



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 Rue St. Francois
MONDAY, JANUARY 08, 2024
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

12-11-2023	City Council Minutes	
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IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

24-01-001 Ward 9	Request to approve a final site development plan in ‘B-3’ Extensive Business District for a new dental office located at 2855 N. Highway 67.	Chad Hill
24-01-002 Ward 3	Request to amend Ordinance No 8888 for Travers Automotive Group to allow for a sign over 40 sq. ft. in a ‘B-5’ Planned Commercial District located at 660 Charbonier Rd.	Glenn Travers
24-01-003 Ward 9	Request to amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a ‘B-5’ Planned Commercial District located at 3390 N Highway 67.	Kristi Burk
24-01-004	Request to amend the Zoning Code to add “Tobacco Store” as a Special Use to Sections 405.115, 405.120, 405.125, 405.130, and 405.460.	Staff

VII. OLD BUSINESS

	BILLS FOR SECOND READING	
9937	Ordinance to authorize an amendment to 'B-5' ordinance no. 8362 for Brew Crew, LLC d/b/a 7 Brew to allow for a drive thru only coffee shop located at 8180 N Lindbergh.	Eagan
9940	Ordinance to transfer an existing Special Use and Special Use No. 4993 for a pole sign from Small Business Acquisitions, LLC d/b/a Meineke Discount Mufflers and Brakes to Stillman Brothers Automotive d/b/a Meineke Car Care located at 545 N. Highway 67 for the operation of an automotive repair shop.	Caputa

VIII. NEW BUSINESS

	BOARD APPOINTMENTS	
	BILLS FOR FIRST READING	
9923	Ordinance to amend Special Use No. 8376 issued to Shade Restaurant & Bar LLC d/b/a Twelve 19 Restaurant and Lounge located at 1752-1759 N. New Florissant Road to allow for a change in hours of operation, in a 'B-3' Extensive Business District.	Siam
9942	Ordinance authorizing the approving the final site development plan for the property located at 2855 N. Hwy 67 in an existing "B-3" Extensive Business District for the construction of an oral surgery center.	Siam
9943	Ordinance to authorize an amendment to B-5 ordinance No 8888 for Travers Automotive Group to allow for a sign over 40 sq. ft. in a 'B-5' Planned Commercial District located at 660 Charbonier Rd.	Eagan
9944	Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.	Siam
9945	Ordinance authorizing an amendment to Title IV "Land Use", Chapter 405 "Zoning Code" to establish Tobacco, Alternative Nicotine or Vapor establishments as a special sue in various districts with certain restrictions.	Eagan

9946	Ordinance amending Chapter 250 "Indoor Clean Air Code" to provide clarification regarding hookah and electronic smoking devices.	Eagan
9947	Ordinance amending Chapter 120 "Boards, Commissions and Committees" by deleting it in its entirety and replacing it with a new section.	Eagan
9948	Ordinance authorizing an amendment to Article II "Parks and Recreation Advisory Board" for the purpose of updating the duties.	Eagan
9949	Ordinance authorizing the Mayor to enter into a maintenance agreement with the Metropolitan Sewer District (MSD) for Bangert Park located at 275 S. New Florissant Road.	Eagan
9950	Ordinance authorizing a sanitary and storm water easement for the Metropolitan Sewer District (MSD) on Lot 1 of Bangert Park Library Subdivision.	Eagan

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETING BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON JANUARY 5th, 2024 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MONDAY, JANUARY 08, 2024

CITY OF FLORISSANT



COUNCIL MINUTES

Monday, December 11, 2023

The Florissant City Council met in regular session at Florissant City Hall, 955 Rue St. Francois on Monday, December 11, 2023 at 7:00 PM with Council President Eagan presiding.

I.	<u>PLEDGE OF ALLEGIANCE</u>	The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.
II.	<u>ROLL CALL OF MEMBERS</u>	On Roll Call the following Councilmembers were present: Parson, Siam, Harris, Manganelli, Eagan, Caputa, Schildroth, O'Donnell, and Pagano. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.
III.	<u>APPROVAL OF MINUTES</u>	
	11-27-2023.	City Council Minutes 11-27-2023
		Councilman Siam made a motion to approve the City Council Minutes of November 27, 2023, seconded by Harris. Motion carried.
IV.	<u>SPECIAL PRESENTATIONS</u>	
		Police Commendations were presented by Mayor Lowery and Chief Fagan to: <ul style="list-style-type: none"> • Officer Owen Willtrout • Officer Michael Anello • Officer Bradley Beeman • Officer Jacob Heisserer • Dispatcher Lindsey Nelke • Officer Christopher Daub • Officer Mobin Malik • Officer Anthony Pagano • Officer Mariah Edwards
V.	<u>HEARING FROM CITIZENS</u>	
		There were none.
VI.	<u>COMMUNICATIONS</u>	
		There were none.
VII.	<u>PUBLIC HEARINGS</u>	

	There were none.				
VIII. OLD BUSINESS					
BILLS FOR SECOND READING					
	S9928.	Ordinance authorizing a Special Use Permit for Taste by R&B LLC d/b/a Taste LLC to allow for a Sit-Down and Carry-out Restaurant in an existing 'B-3' Extensive Business District located at 1169 N. Highway 67.			
		<p>Councilman Eagan moved to accept Substitute Bill No. 9928, seconded by O'Donnell. Motion carried.</p> <p>Councilman Eagan moved to suspend the rules to speak with the petitioner, seconded by Schildroth. Motion carried.</p> <p>Councilman Eagan clarified with Ms. Clark that the substitute Bill will require the business to be closed at 10pm every evening.</p> <p>Tequila Clark, petitioner, verified she understood the closing hours of the business.</p> <p>Councilman O'Donnell moved that Substitute Bill No. 9928 be read for a second time, seconded by Parson. Motion carried and Substitute Bill No. 9928 was read for a second time.</p> <p>Councilman O'Donnell moved that Substitute Bill No. 9928 be read for a third time, seconded by Manganelli. Motion carried and Substitute Bill No. 9928 was read for a third time and placed upon its passage.</p> <p>Before the final vote was taken, all interested persons were given the opportunity to be heard. Being no further comments, on roll call, the Council voted as follows:</p>			
VOTING					
Motion by: Councilman O'Donnell, Thomas					
Second by: Councilman Manganelli, Paul					
COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				
		Whereupon the Chair declared Substitute Bill No. 9928 to have passed and become <u>Ordinance No. 8941</u> .			
	9929.	Ordinance to authorize the Rezoning of 8333 N. Lindbergh for Tamara Properties from 'B-1' Local Shopping District to a 'B-3' Extensive Business District.			
		<p>Councilman Eagan moved that Bill No. 9929 be read for a second time, seconded by Harris. Motion carried and Bill No. 9929 was read for a second time.</p> <p>Councilman Manganelli questioned if the council could amend the 'B-1' Zoning to allow for a laundromat under a Special Use Permit.</p> <p>Attorney Jackie Graves noted the option could be done, but the request would need to come from Planning and Zoning to amend the Zoning Code.</p>			

Councilman Parson moved to suspend the rules to speak with the petitioner, seconded by Eagan. Motion carried.

Lisa Becker, petitioner, noted they have no intention of having any other type of business other than a laundromat. She stated a delay is the biggest concern since most of the equipment has been ordered and is being held for 3 months.

Councilman Caputa noted the request is to rezone the property, not a determination of the use for the business.

Councilman Eagan moved that Bill No. 9929 be read for a third time, seconded by Caputa. Motion carried and Bill No. 9929 was read for a third time and placed upon its passage.

Before the final vote was taken, all interested persons were given the opportunity to be heard. Being no further comments, on roll call, the Council voted as follows:

VOTING
 Motion by: Councilman Eagan, Joseph
 Second by: Councilman Caputa, Jeff

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9929 to have passed and become Ordinance No. 8942.

9937. Ordinance to authorize an amendment to 'B-5' ordinance no. 8362 for Brew Crew, LLC d/b/a 7 Brew to allow for a drive-through only coffee shop located at 8180 N Lindbergh.

Councilman Eagan moved that Bill No. 9937 be read for a second time, seconded by O'Donnell. Motion carried and Bill No. 9937 was read for a second time.

Councilman Pagano moved to suspend the rules to speak with the petitioner, seconded by Harris. Motion carried.

Councilwoman Pagano noted her concerns with the material being used for the business and other businesses using the same material.

Griffin Bobbit, petitioner, noted the manufacturer warranty is 30 years and the city has a maintenance and property keep code which will be followed by the business. Mr. Bobbit stated the masonry code does not apply to a 'B-5' and they are wanting to follow the appearance of the masonry code. There are many different variations of the building at current businesses, but none of the locations use full brick.

Councilman Caputa stated he would like to see a portion of the building to be full masonry, not galvanized steel.

		<p>Mr. Bobbit noted they do not have any portion of the building with exposed steel remaining.</p> <p>Councilman Schildroth noted concerns with the proposed development.</p> <p>Councilman Harris noted he stopped by the O’Fallon, Missouri location and supports the project. He stated if there are concerns with the codes allowing different types of material, a committee should meet to change the codes.</p> <p>Mr. Bobbit noted Section 505.060 does not require a ‘B-5’ to follow the masonry code. He clarified if the panel fails, the manufacturer will replace the paneling.</p> <p>Councilman Parson noted it may be difficult to get a clear answer on how to best proceed with the request but does not want to hold back the petitioner.</p> <p>Councilman Eagan stated he understands there are materials being developed which are not masonry, but can last just as long.</p> <p>Councilman Parson made a motion to continue Bill No. 9937 to the City Council meeting on January 8, 2024, seconded by Pagano. Motion carried.</p>
IX. NEW BUSINESS		
BOARD APPOINTMENTS		
	Council.	<p>Councilman Siam made a motion to appoint Lawrence Sylvester, 3695 Estates Dr, to the Planning and Zoning Commission with a term expiring on December 11, 2027. Seconded by Caputa, motion carried.</p>
	Mayor.	<p>Councilman Caputa made a motion to accept the mayor’s appointment of John Daab, 505 S. Lafayette, to the Veterans Commission with a term expiring on November 23, 2026. Seconded by Parson, motion carried.</p> <p>Councilman Manganelli made a motion to accept the mayor’s reappointment of Andrea Purnell, 1355 Estes Dr, to the Disability Awareness Commission with a term expiring on September 8, 2026. Seconded by Parson, motion carried.</p> <p>Councilman Manganelli made a motion to accept the mayor’s reappointment of Quoran Brown-El, 1440 Yearling, to the Disability Awareness Commission with a term expiring on July 24, 2026. Seconded by Parson, motion carried.</p> <p>Councilwoman Pagano made a motion to accept the mayor’s reappointment of Kevin Claspille, 1 Flower Valley Shopping Center, to the Citizen’s Police Review Board, with a term expiring on February 8, 2026. Seconded by Schildroth, motion carried.</p> <p>Councilwoman Pagano made a motion to accept the mayor’s reappointment of Robert Smith, 2823 Chapel View Dr, to the Citizen’s Police Review Board, with a term expiring on February 8, 2026. Seconded by Schildroth, motion carried.</p> <p>Councilwoman Pagano made a motion to accept the mayor’s reappointment of Jacinda Johnson, 2595 Bradwell, to the Citizen’s Police Review Board, with a term expiring on February 8, 2026. Seconded by Schildroth, motion carried.</p>
REQUESTS		
	SUP Transfer.	<p>Request to transfer an existing Special Use and Special Use No. 4993 for a pole sign from Small Business Acquisitions, LLC d/b/a Meineke Discount Mufflers and Brakes to Stillman Brothers Automotive d/b/a Meineke Car Care located at 545 N. Highway 67 for the operation of an automotive repair shop.</p>
		<p>Councilman O’Donnell made a motion to accept the Request to transfer an existing Special Use and Special Use No. 4993 for a pole sign from Small Business Acquisitions, LLC d/b/a Meineke Discount Mufflers and Brakes to</p>

	Stillman Brothers Automotive d/b/a Meineke Car Care located at 545 N. Highway 67 for the operation of an automotive repair shop, seconded by Pagano. Motion carried.
Liquor.	Request for a Full Liquor by the Drink Liquor License for Taste by R&B LLC d/b/a Taste LLC located at 1169 N Highway 67.
	Councilman O'Donnell made a motion to approve the Request for a Full Liquor by the Drink for Taste by R&B, LLC d/b/a Taste, LLC located at 1169 N. Highway 67, seconded by Eagan. On Roll Call, the Council voted as follows:

VOTING

Motion by: Councilman O'Donnell, Thomas

Second by: Councilman Eagan, Joseph

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

BILLS FOR FIRST READING

9940.	Ordinance to transfer an existing Special Use and Special Use No. 4993 for a pole sign from Small Business Acquisitions, LLC d/b/a Meineke Discount Mufflers and Brakes to Stillman Brothers Automotive d/b/a Meineke Car Care located at 545 N. Highway 67 for the operation of an automotive repair shop.
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Bill No. 9940 was read for the first time.

9941.	Ordinance to amend the budget for the Public Works Department 301 to remove a Part time Custodian Position and add a Full-Time Custodian Position.
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Bill No. 9941 was read for the first time.

Councilman Schildroth moved that Bill No. 9941 be read for a second time, seconded by Eagan. Motion carried and Bill No. 9941 was read for a second time.

Councilman Caputa moved that Bill No. 9941 be read for a third time, seconded by Schildroth.

On roll call, the Council voted: Parson yes, Siam yes, Harris yes, Manganelli abstain, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, and Pagano yes.

Having received a unanimous vote of all members present Bill No. 9941 was read for a third and final time and placed upon its passage.

Before the final vote, all interested persons were given an opportunity to be heard. Seeing none, on roll call the Council voted as follows:

VOTING

Motion by: Councilman Caputa, Jeff

Second by: Councilman Schildroth, Keith

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE	
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Councilman Eagan, Joseph	X				
Councilman Harris, Andrew	X				
Councilman Manganelli, Paul	X				
Councilman Caputa, Jeff	X				
Councilman Schildroth, Keith	X				
Councilman O'Donnell, Thomas	X				
Councilwoman Pagano, Jackie	X				
Councilman Parson Jr., Robert	X				
Councilman Siam, Tommy	X				

Whereupon the Chair declared Bill No. 9941 to have passed and become Ordinance No. 8943.

X. COUNCIL ANNOUNCEMENTS

Councilman Harris wished everyone Happy Holidays.
 Councilman Manganelli wished everyone a Merry Christmas and Happy Holidays.
 Councilman Schildroth thanked Lee Baranowski on his years of service with the Planning and Zoning Commission and wished him well. He wished all residents a Merry Christmas and Happy New Year. Councilman Schildroth wished his wife a Happy 41st Anniversary.
 Councilman Caputa wished everyone a Merry Christmas and Happy New Year.
 Councilman Eagan reminded people to check on others and say hi to neighbors during the holiday season. He wished everyone a Merry Christmas and Happy New Year.


XI. MESSAGE FROM THE MAYOR

Mayor Lowery wished everyone Happy Holidays and a Happy New Year.
 The Grand Opening of the I-270 North Project will take place on December 12, 2023 at 11am at 1 Village Square Drive.
 Mayor Lowery noted the Christmas Lights and Tree Disposal Program will be taking place until January 15th at the Health Department for lights and trees will be picked up by Gateway Disposal.

XII. ADJOURNMENT

The Council President stated the next regular City Council Meeting will be Monday, January 8, 2024, at 7:00 pm.
 Councilman Parson moved to adjourn the meeting, seconded by Caputa. Motion carried.

Adjourned at 7:53 PM
 Respectfully submitted,



Karen Goodwin, MPPA/MMC/MRCC
 City Clerk

Bill No. 9928 Ord. No. 8941
 Bill No. 9929 Ord. No. 8942
 Bill No. 9941 Ord. No. 8943

41 The application is accompanied by professionally prepared site plans C100, C300, C400,
42 C500, C501, C600, C800, **dated 7/19/23**, Landscaping Plan L101-1 **dated 7/19/2023**;
43 and Exterior Elevations A201, and A202, **dated 7/20/2023**.
44

45 The Petitioner has proposed a new oral surgery dental center at this location. The
46 following are Staff comments on the plans.
47

- 48 1. C100: Civil Cover Sheet
 - 49 a. Contact Information, Site Date and General Notes
50
- 51 2. C300: Demolition Sheet
 - 52 a. Former building, American Cleaners, demolished under Permit No.
53 D73152
54
- 55 3. C400: Site Plan Sheet
 - 56 a. The petitioner proposes constructing a new building.
 - 57 b. Preliminary building plans were reviewed by the Public Works Director
58 and later the Building Commissioner
 - 59 c. The new building will set back from No Highway 67; behind the AT & T
60 retail store.
 - 61 d. Greenspace is shown at 30%
 - 62 e. Site acreage shown is 1.24 acres
 - 63 f. Parking required is shown at 40 spaces, (4.5 per 1,000 sq. ft.)
64
- 65 4. C500 - C501: Grading & Drainage Plan
 - 66 a. This sheet indicates BMP (best management practices) areas. The
67 remainder of the parcel is 0.79 acres is impervious.
68
- 69 5. C600: Utility Plan
 - 70 a. This sheet shows storm inlets, private sewer; and water and gas lines
71
- 72 6. C800: Details
 - 73 a. ADA requirements
 - 74 b. Curb and ramp
 - 75 c. Sidewalk and pavement
76
- 77 7. L101: Landscaping
 - 78 a. This sheet indicates new landscaping.
 - 79 b. Required Plantings by Ordinance:
 - 80 i. Plants meets or exceeds landscaping ordinance
 - 81 ii. All trees to be 2-1/2" caliper.
 - 82 iii. 76 various types of plant and shrubs are shown at building
83 perimeter, 63 required at one per every 5' building perimeter.
 - 84 iv. Landscaped islands meet the ordinance requirements
 - 85 v. One tree for every 15 parking spaces provided, 3- trees provided
86 for 40 spaces

- 87 vi. Residential buffer is not required
- 88 vii. 30% landscaping for site, 1.24 acres
- 89 viii. Irrigation system reflected on L101
- 90

91 8. Masonry Requirements:

- 92 a. Masonry: The building is proposed with a **100% masonry** brick veneer,
- 93 having a minimum thickness of three and five-eighths (3 5/8) inches and
- 94 meeting all the requirements of ASTM Designation C-216- Ord. 8748
- 95 b. Detailed in A201, A202; steel beam column and channel will be painted
- 96 with high performance Tnemec Coating, having a life span of 15-25 years
- 97

98 **VI. STAFF RECOMMENDATIONS:**

99 **Suggested Motion for 2855 N. Hwy 67 Center (The Evolutions Group):**

100 I move to recommend approval of the site development plan, including
101 landscaping and signage for **2855 N. Hwy 67 Center for the purpose of**
102 **construction an oral surgery center** as depicted by the attached drawings, plans
103 C100, C300, C400, C500, C501, C600, C800, **dated 7/19/23**, Landscaping Plan
104 L101-1 **dated 7/19/2023**, subject to the regulations of the B-3 “Extensive
105 Business District” with permitted uses allowed being professional office, those
106 within the ‘B-3’ Extensive Business District without a Special Permit, and the
107 following additional requirements:

108

109 **1. PERMITTED USES**

110 The uses permitted for this property shall be limited to dental office/clinic,
111 within the B-3 “Extensive Business District” without a Special Use Permit.

112

113 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

114 The building space shall be limited to a single story 4,3336 s.f. dental
115 office/clinic, with those Uses permitted within the ‘B-3’ Extensive Business
116 District without a Special Use Permit.

117

118 **3. PERFORMANCE STANDARDS**

119 In addition to all other requirements, uses within the "B-3" Extensive
120 Commercial District shall conform to the most restrictive performance
121 standards as follows:

- 122 1. *Vibration*. Every use shall be so operated that the maximum
- 123 ground vibration generated is not perceptible without instruments
- 124 at any point on the lot line of the lot on which the use is located.
- 125 2. *Odor*. Every use shall be so operated that no offensive or
- 126 objectionable odor is perceptible at any point on the lot line on
- 127 which the use is located.
- 128 3. *Smoke*. Every use shall be so operated that no smoke from any
- 129 source shall be emitted of a greater density than the density
- 130 described as No. 1 on the Ringelmann Chart as published by the
- 131 United States Bureau of Mines.

132 4. *Toxic gases.* Every use shall be so operated that there is no
 133 emission of toxic, noxious or corrosive fumes or gases.
 134 5. *Emission of dirt, dust, fly ash and other forms of particulate*
 135 *matter.* Emission of dirt, dust, fly ash and other forms of
 136 particulate matter shall not exceed eighty-five one-hundredths
 137 (0.85) pounds per one thousand (1,000) pounds of gases of which
 138 amount not to exceed five-tenths (0.5) pound per one thousand
 139 (1,000) pounds of gases shall be of such size as to be retained on a
 140 325-mesh U.S. standard sieve. In the case of emission of fly ash or
 141 dust from a stationary furnace or a combustion device, these
 142 standards shall apply to a condition of fifty percent (50%) excess
 143 air in the stack at full load, which standards shall be varied in
 144 proportion to the deviation of the percentage of excess air from
 145 fifty percent (50%).
 146 6. *Radiation.* Every use shall be so operated that there is no
 147 dangerous amount of radioactive emissions.
 148 7. *Glare and heat.* Any operation producing intense glare or heat
 149 shall be performed in an enclosure in such a manner as to be
 150 imperceptible along any lot line.
 151 8. *Screening.*
 152 a. All mechanical equipment, air-handling units, cooling
 153 towers, condensers, etc., on roof or grade shall be screened
 154 architecturally in such a manner as to be a part of the
 155 design of the building.
 156 b. Incinerators and stacks shall be enclosed in the same
 157 material as the main exterior building material.
 158 9. *Sound transmission loss.* Sound transmission loss horizontally
 159 and vertically between single units in multi-family housing shall be
 160 not less than fifty (50) STC and installed according to directions in
 161 the Residential Sound Conditioning Publication by the National
 162 Association of Home Builders of the United States, Washington,
 163 D.C., Copyright 1964.

164
 165 **4. TRASH ENCLOSURES**

166 Trash container shall be kept within a gated sight-proof area as shown on
 167 attached plans. Materials to be compatible with the building.
 168

169 **5. PLAN SUBMITTAL REQUIREMENTS**

170 Final Development Plan shall include improvements as shown on
 171 drawings attached, including entire property, trash enclosures, landscape,
 172 lighting and legal description.
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174 **6. SITE DEVELOPMENT PLAN CRITERIA:**

175 a. Height, Area and Bulk Restrictions:

176 1. Height, Area and Bulk Regulations. The height, area and bulk
 177 regulations for uses in the "B-3" Extensive Commercial District

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b. Internal Drives:

(1) There shall be parking as shown on drawings attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 40 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks

(1) Shall comply with Paving Legend on C400.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) The light level for parking lot lighting shall be 0.5 fc minimum.
- (2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

- (1) **Signs depicted on building does not reflect size**
- (2) All other signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse effect on the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and bio-hazardous containers shall be contained within a trash enclosure with gates compatible with existing building.

- 223 (3) All storm water and drainage facilities shall be constructed, and all
224 landscaping shall be installed, prior to occupancy of the building,
225 unless remitted by the Director of Public Works due to weather related
226 factors.
227
- 228 (4) All mechanical equipment, electrical equipment, and communication
229 equipment shall be screened in accordance with the Florissant Zoning
230 Code.
231
- 232 (5) The exterior design of the buildings shall be constructed in accordance
233 with the renderings as approved by the Florissant Planning and Zoning
234 Commission and attached hereto.
235
- 236 (6) All other requirements of the Florissant Municipal Code and other
237 ordinances of the city shall be complied with unless otherwise allowed
238 by this ordinance.
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- 240 (7) There shall be one ground sign located as shown on plans, otherwise
241 consistent with the sign code of the City of Florissant.
242
- 243 (8) The proposed building shall be **100% masonry** brick veneer, having a
244 minimum thickness of three and five-eighths (3 5/8) inches and meeting
245 all the requirements of ASTM Designation C-216- Ord. 8748. And the
246 steel beam columns and channel will be painted with high performance
247 Tnemec Coating, having a life span of 15-25 years
248

249 **7. FINAL SITE DEVELOPMENT PLAN**

250 A final site development plan shall be submitted to the Building
251 Commissioner to review for compliance with the applicable B-3
252 "Extensive Business District" ordinance prior to recording. Any
253 variations from the ordinance approved by the City Council and/or the
254 conceptual plans attached to such ordinance shall be processed in
255 accordance with the procedure established in the Florissant Zoning Code.
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257 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

258 Any changes to the approved plans attached hereto must be reviewed by the
259 Building Commissioner. The Building Commissioner must decide as to the
260 extent of the changes per the following procedure:
261

- 262 1. The property owner or designate representative shall submit in writing a
263 request for an amendment to the approved plans. The building
264 commissioner shall review the plans for consistency with the purpose and
265 content of the proposal as originally or previously advertised for public
266 hearing and shall make an advisory determination.
- 267 2. If the building commissioner determines that the requested amendment is
268 not consistent in purpose and content with the nature of the purpose as

- 269 originally proposed or previously advertised for the public hearing, then
270 an amendment to the special use permit shall be required and a review
271 and recommendation by the planning and zoning commission shall be
272 required and a new public hearing shall be required before the City
273 Council.
- 274 3. If the building commissioner determines that the proposed revisions are
275 consistent with the purpose and content with the nature of the public
276 hearing then a determination of non-necessity of a public hearing shall be
277 made.
- 278 4. Determination of minor changes: If the building commissioner determines
279 that an amendment to the special use permit is not required and that the
280 changes to the plans are minor in nature the Building Commissioner may
281 approve said changes.
- 282 5. Determination of major changes: If the Building Commissioner
283 determines that an amendment to the B-5 is not required but the changes
284 are major in nature, then the owner shall apply for review and approval by
285 the Planning and Zoning commission.
- 286
- 287 **9. VERIFICATION PRIOR TO OCCUPANCY PERMIT**
- 288 a. Any new roadway improvements shall be completed prior to the issuance
289 of any final occupancy permit.
- 290
- 291 b. Any new stormwater detention shall be completed prior to the issuance of
292 any occupancy permit.
- 293
- 294 c. All fencing and/or landscaping intended as screening properties shall be
295 completed prior to the issuance of any occupancy permit, unless remitted
296 by the Director of Public Works due to weather related factors.
- 297
- 298 **10. GENERAL DEVELOPMENT CONDITIONS.**
- 299 a. Unless, and except to the extent, otherwise specifically provided herein,
300 development shall be affected only in accordance with all ordinances of
301 the City of Florissant.
- 302
- 303 b. The Department of Public Works shall enforce the conditions of this
304 ordinance in accordance with the Final Site Development Plan approved
305 by the Planning & Zoning Commission and all other ordinances of the
306 City of Florissant.
- 307
- 308 **9. PROJECT COMPLETION.**
- 309 Construction shall start within 90 days of the issuance of building permits for
310 the project and shall be developed in accordance of the approved final
311 development plan within 12 months of start of construction.
- 312
- 313

(End of suggested motion)

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 2855 North Highway 67 Florissant, Missouri 63033

Property Owners Name: Alex Heatrice Phone/email: 202-415-5473

Property Owners Address: 2855 North Highway 67 Florissant, Missouri 63033

Business Owners Name: A Professional Investment Group Phone/email: 202-415-5473

Business Owners Address: 16721 Clayton Rd. Wildwood, MO 63011

DBA (Doing Business As) Premier Institute of Oral and Facial Surgery

Authorized Agents Name: Chad Hill Co. Name: Hill Commercial Construction
(Authorized Agent to Appear Before The Commission)

