G. Rolling, P.E. #29409
Registered Professional Engineer for
BFA, Inc. Professional Engineering Corporation #000472

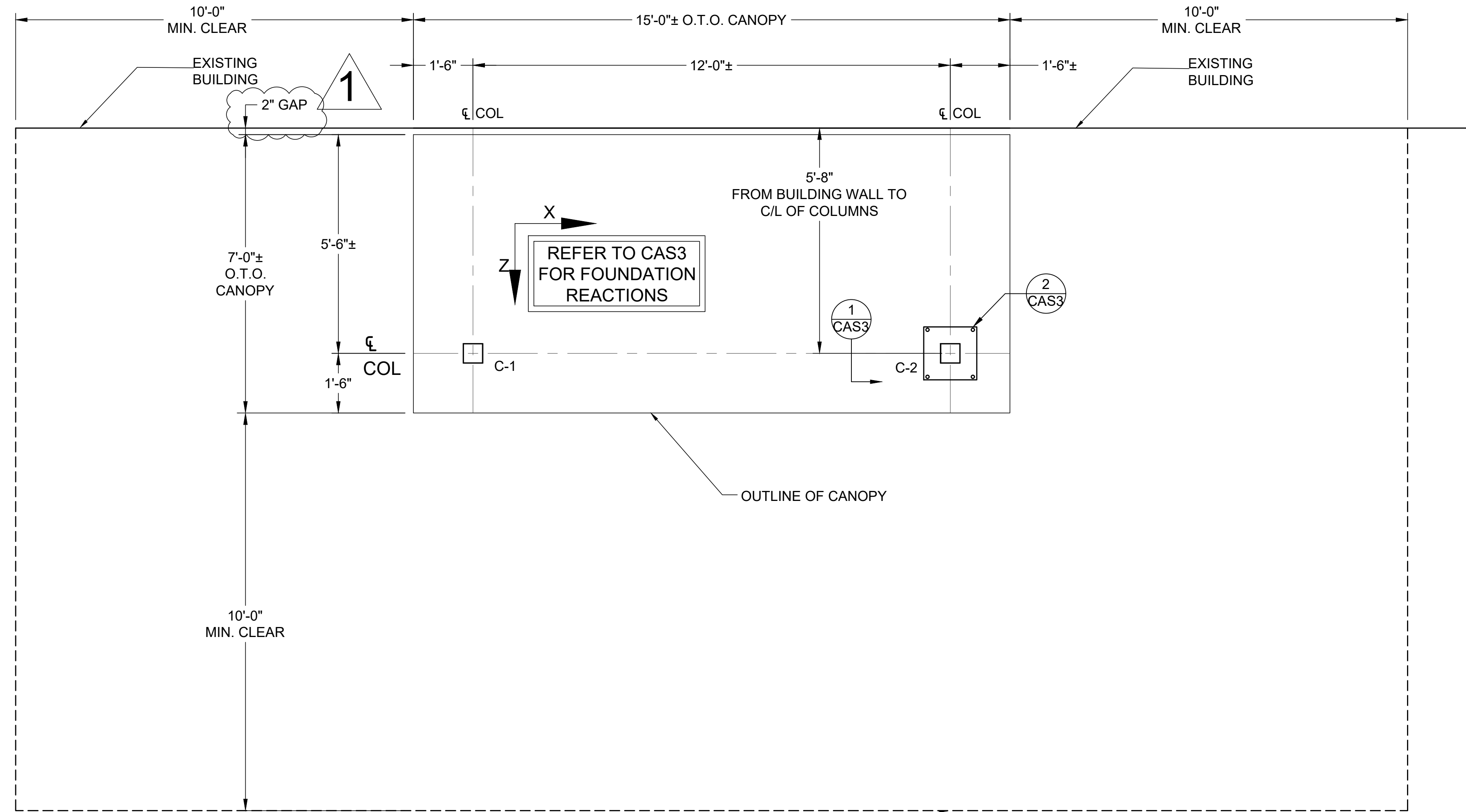
Walmart #05927-220
3390 N HWY 67
Florissant, St. Louis County, Missouri
Walmart, Inc. 2608 SE J Street
Bentonville, AR 72716

DRAWN	
CHECKED	
R.G.R.	
DATE	10/20/2023
SCALE	AS NOTED
JOB No.	7716A
SHEET NAME	DETAIL SHEET 1

DTL-1



1 CANOPY FRAMING PLAN
SCALE: 1/2" = 1'-0"



2 CANOPY FOUNDATION PLAN
SCALE: 1/2" = 1'-0"

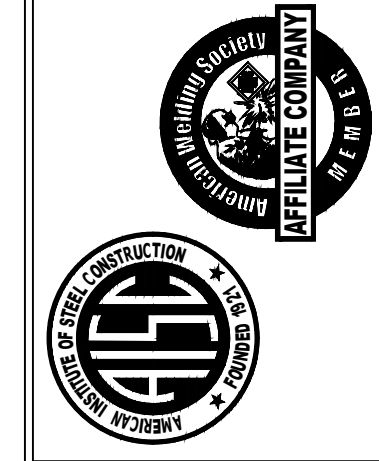
OWNER OR GC TO PROVIDE CONCRETE OR ASPHALT UNDER CANOPY INCLUDING NO LESS THAN 10'-0" OF CONCRETE AROUND PERIMETER OF THIS STRUCTURE. (AS REQUIRED BY OSHA REGULATION 29 CFR 1926.451)

LEGEND		
PART #	SIZE	QUANTITY
C-1	6" x 6" x 1/2"	1
C-2	6" x 6" x 1/2"	1
CB-1	W6X12#	1
CB-2	W6X12#	1
P-1	W6X12#	2

- DRAIN DIRECTION (VERIFY)
- PLAN NORTH (VERIFY)
- BUILDING DIRECTION (VERIFY)