Agents Address: 7076 S Alton Way A Centennial, CO 80112 Phone/email: 303-994-4849

Request Ratify Conditional Approval of the Building Commissioner of a minor change in the Development Plan

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

11.21.2023
Date

OFFICE USE ONLY

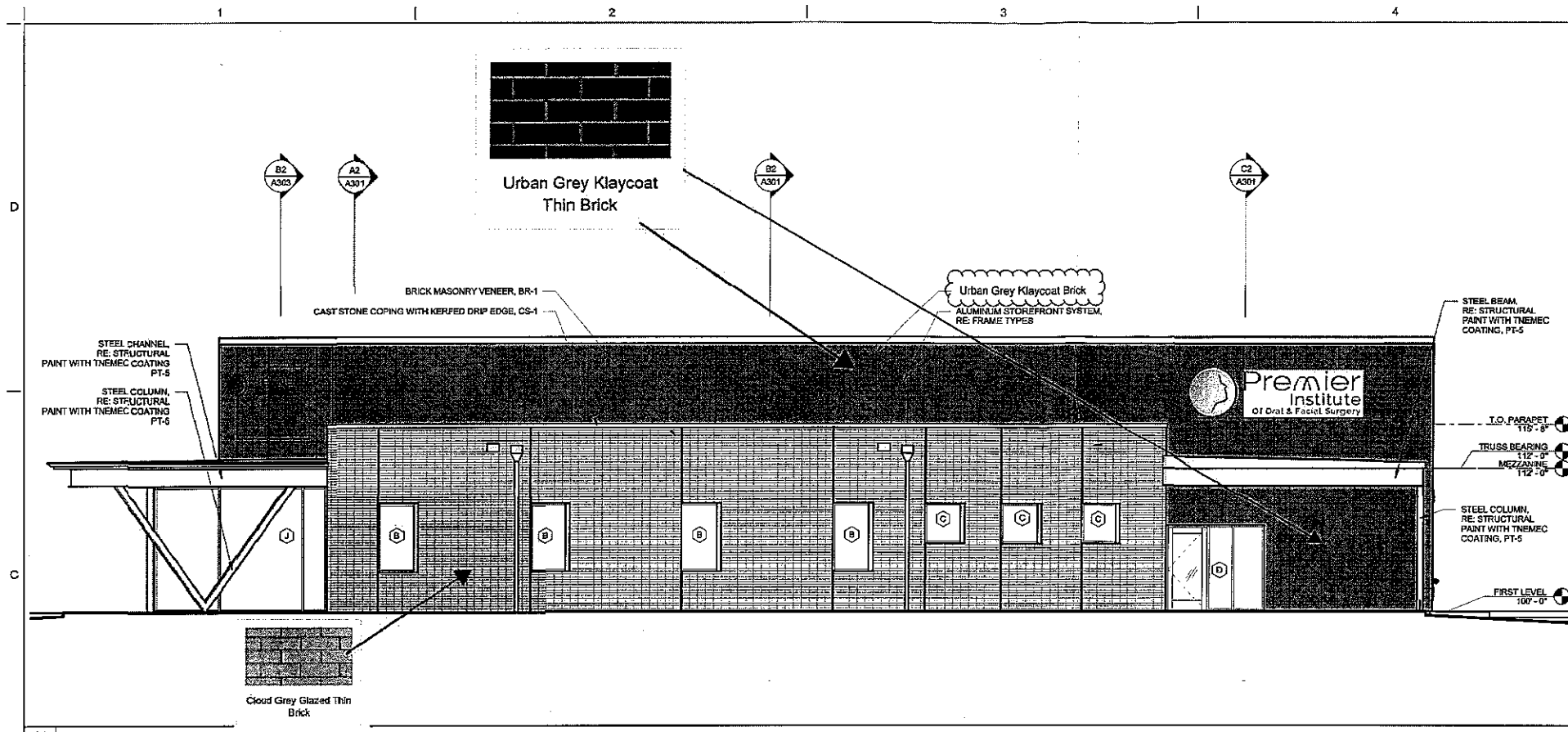
Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION



C1 EAST ELEVATION
A201 SCALE: 3/16" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS FOR A WATERPROOF AND WARRANTABLE SYSTEM
2. CONTRACTOR TO PROVIDE OWNER/ARCHITECT WITH ALL EXTERIOR SAMPLES, FROM EACH MANUFACTURERS FULL RANGE OF FINISH OPTIONS, UNDER A SINGLE SUBMITTAL, FOR REVIEW AND APPROVAL
3. SEALANT JOINTS TO MATCH COLOR OF ADJACENT MATERIAL, TYPICAL

LEGEND - EXTERIOR ELEVATIONS

- Cloud Grey Glazed Brick
- Urban Grey Klaycoat Brick
- BLOCKING FOR SIGNAGE

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Jenks, Oklahoma 74037
918.372.5252
www.rudimentarchitecture.com



07.20.2023

THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

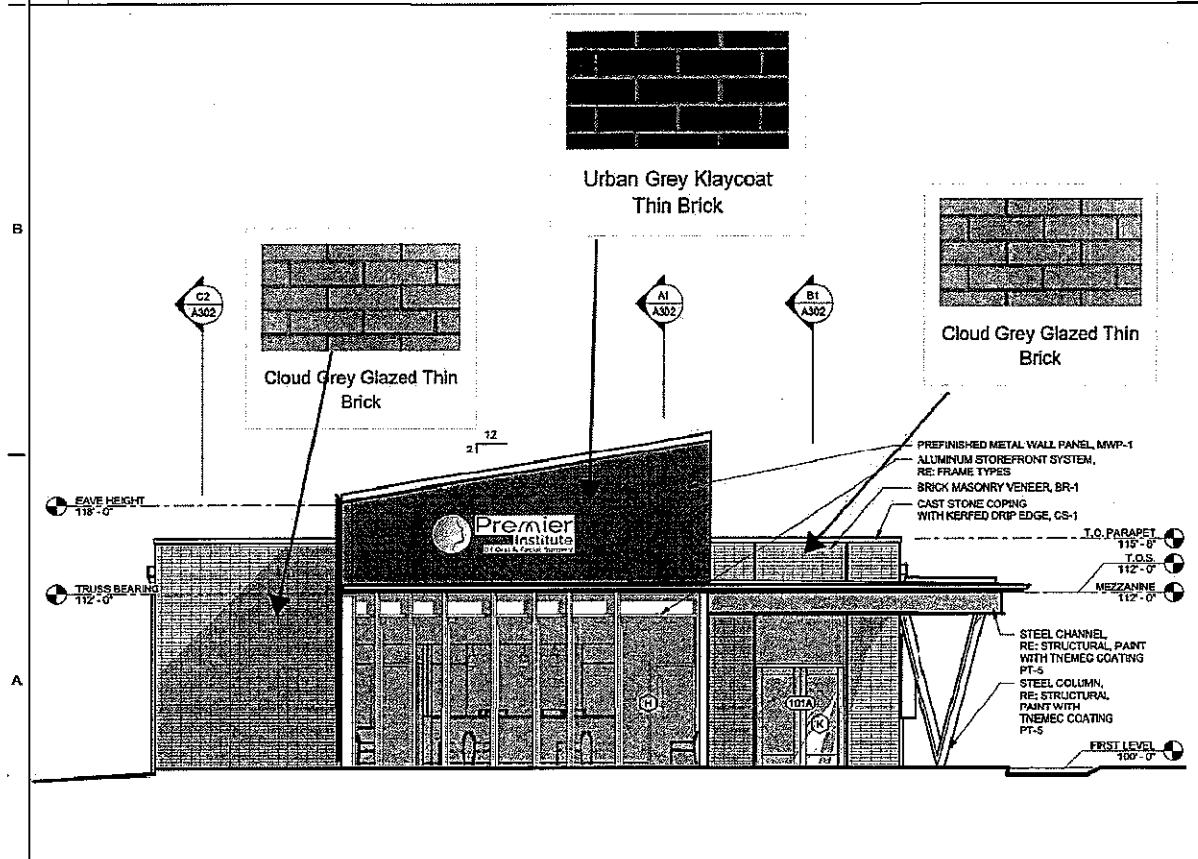
EXTERIOR ELEVATIONS

PROJECT NO.: 22-009
DATE: 07.20.2023
REVISED:
SHEET:

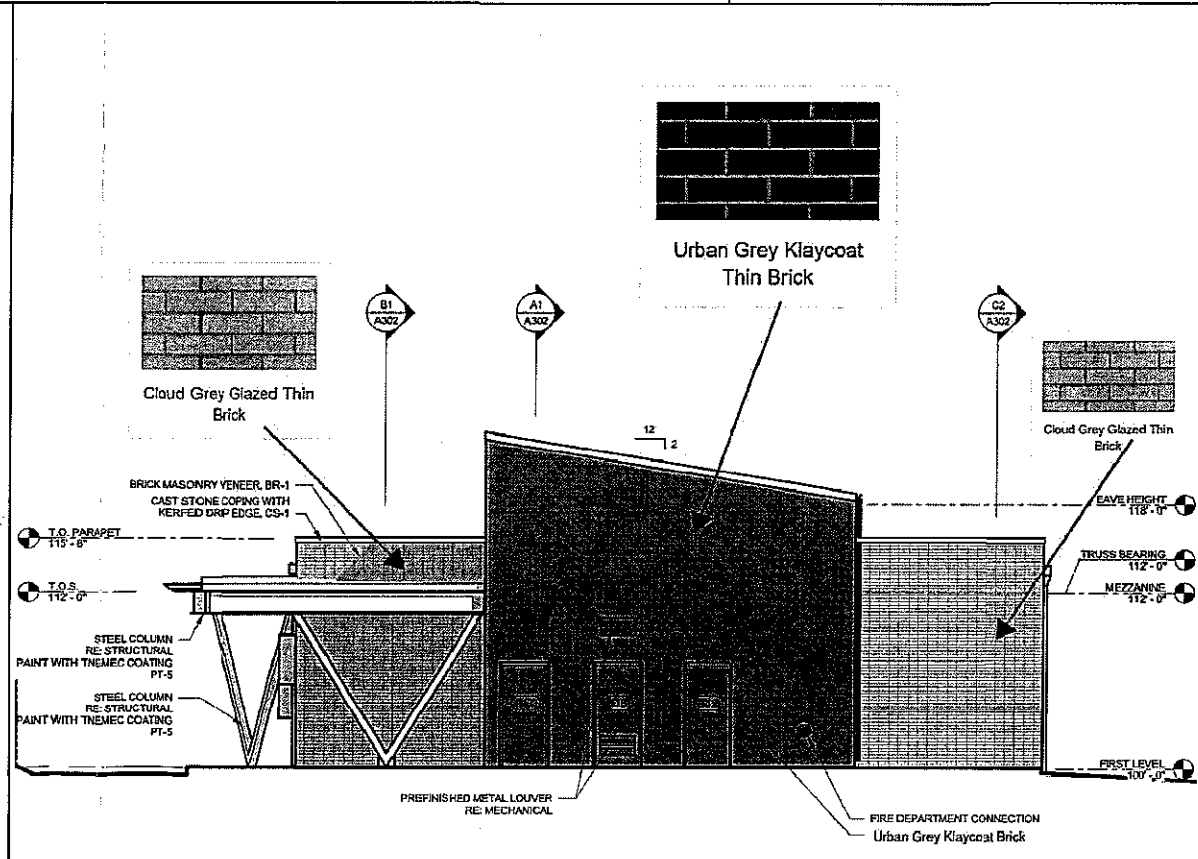
A201

PERMIT

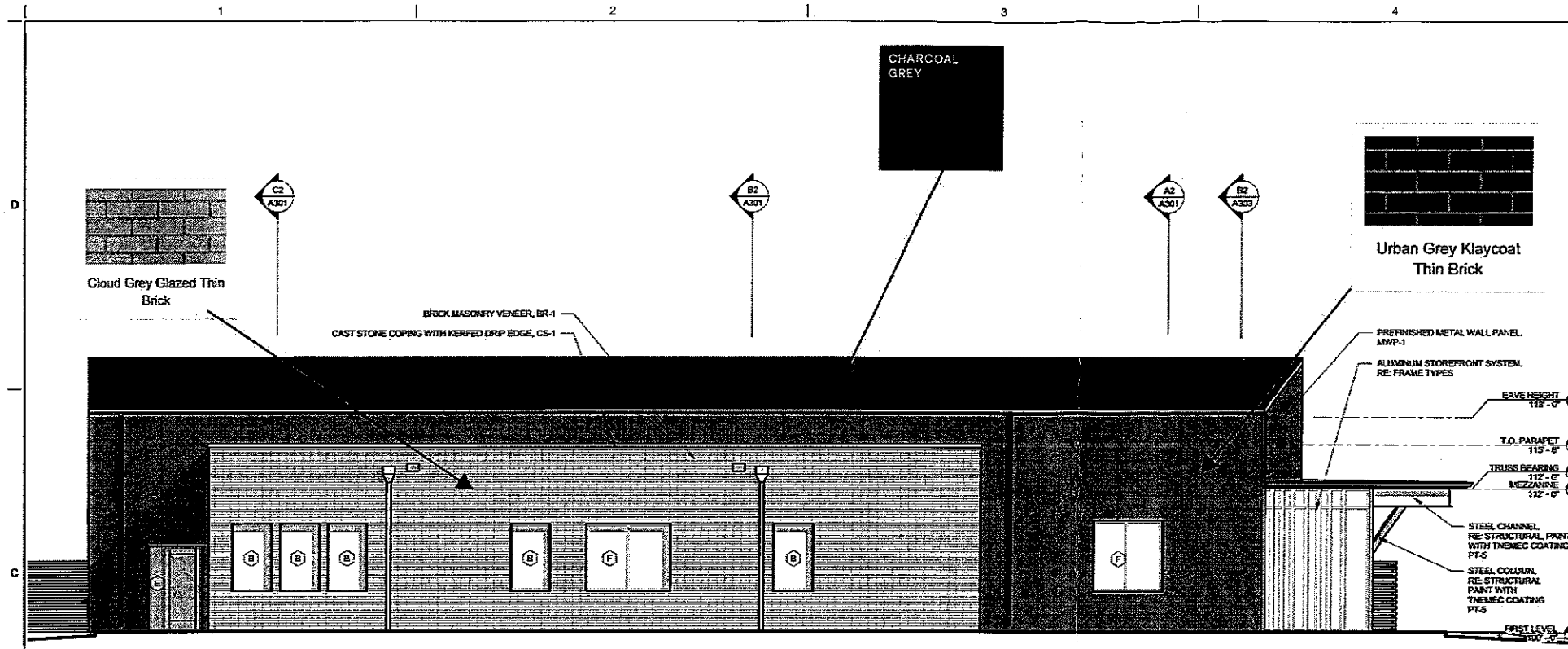
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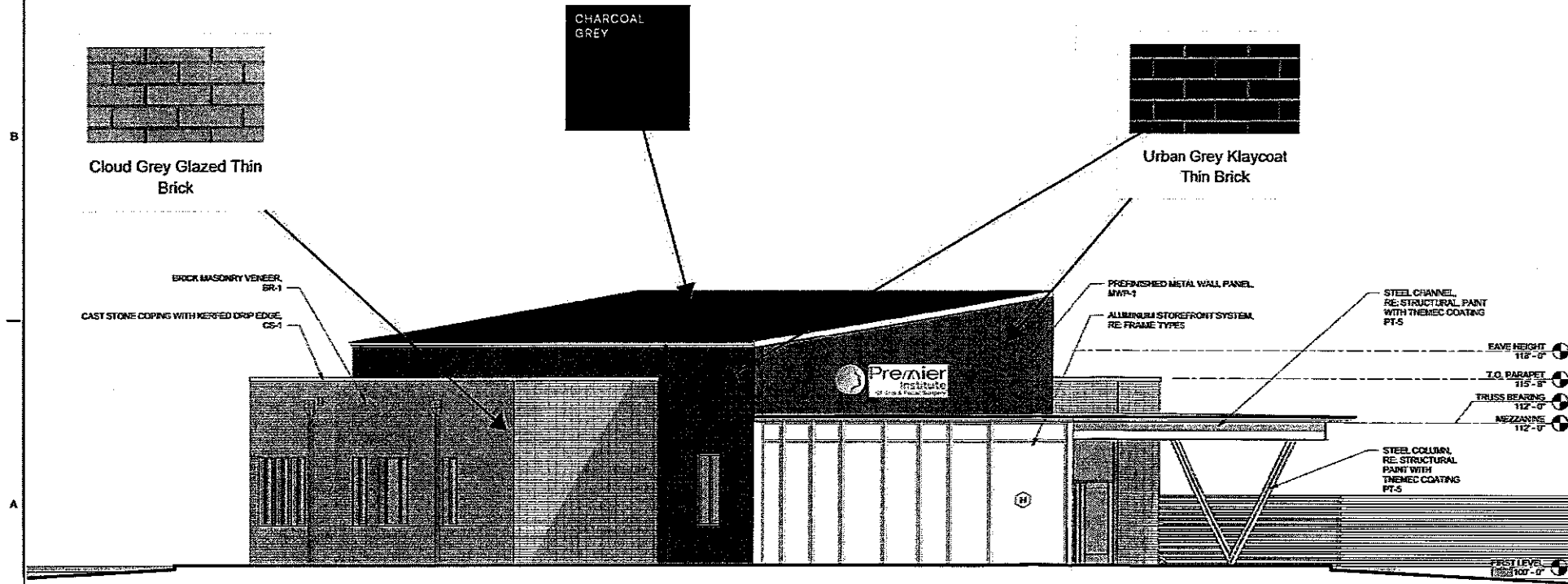
A1 SOUTH ELEVATION
A201 SCALE: 3/16" = 1'-0"



A3 NORTH ELEVATION
A201 SCALE: 3/16" = 1'-0"



C1 | WEST ELEVATION
A202 | SCALE: 3/16" = 1'-0"



A1 | TRUE ELEVATION
A202 | SCALE: 3/16" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS FOR A WATER-TIGHT AND WARRANTYABLE SYSTEM
2. CONTRACTOR TO PROVIDE OWNER/ARCHITECT WITH ALL EXTERIOR SAMPLES, FROM EACH MANUFACTURERS FULL RANGE OF FINISH OPTIONS, UNDER A SINGLE SUBMITAL, FOR REVIEW AND APPROVAL
3. SEALANT JOINTS TO MATCH COLOR OF ADJACENT MATERIAL, TYPICAL

LEGEND - EXTERIOR ELEVATIONS

- Cloud Grey Glazed Brick
- Urban Grey Klaycoat Brick
- BLOCKING FOR SIGNAGE

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architectural interior

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STATE OF MISSOURI
CHAD WALKER
LAND SURVEYOR
NUMBER A-202302906
ARCHITECT

07.20.2023

THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

EXTERIOR ELEVATIONS

PROJECT NO.: 22-009
DATE: 07.20.2023
REVISED:

SHEET:
A202

PERMIT

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THE EVOLUTIONS GROUP - DR. ALEX HEATRICE
SITE PLAN

2855 NORTH HIGHWAY 67

A TRACT OF LAND BEING LOT 2 AND PART OF LOT 3 OF LINDBERGH PLAZA. PLAT BOOK 124, PAGE: 47.
ST. LOUIS COUNTY, MISSOURI

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design
collective

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structural-civil-landscape-survey
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303.350.1600 303.364.5858
mtdr@wallacedesign.com
exp: 12/31/23
P.N.: 2275084

CONTACTS:

OWNER
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2855 NORTH HIGHWAY 67
FLORISSANT, MO 63033

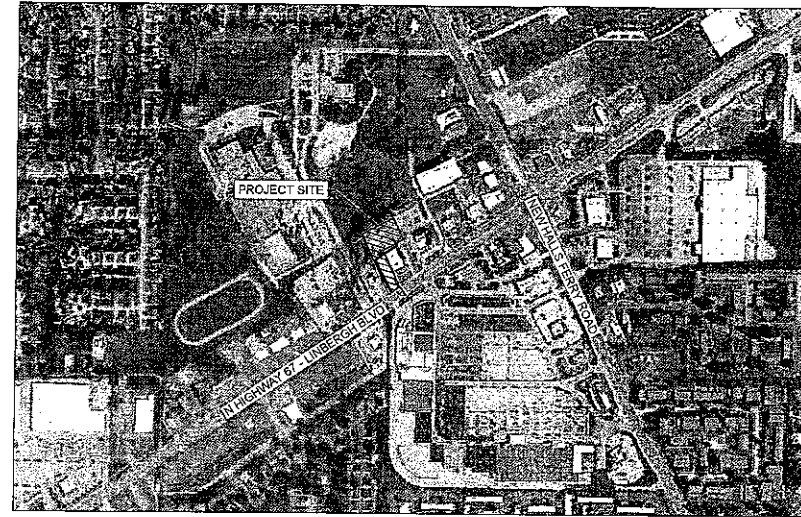
OWNERS REPRESENTATIVE
THE EVOLUTIONS GROUP
1325 E. 15TH ST, SUITE 201
TULSA, OK 74129
DAVE HIBBARD
DAVE@THEEVOLUTIONSGROUP.COM
888.247.1989

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AARON.BARNHART@WALLACEDESIGN.COM
720.407.5288

LANDSCAPE ARCHITECT
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DANIELLE TOEPFER
DANIELLE.TOEPFER@WALLACEDESIGN.COM
720.407.5282

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C100	CIVIL COVER SHEET
C300	DEMOLITION PLAN
C400	SITE PLAN
C500	GRADING & DRAINAGE PLAN
C501	GRADING BLOW-UPS
C800	UTILITY PLAN
C800	DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE NOTES



VICINITY MAP
SCALE: 1"=600'

SITE DATA:	
LAND AREA SUMMARY	
NET LAND AREA	53,912 SF (+/-1.24 AC)
SITE DATA	
ZONING	B-3 EXTENSIVE COMMERCIAL
BUILDING DATA	
TOTAL BUILDING:	4,336 SF
IMPERVIOUS AREA	
TOTAL SITE AREA	53,912 SF (1.24 AC)
TOTAL DISTURBED AREA:	25,554 SF (0.59 AC)
EXISTING IMPERVIOUS AREA:	34,621 SF (0.79 AC)
PROPOSED IMPERVIOUS AREA:	9,067 SF
NET CHANGE:	
OFF-STREET PARKING REQUIREMENTS	
REQUIRED: (4.5 SPACES PER 1000 SF - MEDICAL/DENTAL OFFICE) 20 SPACES	
	19 GUEST PARKING SPACES
	12 OVERFLOW PARKING SPACES
	9 STAFF PARKING SPACES
	40 TOTAL PARKING SPACES
PROVIDED:	
ACCESSIBLE PARKING REQUIREMENTS	
REQUIRED:	
FOR 25-50 SPACES:	2 ACCESSIBLE SPACES
PROVIDED:	2 ACCESSIBLE SPACES
PROPERTY DESCRIPTION	
A TRACT OF LAND BEING LOT 2 AND PART OF LOT 3 OF LINDBERGH PLAZA. PLAT BOOK 124, PAGE: 47. ST. LOUIS COUNTY, MISSOURI	

GENERAL NOTES:	
1.	CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
2.	THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
3.	ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
4.	UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND REGULATIONS OF THE CITY OF FLORISSANT, MISSOURI DEPARTMENT OF NATURAL RESOURCES, AND STATE DEPARTMENT OF TRANSPORTATION, AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
5.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, TAP FEES, ETC.
6.	ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
7.	RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.
8.	NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
EXCAVATION NOTIFICATION	
1.	ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS).
2.	CONTRACTORS TO CALL 811 (OR VISIT CALL811.COM) TO REQUEST UTILITY LOCATES. ONCE COMPLETION OF MARKINGS HAS BEEN CONFIRMED BY THE CONTRACTOR, NO AUTOMATED OR MECHANICAL EQUIPMENT SHOULD BE USED WITHIN TWO FEET ON EITHER SIDE OF THE MARKINGS (OR ANOTHER MORE STRINGENT TOLERANCE AS DIRECTED), AND EXISTING FACILITIES MUST BE EXPOSED BY HAND.
3.	EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

LEGEND		
ABBREVIATIONS	LINETYPES	SYMBOLS
(M) MEASURED DATA	--- SF ---	UTILITY POLE
(R) RECORD DATA	---	LIGHT POLE
BC BACK OF CURB	---	GUY ANCHOR
BL BUILDING LINE	---	ELECTRIC BOX
CL CENTERLINE	---	ELECTRIC METER
EG EXISTING GRADE	---	ELECTRIC TRANSFORMER
FF FINISHED FLOOR	---	AVC UNIT
FG FINISHED GRADE	---	ELECTRIC MANHOLE
FL FLOWLINE	---	GAS METER
GL CUTTER LINE	---	GAS VALVE
HP HIGH POINT	---	OIL/GAS WELLHEAD
INV INVERT	---	VENT PIPE
LF LINEAR FEET	FO ---	PIPELINE MARKER
LP LOW POINT	OC ---	COMMUNICATION PEDESTAL
ME MATCH EXISTING	UC ---	UNDERGROUND COMMUNICATION
RW RIGHT-OF-WAY	OE ---	OVERHEAD ELECTRIC
SF SQUARE FEET	UE ---	UNDERGROUND ELECTRIC
SY SQUARE YARDS	G ---	NATURAL GAS
TBK TOP OF BANK	FM ---	SEWER FORCE MAIN
TC TOP OF CURB	SS ---	SANITARY SEWER MAIN
TG TOP OF GRATE	SS ---	SANITARY SEWER SERVICE
TOE TOP OF BANK	---	DRAINAGE AREA, MAJOR
TP TOP OF PAVEMENT	---	DRAINAGE AREA, MINOR
TR TOP OF RIM	---	DRAINAGE FLOW PATH
TS TOP OF SIDEWALK	SD ---	STORM DRAINAGE PIPE
TW TOP OF WALL	F ---	FIRE LINE
	W ---	WATER LINE
	WSL ---	WATER SERVICE LINE
	IRR ---	IRRIGATION LINE
		BENCHMARK
		ACCESSIBLE PARKING
		MAILBOX
		MONITORING WELL
		POT-HOLE
		SIGN

SITE ACCESSIBILITY	
1.	ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURB RAMPS, ACCESSIBLE PARKING, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY CODES (AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES; THE PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) PUBLISHED IN THE FEDERAL REGISTER JULY 2011; INTERNATIONAL BUILDING CODE (IBC); ICC A117.1, ETC.)
2.	WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THESE GUIDELINES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THESE GUIDELINES WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THESE GUIDELINES, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
3.	GENERAL SLOPE GUIDANCE:
3.1.	CROSS SLOPES SHALL NOT EXCEED 1:50 (2.0%).
3.2.	RUNNING SLOPES SHALL NOT EXCEED 5% EXCEPT AT RAMPS.
3.3.	RAMP RUNNING SLOPES SHALL NOT EXCEED 1:12 (8.3%).
3.4.	SLOPES AT LANDINGS, ACCESSIBLE PARKING STALLS, AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3.5.	EXCEPTIONS WITHIN THE PUBLIC RIGHT-OF-WAY: WHERE THE ESTABLISHED ADJACENT STREET GRADE EXCEEDS 5%, RUNNING SLOPES PARALLEL TO THE STREET SLOPES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET. CURB RAMP RUNNING SLOPE CAN EXCEED 8.3% TO LIMIT THE RESULTING THE RAMP LENGTH TO 15 FEET.
SURVEY	
1.	EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE SHOWN PER THE FIELD SURVEY PERFORMED BY ALTEA, LLC DATED NOVEMBER 15, 2022.

THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

CIVIL COVER SHEET

PROJECT NO.: 22-009
DATE: 07.19.2023
REVISED:

SHEET:
C100

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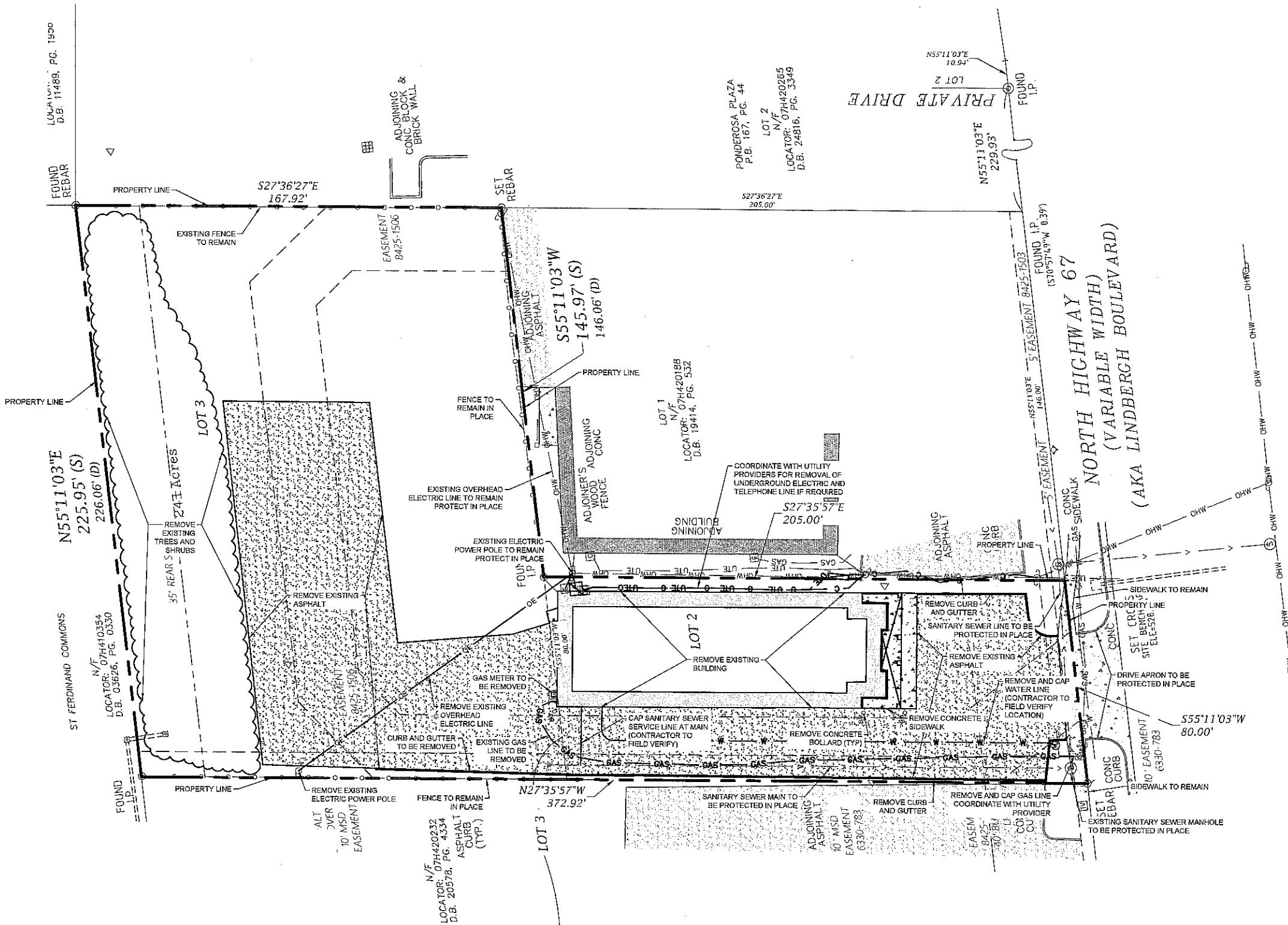
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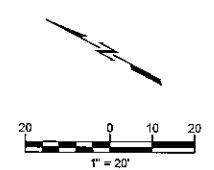


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structural & landscape survey
1800 pyramis court, suite 300
englewood, co 80112
303.366.1010 303.366.5858
mike@wallacedesign.com
P.N.: 2270064



- GENERAL DEMOLITION NOTES:**
- ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
 - CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
 - CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
 - ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
 - WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
 - CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MAINHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
 - TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
 - CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
 - CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
 - REMOVE BUILDING IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, FOOTINGS, UTILITIES, AND ALL BUILDING APPURTENANCES. COORDINATE WITH UTILITY PROVIDERS TO ENSURE ALL UTILITIES ARE SHUT OFF AND CAPPED PRIOR TO DEMOLITION. SERVICE LINES SHALL BE REMOVED AND CAPPED BACK TO MAIN UTILITY LINE, UNLESS NOTED OTHERWISE.
 - PRIOR TO UTILITY DEMOLITION COORDINATE WITH AUTHORITY HAVING JURISDICTION.
 - UTILITIES BEING REMOVED OR RELOCATED SHALL BE ISOLATED AND SERVICE DISCONNECTED PRIOR TO ANY DEMOLITION.
 - NO UTILITY INTERRUPTIONS WILL BE ALLOWED WITHOUT CONSENT OF THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF FOUR WORKING DAYS PRIOR TO THE REQUESTED SHUT DOWN.



THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

DEMOLITION
PLAN

PROJECT NO.: 22-009
DATE: 07.19.2023
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C300

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- GENERAL SITE NOTES:**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
 2. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 4. REFER TO LANDSCAPE PLANS FOR GRASS, TREES, AND PLANTED MATERIALS.
 5. ALL DIMENSIONS AND COORDINATES ARE FROM FLOWLINE OF CURB UNLESS SHOWN OTHERWISE.
 6. RADII = 3' UNLESS OTHERWISE INDICATED.

PARKING SUMMARY

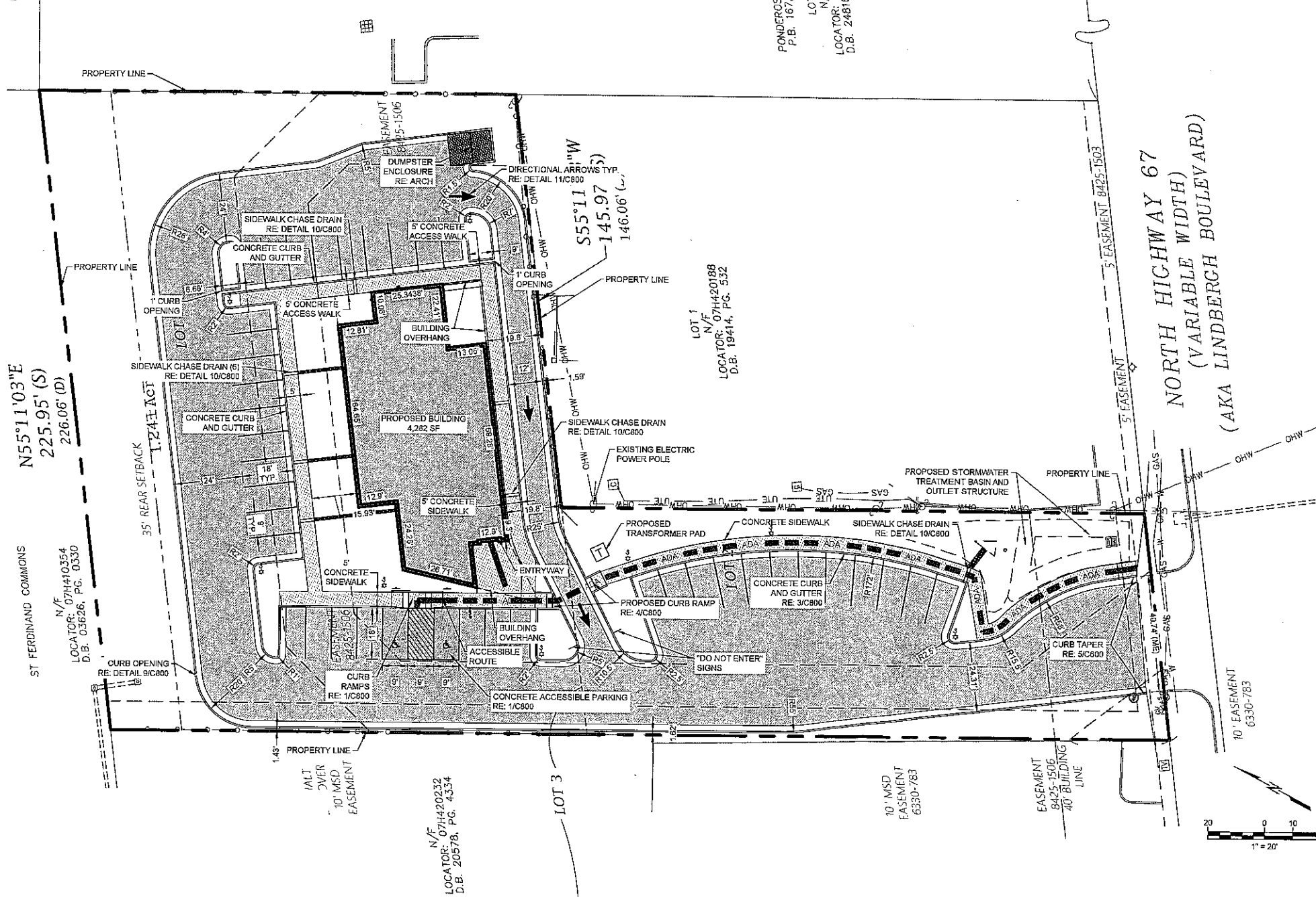
REQUIRED PARKING:	
4.5 SPACES PER 1000 SF: 4.5 x 4,282 / 1000 = 20	
PROVIDED PARKING:	
STANDARD:	38
ACCESSIBLE:	0
VAN ACCESSIBLE:	2
TOTAL PROVIDED PARKING:	40

PAVING LEGEND

LEGEND

	ASPHALT PAVEMENT RE: DETAIL 6/C800
	CONCRETE PAVEMENT RE: DETAIL 6/C800
	REINFORCED CONCRETE PAD RE: DETAIL 6/C800
	CONCRETE SIDEWALK RE: DETAIL 7/C800

LOCATOR: 11489, PG. 1950
D.B. 11489, PG. 1950



- GENERAL PAVING NOTES:**
1. ALL MATERIALS, EXECUTION, AND TESTING TO CONFORM TO A.H.J. REQUIREMENTS (I.E. LOCAL OR STATE DOT STANDARDS AND SPECIFICATIONS).
 2. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
 3. CONTRACTOR TO PROVIDE PRODUCT DATA SUBMITTALS INCLUDING, BUT NOT LIMITED TO, DESIGN MIXES, MATERIAL CERTIFICATES, AND MATERIAL TEST REPORTS FOR MATERIALS AND PRODUCTS ASSOCIATED WITH PAVING AND PAVEMENT MARKING OPERATIONS.
 4. CONTRACTOR SHALL DEVELOP AND IMPLEMENT PROPER TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST REVISION OF THE MUTCD. ACCESS FOR EMERGENCY VEHICLES AND LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
 5. PAVEMENT SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND TO THE GRADES AND ELEVATIONS REQUIRED BY THE CONSTRUCTION DOCUMENTS.
 6. PAVEMENT CONTRACTOR TO INSPECT PAVEMENT SUBGRADE AND CORRECT ANY DEFICIENCIES PRIOR TO PAVING OPERATIONS.
 7. CONTRACTOR TO COORDINATE CONSTRUCTION TESTING UNLESS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS.
 8. THE PAVEMENT SECTIONS SHOWN IN DETAIL XX / CXXX ARE SHOWN FOR REFERENCE AND WERE PROVIDED BY [GEOTECHNICAL ENGINEER NAME] BASED ON SITE SPECIFIC CONDITIONS AS OUTLINED IN THEIR REPORT DATED XXXX.XXXX. ANY QUESTIONS REGARDING THE SUITABILITY OF THESE OR ALTERNATE PAVEMENT SECTIONS, SPECIFIC PAVEMENT MAINTENANCE REQUIREMENTS, OR POTENTIAL PAVEMENT LIFE SHOULD BE DIRECTED TO [GEOTECHNICAL ENGINEER NAME], AS THIS IS BEYOND WALLACE'S SCOPE OF SERVICES FOR THIS PROJECT.

- ASPHALT PAVEMENT:**
9. CONSTRUCT JOINTS TO ENSURE A CONTINUOUS BOND BETWEEN ADJOINING PAVEMENT SECTIONS. OFFSET LONGITUDINAL JOINTS, IN SUCCESSIVE COURSES, A MINIMUM OF 6 INCHES AND TRANSVERSE JOINTS A MINIMUM OF 24 INCHES.
 10. WHERE DIFFERENT THICKNESS PAVEMENTS ABUT, PROVIDE A THICKENED EDGE ON THE THINNER PAVEMENT SECTION, WHICH TRANSITIONS TO THE THICKER PAVEMENT DEPTH ACROSS FOUR FEET.
 11. UNIFORM DENSITY REQUIREMENTS:
 - 11.1. AVERAGE DENSITY: 96 PERCENT OF REFERENCE LABORATORY DENSITY ACCORDING TO ASTM D 6927 BUT NOT LESS THAN 94 PERCENT OR GREATER THAN 100 PERCENT.
 - 11.2. AVERAGE DENSITY: 92 PERCENT OF REFERENCE MAXIMUM THEORETICAL DENSITY ACCORDING TO ASTM D 2041 BUT NOT LESS THAN 80 PERCENT OR GREATER THAN 96 PERCENT.
 12. INSTALLATION TOLERANCES:
 - 12.1. PAVEMENT THICKNESS: BASE COURSE PLUS OR MINUS 1/2 INCH; SURFACE PLUS 1/4 INCH.
 - 12.2. PAVEMENT SMOOTHNESS: BASE COURSE 1/4 INCH IN 10 FEET; SURFACE COURSE 1/8 INCH IN 10 FEET.

- CONCRETE PAVEMENT:**
13. CONCRETE PLACEMENT TO CONFORM TO ACI 301 / 308 / 330 REQUIREMENTS.
 14. CONCRETE MATERIAL:
 - 14.1. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI MINIMUM
 - 14.2. MAXIMUM WC RATIO AT POINT OF PLACEMENT: 0.45
 - 14.3. SLUMP: 4 INCHES PLUS OR MINUS 1 INCH
 - 14.4. AIR CONTENT: 6 PERCENT PLUS OR MINUS 1-1/2 PERCENT
 15. STEEL:
 - 15.1. GRADE 60
 - 15.2. COMPLY WITH CRSI'S 'MANUAL OF STANDARD PRACTICE' FOR FABRICATION, PLACEMENT, AND SUPPORT.
 16. JOINTS:
 - 16.1. FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. WHEN JOINING EXISTING PAVING, PLACE JOINTS TO ALIGN WITH PREVIOUSLY PLACED JOINTS UNLESS OTHERWISE INDICATED.
 - 16.2. FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING LIGHT STANDARD FOUNDATIONS, MANHOLES, INLETS, STRUCTURES, OR OTHER FIXED OBJECTS. EXTEND JOINT FILLERS THE FULL WIDTH AND DEPTH OF PAVEMENT.
 - 16.3. CONTRACTION JOINT DEPTH TO BE 1/4 OF THE TOTAL CONCRETE THICKNESS. JOINTS SHOULD EXTEND THROUGH ADJACENT CURB AND GUTTER.
 17. JOINT SPACING:
 - 17.1. JOINT SPACING SHALL NOT EXCEED 24 TO 30 TIMES THE PAVEMENT THICKNESS (E.G. 0.5" THICK CONCRETE x 30 = 15' MAXIMUM JOINT SPACING) WITH A MAXIMUM SPACING OF 15 FEET.
 - 17.2. LAY OUT JOINTS TO FORM SQUARE PANELS. WHEN THIS IS NOT PRACTICAL, RECTANGULAR PANELS CAN BE USED, BUT THE LENGTH SHALL NOT BE MORE THAN 25% LONGER THAN THE WIDTH (E.G. A 15' LONG PANEL CANNOT BE WIDER THAN 12').
 - 17.3. CONTRACTOR TO SUBMIT A JOINT LAYOUT PLAN FOR REVIEW AND APPROVAL PRIOR TO COMMENCING PAVING OPERATIONS. CONTRACTOR TO TAKE INTO ACCOUNT REVIEW TIME AND CHANGES PER ANY COMMENTS WHEN SCHEDULING THE SUBMISSION OF THE JOINT LAYOUT PLAN.
 18. REINFORCEMENT OF IRREGULARLY SHAPED PANELS OR MISMATCHED JOINTS:
 - 18.1. ON PANELS WITH RADII, ON PANELS THAT TAPER TO A SHARP ANGLE, AND/OR WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 1.25, PROVIDE A MINIMUM OF 0.05 PERCENT STEEL IN BOTH DIRECTIONS ACROSS THE ENTIRE PANEL.
 - 18.2. WHERE JOINT PATTERNS OF ABUTTING PAVEMENTS DO NOT MATCH AND ARE NOT SEPARATED BY AN EXPANSION JOINT, PROVIDE A MINIMUM OF 0.05 PERCENT STEEL IN THE PAVEMENT OPPOSITE OF THE MISMATCHED JOINT FOR A DISTANCE OF THREE FEET BACK FROM THE JOINT ALONG THE FULL WIDTH OF THE PANEL.
 19. WHERE DIFFERENT THICKNESS PAVEMENTS ABUT, PROVIDE A THICKENED EDGE ON THE THINNER PAVEMENT SECTION WHICH TRANSITIONS TO THE THICKER PAVEMENT DEPTH ACROSS FOUR FEET.
 20. PROVIDE MEDIUM TO FINE TEXTURED BROOM FINISH UNLESS OTHERWISE INDICATED ON THE PLANS.
 21. INSTALLATION TOLERANCES:
 - 21.1. ELEVATION: 1/4 INCH
 - 21.2. THICKNESS: PLUS 3/8 INCH, MINUS 1/4 INCH
 - 21.3. SURFACE: 1/4 INCH IN 10 FEET

- PAVEMENT MARKINGS:**
22. ALLOW PAVING TO AGE A MINIMUM OF 30 DAYS BEFORE STARTING PAVEMENT MARKING OPERATIONS.
 23. PAVEMENT MARKING PAINT SHALL BE ACRYLIC, WATERBORNE EMULSION, LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH FS TT-P-1952, TYPE II, WITH A DRYING TIME OF LESS THAN THREE MINUTES.
 24. COLOR AS INDICATED.

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E-2002003132
09/09/2023

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SITE PLAN

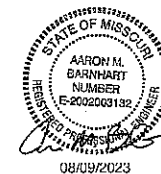
PROJECT NO.: 22-009
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GRADING &
DRAINAGE PLAN

PROJECT NO.: 22-009

DATE: 07.19.2023

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GRADING LEGEND:

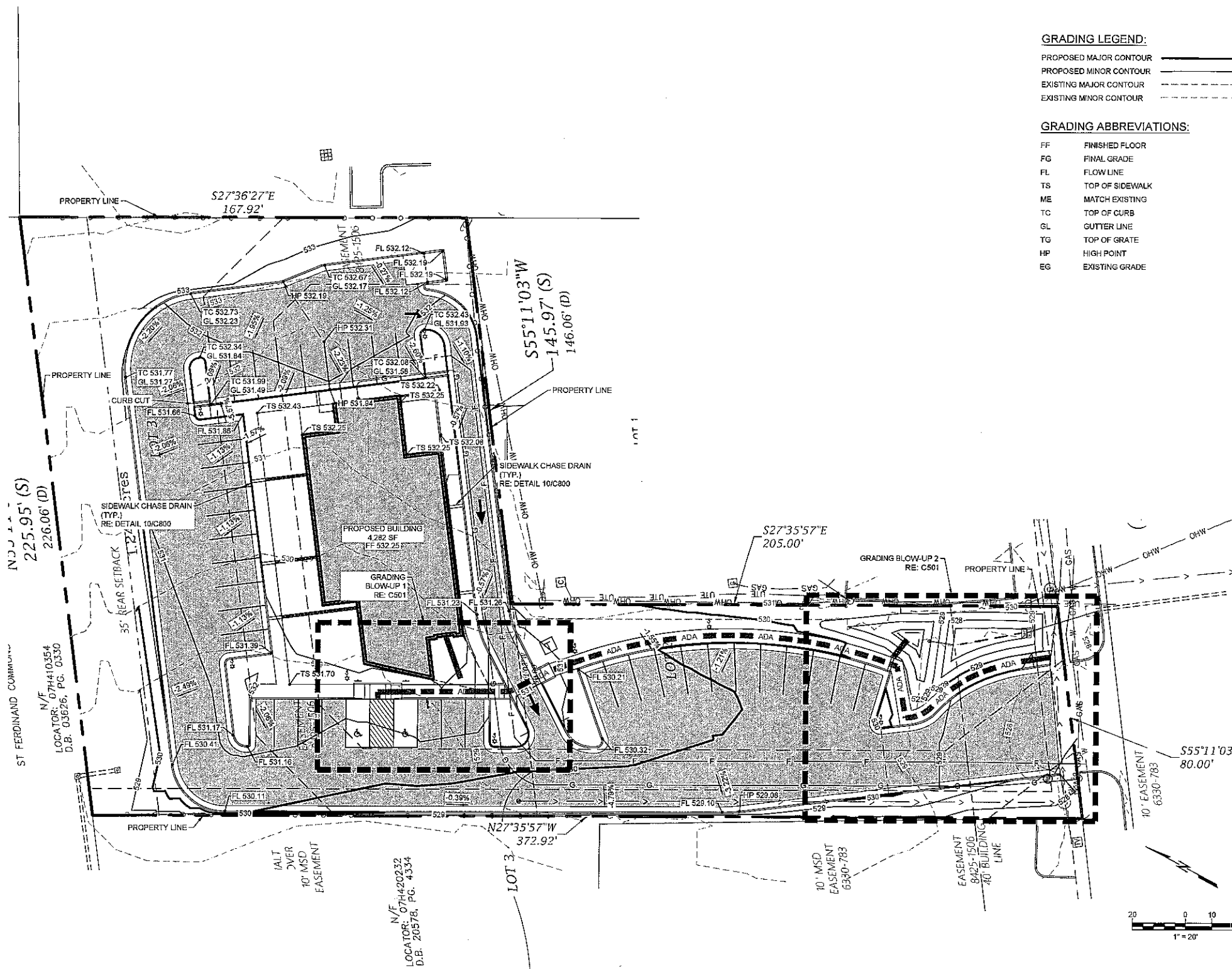
PROPOSED MAJOR CONTOUR	—————
PROPOSED MINOR CONTOUR	—————
EXISTING MAJOR CONTOUR	- - - - -
EXISTING MINOR CONTOUR	- - - - -

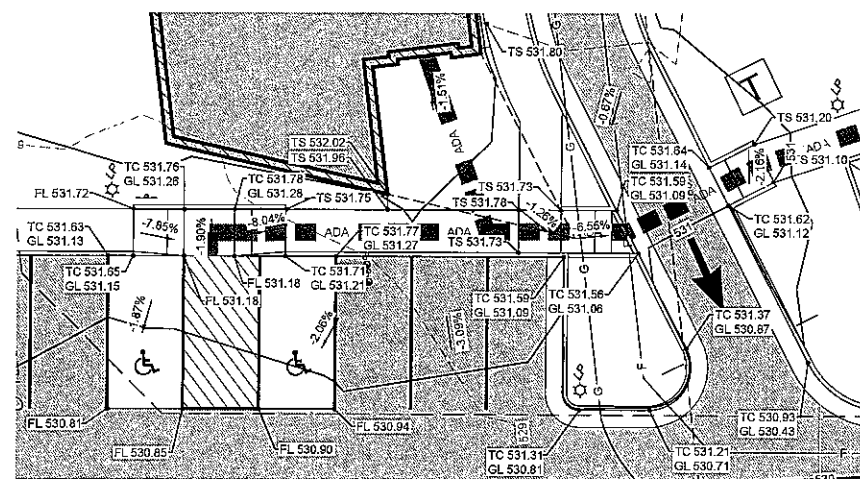
GRADING ABBREVIATIONS:

FF	FINISHED FLOOR
FG	FINAL GRADE
FL	FLOW LINE
TS	TOP OF SIDEWALK
ME	MATCH EXISTING
TC	TOP OF CURB
GL	GUTTER LINE
TG	TOP OF GRATE
HP	HIGH POINT
EG	EXISTING GRADE

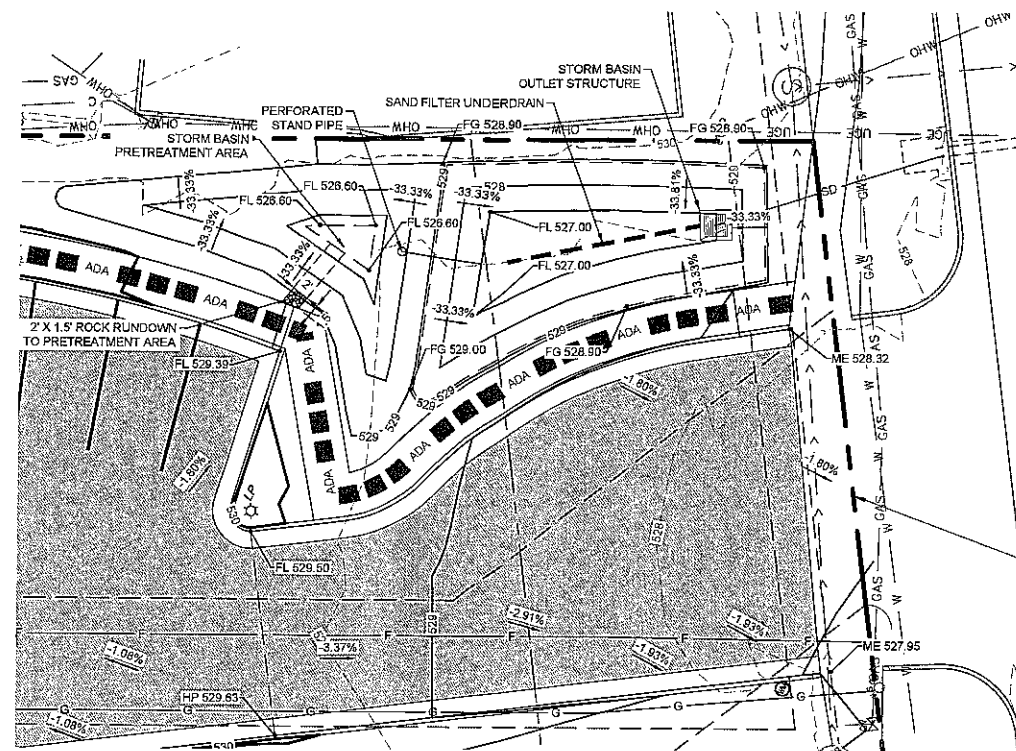
GENERAL GRADING NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY LOCAL AUTHORITIES.
- ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS, AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI. ALL SURVEYING COSTS SHALL BE THE CONTRACTOR'S.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- REFERENCE GEOTECHNICAL ENGINEERING REPORT BY _____ DATED _____ FOR COMPLETE PAVING AND SUBGRADE RECOMMENDATIONS. CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 98% AND 95% STANDARD PROCTOR DENSITY, RESPECTIVELY, AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SPECIFIED THEREIN. CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1/8 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
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- ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE (EXCEPT AT RAMPS) AND 2% CROSS. ACCESSIBLE PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH THE APPLICABLE ACCESSIBLE DESIGN GUIDELINES.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- LANDSCAPE ISLANDS TO BE FILLED WITH SOIL SUITABLE FOR VEGETATION. THE CONTRACTOR WILL INSURE THAT NO PONDING WILL OCCUR AT LANDSCAPE ISLANDS. ALL SURFACE WATER MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPE. NO WATER SHALL BE TRAPPED.
- CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATIONS.
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- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
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- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
- REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.