SCALE	AS NOTED	DATE	BY
		11/17/23	TW
		12/6/23	TW

DATE: 11/17/23
DRAWN BY: T WESOLEK
CHECKED BY: JDS
ARNING # 20817

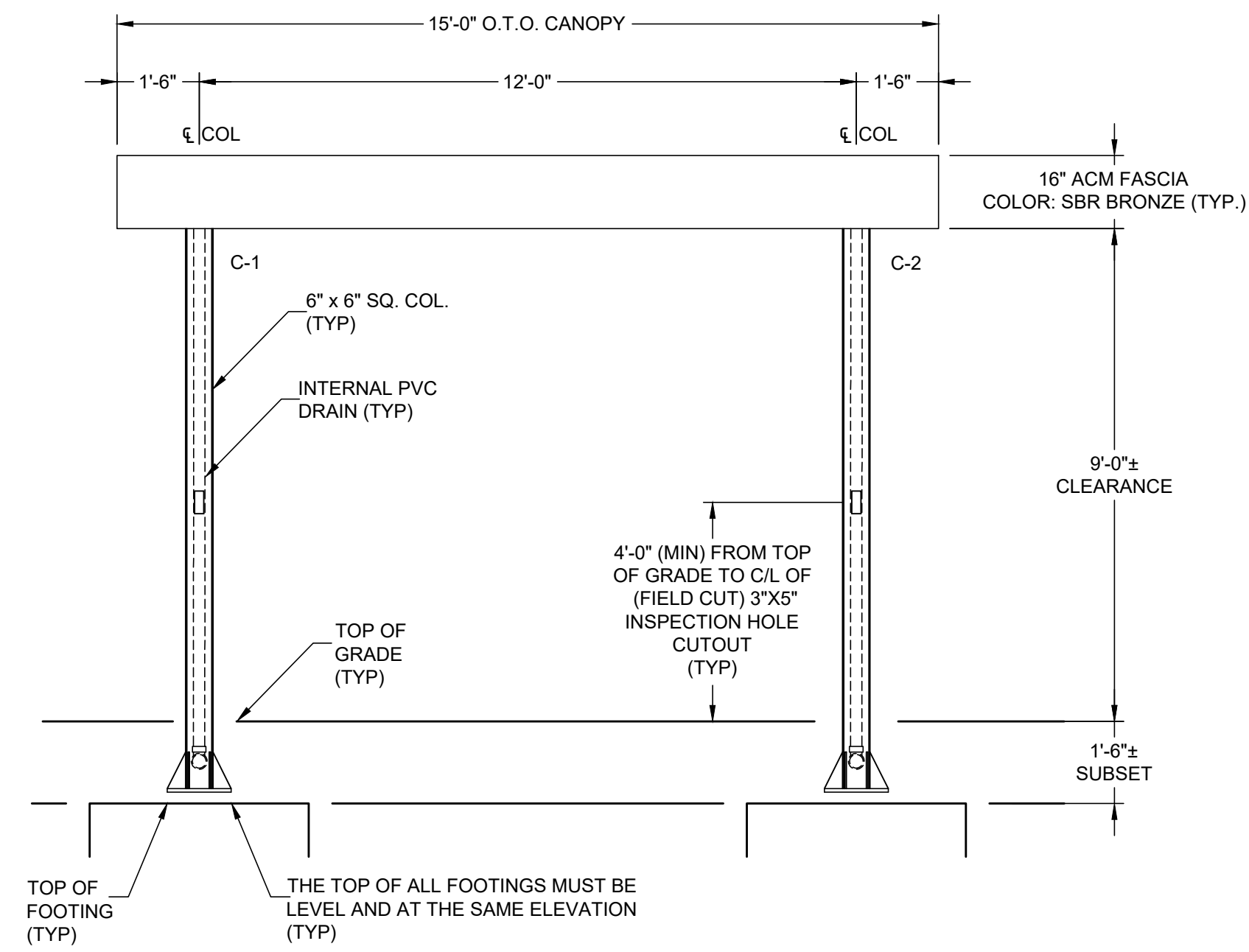


ARNING COMPANIES
CUSTOMER: WALMART - VENDOR #662541
2101 SE SIMPLE SAVINGS DRIVE
BENTONVILLE, AR, 72716

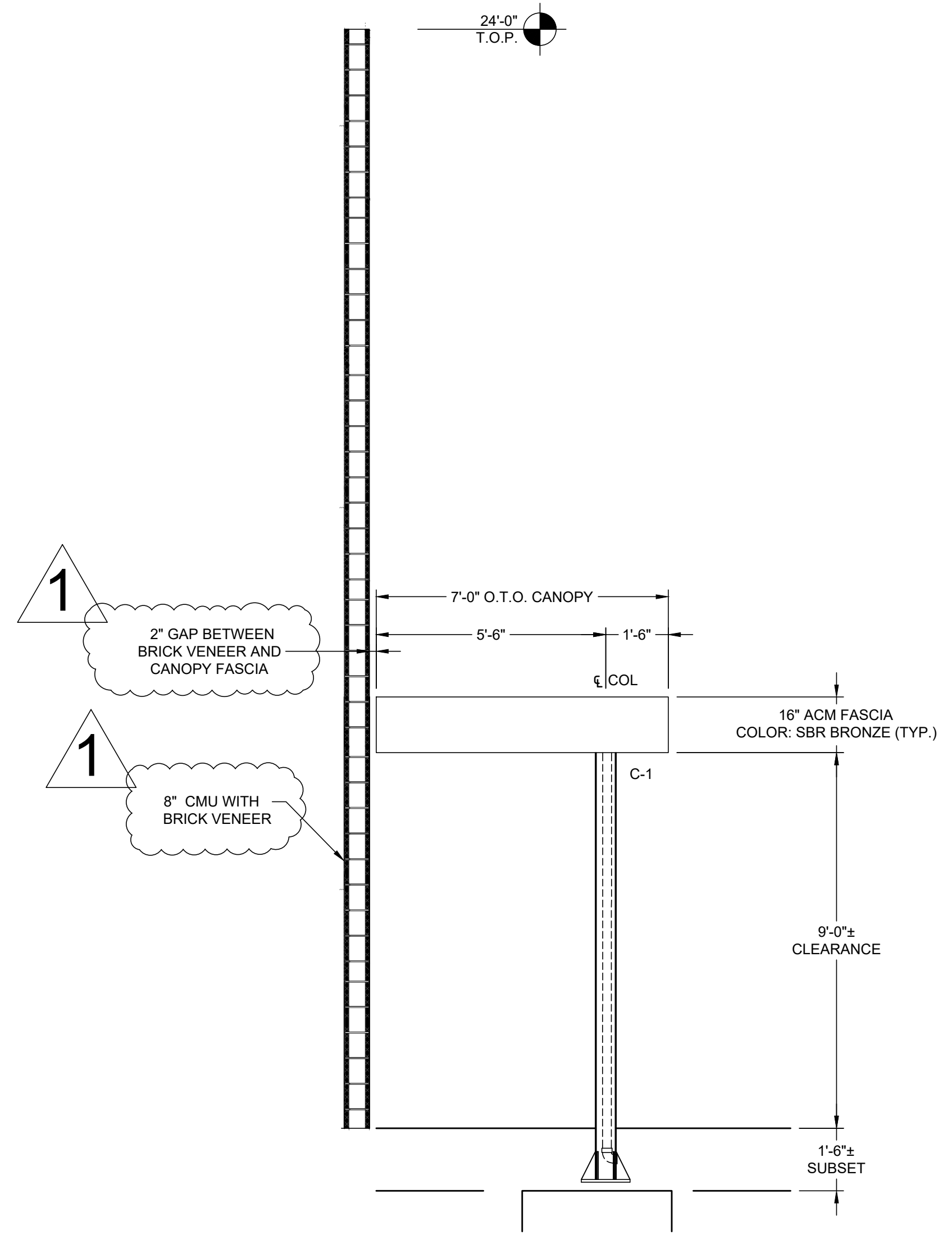
7'-0" X 15'-0" (2) COLUMN CANOPY
CANOPY LOCATION
Walmart
STORE #5927
(ASSOCIATES CANOPY)
3390 N HWY 67
FLORISSANT, MO 63033

FRAMING & FOUNDATION PLAN
20817 **CAS1**

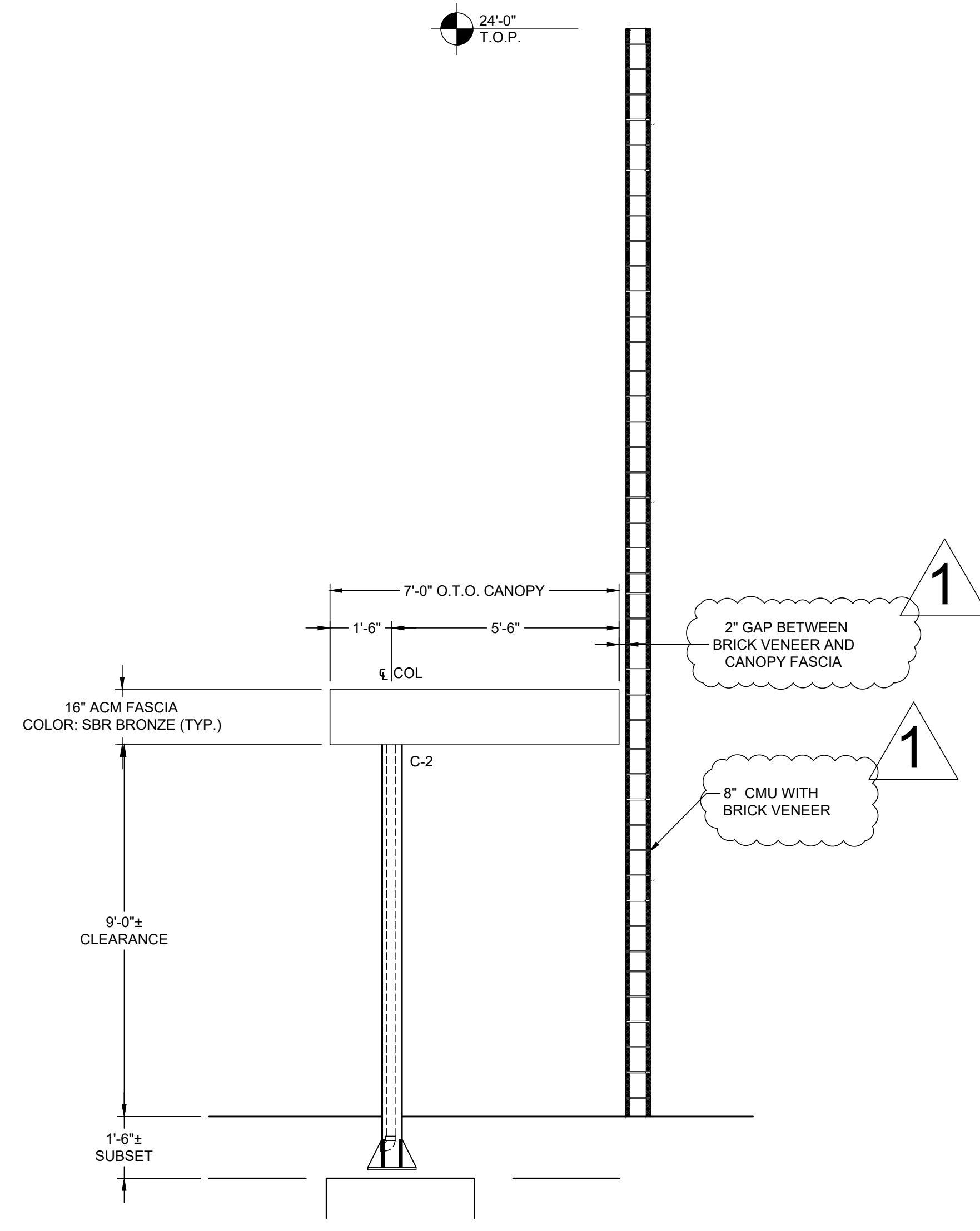
SHEET NOTES
 ALL CONDUITS INSIDE COLUMNS WILL REQUIRE A 3"X5" INSPECTION HOLE TO BE FIELD CUT AND LOCATED WITH ITS CENTERLINE AT THE TOP OF THE SEAL OFF. ALL COLUMNS, WITH OR WITHOUT CONDUITS, WILL HAVE A STANDARD ARNING COVERPLATE INSTALLED AT THE SAME ELEVATION. TOUCH-UP PRIMER AT THE INSPECTION HOLE OPENING AFTER FIELD CUTS HAVE BEEN COMPLETED.



1 NORTHEAST ELEVATION
 SCALE: 3/8" = 1'-0"



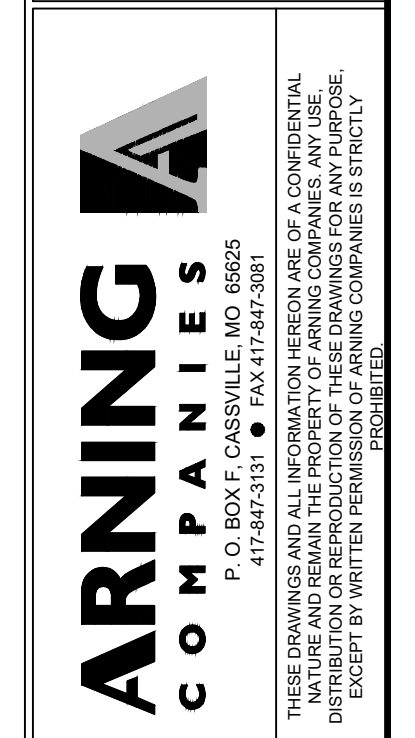
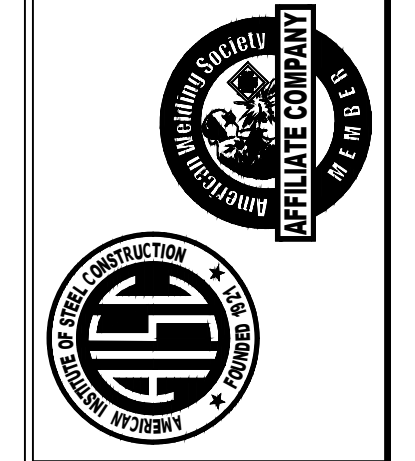
2 SOUTHEAST ELEVATION
 SCALE: 3/8" = 1'-0"



3 NORTHWEST ELEVATION
 SCALE: 3/8" = 1'-0"

REV	DESCRIPTION	DATE	BY
1	ADDED 2" GAP	12/6/23	TW

SCALE AS NOTED
 DATE 11/17/23
 DRAWN BY T WESOLEK
 CHECKED BY JDS
ARNING # 20817



ARNING COMPANIES
 407 S.W. 21ST ST. SUITE 200
 MIAMI, FL 33135
 (305) 351-1111

Walmart
 STORE #5927
 (ASSOCIATES CANOPY)
 3390 N HWY 67
 FLORISSANT, MO 63033

GENERAL STRUCTURAL NOTES

DESIGN COMPLIES WITH 2021 INTERNATIONAL BUILDING CODE

LOADS COMPLY WITH SEI/ASCE 7-16 REQUIREMENTS:

DEAD LOAD

-TYPICAL ROOF DEAD LOAD 15 P.S.F.

LIVE LOAD

-TYPICAL ROOF LIVE LOAD 20 P.S.F.

SNOW LOAD

-FLAT ROOF SNOW LOAD w/ RAIN-ON-SNOW (pr) 21.8 P.S.F.

-GROUND SNOW LOAD, pg 20 P.S.F.

-EXPOSURE FACTOR, Ce 1.0

-THERMAL FACTOR, Ct 1.2

-IMPORTANCE FACTOR, Is 1.0

-DRIFT PER CODE

WIND LOAD

-ULTIMATE WIND SPEED (3-SECOND GUST), Vu11 115 M.P.H.

-EXPOSURE CATEGORY C

-DIRECTIONALITY FACTOR (Kd) 0.85

-TOPOGRAPHIC FACTOR (Kzt) 1.0

SEISMIC

- SHORT PERIOD ACCELERATION S_s 0.3821

- LONG PERIOD ACCELERATION S_L 0.1455

- SITE CLASS: D

- SHORT PERIOD RESPONSE: S_{ps} 0.381

- LONG PERIOD RESPONSE: S_{pl} 0.224

- SEISMIC DESIGN CATEGORY: D

- SEISMIC IMPORTANCE FACTOR: I_e 1.0

- SEISMIC RESPONSE COEFFICIENT C_s : 0.15231

STEEL BEAMS: A572 WITH MINIMUM YIELD OF 50,000 P.S.I.

STEEL ROOF PANELS: 16" W x 3" D x 20 GA. Steel Panels

STEEL TUBE: ASTM A-500 GRADE-B WITH $F_y = 46$ KSI MIN.