GRADING BLOW-UP - 1
SCALE: 1"=10'



GRADING BLOW-UP - 2
SCALE: 1"=10'

GENERAL GRADING NOTES:

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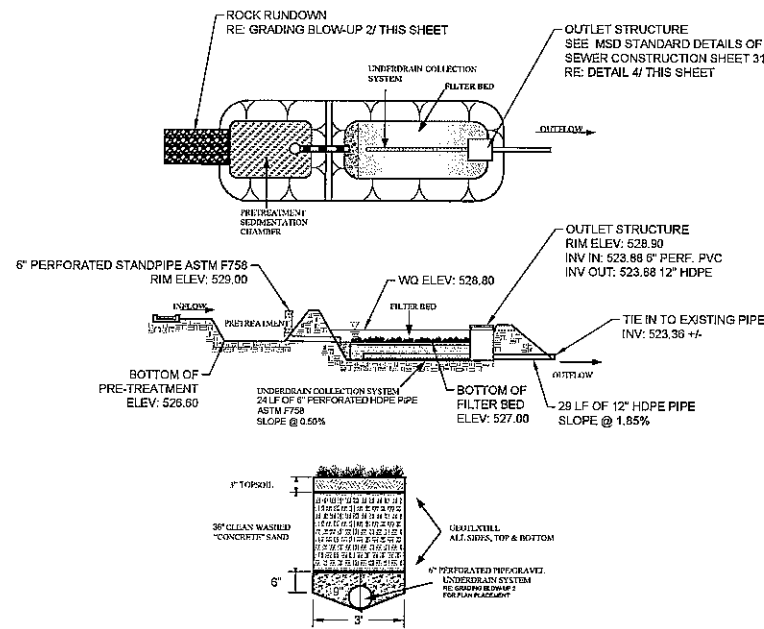
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GRADING BLOW-UPS

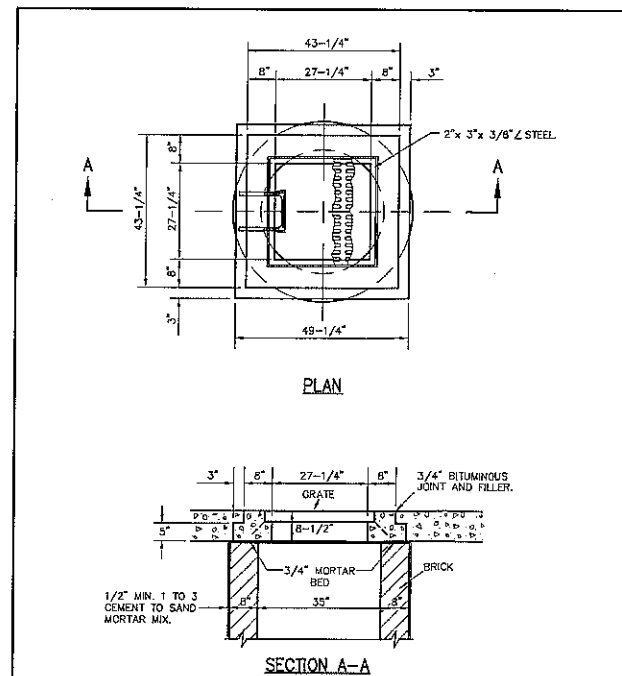
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3 SAND FILTER SYSTEM
SCALE: NTS



NOTES:
1) INLETS ON THIS SHEET ARE TO BE USED IN LOCATIONS WHERE STANDARD OPEN THROAT INLETS CANNOT BE USED IN PAVED TRAFFIC WAY AND IN LIMITED EASEMENTS.
2) STANDARD DEPTH = 4.0 FEET.

2 GRATE INLET BRICK CONSTRUCTION		METROPOLITAN ST. LOUIS SEWER DISTRICT Standard Details of Sewer Construction	
Dr. RGW/SAM Ch. J.C.K.	2009	SHEET 31	

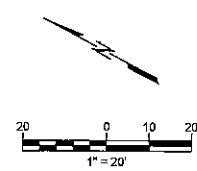
4 OUTLET STRUCTURE
SCALE: NTS

GRADING LEGEND:

- PROPOSED MAJOR CONTOUR ————
- PROPOSED MINOR CONTOUR ————
- EXISTING MAJOR CONTOUR - - - - -
- EXISTING MINOR CONTOUR - - - - -

GRADING ABBREVIATIONS:

- FF FINISHED FLOOR
- FG FINAL GRADE
- FL FLOW LINE
- TS TOP OF SIDEWALK
- ME MATCH EXISTING
- TC TOP OF CURB
- GL GUTTER LINE
- TG TOP OF GRATE
- HP HIGH POINT
- EG EXISTING GRADE



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UTILITY PLAN

PROJECT NO.: 22-009

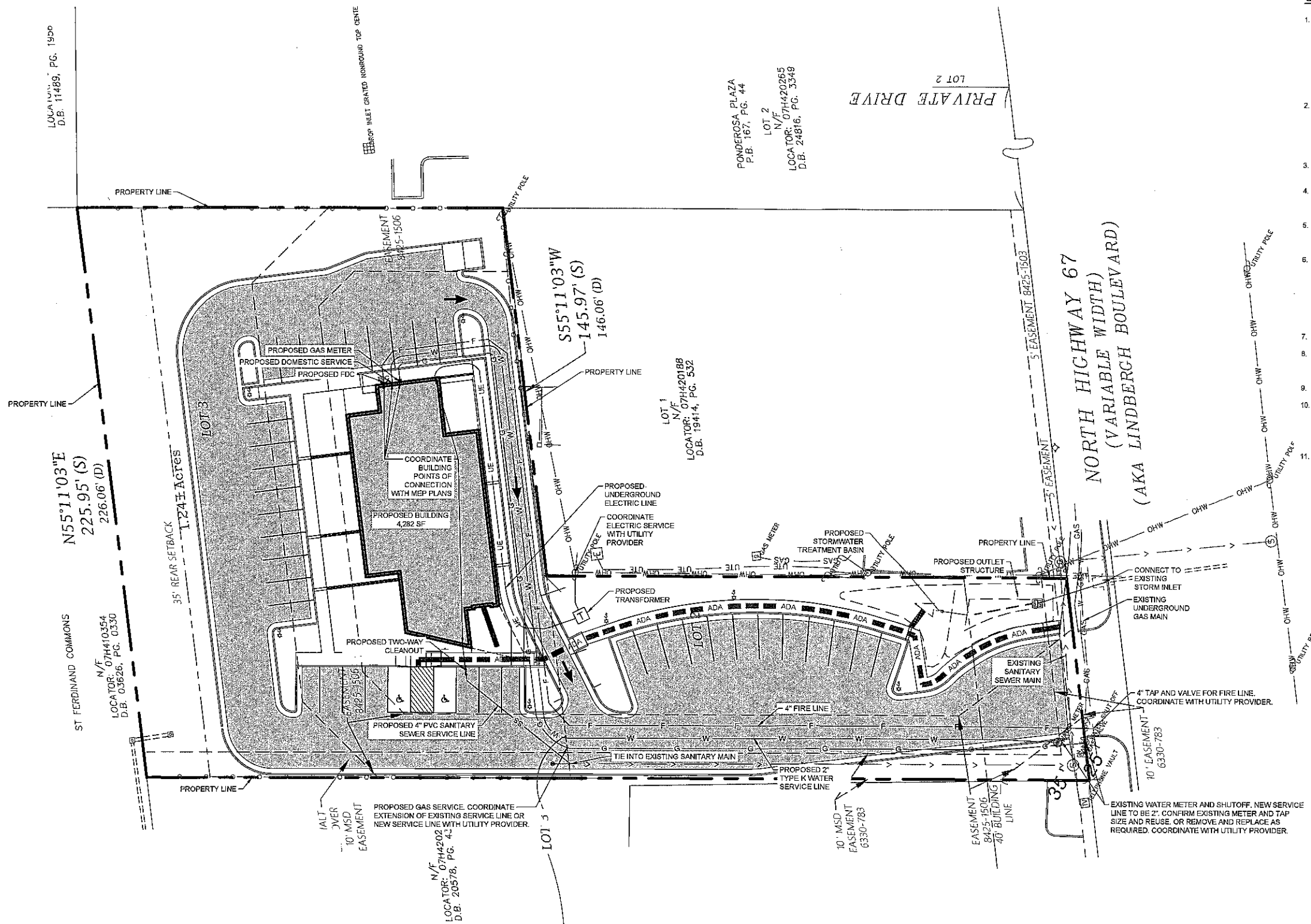
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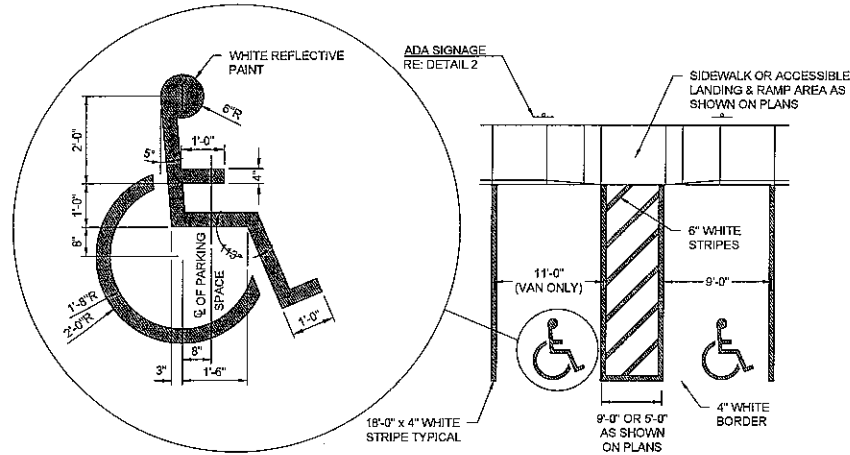
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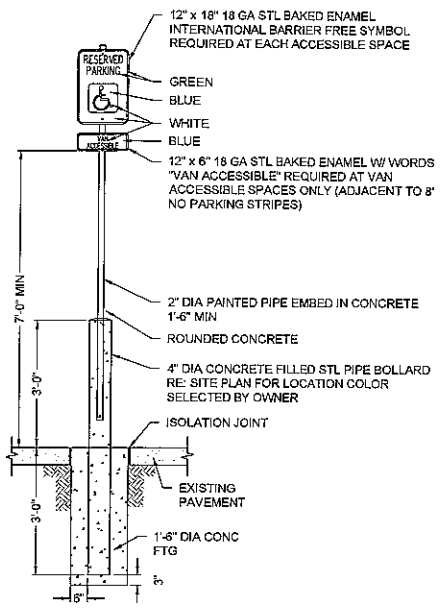
GENERAL UTILITY NOTES:

1. PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE. SERVICE LINES SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS (TELECOMMUNICATIONS, ELECTRIC, GAS, ETC.) PRIOR TO INSTALLING SERVICE LINES OR APPURTENANCES. CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
2. THIS PLAN DEPICTS THE INTENT OF PRIVATE AND FRANCHISE UTILITY ROUTINGS AS UNDERSTOOD DURING DESIGN PHASES OF THE PROJECT. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO NEGOTIATE ALL CONTRACTS FOR SERVICE WITH EACH INDIVIDUAL UTILITY COMPANY AND TO PROVIDE THE ENGINEER WITH ANY DOCUMENTS THAT MAY AFFECT THE LAYOUT.
3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS BEFORE CONNECTING TO ANY EXISTING LINE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
5. NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. TERMINATE SERVICE PIPING 5' FROM BUILDING WALL UNTIL BUILDING PIPING SYSTEMS ARE INSTALLED. TERMINATE PIPING WITH VALVE AND CAP PLUG OR FLANGE AS REQUIRED FOR PIPING MATERIAL. MAKE CONNECTIONS TO BUILDING PIPING SYSTEMS WHEN THOSE SYSTEMS ARE INSTALLED.
7. FIRE LINE BACKFLOW PREVENTER (DOUBLE CHECK ASSEMBLY) SHALL BE LOCATED INSIDE THE BUILDING.
8. ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
9. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR CONTINUATION OF UTILITIES AT BUILDING.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS (INCLUDING IRRIGATION SLEEVES) PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS. THE CONTRACTOR SHALL INSTALL ALL CONDUITS WITH A PULL STRING. ALL CONDUIT SHALL BE SCH. 40 PVC, UNLESS NOTED OTHERWISE.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.

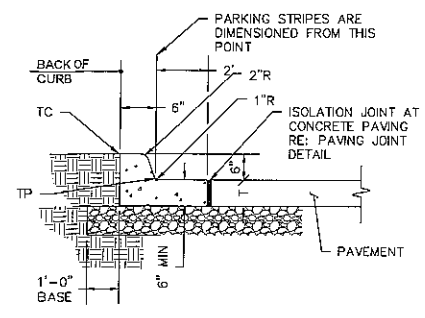
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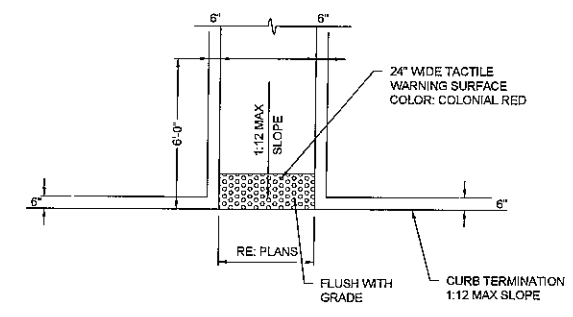
1 ACCESSIBLE STRIPING
SCALE: NTS



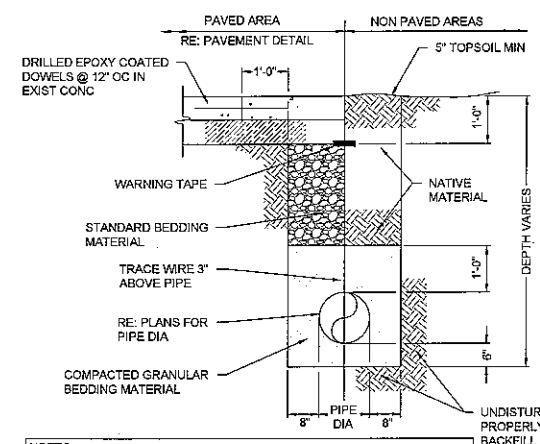
2 ACCESSIBLE SIGNAGE - BOLLARD BASE
SCALE: NTS



3 CURB & GUTTER (BARRIER)
SCALE: NTS

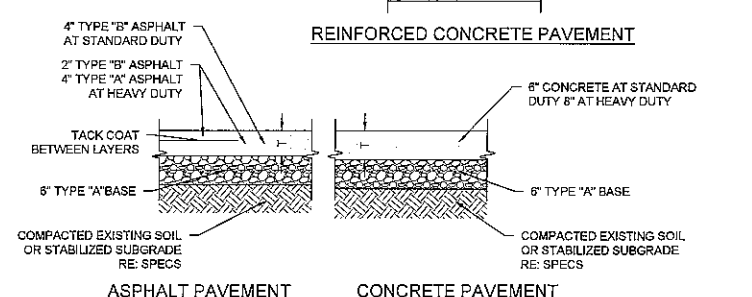


4 CURB RAMP DETAIL
SCALE: NTS

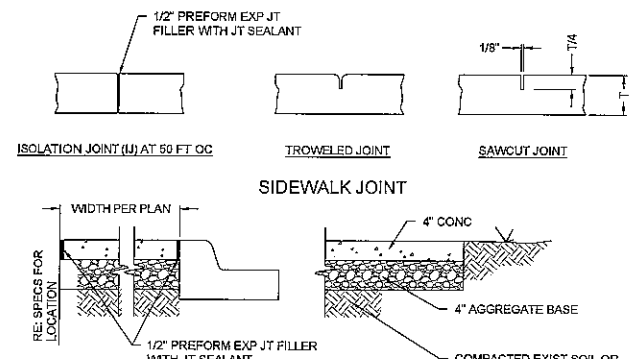


5 PIPE TRENCH - ALL PIPES EXCEPT STORM SEWER
SCALE: NTS

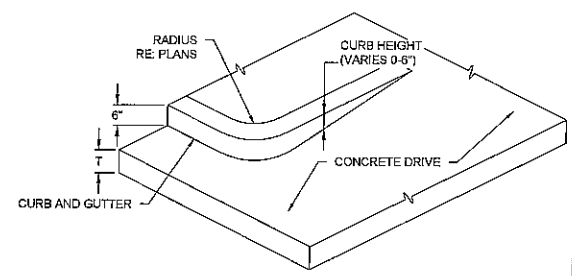
NOTES:
1. ALL PAVEMENT IS STANDARD DUTY UNLESS NOTED ON PLANS
2. IF EXISTING PAVING THICKNESS IS GREATER THAN SHOWN, MATCH EXISTING.
3. REFER TO GEOTECHNICAL REPORT BY (GEOTECHNICAL FIRM) DATED [XXXX/XX/XX] FOR ADDITIONAL PAVING REQUIREMENTS.



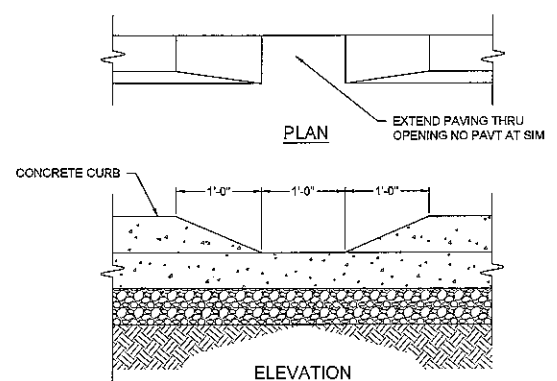
6 PAVEMENT DETAILS
SCALE: NTS



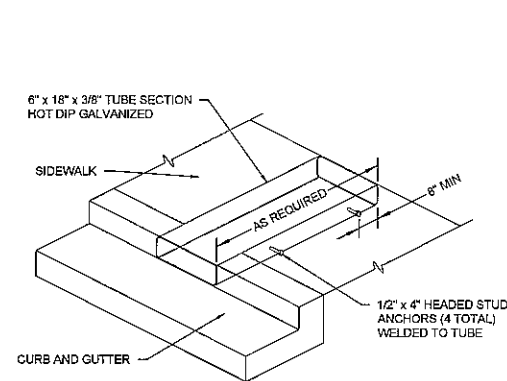
7 SIDEWALK
SCALE: NTS



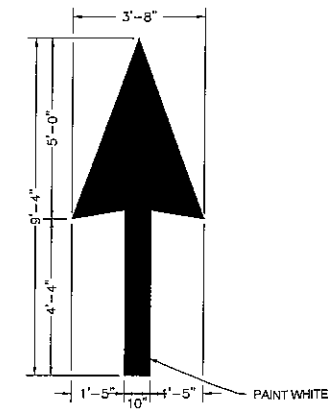
8 CURB TAPER
SCALE: NTS



9 CURB CUT DRAIN
SCALE: NTS



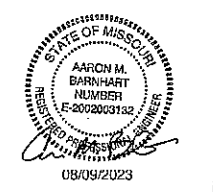
10 SIDEWALK CHASE DRAIN
SCALE: NTS



11 DIRECTIONAL ARROWS
SCALE: NTS

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DETAILS

PROJECT NO.: 22-009

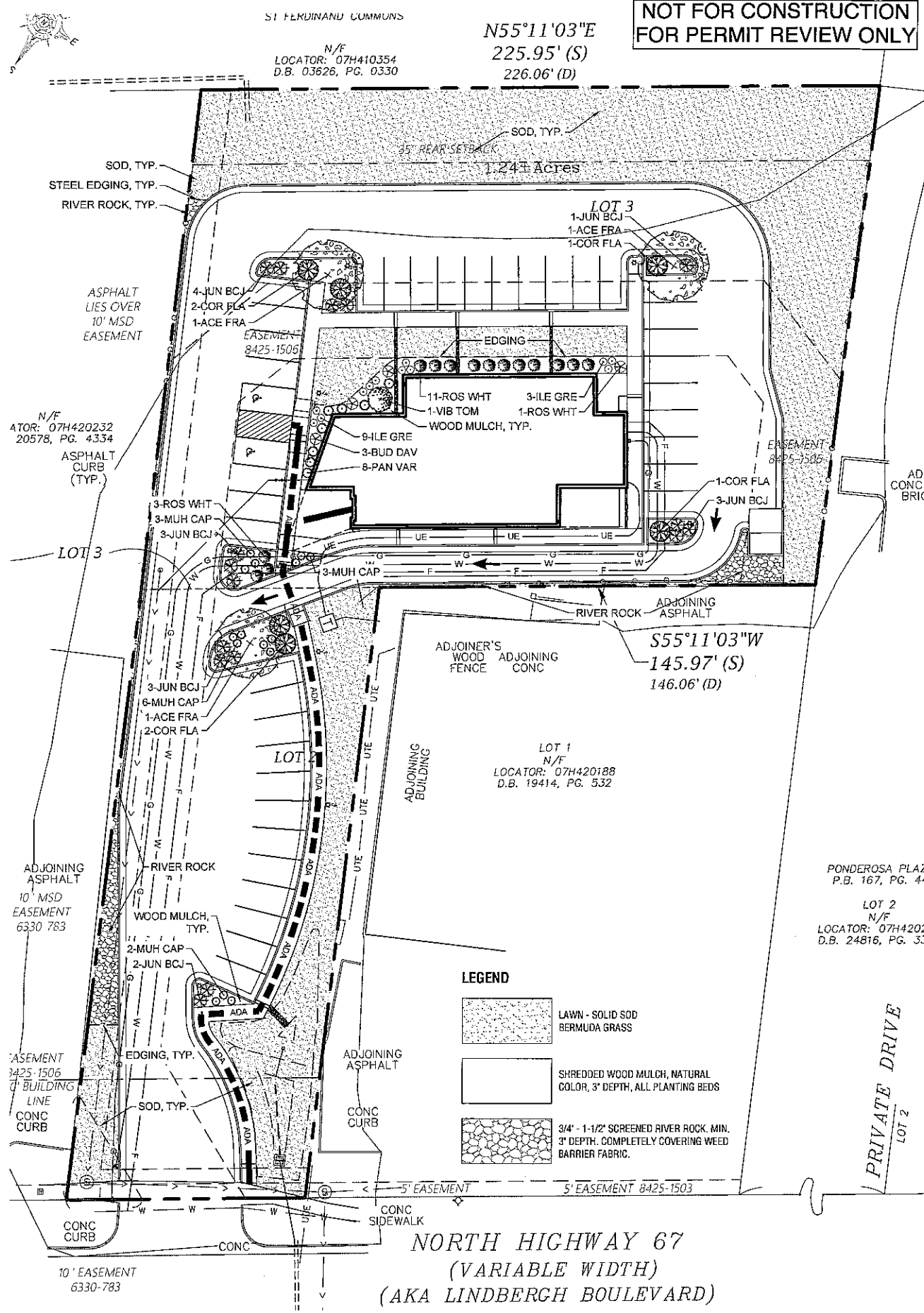
DATE: 07.19.2023

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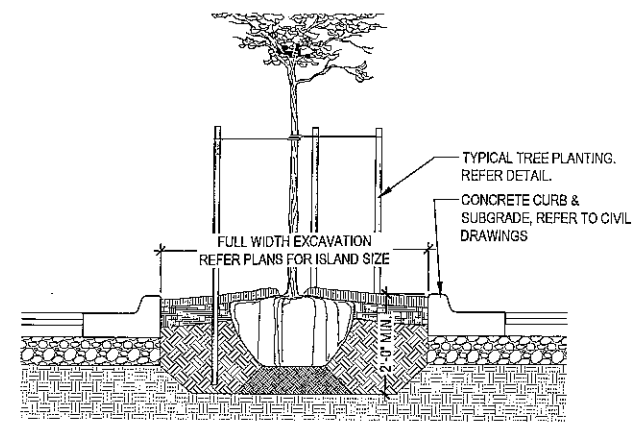
- LANDSCAPE REQUIREMENTS**
- PARKING LOT REQUIREMENTS**
- REQUIRED: ONE 2" CAL. TREE PER 15 PARKING SPACES
40 SPACES = 3 TREES
 - PROVIDED: 3 TREES
- BUILDING PERIMETER REQUIREMENTS**
- REQUIRED: 1 PLANT PER FIVE LINEAR FEET OF EXTERIOR WALL
311 LINEAR FEET = 63 PLANTS
 - PROVIDED: 76 PLANTS
- LANDSCAPE BUFFER REQUIREMENTS**
- REQUIRED: 15' BUFFER IF ADJACENT TO RESIDENTIAL
 - PROVIDED: N/A - NO RESIDENTIAL
- LANDSCAPE AREA REQUIREMENTS**
- REQUIRED: 30% LANDSCAPING FOR SITES 1.0 - 1.99 ACRES
53,913 SF = 1.24 ACRES = 16,174 SF LANDSCAPE AREA
 - PROVIDED: 17,416 SF

PLANT LIST

KEY	QUAN	UNIT	NAME	SIZE	ROOT BALL	REMARKS
ACE FRA	3	EA.	ACER RUBRUM 'FRANKSRED' RED SUNSET RED MAPLE	2.5" CAL	B&B	MATCHED
BUD DAV	4	EA.	BUDDLEJA DAVIDII 'BLACK KNIGHT' BUTTERFLY BUSH	#3C	4'-0" O.C.	
COR FLA	6	EA.	CORNUS SERICEA 'FLAVIRAMEA' YELLOW TWIG DOGWOOD	#3C	4'-0" O.C.	
ILE GRE	12	EA.	ILEX VOMITORIA 'GREMOR' PP21168 MICRON HOLLY	#3C	4'-0" O.C.	
JUN BCJ	16	EA.	JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	#3C	5'-0" O.C.	
MUH CAP	15	EA.	MUHLENBERGIA CAPILLARIS 'LENGA' REGAL MIST PINK MUHLY GRASS	#1C	3'-0" O.C.	
PAN VAR	8	EA.	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL SWITCHGRASS	#1C	3'-0" O.C.	
ROS WHT	14	EA.	ROSA X 'RADWHITE' PP #20273 WHITE KNOCK OUT ROSE	#3C	4'-0" O.C.	
VIB TOM	1	EA.	VIBURNUM PLICATUM TOMENTOSUM SUMMER SNOWFLAKE VIBURNUM	#3C	N/A	

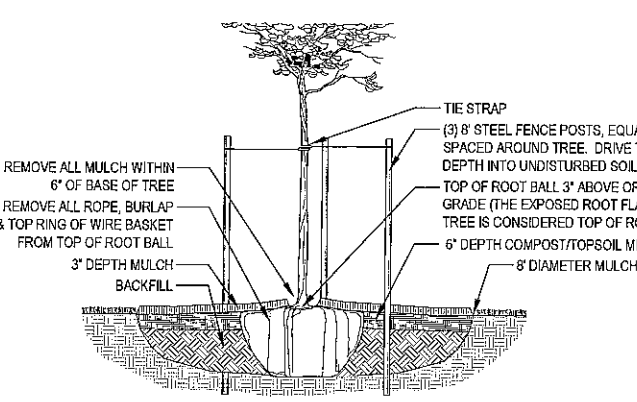
- LAYOUT NOTES**
- H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULT-TRUNK
 - O.C. INDICATES APPROXIMATE SPACING TO BE EQUAL ON CENTER. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.
 - MATCHED: SIZE AND OTHER PHYSICAL CHARACTERISTICS TO BE SIMILAR. ALL DIMENSIONS TO BE WITHIN 5% RANGE.
 - QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST.
 - 2" CALIPER TREES AND LARGER TO BE LIMBED 5' MINIMUM TO FIRST BRANCH WITH NO VISIBLE PRUNING MARKS ALLOWED UNLESS OTHERWISE NOTED.
 - ALL TREES TO HAVE A SINGLE CENTRAL LEADER UNLESS OTHERWISE NOTED.

- LANDSCAPE STATEMENT**
- WALLACE DESIGN COLLECTIVE AN OKLAHOMA CORPORATION, AND THE UNDERSIGNED ARLIN VANCIUREN, REGISTERED LANDSCAPE ARCHITECT NUMBER 2015024031, DO HEREBY STATE THAT IN OUR PROFESSIONAL OPINION THE SUBMITTED LANDSCAPE PLAN IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE ZONING CODE OF THE CITY OF FLORISSANT, MISSOURI.
- 08/09/2023



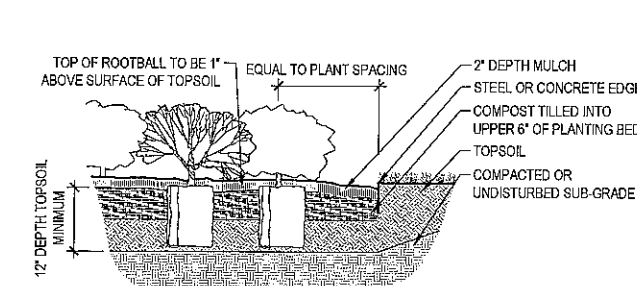
- NOTES**
- REFER TO CIVIL PLANS FOR PARKING LAYOUT.
 - TREES IN PARKING LOT ISLANDS TO BE INSTALLED SIMILAR TO TYPICAL TREE PLANTING.
 - CENTER OF PARKING LOT ISLANDS TO BE MOUNDED AT 5% MINIMUM.
 - EXCAVATION FOR PLANTING AREAS IN PARKING LOT ISLANDS TO BE 2'-0" MINIMUM WITH TOPSOIL FILL EXTENDING 6" MINIMUM BELOW TREE ROOTBALL WITH COMPACTED TOPSOIL FOR SUPPORT AS SHOWN.

2 TREE PLANTING IN PARKING ISLAND



- NOTES**
- EXCAVATED MATERIAL MAY BE USED FOR BACKFILL IF MATERIAL IS FRIABLE AND FREE OF ROCKS AND CLODS OVER 2" DIAMETER. PROVIDE ADDITIONAL TOPSOIL IF NEEDED FOR TOPSOIL/COMPOST MIX AT SURFACE.
 - AT ROOT FLARE, MAIN ORDER ROOTS TO BE A MAXIMUM OF 1" BELOW TOP OF ROOT BALL SOIL SURFACE.
 - COMPOST TO BE EQUAL TO BACK TO EARTH COMPOSTED COTTON BURS.
 - COMPOST TO BE INCORPORATED INTO UPPER 6" OF BACKFILL BY APPROVED MEANS AT THE RATE OF 8 CUBIC FEET (4-20" BAGS) FOR EACH TREE PLANTING AREA.

3 TYPICAL TREE PLANTING



- NOTES**
- EXCAVATED MATERIAL MAY BE USED FOR BACKFILL IF MATERIAL IS FRIABLE AND FREE OF ROCKS AND CLODS OVER 2" DIAMETER. PROVIDE ADDITIONAL TOPSOIL IF NEEDED FOR TOPSOIL/COMPOST MIX AT SURFACE.
 - COMPOST TO BE EQUAL TO BACK TO EARTH COMPOSTED COTTON BURS.
 - 2" LAYER OF COMPOST TO BE INCORPORATED INTO UPPER 6" OF BACKFILL BY APPROVED MEANS FOR ALL SHRUB PLANTING AREAS.

3 TYPICAL SHRUB PLANTING



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LANDSCAPE PLAN

PROJECT NO.: 22-009
DATE: 07.19.2023
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LANDSCAPE GRADING & TOPSOIL

- TOPSOIL: REUSE FROM STOCKPILE AND PROVIDE NEW TOPSOIL AS NEEDED.
- IMPORTED TOPSOIL: FRIABLE LOAM, TYPICAL OF CULTIVATED TOPSOILS LOCALLY; FREE OF SUBSOIL, ROOTS, GRASS, EXCESSIVE AMOUNT OF WEEDS, STONE, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 6.0 TO 7.0; CONTAINING A MINIMUM OF 2 PERCENT AND A MAXIMUM OF 5 PERCENT ORGANIC MATTER. TOPSOIL SHALL NOT BE DELIVERED OR USED FOR PLANTING WHILE IN A FROZEN OR MUDDY CONDITION. TOPSOIL SHALL CONFORM TO THE FOLLOWING GRAIN SIZE DISTRIBUTION FOR MATERIAL PASSING THE #10 SIEVE:

U.S. SIEVE SIZE	NUMBER	PERCENT PASSING	
		MINIMUM	MAXIMUM
10	100		
18	85		
35	70		
60	50		
140	35		
270	32		
0.002MM	3		8

- SUBMIT SOURCE AND ANALYSIS OF TOPSOIL FOR BACKFILL. TEST TO BE PERFORMED BY ACCREDITED SOILS LABORATORY. SUBMITS SOILS TEST AND RECOMMENDATIONS FOR AMENDMENTS INCLUDING ADJUSTING SOIL PH TO A VALUE BETWEEN 6.0 AND 7.0.
- ELIMINATE UNEVEN AREAS AND LOW SPOTS. REMOVE DEBRIS, ROOTS, BRANCHES, STONES, IN EXCESS OF 1 INCH IN SIZE. REMOVE SUB-GRADE CONTAMINATED WITH PETROLEUM PRODUCTS.
- SCARIFY SUB-GRADE TO DEPTH OF 6 INCHES WHERE TOPSOIL IS SCHEDULED. REMOVE DEBRIS THAT IS BROUGHT TO THE SURFACE IN EXCESS OF 1 INCH IN SIZE.
- REVIEW SUB-GRADE SCARIFICATION WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING PLACEMENT OF TOPSOIL.
- USE TOPSOIL IN RELATIVELY DRY STATE. PLACE DURING DRY WEATHER.
- FINE GRADE TOPSOIL OR PLANTING MIX ELIMINATING ROUGH OR LOW AREAS. MAINTAIN LEVELS, PROFILES, AND CONTOURS OF SUB-GRADE.
- REMOVE STONE, ROOTS, GRASS, WEEDS, DEBRIS, AND FOREIGN MATERIAL WHILE SPREADING.
- MANUALLY SPREAD TOPSOIL OR PLANTING MIX AROUND TREES, PLANTS, AND STRUCTURES, TO PREVENT DAMAGE.
- LIGHTLY COMPACT PLACED TOPSOIL.
- REMOVE SURPLUS SUBSOIL AND TOPSOIL FROM SITE.
- LEAVE STOCKPILE AREA AND SITE CLEAN AND RAKED, READY TO RECEIVE LANDSCAPING.
- TOP OF TOPSOIL OR PLANTING MIX TOLERANCES: PLUS OR MINUS 1/2 INCH.
- REQUIRED TOPSOIL DEPTH FOR LANDSCAPE AREAS:
 - LAWN AREAS: 6 INCHES MINIMUM TOPSOIL.
 - PLANTING BEDS (SHRUBS, GROUND COVER, ETC.): 12 INCHES MINIMUM TOPSOIL.

SODDING

- SOD: CULTIVATED GRASS SOD; WITH STRONG FIBROUS ROOT SYSTEM, FREE OF STONES, BURNED OR BARE SPOTS, AND WEEDS.
- VERIFY THAT PREPARED SOIL BASE IS READY TO RECEIVE THE WORK OF THIS SECTION.
- SUBMIT GRASS SPECIES AND LOCATION OF SOD SOURCE FOR APPROVAL.
- DELIVER SOD ON PALLETS. PROTECT EXPOSED ROOTS FROM DEHYDRATION.
- DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
- COORDINATE THE WORK OF THIS SECTION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM AND PLANT MATERIAL AS APPLICABLE.
- MAINTAIN SODDED AREAS IMMEDIATELY AFTER PLACEMENT UNTIL GRASS IS WELL ESTABLISHED, HAS ACHIEVED COMPLETE COVERAGE, AND EXHIBITS A VIGOROUS GROWING CONDITION OR UNTIL DATE OF SUBSTANTIAL COMPLETION WHICHEVER IS LONGER. MAINTENANCE PERIOD SHALL INCLUDE MINIMUM OF TWO MOWINGS.
- FINISH GRADE AREAS TO BE SODDED SO THAT THE SURFACE IS SMOOTH AND IS APPROXIMATELY 1 INCH BELOW ADJOINING SIDEWALKS AND OTHER PAVED SURFACES.
- REMOVE ALL WEEDS AND GRASSES FROM AREAS TO BE SODDED.
- PLANTING SURFACE SHALL BE MADE FRIABLE BY APPROVED METHOD OF SCARIFICATION. PREPARED SURFACE SHALL BE FLOATED SMOOTH AND FREE OF BUMPS AND DEPRESSIONS. REMOVE STONES AND FOREIGN MATTER OVER 2 INCHES IN DIAMETER FROM TOP 2 INCHES OF SOD BED. PLANT IMMEDIATELY THEREAFTER, PROVIDED THE BED HAS REMAINED IN A FRIABLE CONDITION AND HAS NOT BECOME MUDDY OR HARD. IF IT HAS BECOME HARD, TILL TO A FRIABLE CONDITION AGAIN.
- APPLY FERTILIZER NO MORE THAN 48 HOURS BEFORE LAYING SOD.
- LIGHTLY WATER TO AID THE DISSIPATION OF FERTILIZER.
- PRIOR TO LAYING SOD, INCORPORATE SOIL AMENDMENTS SUCH AS LIME AND SULPHUR AT RATES RECOMMENDED BY SOILS TESTS TO A 4 INCH DEPTH.
- MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD.
- LAY SOD IMMEDIATELY ON DELIVERY TO SITE WITHIN 24 HOURS AFTER HARVESTING TO PREVENT DETERIORATION.
- LAY SOD TIGHT WITH NO OPEN JOINTS VISIBLE AND NO OVERLAPPING; STAGGER END JOINTS 12 INCHES MINIMUM. DO NOT STRETCH OR OVERLAP SOD PIECES.
- FINISHED SODDING TO BE SMOOTH AND FREE OF BUMPS AND DEPRESSIONS. SURFACE TO BE FLUSH WITH ADJOINING GRASS AREAS IF ANY. PLACE TOP ELEVATION OF SOD APPROXIMATELY 1/2 INCH BELOW ADJOINING EDGING, PAVING AND CURBS. GRADE PLANTING SURFACE AS NECESSARY TO ACCOMPLISH ABOVE.
- ON SLOPES 4 INCHES PER FOOT AND STEEPER, LAY SOD PERPENDICULAR TO SLOPE AND SECURE EVERY ROW WITH WOODEN PEGS AT MAXIMUM 2 FEET ON CENTER. DRIVE PEGS FLUSH WITH SOIL PORTION OF SOD.
- WATER SODDED AREAS DEEPLY IMMEDIATELY AFTER INSTALLATION.
- AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY, ROLL SODDED AREAS TO INSURE GOOD BOND BETWEEN SOD AND SOIL AND TO REMOVE MINOR DEPRESSIONS AND IRREGULARITIES.
- SODDED AREAS TO BE VIGOROUSLY GROWING AT TIME OF FINAL ACCEPTANCE OR IF INSTALLATION OCCURS DURING DORMANCY WARRANTY TO EXTEND THROUGH FIRST MONTH OF FOLLOWING GROWING SEASON. AT CONCLUSION OF INITIAL WARRANTY PERIOD REPLACE DEAD OR UNHEALTHY SOD.
- MOW GRASS AT REGULAR INTERVALS TO MAINTAIN AT A MAXIMUM HEIGHT OF 2-1/2". DO NOT CUT MORE THAN 1/3 OF GRASS BLADE AT ANY ONE MOWING.
- NEATLY TRIM EDGES AND HAND CLIP WHERE NECESSARY.
- IMMEDIATELY REMOVE CLIPPINGS AFTER MOWING AND TRIMMING.
- WATER SUFFICIENTLY TO INSURE ESTABLISHMENT AND MAINTAIN VIGOROUS APPEARANCE.
- ROLL AND/OR TOPDRESS SURFACE AS NEEDED TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES.
- CONTROL GROWTH OF WEEDS. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM IMPROPER USE OF HERBICIDES.
- IMMEDIATELY REPLACE SOD IN AREAS WHICH SHOW DETERIORATION OR BARE SPOTS. ANY AREAS THAT HAVE HAD TOPSOIL WASHED AWAY SHALL BE FILLED TO MATCH SPECIFIED GRADE WITH TOPSOIL BEFORE RESODDING.
- PROTECT SODDED AREAS WITH WARNING SIGNS DURING MAINTENANCE PERIOD.
- APPLY APPROVED FERTILIZER AT RATE TO PROVIDE 1-1/2 POUNDS OF ACTUAL NITROGEN PER 1000 SQUARE FEET EVERY 25 DAYS DURING GROWING SEASON.
- FOR THE PURPOSE OF ESTABLISHING AN ACCEPTABLE STANDARD, NO BARE AREAS WILL BE PERMITTED.

**NOT FOR CONSTRUCTION
FOR PERMIT REVIEW ONLY**

PLANTING

- WORK REQUIRED IN THIS SECTION TO BE PERFORMED BY EXPERIENCED PERSONNEL UNDER DIRECTION OF A SKILLED FOREMAN.
- CONTRACTOR SHALL LOCATE ALL MATERIALS AND BE RESPONSIBLE FOR CONFORMANCE WITH REQUIREMENTS OF THIS SECTION. ALL PLANTS NOT MEETING REQUIREMENTS SHALL BE REJECTED.
- ALL TREES TO BE REVIEWED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING
 - TREES WILL BE REVIEWED AT LOCAL GROWING OR NURSERY BY OWNER'S REPRESENTATIVE AND APPROVED BEFORE DELIVERING TO THE SITE. CONTRACTOR SHALL SCHEDULE REVIEW OF PLANT MATERIAL IN SUCH A MANNER THAT NO SINGLE REVIEW PERIOD WILL EXCEED ONE WORKING DAY WITH A MAXIMUM OF TWO REVIEW PERIODS. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL PARTIES PRIOR TO SCHEDULING.
- ALL PLANT MATERIAL SHALL BE TRUE TO NAME, IN GOOD HEALTH, FREE OF DISEASE AND INSECTS, EXCELLENT IN FORM AND IN CONFORMANCE WITH ANSI Z60. SPECIES AND SIZE IDENTIFIED ON PLANT LIST. ALL PLANTER MATERIALS TO BE NURSERY GROWN.
- B&B PLANTS TO BE MOVED WITH SOLID BALLS WRAPPED IN BURLAP. PLANTS TO BE LIFTED ONLY BY BALL OR CONTAINER.
- DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS NOT IMMEDIATELY INSTALLED MOIST AND PROTECT FROM FREEZING BY COVERING BALL OR CONTAINER WITH MULCH. ANY PLANTS NOT PLANTED WITHIN 2 DAYS OF DELIVERY ARE TO BE HELED-IN IN A VERTICAL POSITION, ROOT BALLS FULLY ENCOMPASSED BY MULCH AND A TEMPORARY WATERING SYSTEM INSTALLED.
- WARRANT ALL PLANTS TO BE LIVING, HEALTHY SPECIMENS FOR A PERIOD OF ONE YEAR COMMENCING UPON DATE OF SUBSTANTIAL COMPLETION. WARRANTY PERIOD SHALL TERMINATE ONLY IF PLANTS HAVE BEEN IN FULL LEAF FOR 30 DAYS AT END OF WARRANTY PERIOD. TERMINATION OF WARRANTY PERIOD SHALL BE EXTENDED AS NECESSARY TO COMPLY. ALL MATERIALS TO BE IN VIGOROUS CONDITION AT END OF WARRANTY PERIOD.
- IMMEDIATELY REMOVE DEAD PLANTS AND PLANTS NOT IN A VIGOROUS CONDITION AND REPLACE AS SOON AS WEATHER CONDITIONS PERMIT. EACH REPLACEMENT SHALL BE COVERED WITH ONE YEAR WARRANTY COMMENCING AT TIME OF PLANTING. REPLACEMENTS TO MATCH ADJACENT PLANTS OF THE SAME SPECIES IN SIZE AND FORM.
- CONTRACTOR TO BEGIN MAINTENANCE OF PLANT MATERIAL IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL DATE OF SUBSTANTIAL COMPLETION.
- MAINTENANCE SHALL INCLUDE MEASURES NECESSARY TO ESTABLISH AND MAINTAIN PLANTS IN A VIGOROUS AND HEALTHY GROWING CONDITION. INCLUDE THE FOLLOWING:
 - CULTIVATION AND WEEDING OF PLANT BEDS AND TREE PITS. WHEN HERBICIDES ARE USED FOR WEED CONTROL, APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM USE OF HERBICIDES.
 - WATERING SUFFICIENT TO MAINTAIN OPTIMUM MOISTURE LEVEL.
 - PRUNING, INCLUDING REMOVAL OF DEAD OR BROKEN BRANCHES, AND TREATMENT OF PRUNE WOUNDS.
 - DISEASE AND INSECT CONTROL.
 - MAINTAINING PLANTS IN AN UPRIGHT, PLUMB POSITION, AND REPAIR OF SETTLING.
 - MAINTENANCE OF WRAPPINGS, GUYS, TURNBUCKLES AND STAKES. ADJUST TURNBUCKLES OR OTHERWISE KEEP
 - GUY WIRES TIGHT. REPAIR OR REPLACE ACCESSORIES WHEN REQUIRED.
- MULCH: DOUBLE GROUND HARDWOOD BARK MULCH EQUAL TO THAT PRODUCED BY FOSTER BROTHERS, WOOD PRODUCTS INC. www.fosterbros.com. SUBMIT TYPE AND SOURCE FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- FERTILIZER: OSMOCOTE SLOW RELEASE 18-6-12
- SOIL ACIDIFIER: EQUAL TO TIGER 90 OR ORGANIC SULPHUR 0-0-0-0
- COMPOST: BACK TO EARTH COMPOSTED COTTON BURRS AS SUPPLIED BY SOIL MENDER PRODUCTS, LP www.soilmender.com
- METAL EDGING: 3/16 INCH x 4 INCH STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY COL-MET, 3333 MILLER PARK SOUTH, GARLAND, TEXAS 75042, PHONE 972/494-3900, WWW.COLMET.COM. EDGING TO BE SET VERTICAL WITH TOP EDGE 1 INCH ABOVE FINISHED GRADE.
- WRAPPING MATERIALS: HEAVY PAPER MANUFACTURED FOR TREE WRAPPING PURPOSE.
- GREEN METAL FENCE POSTS (3 PER TREE) - 8 FOOT HEIGHT.
- HARDWARE (CABLES, WIRE, EYE BOLTS, AND TURNBUCKLES): NONCORROSIVE; OF SUFFICIENT STRENGTH TO WITHSTAND WIND PRESSURE.
- TIE STRAPS: SOFT POLYPROPYLENE MATERIAL EQUAL TO ARBORTIE, BY DEEP ROOT PARTNERS, LP, 31 LANGSTON ST., SUITE 4, SAN FRANCISCO, CA, 94103, 1-800-277-7668.
- REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. BERMUDA GRASS, IF PRESENT, TO BE EXTERMINATED BY APPROVED MEANS OR ALL SOIL REMOVED TO 6 INCH DEPTH AND REPLACED WITH TOPSOIL FREE OF BERMUDA GRASS.
- STAKE TREE LOCATIONS AND PLACE SHRUBS, VINES, AND GROUND COVERS FOR REVIEW AND FINAL ORIENTATION BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- OUTLINE BED EDGES FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- EXCAVATE FOR PLANT MATERIALS. TREE PITS SHALL BE 8" IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM. SLOPE CUT EDGE TO 6" DEPTH AND BOTTOM OF PIT TO DEPTH REQUIRED TO ACCOMMODATE TREE ROOTBALL. SHRUB PITS SHALL BE 12 INCHES GREATER IN DIAMETER THAN ROOT BALL. TOPSOIL FROM EXCAVATION MAY BE RETAINED FOR BACKFILL IF IT IS FRIABLE AND FREE OF ROCK AND CLODS GREATER THAN 2" IN DIA. REMOVE ALL SUBSOIL, ROCK, AND DEBRIS FROM SITE.
- SET TREES WITH TOP OF ROOT BALL 3 INCHES ABOVE SURROUNDING GRADE, AND OTHER PLANT MATERIALS 1 INCHES ABOVE SURROUNDING GRADE, AFTER SETTLEMENT.
- REMOVE CONTAINERS FROM CONTAINER-GROWN STOCK. SET PLANTS IN CENTER OF PITS AND BACKFILL WITH TOPSOIL IN 6 INCH LAYERS. PULL AWAY ROPES, WIRES, ETC. FROM THE TOP OF THE BALL.
- REMOVE ANY SOIL FROM THE TOP OF THE ROOTBALL, TO THE LEVEL OF THE ROOT FLARE.
- THOROUGHLY WATER SOIL WHEN THE HOLE IS HALF FULL, AND AGAIN WHEN FULL.
- APPLY 1/2 POUND FERTILIZER EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
- AFTER PLANTING TREES, FORM A 3" DIAMETER RIDGE OF TOPSOIL AROUND EDGE OF EXCAVATION TO RETAIN WATER.

IRRIGATION

- IRRIGATION SYSTEM TO BE ELECTRIC SOLENOID CONTROLLED UNDERGROUND SPRINKLER SYSTEM CONSISTING OF PVC PLASTIC PIPE AND FITTINGS, WITH FIXED SPRAY AND VARIABLE ARC ROTARY POP-UP HEADS IN A MULTI-STATION ELECTRIC CONTROL SYSTEM, PROGRAMMED AS APPROVED BY OWNER'S REPRESENTATIVE.
- SUBMIT THE IRRIGATION DESIGN FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE NO LESS THAN TWO WEEKS PRIOR TO COMMENCING INSTALLATION OPERATIONS. THE DESIGN SHALL INCLUDE THE PIPING LAYOUT, LOCATION AND COVERAGE OF SPRINKLER HEADS, NOZZLE SIZES AND TYPES, PLANT AND LANDSCAPING FEATURES, SITE STRUCTURES, LIST OF FITTINGS TO BE USED, AND CONTROL SYSTEM AND WIRING DIAGRAMS AND DATA; AND SHALL NOTE WATER PRESSURE AT THE PROJECT SITE.
- UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (REPRODUCIBLES) OF COMPLETED FACILITIES AS INSTALLED. DRAWINGS SHALL BE PROVIDED TO ARCHITECT IN A) ELECTRONIC FORM (AUTOCAD 2010 FORMAT) B) THREE (3) COPIES OF THE AS-BUILT DRAWING IN BLUELINE