STEEL PLATE: A36 QUALITY WITH MINIMUM YIELD OF 36,000 P.S.I.

STEEL ANCHOR BOLTS: F 1554 WITH MINIMUM YIELD OF 55,000 P.S.I.

WELDING: LOW HYDROGEN TYPE, E70 SERIES, PER AWS D1.1. WELDING PROCEDURE AND MATERIAL COMPLY WITH AWS STANDARDS. WELDING PERFORMED BY CERTIFIED WELDERS IN-HOUSE AT ARNING COMPANIES FACILITIES. ARNING C.S.I. IS CERTIFIED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC).

BOLTS: HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A325. IN BEARING TYPE CONNECTIONS WITH THREADS ARE NOT REQUIRED BY DESIGN TO BE EXCLUDED FROM SHEAR PLAN OR WORKING IN TENSION. INSPECTION PRIOR TO OR DURING INSTALLATION IS NOT REQUIRED. "PRE-INSTALLATION" AS OUTLINED IN SECTION 7 OF THE "SPECIFICATION JOINTS USING HIGH-STRENGTH BOLTS" IS NOT REQUIRED AS LONG AS CONTRACTOR CAN PROVIDE TESTING REPORTS SUPPLIED BY BOLT MANUFACTURER, AND THE BOLTS USED ARE BEING INSTALLED IN EITHER A SNUG TIGHT MANOR OR TURN-OF-THE-NUT METHOD OF TIGHTENING. SEE APPROVED TIGHTENING PROCEDURES BELOW AND REFER TO CONNECTION DETAILS.

SNUG-TIGHT METHOD: ALL BOLTS SHALL BE BROUGHT TO THE SNUG-TIGHT CONDITION. SNUG-TIGHT IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN THE PLIES OF THE JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH.

TURN-OF-THE-NUT METHOD: COLUMN TO BEAM OR MOMENT SPLICE BOLTS SHALL BE TIGHTENED BY THE PREFERRED TURN-OF-THE-NUT METHOD. THIS IS ACCOMPLISHED BY FIRST ATTAINING A SNUG-TIGHT CONDITION ON THE BOLT, MARKING THE BOLT AND NUT TO ENSURE VISUAL VERIFICATION, AND THEN TIGHTENING AN ADDITIONAL 1/3 TURN. A BREAKER BAR MAY BE USED TO ADVANCE THE NUT THE ADDITIONAL TURN THUS ATTAINING THE 1/3 TURN CONDITION.

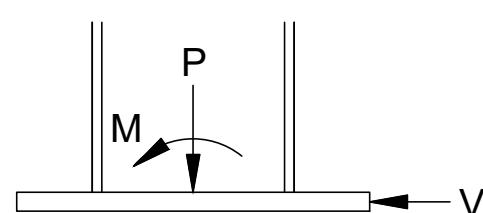
SCREWS: SELF DRILLING SCREWS MANUFACTURED BY ITW BUILDEX SHALL COMPLY WITH MANUFACTURER SPECIFICATIONS AND ICBO 3056 STANDARDS.

FOUNDATIONS: FOR FOUNDATION DESIGNS, SEE BASE REACTIONS BELOW. PROVIDE 3000 PSI CONCRETE. PROVIDE ADEQUATE ANCHOR REINFORCEMENT PER ACI 318.

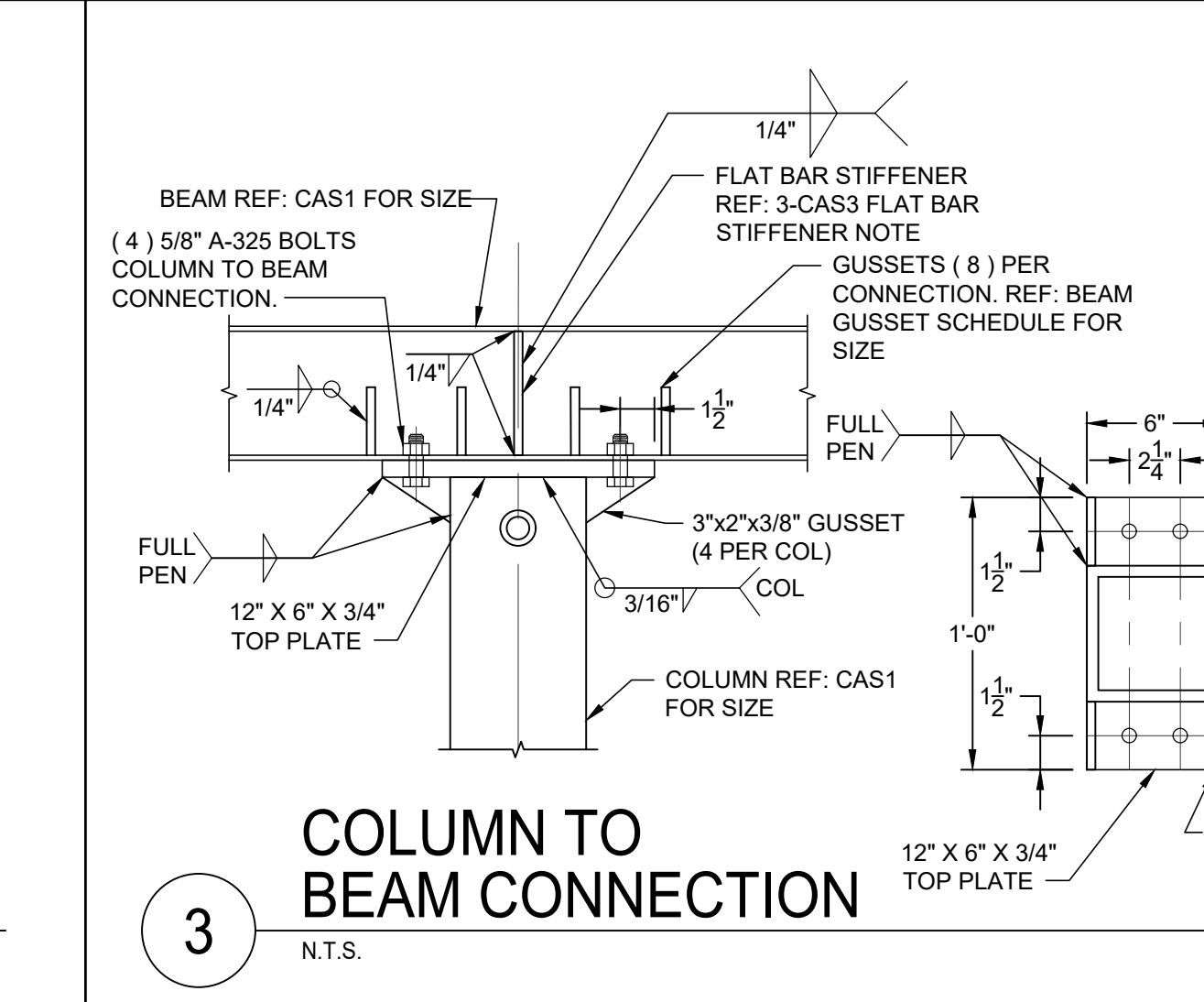
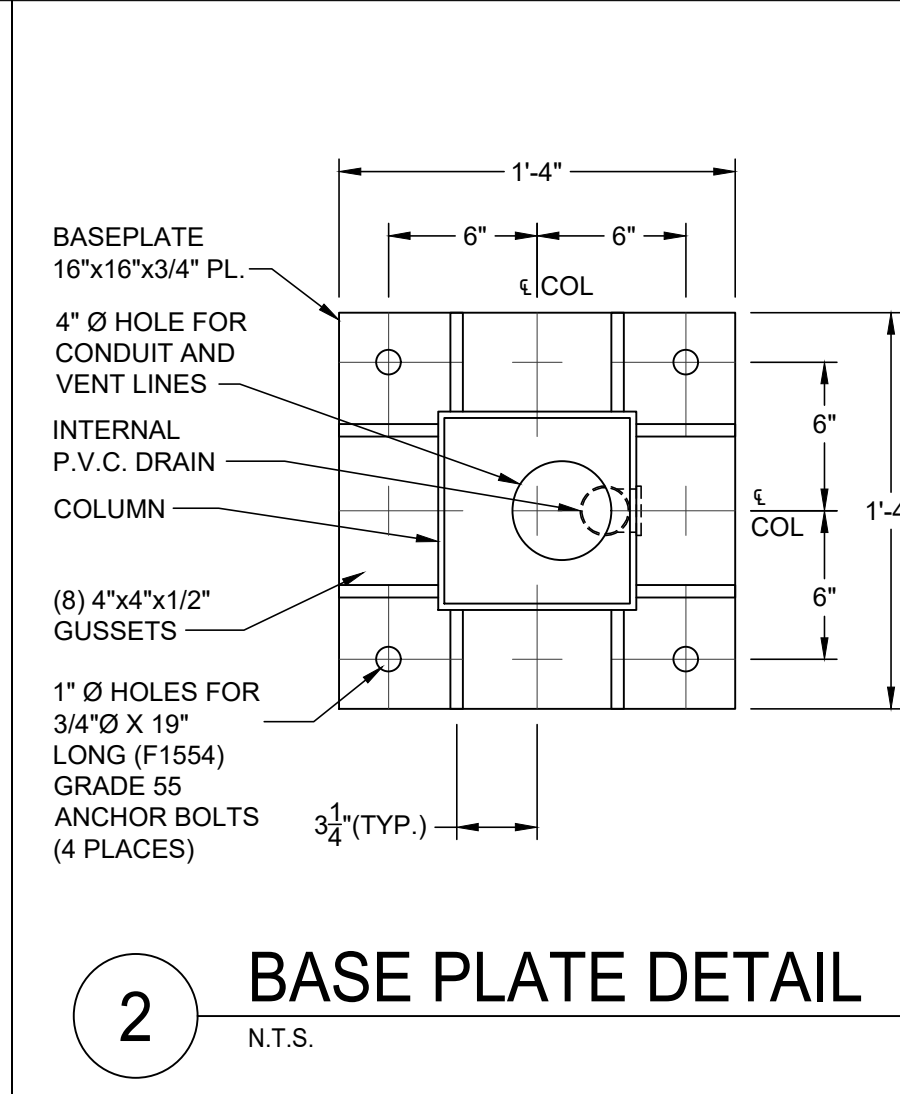
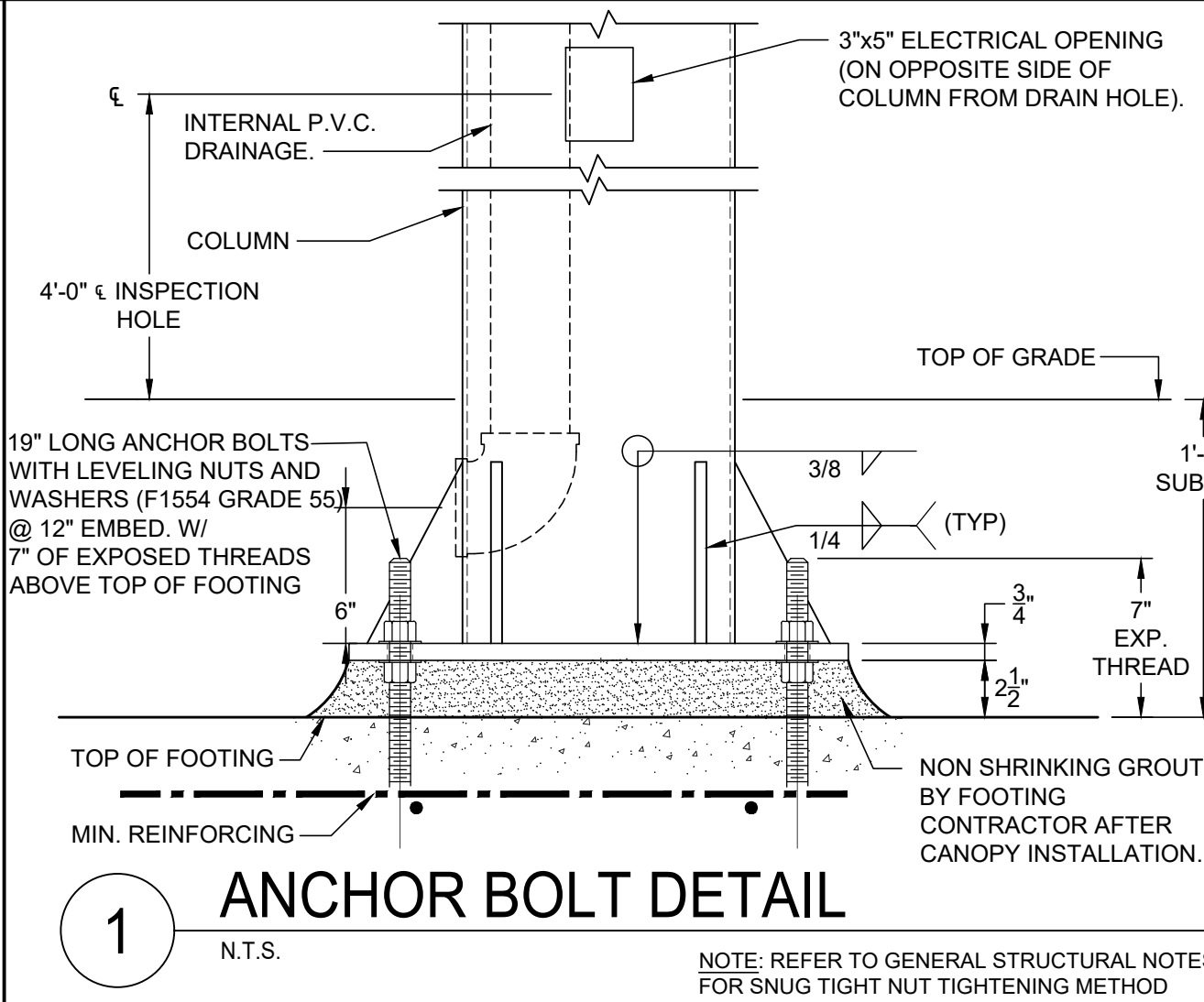
* THE ABOVE NOTES AND SPECIFICATIONS SHALL MEET OR EXCEED ALL STATE AND LOCAL CODE REQUIREMENTS BEFORE ERECTION.