- OR PHOTOCOPIY FORM. AS-BUILT DRAWING SHALL SHOW THE MEASURED DISTANCE FROM EASILY IDENTIFIED, FIXED LOCATIONS TO ISOLATION VALVES, ELECTRIC CONTROL VALVES, MANUAL DRAIN VALVES AND WIRE SPLICES. TWO DIMENSIONS FROM FIXED POINTS PER LOCATION ARE REQUIRED.
- UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE THREE (3) BINDERS CONTAINING MANUFACTURER'S INSTALLATION, OPERATION AND MAINTENANCE INSTRUCTIONS AS WELL AS A PARTS BREAKDOWN AND CATALOG FOR EACH PIECE OF EQUIPMENT INSTALLED ON THE PROJECT. AS A MINIMUM THE BINDERS SHALL INCLUDE INFORMATION FOR THE IRRIGATION CONTROLLER, BOOSTER PUMP, BACKFLOW PREVENTER, PRESSURE REGULATORS, ISOLATION VALVES, ELECTRIC CONTROL VALVES, DRAIN VALVES, AIR RELIEF VALVES, ALL SPRAY AND ROTARY SPRINKLER HEADS, RAIN AND FREEZE AND MOISTURE SENSORS.
- IRRIGATION CONTRACTOR TO PROVIDE A RECOMMENDED SCHEDULE FOR RUN TIMES AND FREQUENCY OF WATERING FOR THE FIRST TWO WEEKS, THE FIRST TWO MONTHS, AND THE FIRST TWELVE MONTHS (INCLUDING ALL SEASONAL CHANGE REQUIREMENTS) AFTER COMPLETION OF ENTIRE SYSTEM.
- CONTRACTOR TO INSTRUCT OWNER'S PERSONNEL IN OPERATION AND MAINTENANCE OF ENTIRE SYSTEM INCLUDING ADJUSTING OF SPRINKLER HEADS.
- CONTRACTOR TO INSPECT IRRIGATION SYSTEM AT TWO AND FOUR WEEKS AFTER DATE OF SUBSTANTIAL COMPLETION AND MAKE NECESSARY ADJUSTMENTS.
- ENTIRE IRRIGATION SYSTEM TO BE UNCONDITIONALLY GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP, INCLUDING REPAIR OF SETTLING OF BACKFILLED AREAS BELOW GRADE AND ADJUSTING HEADS TO PROPER LEAD FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL MINOR ADJUSTMENTS, ANY DEFECTIVE ELECTRICAL CONTROL VALVES, SPRINKLER HEADS OR OTHER WORKING PARTS SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE OWNER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL DAMAGE BY OTHERS DURING THE ONE-YEAR GUARANTEE PERIOD WILL BE OWNER'S RESPONSIBILITY.
- ALL MATERIALS TO BE INCORPORATED IN THIS SECTION BE NEW AND OF THE BEST QUALITY MEETING.
 - RAINBIRD
 - WEATHER-MATIC
 - HUNTER
 - TORO
- MAINLINE PIPING TYPE & SIZE: AS INDICATED ON PLANS
- MAINLINE PIPING DEPTH: 18" MINIMUM DEPTH
- LATERAL PIPING TYPE & SIZE: ALL LATERAL PIPES, DOWNSTREAM OF THE CONTROL VALVES, SHALL BE HAVE SOLVENT WELD JOINTS AND SHALL MEET THE LATEST REQUIREMENTS OF ASTM D 2241 STANDARD SPECIFICATION FOR POLY (VINYL CHLORIDE) (PVC) PLASTIC PIPE WITH STANDARD DIMENSION RATIO (SDR) OF 21 AND A PRESSURE RATING (PR) OF 200 PSI.
- LATERAL PIPING DEPTH: 12" MINIMUM DEPTH.
- LOW FLOW DRIP PIPING TYPE & FITTINGS: RAINBIRD OR EQUAL.
- LOW FLOW DRIP PIPING DEPTH: BELOW MULCH LAYER OR AS SPECIFIED BY MANUFACTURER.
- ALL PIPING TO HAVE MAXIMUM VELOCITIES OF FIVE FEET PER SECOND.
- ALL 1/2" INLET SPRAY HEADS SHALL BE CONNECTED TO THE IRRIGATION PIPING UTILIZING 1/2" THICK WALLED POLYETHYLENE TUBING (RAIN BIRD MODEL SPX-100) AND APPROPRIATE INSERT FITTINGS (RAIN BIRD MODELS SBE-050, SBE-075, SBA-050, SBA-075). SUFFICIENT LENGTHS OF FLEXIBLE PIPE SHALL BE USED TO FORM A SWEEPING ARC TO ENSURE THAT SPRAY HEADS ARE SUPPORTED PROPERLY AND ALLOW FOR VERTICAL ADJUSTMENT AND MOVEMENT DURING SERVICE.
- SWING JOINTS: EQUAL TO PREFABRICATED SCH. 80 PVC BY SPEARS. FOR USE ON GEAR-DRIVEN ROTARY HEADS, QUICK-COUPLING VALVES, AND GROUND LEVEL POP-UP IMPACT DRIVEN HEADS.
- ZONE VALVES: RAINBIRD PEB OR EQUAL.
- WHERE POSSIBLE, LOCATION OF ZONE & OTHER VALVES TO BE IN GROUND COVER OR LOW PLANTING BEDS. VALVES INSTALLED IN TURF AREAS TO BE OUTSIDE NATURAL WALKWAYS AND PATHS.
- VALVE BOXES FOR ZONE VALVES: EQUAL TO CARSON INDUSTRIES MODEL 1419 WITH 1419-6X EXTENSIONS.
- VALVE BOXES TO BE SET WITH COVER FLUSH WITH FINISH GRADE WITH EARTH FILL CAREFULLY TAMPED AROUND EACH VALVE BOX.
- VALVE BOXES SHALL BE SUPPORTED BY BLOCKING BELOW IN SUCH THAT ANY SURFACE LOADS ON THE VALVE BOX ARE NOT TRANSMITTED TO PIPING OR VALVES.
- VALVE BOXES SHALL HAVE 12" BY 12" BY 6" MINIMUM DEPTH WASHED GRAVEL SUMP TO ALLOW WATER TO DRAIN AWAY FROM VALVES.
- VALVE BOXES SHALL BE CENTERED ON THE VALVES.
- ZONE VALVE BOXES TO BE PLACED PARALLEL TO NEARBY CURBS, WALKS, WALL, BUILDINGS, ETC.
- ABOVE GRADE BACKFLOW PREVENTERS TO BE IN FIBERGLASS ENCLOSURE EQUAL TO "HOT BOX" MANUFACTURED BY NORTHEAST FLORIDA ENTERPRISES, INC. 1800-736-0238. PLACE ON CONCRETE SLAB AND ANCHOR WITH 4 BOLTS. SIZE TO FIT BACKFLOW PREVENTER. PROVIDE ELECTRICAL CONNECTION FOR HEATER CABLE AS RECOMMENDED BY ENCLOSURE MANUFACTURER.
- WIRE FOR COMMUNICATION BETWEEN THE CONTROLLER AND DECODERS SHALL BE 14-2 GAUGE MAXI-CABLE AS REQUIRED FOR THE DECODER SYSTEM.
- ENVIRONMENTAL SENSORS TO BE EQUAL TO RAINBIRD WR2 RAINFREEZE SENSOR. MOUNT SENSOR AT INCONSPICUOUS LOCATION APPROVED BY OWNER'S REPRESENTATIVE USING MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL PROVIDE A BOOSTER PUMP TO INCREASE THE WATER PRESSURE WHERE NECESSARY TO PROVIDE DESIGNED PRESSURE. THE FINAL BOOSTER PUMP STATION DESIGN CRITERIA WILL DEPEND ON THE DESIGN REQUIREMENTS FOR PROJECT AS WELL AS THE STATIC WATER PRESSURE AT THE TIME OF PROJECT CONSTRUCTION. CONTRACTOR SHALL CONSULT WITH OWNER OR HIS REPRESENTATIVE BEFORE ORDERING THE BOOSTER PUMP.
- INSTALL AUTOMATIC DRAIN VALVES AT ALL LOW SECTIONS OF LATERAL PIPING (LINES DOWNSTREAM FROM VALVES) TO ENSURE COMPLETE DRAINAGE OF SYSTEM WHEN NOT IN USE. WRAP EACH VALVE WITH APPROVED FILTER FABRIC. MINIMUM OF TWO DRAINS PER ZONE.
- UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION INCLUDING ALL PRESSURE TESTS, CONTRACTOR SHALL CONDUCT A PERFORMANCE TEST OF THE COMPLETE SYSTEM TO INSURE THAT ALL COMPONENTS ARE FUNCTIONING PROPERLY. PERFORMANCE TEST SHALL CONSIST OF OPERATING THE SYSTEM THROUGH A COMPLETE IRRIGATION CYCLE PER DAY FOR TWO (2) CONSECUTIVE DAYS. CONTRACTOR SHALL BE AT THE SITE TO MONITOR THE PERFORMANCE TESTS AND MAKE ANY ADJUSTMENTS AND CORRECTIONS AS NEEDED DURING THE TESTING PERIOD.

PLANTING NOTES

- CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE RESULTING FROM PLANTING OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
- ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THE SURVEY. CONTACT THE LOCAL UTILITY LOCATION SERVICES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- ALL AREAS NOTED AS "LAWN" ON PLAN, AND ALL OTHER AREAS ON SITE WHICH ARE NOT OTHERWISE DESIGNATED AND ARE DAMAGED BY CONSTRUCTION, ARE TO BE PLANTED WITH SOLID SOD BERMUDA GRASS.
- ALL PLANTING BEDS THAT ADJUT LAWN AREAS TO BE BORDERED BY STEEL EDGING.
- FINISH GRADE FOR SHRUB, GROUND COVER, AND LAWN AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS UNLESS OTHERWISE NOTED ON DRAWINGS.
- FIELD STAKE LOCATIONS OF PROPOSED TREES FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY OF TREES.
- STEPPING STONES TO BE RANDOM SHAPES AND AVERAGE 2X2' IN SIZE. CONTRACTOR TO PROVIDE SAMPLES OF STEPPING STONES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- BOULDERS TO BE NATIVE, WEATHERED, FIELD-COLLECTED STONES WITH NO SUBSTANTIAL SCARS AND SHALL HAVE SIGNIFICANT COVERAGE OF LICHENS AND/OR MOSS. DIMENSIONS OF BOULDERS SHALL RANGE FROM 5 TONS TO 2 TONS, WITH 50% OF THE BOULDERS BEING ONE TON OR OVER. BOULDERS TO BE PARTIALLY BURIED TO SIMULATE A NATURAL CONDITION. DEPTH OF BOULDERS TO BE BURIED TO AVERAGE 1/3 OF HEIGHT OR AS NEEDED TO SIMULATE A NATURAL CONDITION. LOCATION AND ORIENTATION OF BOULDERS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE. PLACED BOULDERS TO BE PROTECTED FROM DAMAGE FROM CONSTRUCTION OPERATIONS.
- FOR ADDITIONAL PLANTING REQUIREMENTS REFER TO SPECIFICATIONS.
- BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES HAVING VISITED THE SITE AND BECOME FAMILIAR WITH THE CONDITIONS RELATED TO THE INSTALLATION OF SITE IMPROVEMENTS.

rudiment
architectural interiors

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08/09/2023



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**THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033**

LANDSCAPE NOTES

PROJECT NO.: 22-009

DATE: 07.19.2023

REVISED:

SHEET:

L101

LANDSCAPE STATEMENT

WALLACE DESIGN COLLECTIVE AN OKLAHOMA CORPORATION, AND THE UNDERSIGNED ARLIN VANCIUREN, REGISTERED LANDSCAPE ARCHITECT NUMBER 2015024031, DO HEREBY STATE THAT IN OUR PROFESSIONAL OPINION THE SUBMITTED LANDSCAPE PLAN IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE ZONING CODE OF THE CITY OF FLORISSANT, MISSOURI.

08/09/2023

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MAC
METAL ARCHITECTURAL

PUSHING
THE ENVELOPE

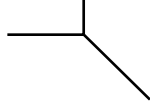
ROOFING
Catalog





MAC

METAL ARCHITECTURAL



For more than 30 years, MAC has been offering its customers top-of-the-line steel cladding profiles designed and manufactured entirely in Canada. Constantly in pursuit of innovation, our company offers products with rich and unique colors, bringing style and elegance to the projects they clad.

We promise you sustainable, high-performance products that will enhance and protect your home's envelope. Backed by a 40-year warranty, they will give you peace of mind for years to come.

At MAC, we do not compromise on quality or aesthetics. We strive to offer you products that are in line with architectural trends so that they are the perfect style complement to your property. We want to help you turn your new project into the dream place you imagined.

In addition to enhancing the look and value of your home by 6–8%, MAC profiles are maintenance-free and offer impeccable, lasting beauty year after year. Discover our unique styles that will perfectly match all your projects!

LET YOURSELF BE INSPIRED!

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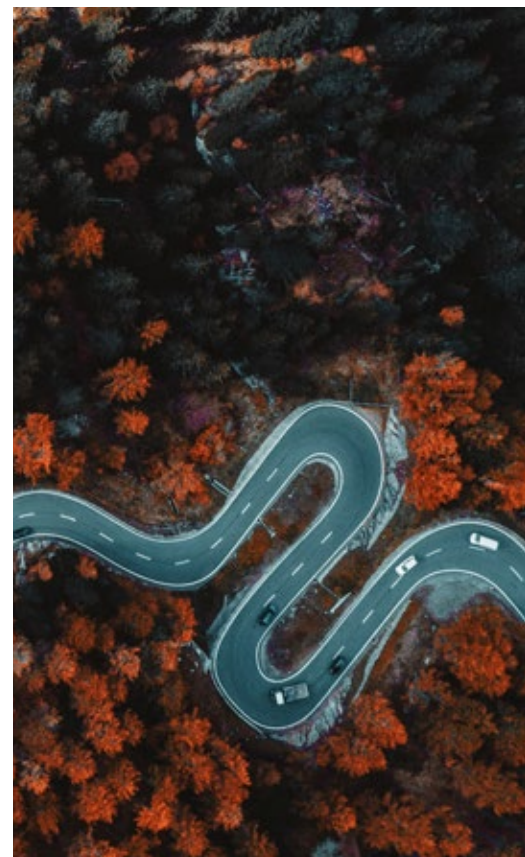


MS 1

Prestige with a classic,
contemporary look

The MS 1 profile blends in with both classic and contemporary architecture. This style of profile, with a triangular pinch strip and a flat 19.25" surface, adds character and prestige to the projects it covers. It is often used in Scandinavian-style projects, where the cladding used is continued from the roof to the walls to create a unique look that will leave no one indifferent.

Our seamless profiles are strong and sustainable, made of 97% recycled steel, and 100% recyclable and maintenance-free.







MS 1

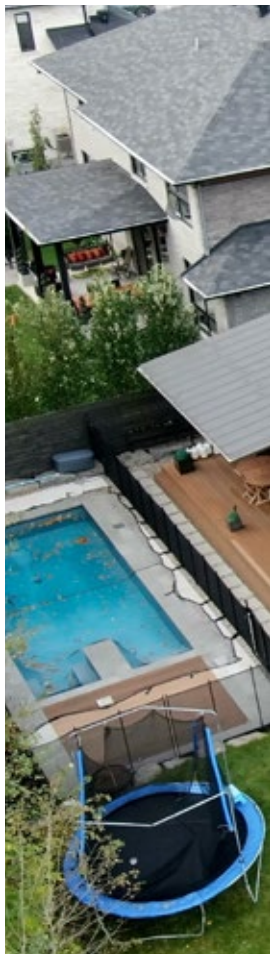
Beauty in simplicity!

CHARACTERISTICS

- Maintenance-free
- 3 times stronger & more durable than asphalt shingle roofing
- 40-year warranty
- Excellent protection against harsh weather conditions
- No visible seams for a sleek, modern look
- 19.25" flat surface
- Triangular strip profile

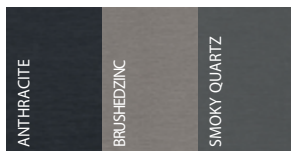


19.25" x 11 1/16" x 3' @ 60'



AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION







MS 2

Scandinavian style for your home

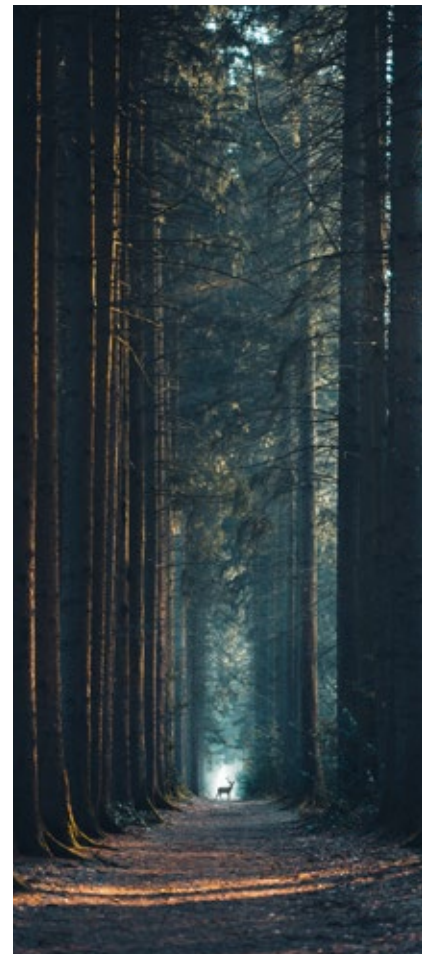
The MS 2 profiles are from the same family as the MS 1 profiles and are reinforced with two longitudinal grooves which add structure to the profile. It is suitable for both classic and contemporary architecture. This style of profile, with a triangular pinch strip, is distinguished by its 19.25'' flat surface, which adds character and prestige to the projects it covers. Often used in Scandinavian-style projects, the cladding is used from the roof to the walls to create a unique look that will not leave anyone indifferent.

CHARACTERISTICS

- Maintenance-free
- 3 times stronger & more durable than asphalt shingle roofing
- 40-year warranty
- Excellent protection against harsh weather conditions
- No visible joints for a clean, modern look
- 19.25'' flat surface incorporating two grooves
- Triangular strip profile



19.25'' x 1 1/16'' x 3' @ 60'

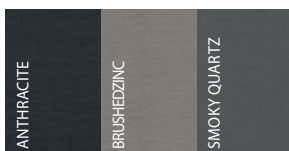




MS 2 | Titanium Black

AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



MS AUTHENTIC

All the charm of ancestral roofs
with a modern touch!

MS Authentic |
Ash Grey

The MS Authentic profile offers all the charm of ancestral steel roofs with horizontal joints and is ideal for creating a traditional architectural style. This style of profile with a triangular pinch strip and a flat 19.25" surface will bring charm and distinction to your home.

CHARACTERISTICS

- Maintenance-free
- 3 times stronger and more durable than asphalt shingle roofing
- 40-year warranty
- Excellent protection against harsh weather conditions
- No visible joints for a clean, modern look
- Triangular strip profile
- Cross joints every 8 feet
- 19.25" flat surface



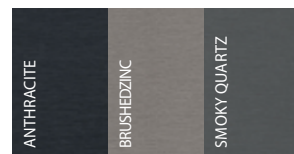
19.25" x 11/16" x 3' @ 60'





AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



MS 3 & MS 4

Harmonious and linear!



The MS 3 and MS 4 profiles perfectly reproduce the old hand-made roofs thanks to a high precision profiling technology that ensures a beautiful finish. Rectangular strip profiles add relief to projects and accentuate architectural details. Treat yourself to the style and aesthetics of MS 3.

CHARACTERISTICS

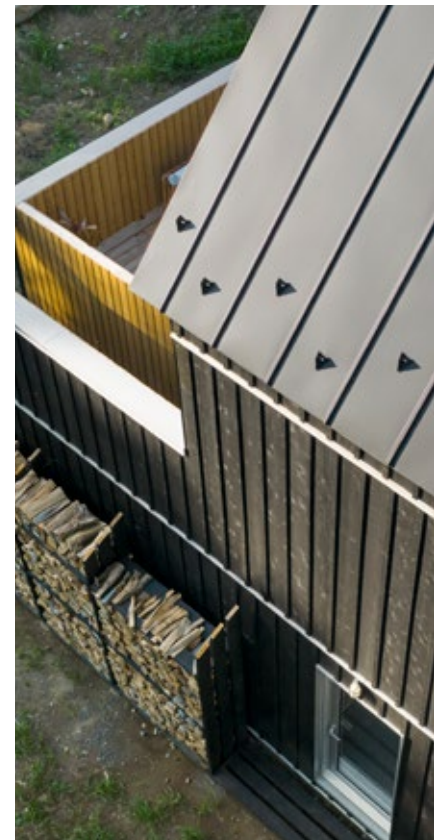
- Maintenance free
- 3 times stronger and more durable than asphalt shingle roofs
- 40 year warranty
- Excellent protection against harsh weather conditions
- No visible joints for a clean, modern look
- MS 3 17.75" flat surface with square bead
- MS 4 17.75" surface with two grooves
- Profile square profile strips

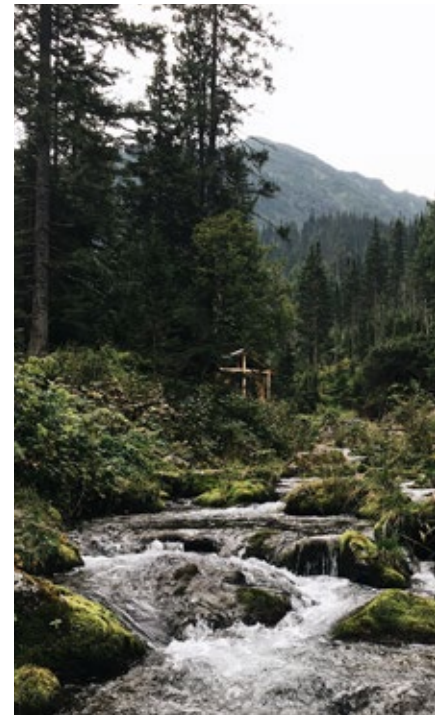


MS 3
17.75" x 1 1/2" x 3' @ 60'



MS 4
17.75" x 1 1/2" x 3' @ 60'

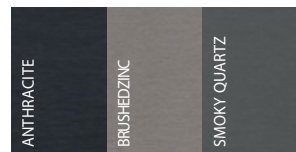




MS 3 | Titanium Black

AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



STEEL

an ecological choice

At the center of all trends and innovations, eco-responsibility and sustainable development are the future of construction and renovation. With the passage of time, environmental standards become increasingly important, and companies must aim for more eco-responsible actions. At MAC Metal Architectural, we do not take the environment lightly, and we do everything we can to surpass ourselves in this area that is so important to us. How do we do this? By using products made from recycled materials on your homes! We are proud to say that MAC steel has low toxic emissions and is 100% recyclable at the end of its long life.

Made of 97% recycled steel / 100% recyclable

Contributes to your project's LEED certification







8 REASONS
to choose MAC



1 // Highly resistant paint

With Textural III & IV, we offer our customers a unique painting process that provides superior protection against weathering, extreme climatic conditions, and scratches.

2 // 40-year warranty

and an incomparable painting process that ensures longevity and durability, we offer all our customers our 40-year Peace of Mind Guarantee: perfect protection against the distinctive weather and climate of our country.

3 // A plus for your property

With a transferable warranty, MAC steel siding offers a double added value to your property. In addition to significant savings in installation costs, you will increase the value of your home by 6–8%.

4 // An environmentally friendly product

MAC steel siding is one of the premium building products of the new millennium. In addition to containing 97% recycled content, MAC products have low toxic emissions and are 100% recyclable at the end of their life.

5 // Maintenance free

MAC steel siding retains its original appearance and requires little maintenance, so you will be assured of peace of mind for years to come.

6 // Increased resistance to rust


MAC pre-painted galvanized steel products and their textural paint system provide increased rust resistance, making them your best protection against harsh weather conditions.

7 // Superior product

Because performance, efficiency, and customer satisfaction are our primary concerns, we never skimp on quality. We can therefore offer you quality profiles that stand out!

8 // Perfect finish

MAC is THE leader in screwless profiles. You will therefore benefit from top-quality products that add a look of prestige to all the buildings they cover.



THE TEXTURAL SYSTEM

Technological performance

MAC's exclusive TEXTURAL III and IV paint processes provide superior protection against extreme weather and climatic conditions.

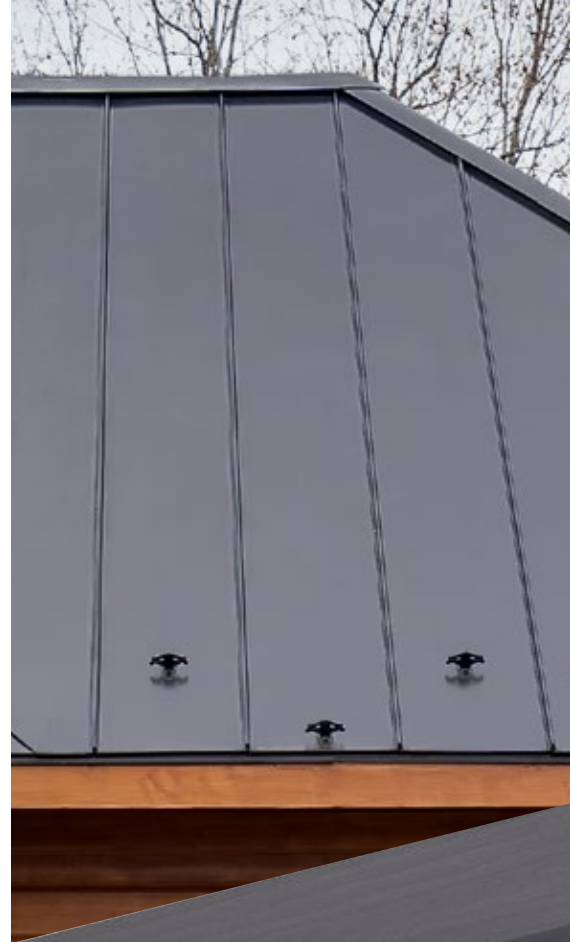
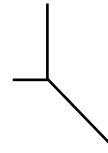
The constant search for aesthetics and premium quality is part of our DNA, which is why TEXTURAL technology is applied to all our products. Our wide variety of colors creates an unparalleled depth of hue and texture, perfectly reproducing noble materials such as oxidized copper, zinc, and wood, while matte surface finishes eliminate unwanted glare from the sun and provide a clean finish.

TEXTURAL TECHNOLOGY PERFORMANCE UNDER THE MICROSCOPE

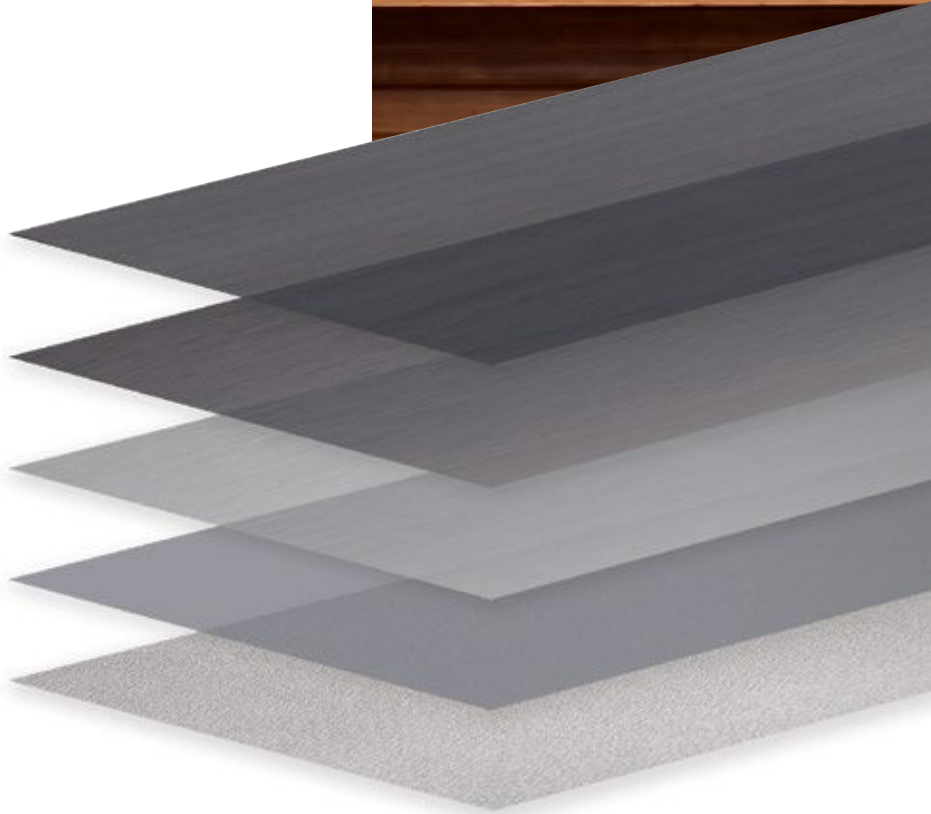
- Exceptional corrosion resistance
- Excellent fade resistance
- Superior protection against weathering and extreme climatic conditions
- Scratch and delamination resistance

2x more resistant to UV rays
3x more resistant to corrosion

MAC uses only the most advanced paint technologies in the industry to provide quality cladding that will last for years to come. Our PVDF-based Wood Collection will retain its natural wood look without the worry of maintenance or fading.



- PROTECTIVE COATING**
POLYESTER TYPE POLYURETHANE
- ZINC COATING G90**
- STEEL SUBSTRATE**
24 OR 26 GAUGE
22 gauge on request
- ZINC COATING G90**
- PRIMER**
Base coat
polyester type



Note that the full range of standard steel colors available on the market can also be ordered upon request. We recommend that you contact your sales representative for availability, quantities, and lead times.

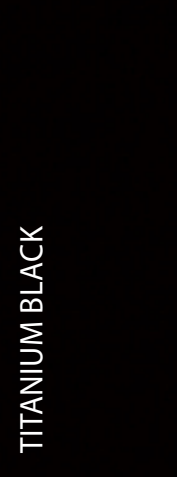
OUR COLORS



SIGNATURE Collection



TITANIUM WHITE



TITANIUM BLACK



ANTHRACITE



BRUSHED ZINC



SMOKY QUARTZ



CHARCOAL GREY



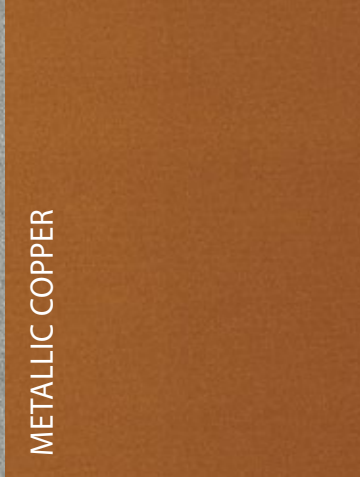
BRIGHT RED



ONYX BLACK



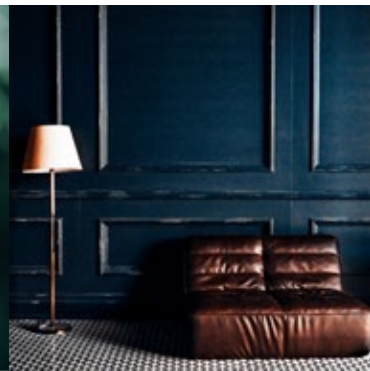
METALLIC GREY



METALLIC COPPER



SLATE GREY



SANDSTONE RED



DARK BROWN



ENGLISH GREEN



AUTUMN BLUE

The colors printed in this brochure are for information purposes only and may vary slightly from the actual color.

ACCESSORIES

The detail is in the finishing touch



With an eye for detail, MAC offers a series of accessories that will complement your project perfectly. This will inevitably make heads turn in the neighborhood.

Our profiles are offered with a series of compatible accessories for a perfect finish in every detail. Discover our moldings, soffits, ventilation vents and snow barriers perfectly adapted to our profiles, and all offered in our unique color series.

Clapping Vent



Snow Guard



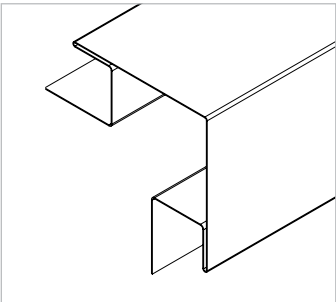
PEAK



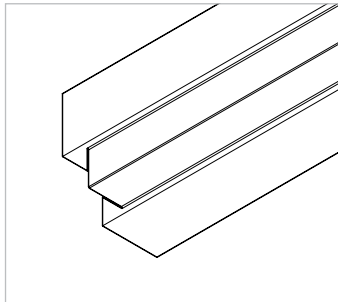
NORTH WEST



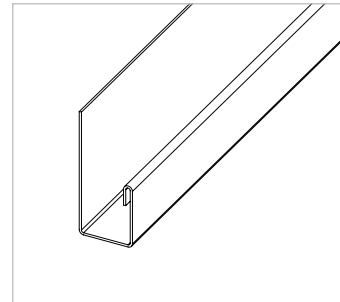
Moldings



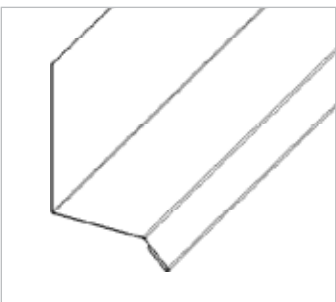
OUTSIDE CORNER



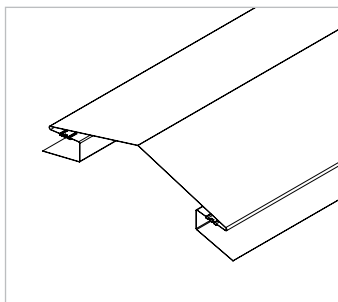
INSIDE CORNER



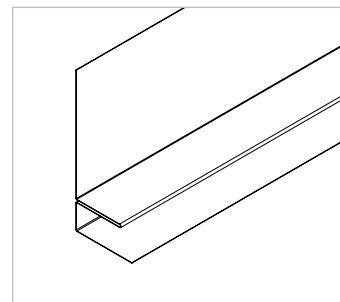
J TRIM



DRIP FLASHING



RIDGE CAP



WALL-ROOF JUNCTION



MAC
METAL ARCHITECTURAL

MAC creates products
with bold designs
that blend in with
the environment around them.

MACMETALARCHITECTURAL.COM

5975, chemin de la Savane, Saint-Hubert, QC J3Y 0X1
T 450 464-5486 - info@macmetalarchitectural.com



MS 1, MS 2 & MS AUTHENTIC

Data Sheet



Prefinished Steel Roof and Wall Profile Without Visible Screws



MS 1



MS 2



MS AUTHENTIC



DESCRIPTION

Profile designed for both wall and roof installation, offering the possibility to create designs from roof to wall. Vertical installation. Combining the best of durability and aesthetics, this triangular pinch strip profile is a must-have in the design of living spaces that emphasize clean, flat surfaces. Installed as roofing and siding, it will create a balance of perfectly balanced lines from roof to floor, plus a linear design that will stand the test of time!

WARRANTY

Since we use a superior grade of steel and an unparalleled painting process that ensures longevity, MAC offers its customers a 40-year Quiet Guarantee.



INSTALLATION WARRANTY

In the event that a problem occurs during the installation of the profiles, it is important to report the situation immediately to your supplier before proceeding with the rest of the installation. For MS 1, MS 2 and MS Authentic profiles, the supplier must be notified prior to the installation of 500 sq. ft. Beyond 500 sq. ft. the installer is responsible for the installation.

PHYSICAL DATA OF THE PROFILE

Dimensions	
Standard length	Assorted according to plans and specifications up to 60 ft (18.29 m)
Height (covered)	19.25 in (488.95 mm)
Thickness (width)	1.0625 in (27 mm)
Weight (per panel)	26 g 1.06 lb/ft ² (0.48 kg/ft ²) 24 g 1.32 lb/ft ² (0.6 kg/ft ²) 22 g 1.65 lb/ft ² (0.75 kg/ft ²)
Screw holes (openings)	0.75 x 0.1875 in (19 mm x 4.8 mm)
Screw hole intervals	1.5 in (39.1 mm) OR 2.25 in (57.2 mm)
Available gauges	
Gauge 26 & 24 roofing & 22 wall	26 g 24 g 22 g (wall on demand)
Packaging details	
Single package size (for the 3 profiles)	33 x 31 7/8 in (max) x custom length 50 panels
Installation direction	
Installation orientation	vertical
Characteristics of the profiles	
MS 1	Triangular strip Flat surface
MS 2	Triangular strip Incorporate two grooves
MS Authentic	Triangular strip Cross joints every 8 feet

TESTS

WIND RESISTANCE

Resistance to overload due to uniformly distributed static pressure-related winds, according to ASTM Standard D5206-06a.

Resistance type	Pressure
Breaking pressure of a component Failure mode - nailing tape (16 in c/c)	2872 Pa (60 psf)
Breaking pressure of a component Failure mode - nailing tape (24 in c/c)	2872 Pa (60 psf)

FIRE RESISTANCE

- Tested to ASTM-E2768 for use in non-combustible construction in Wildland Urban Interfaces in California (required for WUI listing).
- Tested as per CAN/ULC-S135 for use in non-combustible constructions.
- Tested as per ASTM E84 for non-combustible construction (Class A category).
- Classified 0 Flammability Hazard, according to the NFPA Rating Explanation Guide.

TYPE OF TEST	DESCRIPTION	STATUS
CAN/ULC-S135	Fire resistance (CAN)	Compliant
ASTM E84	Fire resistance (USA)	Class A
W.U.I.	Wildland Urban Interface accreditation	Inscription 8140-2358-0500
ASTM D5206-06A	Maximum sustained pressure	2872 Pa (60 psf) 16 in c/c 2872 Pa (60 psf) 24 in c/c 1915 Pa (40 psf) 36 in c/c 1317 Pa (27.5 psf) 48 in c/c
ASTM E330	Plank deflection under wind pressure (Tested for these variables, the results are available upon request)	16 in c/c + 1920 Pa - 1949 Pa 24 in c/c + 1783 Pa - 1933 Pa
ASTM E283	Air leakage of the wall assembly	Compliant
FBC	Florida Building Code accreditation	In progress
TDI	Texas Department of Insurance accreditation	In progress
Miami Dade, ASTM E1886, E1996, TAS 202 & TAS 203	ZHLA.63 Hurricane Resistance accreditation	Non-tested

RESTRICTIONS OF ROOFING SLOPES

- MINIMUM SLOPE 10° or 17.03% (~ 2/12 pitch) for pre-finished steel roof with TEXTURAL III paint system (colors based on polyurethanes)
- MINIMUM SLOPE 15° or 26.75% (~ 3/12 pitch) for pre-finished steel roof with TEXTURAL IV paint system (colors at the base of PVDF)
- MINIMUM 18° SLOPE or 32.49% (~ 4/12 pitch) for pre-finished steel roof with PERSPECTRA paint system PLUS (colors based on polyesters)
- For slopes less than 3/12-manual installation recommendation of MAC sealer inside staple (all along the groove of the female part of the staple).
 - * Sealing against the risk of water infiltration due to the hydrostatic pressure of water during snowmelt.

PRINCIPAL CHARACTERISTICS

- No perforations and no visible screws
- No joints along the length of the panels
- Non-combustible product
- Increased wind resistance
- MS 1 19.25' flat surface
- MS 2 19.25' surface incorporating two flutes
- 24- and 26-gauge (22-gauge on demand)

ENVIRONMENT

Placing the environment at the heart of our priorities, all of our products are made from 86% recycled material and are 100% recyclable at the end of their life, in addition to contributing to the following LEED points:

- Recycled steel content (LEED – Credit 4.1 & Credit 4.2)
Valid for all coatings (roofs and walls)
- Reduction of Heat Islands (LEED – Credit 7.2)
Valid for roof coverings with slopes > 2/12 depending on the solar reflectance index (ISR or SRI greater than 29) corresponding to the chosen color (roofs only)



ASSEMBLY

- Comply with the manufacturer's requirements, recommendations, and written specifications, including any available technical bulletins such as the installation guide, installation videos available on the manufacturer's web page, and instructions in the web page and instructions appearing in the product catalog.

INSTALLATION SURFACES

- ROOFING installation: on plywood (minimum thickness 5/8 in) covered with a high temperature membrane compliant for steel roofs.
- WALL installation: on plywood (min. thickness 5/8 in), on wood furring (1 in x 3 in) (25,4 mm x 76,2 mm) or on metal furring (Z bar) 18 gauge or 20 gauge, if needed.

Note: All furring must be ground horizontally and vertically to allow installation according to accepted practice and to achieve a good final installation result.

FIXATION

- For each type of installation (wall or roof), a drip flashing must be installed behind the furring and the weather barrier for the MS 1, MS 2 & MS Authentic profiles. It must be carefully levelled, as it will determine the straightness of the work.
- Before starting the installation, refer to the videos and installation guides to make sure you have all the tools and accessories you need to start the installation.
- A methodical verification of the work must be done every 3 or 4 sheets in order to detect possible anomalies.
- Continuous installation of drip moldings, starter moldings, inset/outset corner pieces corner pieces, borders, soffits, moldings adjacent to doors and windows by the manufacturer.
- Set a screw every 20, 22, or 24 inches depending on the degree of slope and exposure to the winds.
- For wall installations, screws should be set every (406 mm) to 24 in (610 mm).
- Allow an additional 3 inches to make the bends. The ends of the panels should be folded after the starting moldings and the wings of the grooves. The same applies to the panels at the ends, which must also be stapled along their length upon starting moldings. The ends of the panels that enter the pocket of the ridge cap or other moldings laid in advance must be folded (towards the open air) and sealed at the junction of the staples and the junction of the ridge cap or moldings.
- Never leave the cut edge of the panels exposed on the surface. Normally, the cut edges must be folded on themselves, stapled, or covered by adjacent moldings. Requires sealant application for shallow slopes, near grooves, or for increased safety against high winds and noise vibration.
- When there are several floors to be covered, it is important to put a horizontal expansion moulding on all floors if the structure is made of wood, or at every 30 feet if the structure is made of steel.
- When necessary, cut the panels into lengths, using only a specialized MAC guillotine, sheet metal scissors, or a steel nibbler. Cold-cut metal rotary blades made by Diablo are the only brand tested and recommended by MAC. Please refer to the cutting recommendation leaflet for all details and models.
- Installation of the MAC siding products on ZIP R-sheathing panels and other dual composite panels with a softer material than wood is not recommended. This type of panel doesn't offer a good rigid mounting surface for the MAC products and will allow for movement and deformation under varying weather and sun exposure transferring into oil canning.

FASTENING

MAC is proud to offer you a screw system adapted to its profiles. The screws used to screw our products must meet the STM B-117 2000h standard. The use of MAC screws designed for our profiles is strongly recommended.

Use the MAC High-End Century K-LATCH Screw or MAC Self-Drilling K-LATCH Screw depending on the type of furring or surface to be fastened.

The screws should be set with moderate contact on the clip part of the panel to avoid impeding the expansion of the metal. The screws must not exert any upward or downward pressure to avoid deforming the siding or opening the panels at the joints. Remove the protective film from the siding prior to installation to facilitate a good visual inspection of the quality of the installation and in order to make appropriate corrections as installation progresses.



A058.250
K-LATCH High-End
Century Screw
1.25 in

A053.250
K-LATCH
Self-Drilling Screw
1.25 in

ACCESSORIES & MOLDINGS

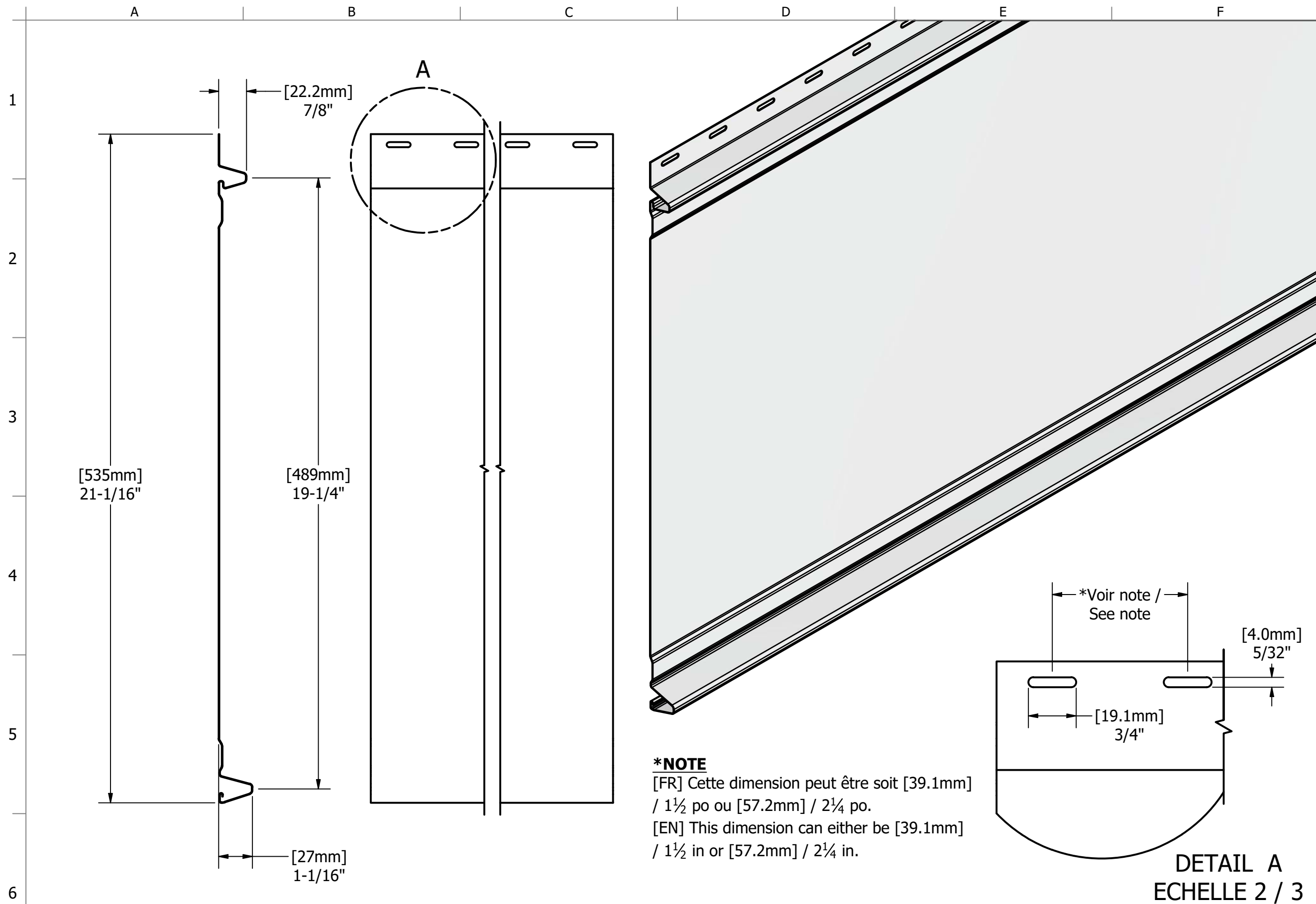
With an eye for detail, MAC offers a series of accessories compatible with its profiles to ensure a perfect finish. Discover our moldings, arches, soffits, vents, screws, and snow gates offered in our unique color series.

All standard moldings such as transition trim, inside/outside corners, and drip moldings are available from the MAC manufacturer or distributors in 10 ft (3048 mm) lengths. Please refer to the website for the complete molding and flashing guide. Custom moldings are available in 10 ft (3048 mm) lengths upon request. They can be manufactured by MAC or by a forming company from flat rolls supplied by MAC.

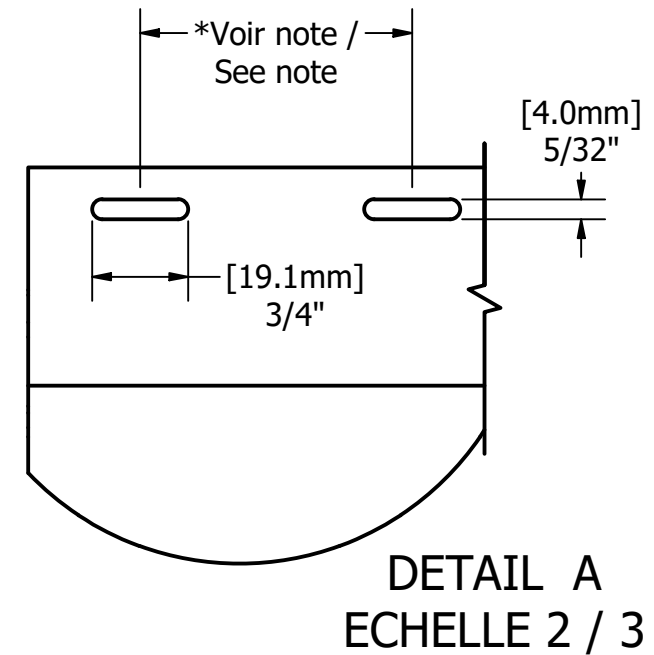
RESOURCES

To help you in the realization of your project, we have made all of the CAD, REVIT, and DWG drawings, as well as the videos and technical guides of our profiles, available for you to use on website. Find these resources in the PRO Space of each.





***NOTE**
 [FR] Cette dimension peut être soit [39.1mm] / 1½ po ou [57.2mm] / 2¼ po.
 [EN] This dimension can either be [39.1mm] / 1½ in or [57.2mm] / 2¼ in.



Project leader / Chargé de projet :
FB
 Part number / Numéro de pièce :
MS1
 Part name / Nom de la pièce :
MS1
 Designer / Concepteur :
GM
 Paint system / Système de peinture :
TEXTURAL III, TEXTURAL IV, PERSPECTRA PLUS
 Nominal thickness / Épaisseur nominale :
22, 24, 26 Gauge/Jauge
 Material / Matériau :
STEEL / ACIER

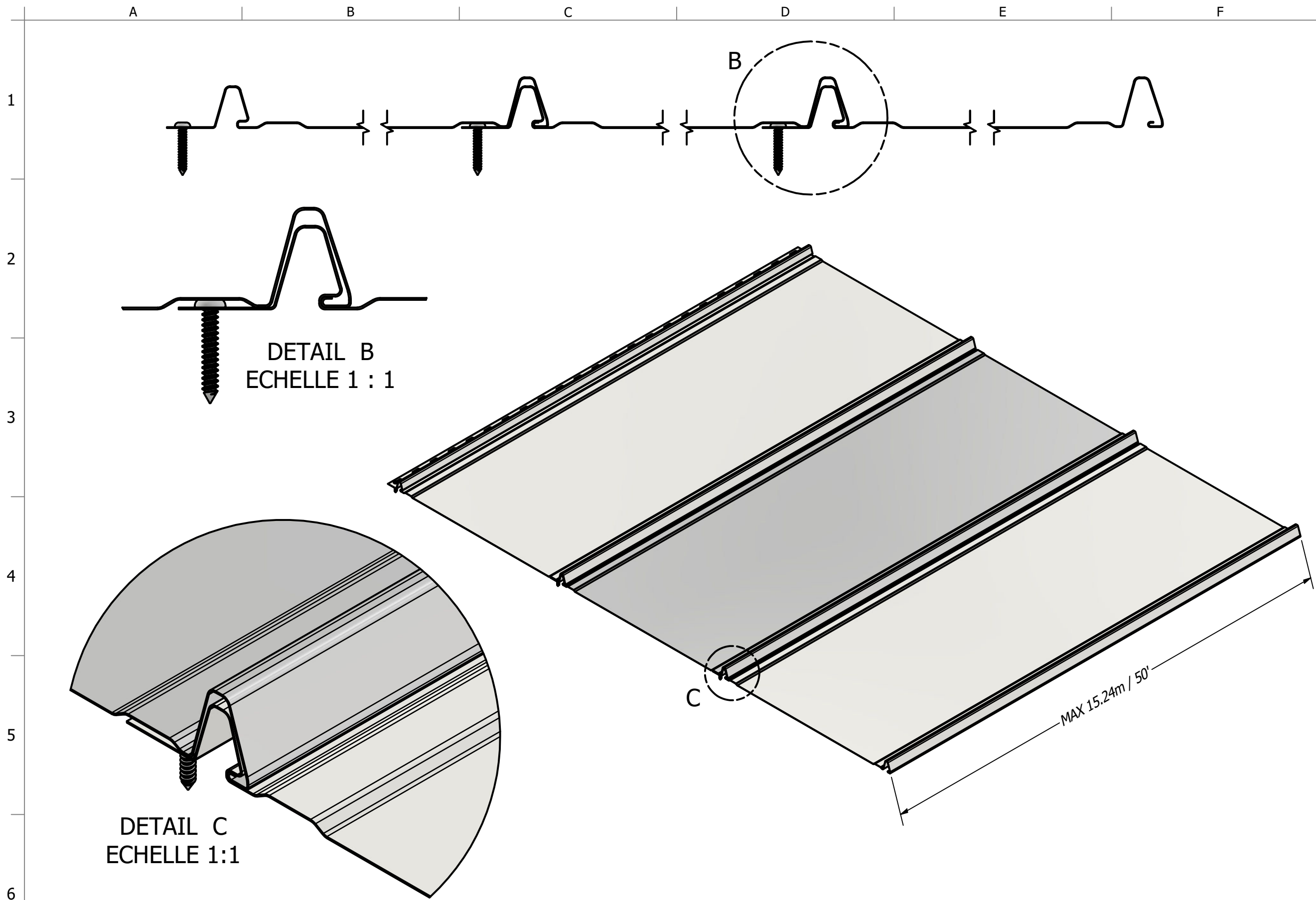
Revisions / Révisions

REV.	DESCRIPTION
B	Ajout palette de vissage
A	Original
-	-
-	-
-	-

Update / Mise à jour :
2023-01-26



File Name / Nom de fichier : MS1	Revision / Révision B	Drawn by / Dessiné par : GM	Date : 2022-11-16	Size / Format : Tabloid 11"/17"	Scale / Échelle : 1:2	Units / Unités : [mm] "	Page / Feuille : 1 de 2
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Project leader / Chargé de projet :
FB

Part number / Numéro de pièce :
MS1

Part name / Nom de la pièce :
MS1

Designer / Concepteur :
GM

Paint system / Système de peinture :
TEXTURAL III, TEXTURAL IV, PERSPECTRA PLUS

Nominal thickness / Épaisseur nominale :
22, 24, 26 Gauge/Jauge

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40-YEAR WARRANTY



MAC METAL ARCHITECTURAL INC ("MAC") PROVIDES A 40 (FORTY) YEAR WARRANTY ON ITS METAL ROOFING AND SIDING, NAMELY THE MS-1, MS-MODULAR, MS-2, MS-3, MS-4, MS-AUTHENTIC, HARRYWOOD, HARRYWOOD PLUS, HARRYWOOD BLOCK, NORWOOD, NORWOOD MINI, VERSA, METAL BLOCK, BOARD AND BATTEN, REVERSE BOARD AND BATTEN, MS-750 (I), MS-380 IN PREPAINTED STEEL IN THE TEXTURAL III AND TEXTURAL IV COLOR SERIES, UNDER RESERVE OF THE FOLLOWING TERMS AND CONDITIONS.

THE WARRANTY COVERS ALL PAINT DEFECTS (CHIPPING AND/OR PEELING), DISCOLORATION AND CHALKING ON THE SAME PURSUANT TO NORMAL USAGE IN NORMAL CLIMATIC CONDITIONS.

DURING THE FIRST 30 (THIRTY) YEARS, THE DISCOLORATION SHALL NOT ATTAIN RESPECTIVELY 5 DELTA E HUNTER UNITS IN THE CASE OF A VERTICAL APPLICATION AND 8 DELTA E HUNTER UNITS IN THE CASE OF A HORIZONTAL APPLICATION FOR THE COLORS IN THE TEXTURAL III SERIES AS WELL AS 5 UNITS NBS HUNTER FOR THE COLORS IN THE TEXTURAL IV SERIES WITH PRINTS AND THE MEASURES DECREED BY THE ASTM D2244 STANDARD.

Measures shall be taken on clean surfaces after eliminating all deposits or any chalking in accordance with ASTM D3964 Standard. Any change to coloration (DELTA E) may be measured by a homologated colormeter producing a reactance reading from the tri-chromatic filter X,Y and Z system, based on the luminance values at 20 °C of the CIE in Hunter units L, a, and b.

With respect to products with metallic coatings in the TEXTURAL III series, the discoloration shall be uniform during the first twenty-five (25) years. The panels or panel sections which are subject to unequal sun exposure due to installation conditions shall be excluded from this warranty in such unequal zones of exposure.

As to panels with TEXTURAL IV series printed paint, it is impossible to measure the coloring on a printed surface with instruments because of the natural variations of the pattern. However, the appearance of the print shall remain intact and recognizable during the first twenty (20) years of exposure and the discoloration shall be uniform.

DURING THE FIRST 30 (THIRTY) YEARS OF EXPOSURE, FLOURING SHALL NOT EXCEED N° 8 IN THE CASE OF A VERTICAL APPLICATION AND N° 6 IN THE CASE OF A HORIZONTAL APPLICATION (Refer to ASTM D4214 Standard). IN THE CASE OF METALLIC PAINTS, THIS PERIOD IS LIMITED TO 20 (TWENTY) YEARS (Refer to ASTM D4214 Standard, Method A).

THIS WARRANTY APPLIES ONLY TO PRODUCTS USED IN CANADA AND IN THE UNITED STATES CONTINENTAL (i.e., except Alaska and Hawaii).

40-YEAR WARRANTY



This warranty constitutes the client's only recourse with respect to whatever product defect or default. MAC OFFERS NO OTHER WARRANTY, DOES NOT WARRANT OR MAKE ANY OTHER CONDITION, IMPLICIT OR EXPLICIT, WRITTEN OR VERBAL, IN REGARDS TO THE PRODUCT, WHETHER UNDER COMMON LAW, STATUTE OR OTHERWISE, INCLUDING WITHOUT LIMITATION, ANY MERCHANT QUALITY WARRANTY OR ANY INTERPRETATIONS OF GENERAL OR PARTICULAR USE TO WHICH MAC EXPRESSLY DECLINES ANY LIABILITY TO THE STATED TERMS, WITHIN THE LIMITS PROVIDED BY LAW.