SERVICE LEVEL REACTIONS FOR FOUNDATION DESIGN (UNFACTORED)

LOAD CASE	SHEAR Vx (KIPS)	VERTICAL P (KIPS)	SHEAR Vz (KIPS)	MOMENT Mx (KIPS-FT)	MOMENT Mz (KIP-FT)
D	+/-0.002	0.789	0.00	+/-1.875	+/-0.01
RL	+/-0.003	1.052	0.00	+/-2.516	+/-0.012
SL	+/-0.011	4.232	0.00	+/-10.655	+/-0.046
WLx	+/-0.303	1.323	0.00	+/-3.157	+/-3.924
WLz	+/-0.003	1.315	+/-0.5	+/-3.392	+/-0.14
ELx	+/-0.15	.004	0.00	0.00	+/-1.926
ELz	0.00	0.00	+/-0.15	+/-1.95	0.00



NOTES:
1. SIGN CONVENTION SHOWN ON FOUNDATION PLAN DENOTES POSITIVE FORCES.
2. ALL REACTIONS PROVIDED REPRESENT NOMINAL REACTIONS. FACTOR AS REQUIRED FOR ASD OR LRFD PER LOCAL BUILDING CODE.

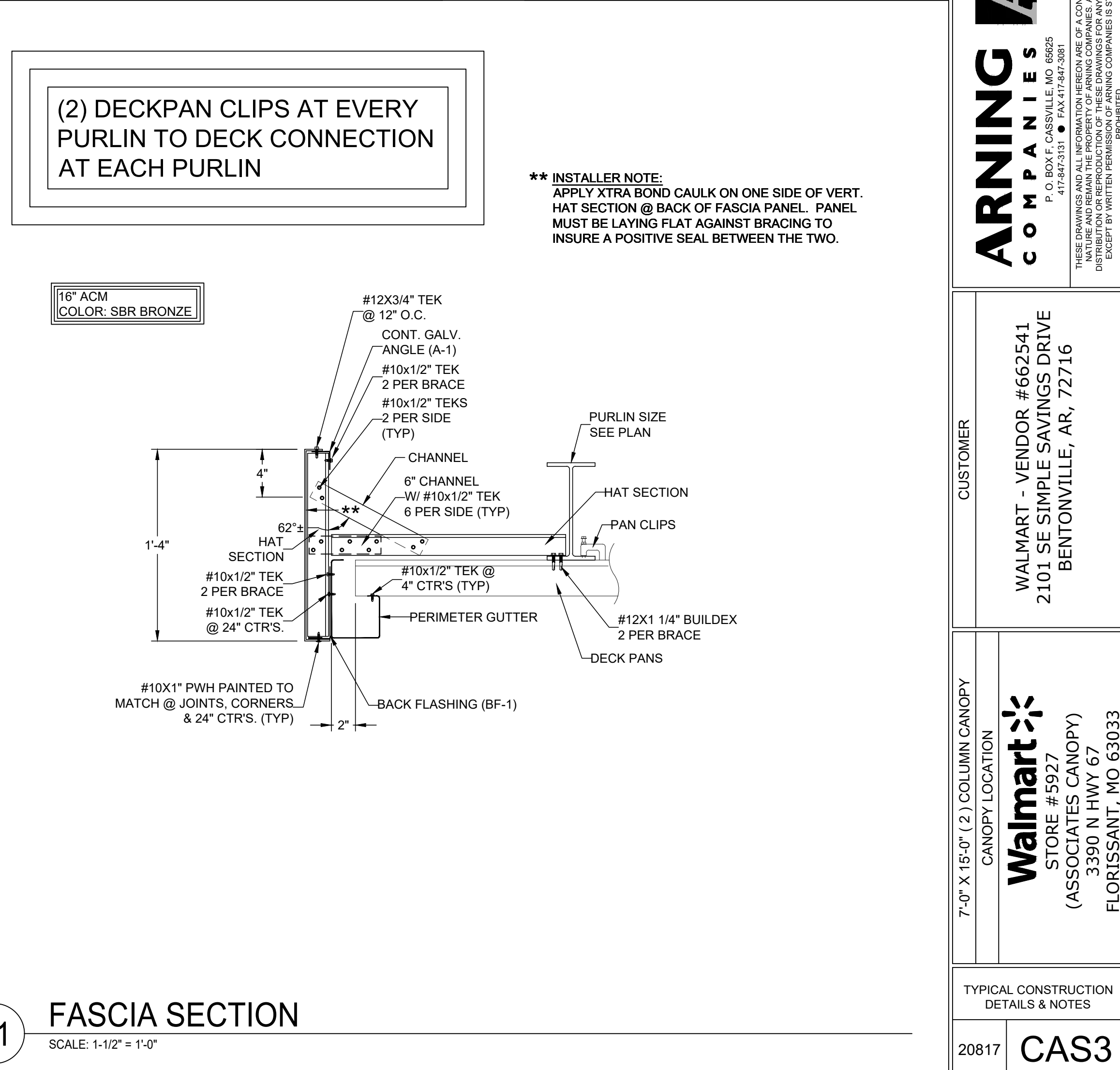
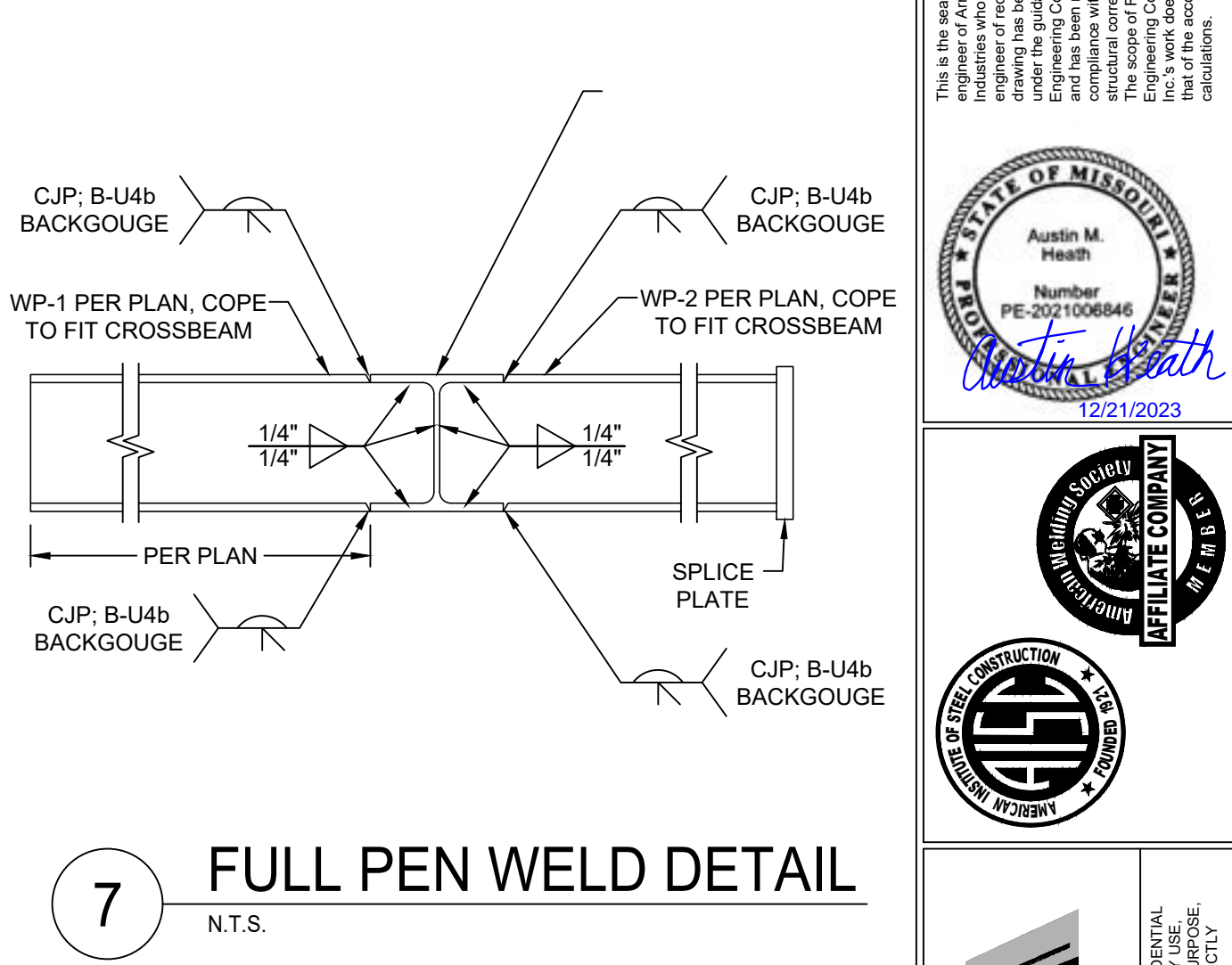
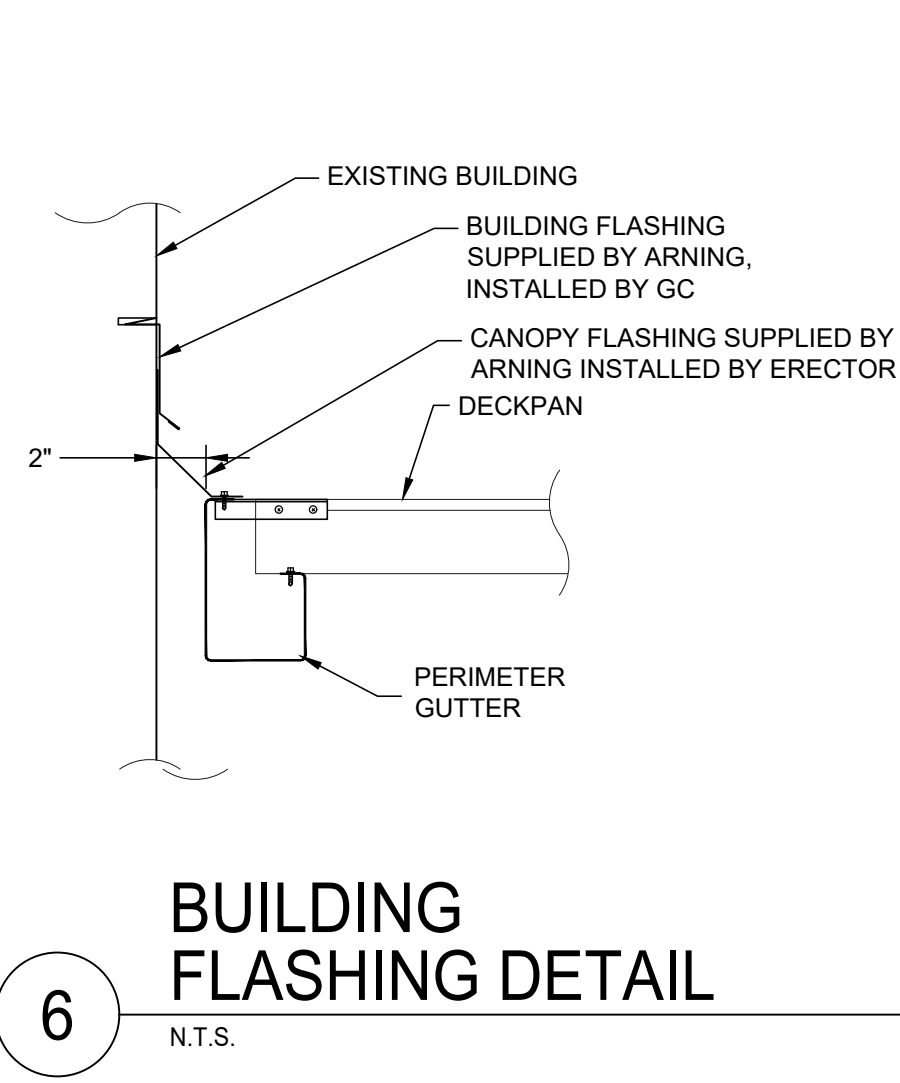
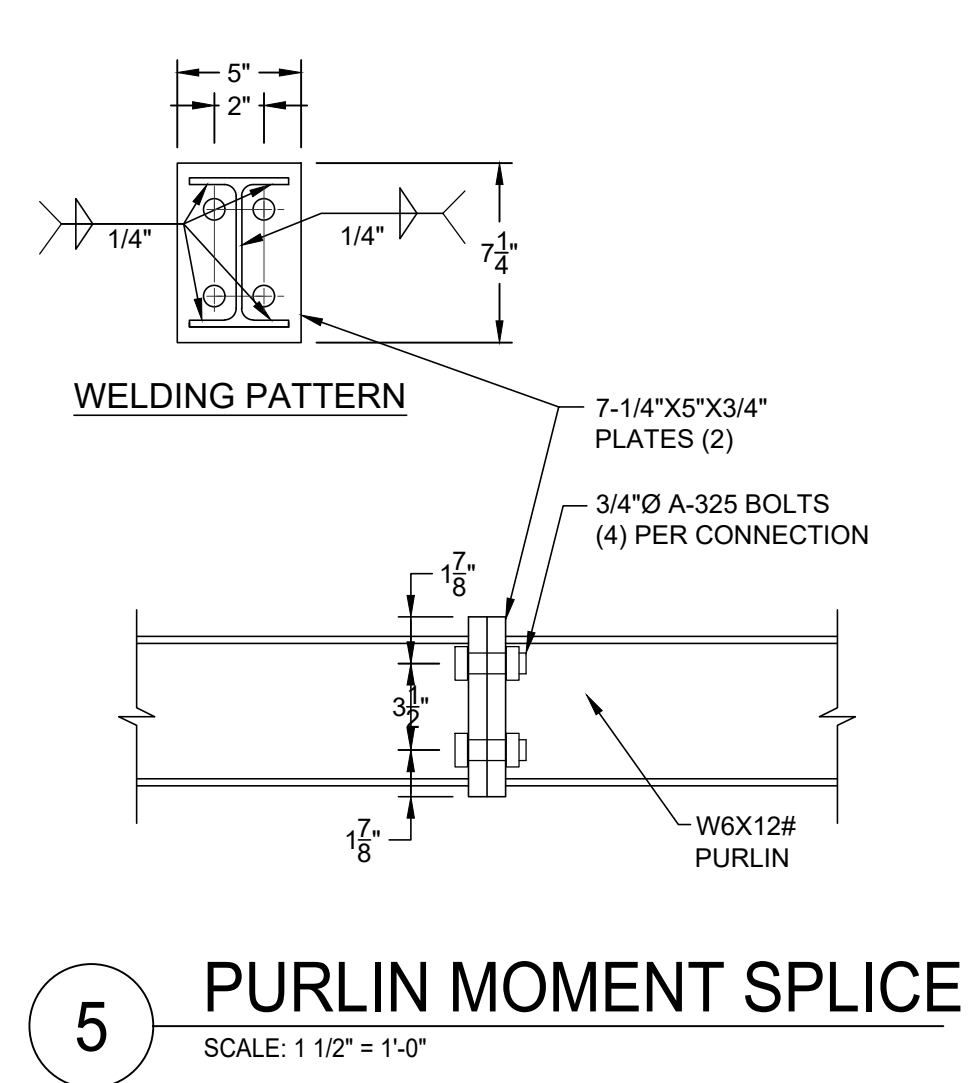


CROSSBEAM GUSSET SCHEDULE
FOR 3" TO 4" WIDE C.B. USE
3" X 1-3/4" X 1/4" GUSSET

W6x9#
W6x12#
W6x16#
W8x10#
W8x13#
W8x15#
W10x12#
W12x14#
W12x16#
W12x19#
W12x22#

FLAT BAR STIFFENER NOTE FOR COLUMN TO CB:
1/4" FLAT BAR ON EACH SIDE OF WEB @ COL. TO C.B. CONNECTION FOR WEIGHTS UP TO 31#; ALL SIZES HEAVIER THAN 31# USE 3/8" FLAT BAR.

SCALE AS NOTED
DATE 11/17/23
DRAWN BY T WESOLEK
CHECKED BY JDS
ARNING # 20817



SCALE	AS NOTED	REV	DESCRIPTION	DATE	BY
		1	ADDED 2" GAP	12/6/23	TW

This is the seal of the State of Missouri and the seal of the Engineering Council of the State of Missouri. It is the property of the State of Missouri and shall not be used for any purpose other than that for which it was intended.

STATE OF MISSOURI
Austin M. Heath
Number PE-021008646
12/21/2023

ARCHITECTURAL
ARNING COMPANIES
117 N. B. ST.
BENTONVILLE, AR 72716

ARNING COMPANIES
117 N. B. ST.
BENTONVILLE, AR 72716

THESE DRAWINGS AND ALL INFORMATION HEREON ARE OF A CONFIDENTIAL NATURE AND REMAIN THE PROPERTY OF ARNING COMPANIES. ANY USE, REPRODUCTION, OR DISSEMINATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF ARNING COMPANIES IS STRICTLY PROHIBITED.

CUSTOMER
WALMART - VENDOR #662541
2101 SE SIMPLE SAVINGS DRIVE
BENTONVILLE, AR, 72716

7'-0" X 15'-0" (2) COLUMN CANOPY
CANOPY LOCATION
Walmart
STORE #5927
(ASSOCIATES CANOPY)
3390 N HWY 67
FLORISSANT, MO 63033

TYPICAL CONSTRUCTION DETAILS & NOTES
20817 **CAS3**



Agenda Request Form

For Administration Use Only:

Meeting Date: 3/11/2024

Open Closed

Report No. 3/2024

Date Submitted:

To: City Council

Title: Resolution of the Florissant City Council supporting the inclusion of communities with radioactive waste exposure, into the Federal Radioactive Waste Exposure Compensation Amendment (RECA).

Prepared by: Administrator

Department: City Clerk

RESOLUTION OF THE FLORISSANT CITY COUNCIL SUPPORTING THE INCLUSION OF COMMUNITIES WITH RADIOACTIVE WASTE EXPOSURE, INTO THE FEDERAL RADIOACTIVE WASTE EXPOSURE COMPENSATION AMENDMENT (RECA).

WHEREAS communities of people have called Saint Ferdinand, Fleurissant, and Florissant home since the mid-1700's, with functional government established by 1785, and

WHEREAS the City of Florissant population's earliest growth and industry success is attributed to area water way and regular flood zones of Coldwater Creek, and

WHEREAS Florissant is home to approximately 200 historic landmarks and homes recognized Federally and by the City of Florissant, and

WHEREAS in 1946 Radioactive Waste from National atomic weapons production in St. Louis', Missouri's Mallinckrodt Chemical Works facilities was relocated to a storage yard in the immediate floodplain of Coldwater Creek, and

WHEREAS departments within the United States Federal Government knowingly left ruptured, leaking, toxic, radioactive waste materials at the mouth of Coldwater Creek since 1949, and

WHEREAS when Federal regulators rediscovered contamination of area soil, water into Coldwater Creek facilitated a sale of the Federal wastes to yet another site closer to Coldwater Creek and area flood zones in 1966, and

WHEREAS Coldwater Creek decades and generations later still carries radioactive waste above normal levels of naturally occurring radioactive elements, posing a past and ongoing risk to human health and environments through the community,

Be it resolved, the City of Florissant issues supports the Florissant and North County Communities impacted by St. Louis's Regional Radioactive weapons production, and the City of Florissant will support ongoing solutions to improve remediation of impacted areas, health access, and safety of our community through legislation and policy changes, and

Be if further resolved the City of Florissant supports the inclusion of communities with radioactive waste exposure, into the Federal Radioactive Waste Exposure Compensation Amendment (RECA) because of the failures of government that exposed people and environments to toxic, radioactive, waste materials since 1946.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, MISSOURI ON THIS 11 DAY OF MARCH 2024.

Joseph Eagan, Council President

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk



Agenda Request Form

For Administration Use Only:

Meeting Date: 2/20/2024

Open Closed

Report No. 16/2024

Date Submitted:

To: City Council

Title: Ordinance authorize a Special Use Permit for Erika Sharp Massage Therapy to allow for a massage business for the property located at 1020 rue St. Francois.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH 1020 St Francois
2. Staff Report
3. Application
4. Floor Plan
5. State License Requirements

INTRODUCED BY COUNCILMAN O'DONNELL
MARCH 11, 2024

BILL NO. 9962

ORDINANCE NO.

**ORDINANCE AUTHORIZE A SPECIAL USE PERMIT FOR ERIKA SHARP
MASSAGE THERAPY TO ALLOW FOR A MASSAGE BUSINESS FOR THE
PROPERTY LOCATED AT 1020 RUE ST. FRANCOIS.**

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a massage business in the City of Florissant; and

WHEREAS, an application has been filed by Erika Sharp to allow for the operation of massage business located at 1020 rue St. Francois, and

WHEREAS, the Planning and Zoning Commission at their meeting on February 20, 2024, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 24-03-008 on said application to be held on the 11th day of March, 2024 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for a massage business would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Erika Sharp d/b/a Erika Sharp Massage Therapy to allow for the operation of massage business located 1020 rue St. Francois with the following stipulations:

- a. All therapists shall comply with RsMO 324.265, qualifications and licensure.
- b. A wall sign more than 40 sq. ft. at the front or side of the building will require Planning Commission approval.
- c. Painted signs on exterior wall are prohibited in Historic District
- d. A grand opening banner is allowed by permit for 7-days.
- e. Logo signs or symbols in the Historic District shall have Landmark and Historic District Commission (LHDC) approval.
- f. The Special Use Permit is granted solely to Erika Sharp Massage Therapy
- g. This Special Use Permit is transferable to another while the business is in operation or within six months of closure.
- h. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be deemed abandoned.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the Council

Approved this _____ day of _____, 2024.

Mayor Timothy J. Lowery

ATTEST: _

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

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MEMORANDUM



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CITY OF FLORISSANT

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To: P&Z Commissioners

Date: February 7, 2024

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From: Debra M. Irvin, Building Commissioner

cc: Director of Public Works
City Clerk
Deputy City Clerk
Economic Development Dir
Applicant
File

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Subject: Request recommended approval of a Special Use Permit for a massage therapy business (**Erika Sharp Massage Therapy**) located at **1020 Rue St. Francois** in the ‘‘HB’’ Historic Business District.

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STAFF REPORT

CASE NUMBER PZ-022024-01

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I. PROJECT DESCRIPTION:

This request is a recommended approval to the City Council for a massage therapy business (**Erika Sharp Massage Therapy**) located at **1020 Rue St. Francois** in the ‘‘HB’’ Historic Business District.

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II. EXISTING SITE CONDITIONS:

In the ‘HB’ District, the zoning code allows for a massage business as a Special Use under *Section 405.161 (D)(6)(h) Massage business, provided that the licensing requirements of the City are met.*

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III. SURROUNDING PROPERTIES:

The proposed new location is a corner space, located across from the Municipal Building and connected to a personal service business, and the local diner.

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IV. STAFF ANALYSIS:

The petitioner is relocating the business from an existing shopping center at 525 Rue St, Francois, where she has operated under a Special Use Permit for approximately 5 years.

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40 She has attached self-drawn floor plan for the new space with no changes to the site or
41 exterior of the building. The entire site contains approximately 14 shared parking spaces,
42 two of which are in her entrance door. There is public parking across the street and along
43 Brown Street.

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45 The space that is anticipated to be leased is approximately 1000 s.f.

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47 City regulations require the Finance Department to determine eligibility for licensure
48 with State and/or other agencies.

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61 **VI. STAFF OBSERVATIONS/RECOMMENDATIONS:**

- 62 1. *Suggested motion:* I move to recommend approval to the City Council for a
63 Special Use Permit for a massage therapy business (**Erika Sharp Massage**
64 **Therapy) to be located at 1020 Rue St. Francois** in the ‘HB’ Historic Business
65 District, subject to the protective restrictions that the Council may deem
66 necessary; and the following recommendations:
- 67 a. All therapists shall comply with RsMO 324.265, qualifications and
68 licensure.
 - 69 b. A wall sign more than 40 sq. ft. at the front or side of the building will
70 require Planning Commission approval.
 - 71 c. Painted signs on exterior wall are prohibited in Historic District
 - 72 d. A grand opening banner is allowed by permit for 7-days.
 - 73 e. Logo signs or symbols in the Historic District shall have Landmark and
74 Historic District Commission (LHDC) approval.
 - 75 f. The Special Use Permit is granted solely to *Erika Sharp Massage Therapy*
 - 76 g. This Special Use Permit is transferable to another while the business is in
77 operation or within six months of closure.
 - 78 h. Should this Special Use cease operations for a period of six months, the
79 Special Use Permit shall be revoked.

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(end report and suggested motion)

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.: operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Erika Sharp _____ / erikasharp1@yahoo.com
 PRINT NAME SIGNATURE email and phone

FOR Erika Sharp Massage Therapy _____
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE *[Signature]* SIGN HERE
 ADDRESS 1020 St. Francois St. Florissant MO 63031
STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL 3143729129 / feelsharpagain@icloud.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Erika Sharp as
Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature] SIGN HERE
 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual Partnership _____ Corporation _____

(a) If an individual:

(1) Name and Address Erika Sharp 1705 Horseshoe Dr. 63033

(2) Telephone Number 3143729129

(3) Business Address 525 St. Francois St. Suite #5 63031

(4) Date started in business 9/2017

(5) Name in which business is operated if different from (1) Feel Sharp Massage Therapy

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust, (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Nai Desco

Address 8112 Maryland

Property Owner Nai Desco

Location of property 1020 Rue St. Francois St.

Dimensions of property 20x50 Corner space

Property is presently zoned HB Requests Rezoning To _____

Proposed Use of Property Massage Therapy Studio

Type of Sign Window Height Less than 40ft

Type of Construction Brick Number Of Stories 1

Square Footage of Building 81.6 x 50.11 Number of Curb Cuts 2

Number of Parking Spaces 2 Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter _____

No. of Shrubs N/A Size _____

Fence: Type N/A Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (I.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed 2/7/2024

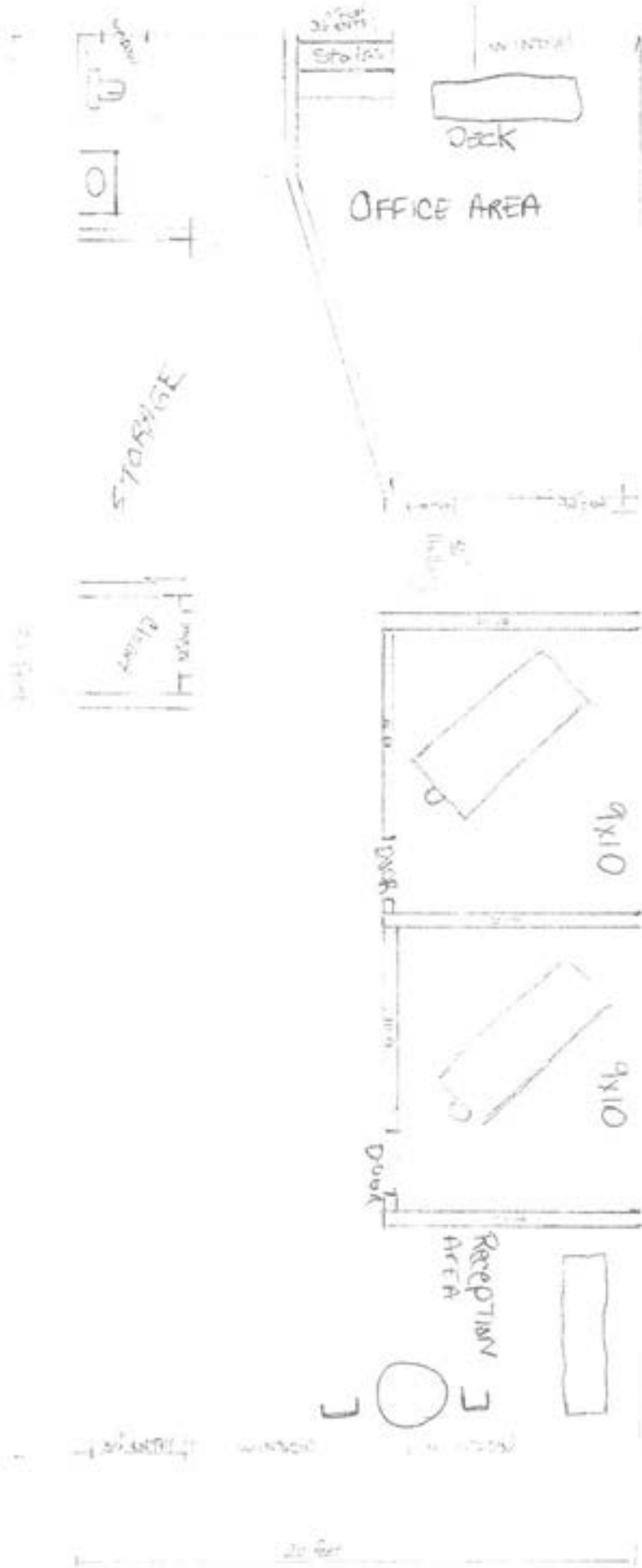
STAFF REMARKS: _____

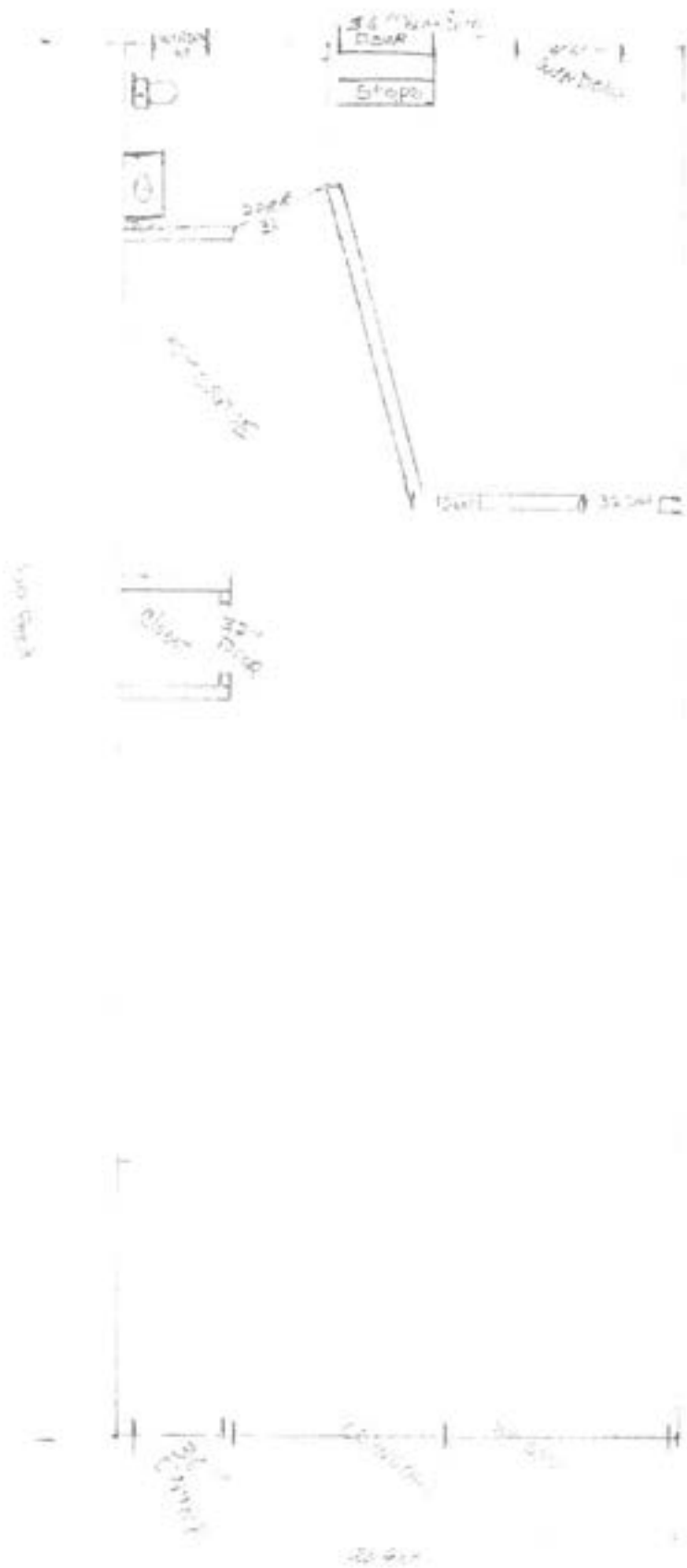
SIGN HERE

Debra M. Irwin

Building Commissioner or Staff Signature

1020 RUE ST FRANCOIS - PROPOSED LAYOUT





Title XXII OCCUPATIONS AND PROFESSIONS

Chapter 324

< > • Effective - 28 Aug 2020, 3 histories ↓

324.265. Massage therapists, qualifications of applicants — waiver, when — licensure term, renewal — student license, when — provisional license, when — exemptions — exemptions for certain therapists licensed in other jurisdictions. — 1. A person desiring a license to practice massage therapy shall be at least eighteen years of age, shall pay the appropriate required application fee, and shall submit satisfactory evidence to the board of meeting at least one of the following requirements:

(1) Has passed a statistically valid examination on therapeutic massage and body work which is approved by the board, prior to August 28, 1999, and applies for such license by December 31, 2000; or

(2) Has completed a program of massage therapy studies, as defined by the board, consisting of at least five hundred hours of supervised instruction and subsequently passing an examination approved by the board. The examination may consist of school examinations. The program and course of instruction shall be approved by the board.

(a) The five hundred hours of supervised instruction shall consist of three hundred hours dedicated to massage theory and practice techniques, one hundred hours dedicated to the study of anatomy and physiology, fifty hours dedicated to business practice, professional ethics, hygiene and massage law in the state of Missouri, and fifty hours dedicated to ancillary therapies, including cardiopulmonary resuscitation (CPR) and first aid.

(b) A person completing a massage therapy program comprised of less than five hundred hours of supervised instruction may submit an application for licensure and the board shall establish requirements for the applicant to complete the requirements of paragraph (a) of this subdivision.

2. A person who has practiced less than three years or has less than one hundred hours of training may request a waiver of the requirements of subsection 1 of this section and apply for a temporary two-year license which shall not be renewable. By the end of such two-year period, such person shall complete at least one hundred additional hours of formal training, including at least twenty-five hours in anatomy and physiology, in a school approved by the board. Such person shall have until December 31, 2000, to apply for a temporary license pursuant to this subsection.

3. Each license issued pursuant to the provisions of this section shall expire on its renewal date. The board shall renew any license upon:

- (1) Application for renewal;
- (2) Proof, as provided by rule, that the therapist has completed twelve hours of continuing education; and
- (3) Payment of the appropriate renewal fee.

Failure to obtain the required continuing education hours, submit satisfactory evidence, or maintain required documentation is a violation of this subsection. As provided by rule, the board may waive or extend the time requirements for completion of continuing education for reasons related to health, military service, foreign residency, or other good cause. All requests for waivers or extensions of time shall be made in writing and submitted to the board before the renewal date.

4. An applicant who possesses the qualifications specified in subsection 2 of this section to take the examination approved by the board may be granted a provisional license to engage in the practice of massage therapy. An applicant for a provisional license shall submit proof that the applicant has applied for the examination approved by the board. A provisional license shall be valid for one year from the date of issuance and shall be deemed void upon its expiration date. A provisional licensee is prohibited from practicing massage therapy after expiration of the provisional license.

5. As determined by the board, students making substantial progress toward completion of their training in an approved curriculum shall be granted a student license for the purpose of practicing massage therapy on the public while under the supervision of a massage therapy instructor.

6. A student license may be renewed until the student completes such student's training. Upon request, the board may extend a provisional license for good cause at the discretion of the board. An application for the extension of a provisional license shall be submitted to the board prior to the expiration of the provisional license.

7. The following practitioners are exempt from the provisions of this section upon filing written proof with the board that they meet one or more of the following:

- (1) Persons who act under a Missouri state license, registration, or certification and perform soft tissue manipulation within their scope of practice;
- (2) Persons who restrict their manipulation of the soft tissues of the human body to the hands, feet or ears;

(3) Persons who use touch and words to deepen awareness of existing patterns of movement in the human body as well as to suggest new possibilities of movement;

(4) Persons who manipulate the human body above the neck, below the elbow, and below the knee and do not disrobe the client in performing such manipulation.

8. Any nonresident person licensed, registered, or certified by another state or territory of the United States, the District of Columbia, or foreign territory or recognized certification system determined as acceptable by the board shall be exempt from licensure as defined in this chapter, if such persons are incidentally called into the state to teach a course related to massage or body work therapy or to provide massage therapy services as part of an emergency response team working in conjunction with disaster relief officials.

9. Any nonresident person holding a current license, registration, or certification in massage therapy from another state or recognized national certification system determined as acceptable by the board shall be exempt from licensure as defined in this chapter when temporarily present in this state for the purpose of providing massage therapy services at special events such as conventions, sporting events, educational field trips, conferences, and traveling shows or exhibitions.


(L. 1998 H.B. 1601, et al., A.L. 1999 H.B. 343 merged with S.B. 362, A.L. 2006 S.B. 756, A.L. 2008 H.B. 1419, A.L. 2020 H.B. 2046)

---- end of effective 28 Aug 2020 ----
[use this link to bookmark section 324.265](#)

- All versions

	Effective	End
324.265	8/28/2020	
324.265	8/28/2008	8/28/2020
324.265	8/28/2006	8/28/2008

Click here for the [Reorganization Act of 1974 - or - Concurrent Resolutions Having Force & Effect of Law](#)

In accordance with Section [3.090](#), the language of statutory sections enacted during a legislative session are updated and available on this website on the effective date of such enacted statutory section. 

[▶ Other Information](#)

[▶ Other Links](#)



Agenda Request Form

For Administration Use Only:

Meeting Date: 3/11/2024

Open Closed

Report No. 15/2024

Date Submitted:

To: City Council

Title: Ordinance to authorize a Special Use Permit for Green Haven Adult Day Program, LLC to allow for an adult day care for the property located at 695 Graham Rd.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH Notice 695 Graham
2. Staff Report
3. Application
4. Floor Plan
5. Maps
6. Site pictures

INTRODUCED BY COUNCILMAN O'DONNELL
MARCH 11, 2024

BILL NO. 9963

ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT FOR GREEN HAVEN ADULT DAY PROGRAM, LLC TO ALLOW FOR AN ADULT DAY CARE FOR THE PROPERTY LOCATED AT 695 GRAHAM RD.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of an adult day care facility in the City of Florissant; and

WHEREAS, an application has been filed by Green Haven Adult Day Program, LLC to allow for the operation of an adult daycare located at 695 Graham Road, and

WHEREAS, the Planning and Zoning Commission at their meeting on February 20, 2024, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 24-05-009 on said application to be held on the 11th of March, 2024 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for an adult daycare would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Green Haven Adult Day Program, LLC to allow for the operation of an adult daycare located 695 Graham Road with the following stipulations:

- a. Future occupancies for the 2nd floor unit and lower-level commercial space shall comply with city ordinances before leasing.
- b. A grand opening banner is allowed by permit for 7-days.
- c. Seal and stripe asphalt parking lot.
- d. The Special Use Permit is granted solely to Green Haven Adult Day Program LLC
- e. When not in use as Adult Day Program Center, space cannot be rented as an Event Center or Banquet Center.
- f. An operable kitchen is always required for the term of the use.
- g. A Florissant commercial occupancy permit and business license is required.
- h. Remove large dead tree at corner of Manion and Graham Road, manicure shrubs at front of property.
- i. Construct trash can enclosure in accordance with Section 220.040 of the city code of ordinances.
- j. Owner shall possess and post a valid Missouri license/certification to operate an Adult Day Care Program for the term of the Special Use Permit.
- k. Properly screened HVAC units per City Code.
- l. This Special Use Permit is transferable to another while the business is in operation or within six months of closure.

m. Should this Special Use cease operations for a period of six months, the Special Use Permit shall be deemed abandoned.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the Council

Approved this _____ day of _____, 2024.

Mayor Timothy J. Lowery

ATTEST: _____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.120 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 11, 2024 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to allow for an adult day care for the property located at 695 Graham Rd (Green Haven Adult Day Program, LLC). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: February 9, 2024
From: Debra M. Irvin, Building Commissioner c: Director of Public Works
City Clerk
Deputy City Clerk
Economic Development Dir
Applicant
File

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Subject: Request recommended approval of a Special Use Permit for an adult day care facility (**Green Haven Adult Day Program, LLC**) at **695 Graham Rd** in the "B-3" Extensive Commercial District

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STAFF REPORT
CASE NUMBER PZ-022024-04

25

I. PROJECT DESCRIPTION:

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This is a request for a recommended approval to the City Council for a Special Use Permit to operate an adult day care facility (**Green Haven Adult Day Program, LLC**) at **695 Graham Rd** in the "B-3" Extensive Commercial District

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II. EXISTING SITE CONDITIONS:

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According to St Louis County record, the existing building at 695 Graham Road is approximately 0.79 acres and the building is approximately 8,325 s.f., built in 1912, the structure is listed as a Mixed Residential/Commercial use. The property is currently being used as a Ministry building in the main structure, the lower level is being used as a hair salon since 2013; and a residential rental unit on the second floor, with a certificate of compliance since February 2, 1995.

37

III. PARKING CONDITIONS

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The asphalt parking lot has 47 parking spaces. The lot will require sealing and stripping prior to occupancy. The minimum parking required for child-care centers, day nurseries

41 and adult day-care centers is 1 space for every 10 children or adults enrolled plus 1 per
42 employee (consider drop-off/pickup arrangement). The required spaces needed for this
43 use is ten (10).

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48 **IV. PROJECT OCCUPANCY LOAD:**

49 Applicant projects fifty (50) adult clients and 6 staff members, during operational hours
50 of 7:00am – 6:00pm, Monday – Friday. No weekend or holidays planned at this time.

51

52 **V. SURROUNDING PROPERTIES:**

53 Along Manion Park is an R-4 Zoning, consisting of an office building and a Baptist
54 Church. Along Graham, is Hutchens Mortuary & Cremation Center, and residential
55 parcels.

56

57 **VI. STAFF ANALYSIS:**

58 The petitioner is relocating the business from the City of Hazelwood. She has attached a
59 floor plan for the new space with no changes to the site or exterior of the building. The

60

61 **VII. STAFF RECOMMENDATIONS:**

- 62 1. *Suggested motion:* I move to recommend approval to the City Council for a
63 Special Use Permit for an adult day care facility (**Green Haven Adult Day
64 Program LLC**) to be located at **695 Graham Road** in the ‘B-3’ Extensive
65 Commercial District subject to the restrictions that the Council may deem
66 necessary; and the following recommendations:
- 67 a. Future occupancies for the 2nd floor unit and lower-level commercial space
68 shall comply with city ordinances before leasing.
 - 69 b. A grand opening banner is allowed by permit for 7-days.
 - 70 c. Seal and stripe asphalt parking lot.
 - 71 d. The Special Use Permit is granted solely to *Green Haven Adult Day
72 Program LLC*
 - 73 e. When not in use as Adult Day Program Center, space cannot be rented as
74 an Event Center or Banquet Center.

- 75 f. An operable kitchen is always required for the term of the use.
- 76 g. A Florissant commercial occupancy permit and business license is
- 77 required.
- 78 h. Remove large dead tree at corner of Manion and Graham Road, manicure
- 79 shrubs at front of property.
- 80 i. Construct trash can enclosure in accordance with Section 220.040 of the
- 81 city code of ordinances.
- 82 j. Owner shall possess and post a valid Missouri license/certification to
- 83 operate an Adult Day Care Program for the term of the Special Use
- 84 Permit.
- 85 k. This Special Use Permit is transferable to another while the business is in
- 86 operation or within six months of closure.
- 87 l. Should this Special Use cease operations for a period of six months, the
- 88 Special Use Permit shall be revoked.
- 89
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- 91

(End of report and suggested motion)





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**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works
314-839-7648**

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 6 Zoning "B-3"

Initial Date Petitioner Filed 2/7/2024
**Building Commissioner to complete
ward, zone & date filed**

SPECIAL PERMIT FOR Adult Day Program

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 695 Graham Road Florissant, MO 63031

Address of property.

1) Comes Now Tiffany Green

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Buyer

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Ministry Office and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking. **Yes**

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application. **Yes**

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.: operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.): **Yes**

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Tiffany Green

greenhavenstl@gmail.com 314-393-1639

PRINT NAME

SIGNATURE

email and phone

FOR

Green Haven Adult Day Program LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE

Tiffany Green

ADDRESS

6207 N Lindbergh Blvd Hazelwood, MO 63042

STREET

CITY

STATE

ZIP CODE

TELEPHONE / EMAIL

314-942-3434

BUSINESS

I (we) the petitioner (s) do hereby appoint

N/A

as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Tiffany Green
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual X Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address Tiffany Green 6207 N Lindbergh Hazelwood, MO 63042
- (2) Telephone Number 314-393-1639
- (3) Business Address 6207 N Lindbergh Hazelwood, MO 63042
- (4) Date started in business 5/18/2021
- (5) Name in which business is operated if different from (1) N/A
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Tiffany Green/ Green Haven Adult Day Program LLC

Address 6207 N Lindbergh Blvd Hazelwood, MO 63042

Property Owner BAIT Ministries Christian Center

Location of property 695 Graham Road Florissant, MO 63031

Dimensions of property 2 Story Single Family

Property is presently zoned B-3 Requests Rezoning To N/A

Proposed Use of Property Adult Daycare

Type of Sign Ground Sign Height 120.5 Inches

Type of Construction Wood Frame Number Of Stories 2

Square Footage of Building 8325 Sq Ft Number of Curb Cuts 3

Number of Parking Spaces 47 Sidewalk Length N/A

Landscaping: No. of Trees 1 Diameter _____

No. of Shrubs 6 Size 4'

Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties. R4
2. Show location of property in relation to major streets and all adjoining properties. See Map
3. Show measurement of tract and overall area of tract. 0.79
4. Proposed parking layout and count, parking lighting. 47 Spaces
5. Landscaping and trash screening. Metal Trash Enclosure
5. Location, sizes and elevations of signage. Front Yard, Wood, Ground

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

A tract land in the city of Florissant, located at 695 Graham Road, consisting of 0.79 acres, filed in Saint Louis County, Book 20174, Page 2134 with lot dimensions 0175/0175-0197/0197, School District Ferguson Florissant, Saint Louis County, District 4 located in the Dan-Hoff subdivision

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

Please see attached

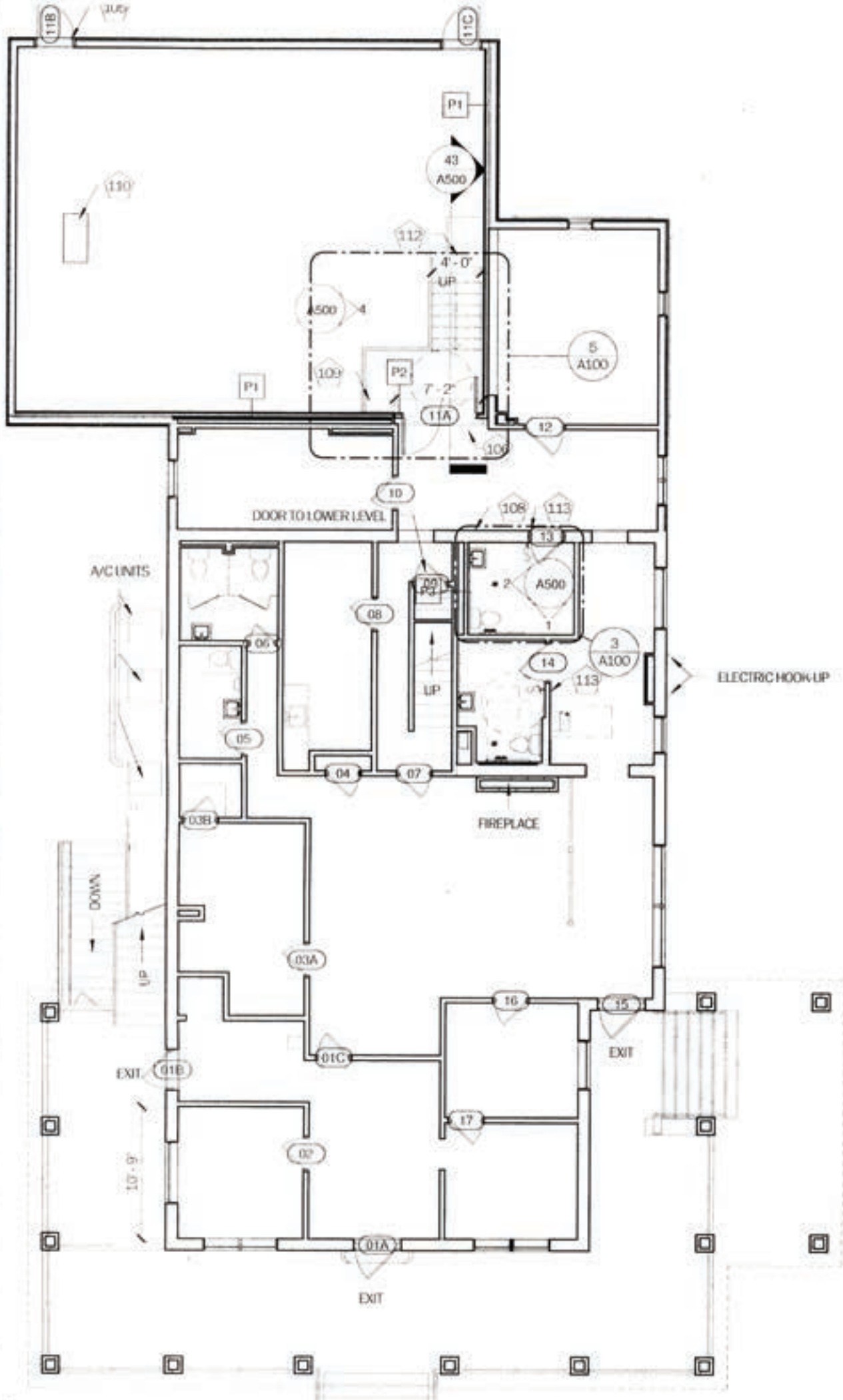
OFFICE USE ONLY

Date Application reviewed 2/7/2024

STAFF REMARKS: _____

Debra M. Irwin

Building Commissioner or Staff Signature



695 graham

Show search results for 695 gr

Parcel: 675 GRAHAM RD

Parent Locator	09K641022
Locator	09K641022
Tax Year	2023
Owner Name	Rear View Investments Corporation
Property Address	675 Graham Rd
Property Zip Code	63021
Owner Address	675 Graham Rd
Owner City	Florissant
Owner State	MO
Owner Zip Code	63021

MANION PARK RD





695 Graham Rd - Sign, Trees, and Shrub



Planning Commission 2/20/2024



Agenda Request Form

For Administration Use Only:

Meeting Date: 3/11/2024

Open Closed

Report No. 17/2024

Date Submitted:

To: City Council

Title: Ordinance authorizing an appropriation of \$80,000 from the Park Improvement Fund to Account # 209-55024-400-00000 "Professional Services Park Improvement" to complete a Parks Master Plan.

Prepared by: Parks Director Cheryl Thompson

Department: Parks and Recreation

Justification:

Please see attached memo

Attachments:

1. Appropriate money for master Plan

INTRODUCED BY COUNCILMAN EAGAN
MARCH 11, 2024

BILL NO. 9964

ORDINANCE NO.

ORDINANCE AUTHORIZING AN APPROPRIATION OF \$80,000 FROM THE PARK IMPROVEMENT FUND TO ACCOUNT # 209-55024-400-00000 "PROFESSIONAL SERVICES PARK IMPROVEMENT" TO COMPLETE A PARKS MASTER PLAN.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized an appropriation of \$80,000 from the Park Improvement Fund to account no. 55024-400-00000 "Professional Services Park Improvement " to allow for the development of a parks master plan.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2024.

Joseph Eagan
President of the Council

Approved this ____ day of _____, 2024.

Mayor Timothy J. Lowery

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

**CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum**

Date: March 6, 2024
To: City Council
Thru: Mayor Tim Lowery
From: Cheryl A. Thompson-Stimage
Subject: Appropriate money for Park Master Plan

I am requesting \$80,000 to be appropriated from the Park Improvement Fund to complete a Master Plan for our park system. We have tried to apply for various grants, but it appears we are getting turned down due to a lack of planning on our part.

This will also help in applying for the Municipal Park Grant through St. Louis County, also. They too prefer that a department has a master plan. Up until now we have been blessed that they have continued to issue us grants. This money should be put into account # 209-55024-400-000000 Professional Services Parks in the Park Improvement Budget.

Thank you for your consideration on this matter.