This warranty is transferable to the subsequent purchasers of the property but only (i) if a written notice of the future transfer has been sent to MAC at least thirty (30) days before said transfer and (ii) if MAC has had the opportunity to examine the product at least thirty (30) days before the transfer and has found no evidence of damage to the product; should there be a lack of notice as stated above or in the case of notice of damage by MAC, the warranty will not apply.

APPLICATION

The client must inspect the MAC panels prior to their installation so that expenses are limited should the material be recognizably faulty or non-compliant. MAC's liability is limited to manufacturing and providing replacement panels in order to provide products compliant to performance pursuant to the original warranty. Labor costs and other costs related to replacement are the client's responsibility. The replacement of faulty panels does not extend the warranty. Notwithstanding, the remaining warranty will continue to apply on replacement parts.

MAC's liability from the sale of or providing metal panels, their installation or their use, whether based on a warranty, a contract or a tort, is limited to the current purchase price of the material corresponding to the faulty part of the MAC panels which are to be replaced. MAC shall not be held liable in any way for direct or indirect, accessory, secondary or special damages sustained by the client or whomever in relation to the purchase, the installation or the use of MAC panels, or of any other damages related to labour or those caused by a loss of the use of the property or the contents of the property.

CLAIMS

1. To make a claim, the buyer must notify MAC in writing within thirty (30) days of the discovery of the defect. Failing to notify MAC of the defect within statutory limits shall invalidate this warranty.
2. The notice must contain a complete description of the material and must include the original bill of sale, the date of the appearance of the defect and pictures supporting the claim. The notice must be forwarded to MAC by e-mail at info@macmetalarchitectural.com.
3. The buyer shall provide MAC with all available options to inspect the metal panels before any changes are made to them.
4. All of the claims shall be subject to a prior investigation in order to determine the cause and its admissibility

40-YEAR WARRANTY



EXCEPTIONS TO THE WARRANTY:

1. If the metal panels are not properly installed in accordance with MAC instructions, the Company is not liable for the material sold.
2. If the metal panels are constantly exposed to aggressive and/or corrosive atmospheric conditions, this warranty is not applicable because metal panels are not made for environmentally aggressive use, such as:
 - 2.1 Conditions relating to exposure or constant water wash by salt water or salt water spray, other salts, or to salt water fumes.
 - 2.2 Conditions relating to long-term exposure to corrosive chemical products, smoke, ashes, cement dust, organic residue, or animal excrement.
 - 2.3 If products are in direct contact with or washed by water containing lead, copper, or any other materials which are reactive with steel (i.e., fascias, gutters, eaves, etc.)
 - 2.4 Conditions or circumstances which promote the formation or the condensation of corrosive smoke inside the property.
3. The Discoloration Warranty does not cover metallic paints from the TEXTURAL III and TEXTURAL IV series because, for such products, this phenomenon cannot be precisely measured by a trichromatic spectro photometer. The panels or sections of panels are excluded from a uniform discoloration warranty when they are subject to highly unequal exposure to sun and for all unequal exposure zones. The discoloration warranty does not apply to the paint systems on polyurethanes with a clear finish.
4. If the metal panel incline is less than 5 degrees when they were manufactured in TEXTURAL III and TEXTURAL IV series.
5. If the metal panels have suffered mechanical, chemical, or any other type of damage during transport or storage on the construction site or during installation.
6. If water evacuation is prevented or the metal panels are subject to permanent condensation.
7. If damage or defects are linked to or result from panel manufacturing or embossing or their adjacent moldings.
8. If the damages which could be caused to the client resulted-in a difference from the pre-painted panels on lots installed at different stages of the project and/or associated with different orders and/or to the difference between existing lots of panels replaced under the warranty.
9. If the damage was caused directly or indirectly by hidden staples on the metallic panels.

40-YEAR WARRANTY



10. If the panels were in permanent contact with wet or rotten wood, damp insulation, or other corrosive products.
11. If the damage is due to the weakness in the substrate steel or faulty basic steel, or the steel is not compatible with ASTM AZ 275 (G90) Standard.
12. If the damage is due to the use of installation accessories incompatible with MAC products.
13. If the damage is directly or indirectly caused by residual particles of the metal when the metal is hot cut or with the use of circular tools.
14. If the damage is caused by exposure to the cut banks or to stapling of the panels on different types of moldings.
15. If the damage is caused by the formation or falling of ice, frozen snow, or hail.
16. If the damage is caused by the installation, use of, or broken snow barriers, or by any other equipment used to retain snow on roofs.
17. The warranty does not apply to damages resulting from a landslide, structural defects, or any other cause not attributable to an inherent defect to the manufacturing of MAC materials.
18. The warranty does not apply in the case of force majeure or natural disasters (explosions, fire, riots, acts of war, tornadoes, earthquakes, or other external forces).

Maintenance of the profiles

Entretien des profilés

MAINTENANCE OF MAC METAL ARCHITECTURAL PROFILES

Although MAC Metal Architectural's pre-painted steel profiles require very little maintenance, occasional cleaning of the materials can increase the life and appearance of the finishes. A simple washdown with clean water from a garden hose or very light pressure washer is usually sufficient.

In the event that heavy dust deposits have dulled the surface, a simple solution of water and laundry detergent will be required. Mix 100 ml (1/3 cup) of regular laundry detergent in 4 liters (1 gallon) of water. Scrubbing should be done with a soft cloth and followed by rinsing with clean water.

AVOID USING SOLVENTS AND ABRASIVE CLEANERS AT ALL TIMES

To remove traces of caulking compound, oil, tar, wax, glue residue or other such substances, Titan Laboratories Oil-Flo Solvent Cleaner can be gently applied. A wash with a solution of laundry detergent and water followed by a proper rinse with clean water should immediately follow any application of this product.

ENTRETIEN DES PROFILÉS MAC METAL ARCHITECTURAL

Bien que les profilés d'acier prépeint de MAC Metal Architectural ne nécessitent que très peu d'entretien, un nettoyage occasionnel des matériaux peut augmenter la durée de vie ainsi que l'apparence des finis. Un simple lavage à l'eau claire à l'aide d'un boyau d'arrosage ordinaire ou à pression très légère est généralement suffisant.

Advenant le cas où des dépôts importants de poussières auraient terni la surface, une simple solution d'eau et de détergent à lessive sera nécessaire. Mélangez 100 ml (1/3 tasse) de détersif à lessive ordinaire dans 4 litres (1 gallon) d'eau. Le frottage doit être effectué à l'aide d'un linge doux et être suivi d'un rinçage à l'eau claire.

EN TOUT TEMPS, ÉVITEZ D'UTILISER DES SOLVANTS ET DES NETTOYEURS ABRASIFS

Pour retirer des traces de composé à calfeutrer, d'huile, de goudron, de cire, de résidu de colle ou d'autres substances du même type, le produit Oil-Flo Solvent Cleaner de la compagnie Titan Laboratories peut être appliqué avec délicatesse. Un lavage à l'aide de la solution composée de détergent à lessive et d'eau ainsi qu'un bon rinçage à l'eau claire doit immédiatement suivre toute application de ce produit.



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info@macmetalarchitectural.com
MACmetalarchitectural.com
16-08-2022

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend Ordinance No 8888 for Travers Automotive Group to allow for a sign over 40 sq. ft. in a 'B-5' Planned Commercial District located at 660 Charbonier Rd. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: November 13, 2023

From: Debra M. Irvin, Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: **660 Chabonier (Travers Automotive Group)** request to amend B-5, adding new wall sign over 40 s.f. but less than or equal to 100 s.f. in a ‘B-5’ Planned Commercial District.

STAFF REPORT
CASE NUMBER PZ-120423-3

I. PROJECT DESCRIPTION:

This is a request to amend B-5 adding new wall sign over 40 s.f. in a ‘B-5’ Planned Commercial District. Travers Automotive Group is vehicle sales, whose Use is Special Use in this District.

II. EXISTING SITE CONDITIONS:

The existing space is the former Florissant Presbyterian Church and School, approved for Traver’s Automotive Group under Ordinance 8888. The rear building is now the main headquarters for Travers Automotive Group, all within the ‘B-5’ Planned Commercial District and is operating as outlined in the ordinance.

The subject property is approximately 5.20 acres.

III. SURROUNDING PROPERTIES:

The property is surrounded by other retail, restaurants and a gas station, also within the ‘B-5’ Planned Commercial District and ‘B-3’ Extensive Commercial District.

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IV. STAFF ANALYSIS:

Plans received from the applicant include channel letter signage designs for wall signs for the business. These signs will be illuminated.

Owner has been informed of signs not to exceed 100 s.f. Under the sign code, wall signs up to 40 s.f. in area can be approved by staff, but up to 100 s.f. signs must have the approval of P&Z, under the following:

According to city code, section 520.070: *“Under unusual or special circumstances, the Building Commissioner may permit the erection of signs up to one hundred (100) square feet in area not otherwise permitted, but the applicant shall first obtain approval of the Planning and Zoning Commission for erection and maintenance of such non-conforming signs.”*

VI. STAFF RECOMMENDATIONS:

Suggested Motion:

I move for Approval of single illuminated 97.40 s.f. wall sign as shown on attached sign design plan. Furthermore, no additional signs are allowed without approval from the Building Commissioner.

(End of report and suggested motion)

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 660 Charbonier Rd, Florissant, MO 63031

Property Owners Name: Glenn Travers Phone/email: gmtautosales@yahoo.com 314-960-4175

Property Owners Address: 660 Charbonier Rd, Florissant, MO 63031

Business Owners Name: Glenn Travers Phone/email: _____

Business Owners Address: 660 Charbonier Rd, Florissant, MO 63031

DBA (Doing Business As) Travers Automotive and RV Group

Authorized Agents Name: Erin Plass Co. Name: Landmark Sign Company
(Authorized Agent to Appear Before The Commission)

Agents Address: 175 Chesterfield Industrial, Chesterfield MO 63005 Phone/email: erin@landmarksignusa.com 636-536-0400

Request Lit Wall Sign for 660 Charbonier Rd.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Erin Plass 11/27/2023
Applicant's Signature Date

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

660 Charbonier -Wall Sign

Former Church building, new home Travers's.

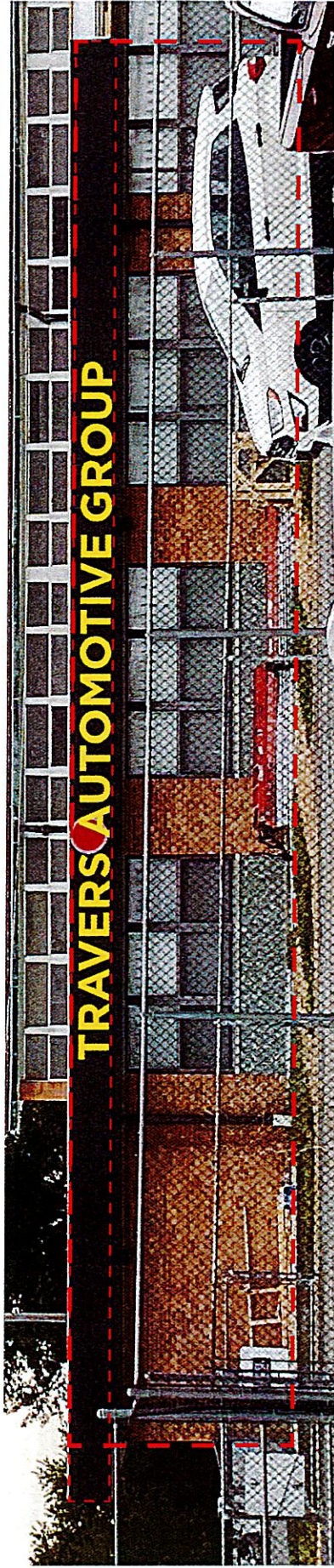
561"

25" [TRAVERS AUTOMOTIVE GROUP

97.40 SQ FT

CUSTOMER IS ALLOWED 100 SQ FT

RED DOTTED LINE IS 180" HIGH X 1160" - INNER SIGN BAND AREA IS 32" HIGH



SALES PERSON: ADRIAN ALLEN
PROOF DATE: 10/18/2023

DESIGNER: JESS MARKS



175 Chesterfield Industrial Boulevard
Chesterfield, MO 63005 • 636-536-0400
www.landmarksignusa.com
info@landmarksignusa.com

SIGNATURE: _____

DATE: _____

APPROVED AS IS

APPROVED WITH NOTED CHANGES

REVISE AND RESUBMIT

★ NOTE: APPROVAL IS NEEDED BEFORE PRODUCTION / FABRICATION CAN BEGIN. ★
COLORS OF PRINTED PROOF AND ELECTRONIC PROOF MAY VARY FROM ACTUAL COLORS OF COMPLETED SIGNS.

CLIENT: TRAVERS AUTOMOTIVE GROUP
CONTACT: Amanda Schomaker
PHONE: (314) 737-5398
EMAIL: amanda.schomaker@gotravers.com

DESCRIPTION OF WORK: RACEWAY MOUNTED CHANNEL LETTERS - OPTIONS

IMPORTANT: THIS DRAWING IS PROPERTY OF LANDMARK SIGN COMPANY AND HAS BEEN PREPARED FOR YOUR VIEWING ONLY. THIS PROPERTY MAY NOT BE RE-PRODUCED OR DUPLICATED WITHOUT WRITTEN PERMISSION OF LANDMARK SIGN COMPANY OR THROUGH PURCHASE

To Whom It May Concern,

I, Glenn Travers, owner, in association with Travers Automotive and RV Group have reviewed the purposed signage at 660 Charbonier Rd. Upon review of said signage we have approved the work to be done.

Glenn Travers
Owner
Travers Automotive and RV Group

Contact:

Amanda Schomaker
Director of Marketing
amanda.schomaker@gotravers.com
cell: 512-748-8701

660 Charbonier Rd., Florissant, MO 63031

CITY OF FLORISSANT

Public Hearing



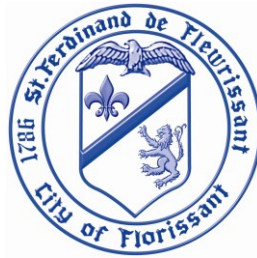
In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a ‘B-5’ Planned Commercial District located at 3390 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT

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"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: November 8, 2023

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From: Debra Irvin, Building Commissioner cc: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

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Subject: Request an amendment of the B-5, minor ratification of the Building
Commissioner to allow painting exterior rear of the building Concrete
Masonry Unit (CMU), and parapet caps; apply film on front trespa panels,
and install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5'
Zoning District

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STAFF REPORT

CASE NUMBER PZ-120423-4

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I. PROJECT DESCRIPTION:

Request an amendment of the B-5f , minor ratification of the existing ordinance to paint
exterior rear building CMU, and parapet caps; apply film on front trespa panels, and
install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District,
Ordinance No. 7965.

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II. EXISTING SITE CONDITIONS:

The existing property at 3390 N Highway 67 is a high traffic retail chain store. The
property is currently zoned 'B-5'.

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III. SURROUNDING PROPERTIES:

The property to the West is 3200 N Highway 67 in a 'B-3' District, the properties to the
South are in an 'R-4' District. The East is bounded by Coldwater Creek.

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IV. STAFF ANALYSIS:

Under the Zoning Code, Section 405.135 (for a 'B-5' District only), minor changes to a
previously recorded development plan may be approved without a public hearing if the

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41 Building Commissioner deems the changes to be minor in nature and is ratified by P&Z,
42 the Building Commissioner submits the proposed amendment to P&Z for review and
43 approval by motion to ratify approval by staff. **The attached plan was submitted for**
44 **review and consideration of approval to paint exterior rear of building CMU and**
45 **parapet caps; apply film on front trespa panels, and install new signs at 3390 N**
46 **Highway 67 (Wal-Mart)** in a ‘B-5’ Zoning District

47
48 Excerpt from Zoning Code, section 405.135. para. L2c.:
49 *“c. Initial determination of consistency/minor changes. If the Building Commissioner determines that the*
50 *proposed amendment to the previously approved site plan is minor in nature and is not in conflict with the*
51 *nature of the proposal as originally or previously advertised for public hearing and meets all of the*
52 *conditions of the pertinent Planned Commercial District ordinance, the Building Commissioner shall notify*
53 *the Planning and Zoning Commission thereof and may conditionally approve such proposed amendment,*
54 *which approval shall be deemed ratified by the Planning and Zoning Commission unless five (5) or more*
55 *members thereof thereafter request at the first (1st) regularly scheduled and conducted meeting after*
56 *notification that such proposed amendment be submitted to the Planning and Zoning Commission for*
57 *review. In lieu of a grant of conditional approval, the Building Commissioner or designated representative*
58 *may submit the proposed amendment to the Planning and Zoning Commission for review. In case of*
59 *disapproval of the proposed amendment by the Building Commissioner, the applicant shall be notified and*
60 *may thereafter request review thereof by the Planning and Zoning Commission...”*

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62 The application is accompanied by attached plan.

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64 Comments on plans: Owner shall provide color samples for CMU

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66 See the following suggested motion:

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68 **V. STAFF RECOMMENDATION AND SUGGESTED MOTION:**

69 I move to amend the B-5 for minor changes to the site development plan of the ‘B-5’
70 Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry
71 Unit (CMU), and, parapet caps; also apply film on front trespa panels, and install new
72 signs at **3390 N Highway 67 (Wal-Mart)**

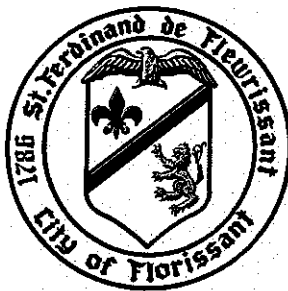
73
74 Related drawings are attached. The exterior modifications depict minor changes in the
75 development plan, which is not in conflict with the nature of the development and meets
76 all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this
77 ‘B-5’ Planned Commercial District, and the following additional requirements:

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80 **1. PROJECT COMPLETION.**

81 Construction shall start within 60 days issuance of building permits and
82 the project and shall be developed in accordance of the approved
83 amendments to the final development plan within 180 days of start of
84 construction.

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86 **(End of suggested motion and staff report)**

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant, while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 3390 N. Highway 67

Property Owners Name: THF Florissant Development LLC Phone/email:

Property Owners Address: PO Box 8050 Bentonville, AR 72712

Business Owners Name: Walmart Real Estate Business Trust Attn Realty Manager Store #5927 Phone/email: zach.luensmann@walmart.com

Business Owners Address: 2608 SE J St. Bentonville, AR 72716

DBA (Doing Business As) Walmart Store #5927

Authorized Agents Name: BRR Architecture, Inc. Co. Name: Kristi Burk (Authorized Agent to Appear Before The Commission)

Agents Address: 8131 Metcalf Ave. Suite 300 Phone/email: 479-286-2936

Request Paint exterior rear building CMU and parapet caps. Apply film on front trespa panels.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Kristi Burk

Digitally signed by Kristi Burk, DN: cn=US, email=kristi.burk@brrarch.com, o=BRR Architecture, Inc., cn=Kristi Burk Reason: I have reviewed this document Date: 2023.10.30 15:29:15 -0500

10/30/23

Applicant's Signature

Date

OFFICE USE ONLY

Received by: Receipt # Amount Paid: Date:

STAFF REMARKS: COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

CITY OF FLORISSANT

Public Hearing



In accordance with Chapter 405 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend the Zoning Code to add “Tobacco Store” as a Special Use to Sections 405.115, 405.120, 405.125, 405.130, and 405.460. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

MEMORANDUM



CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Memo To: Planning & Zoning Commission Date: November 21, 2023
Thru: Mayor Timothy Lowery
From: Patrick Mulcahy, Director of Economic Development

STAFF REPORT
CASE NUMBER PZ-120423-5

Subject: Amending the zoning categories to add limitations for stores that primarily sell tobacco products, alternative nicotine products, or vapor products:

Proposed Code section amendments for Tobacco, Alternative Nicotine, and Vapor products:

Chapter 405 "Land Use" Article IV "District Regulations"

- Section 405.115 "B-1" Local Shopping District
- Section 405.120 "B-2" Central Business District
- Section 405.125 "B-3" Extensive Business District
- Section 405.130 "B-4" Highway Commercial District
- Section 405.160 "H" Historic District, Subsection "D" Historic Business District.

All sections would be amended by deleting the permitted use "Tobacco Store" and adding a Special use to read as follows:

Tobacco products, Alternative Nicotine products or Vapor products, provided, however that a store that sells primarily tobacco, alternative nicotine products or vapor products may not be permitted if the number of locations exceeds one (1) per 4 thousand (4,000) population in the

city, or if the location of said store is within one-half (1/2) mile of another such store. In no event shall the City Council approve the issuance of a license for the sale of tobacco products, alternative nicotine products, or vapor products within one hundred (100) feet of any school, church or other building regularly used as a place of worship; except that when a school, church or place of worship shall thereafter be established within one hundred (100) feet of any place of business licensed to sell tobacco products, alternative nicotine products, or vapor products, renewal of the license shall not be denied for this reason.

Possible Definitions to be included in Section 405.035 Definitions (Identical to the definitions in the offenses Chapter)

ALTERNATIVE NICOTINE PRODUCT

Any non-combustible product containing nicotine that is intended for human consumption, whether chewed, absorbed, dissolved or ingested by any other means. "Alternative nicotine product" does not include any vapor product, tobacco product or any product regulated as a drug or device by the United States Food and Drug Administration under Chapter V of the Food, Drug and Cosmetic Act.

TOBACCO PRODUCTS

Any substance containing tobacco leaf including, but not limited to, cigarettes, cigars, pipe tobacco, snuff, chewing tobacco or dipping tobacco, but does not include alternative nicotine products or vapor products.

VAPOR PRODUCT

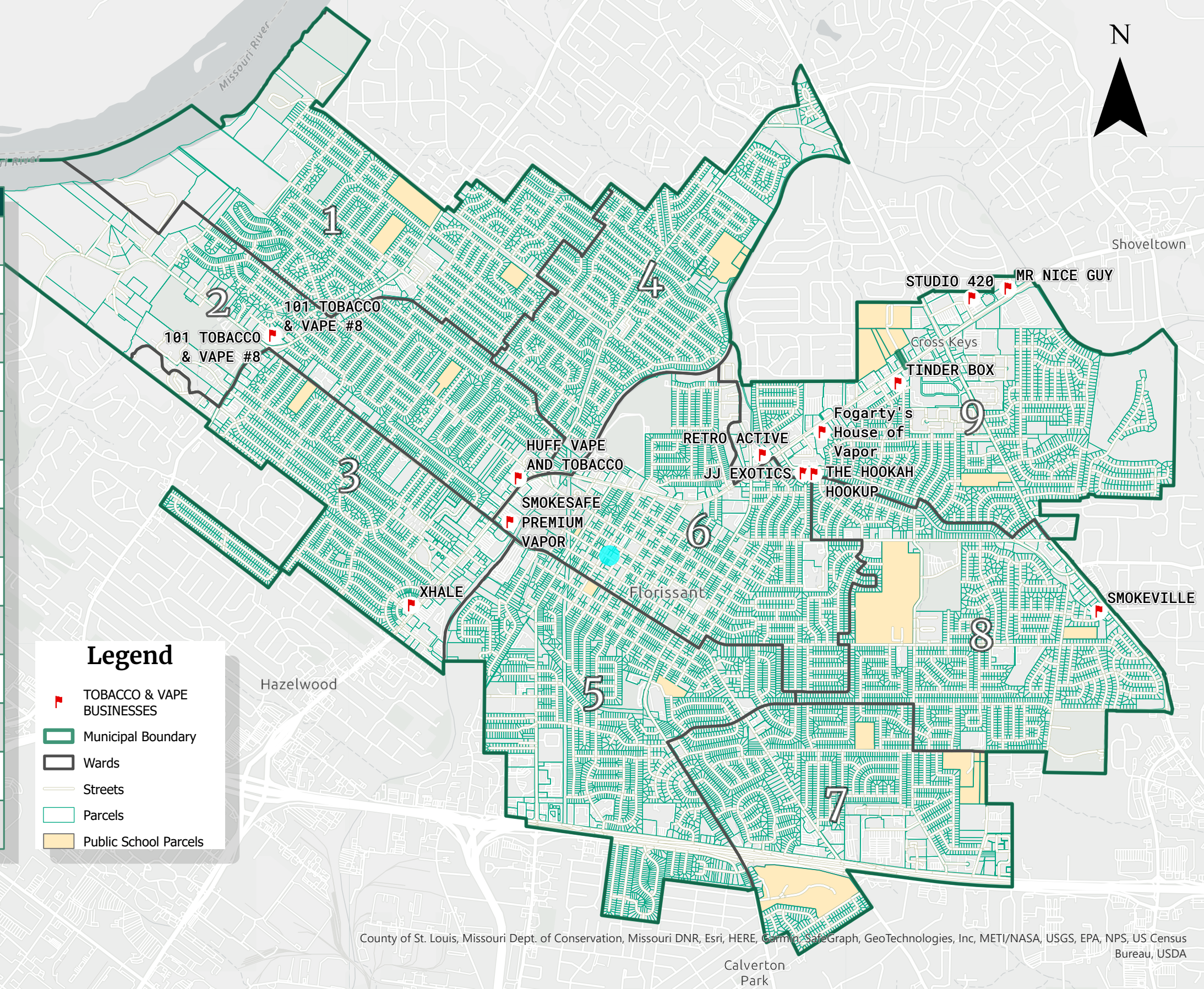
Any non-combustible product containing nicotine that employs a heating element, power source, electronic circuit or other electronic, chemical or mechanical means, regardless of shape or size, that can be used to produce vapor from nicotine in a solution or other form. "Vapor product" includes any electronic cigarette, electronic cigar, electronic cigarillo, electronic pipe or similar product or device and any vapor cartridge or other container of nicotine in a solution or other form that is intended to be used with or in an electronic cigarette, electronic cigar, electronic cigarillo, electronic pipe or similar product or device. "Vapor product" does not include an alternative nicotine product or tobacco product.



Tobacco & Vape Business Locations

City of Florissant

Business Florissant Address	Business DBA
111 FLOWER VALLEY SHOPPING CTR CITY OF FLORISSANT MO 63033	STUDIO 420
12761 NEW HALLS FERRY RD FLORISSANT MO 63033	SMOKEVILLE
2318 N HIGHWAY 67 A FLORISSANT MO 63033	Fogarty's House of Vapor
2164 N WATERFORD DR FLORISSANT MO 63033	JJ EXOTICS
739 N HIGHWAY 67 FLORISSANT MO 63031	HUFF VAPE AND TOBACCO
3359 N HIGHWAY 67 FLORISSANT MO 63033	MR NICE GUY
1764 N NEW FLORISSANT RD FLORISSANT MO 63033	RETRO ACTIVE
514 N HIGHWAY 67 FLORISSANT, MO 63031	SMOKESAFE PREMIUM VAPOR
2121 CHARBONIER RD FLORISSANT MO 63031	101 TOBACCO & VAPE #8
2123 CHARBONIER RD FLORISSANT MO 63031	101 TOBACCO & VAPE #8
2714 N HIGHWAY 67 FLORISSANT MO 63033	TINDER BOX
8215 N LINDBERGH BLVD FLORISSANT, MO 63031	XHALE
2250 N WATERFORD DR FLORISSANT, MO 63031	THE HOOKAH HOOKUP



County of St. Louis, Missouri Dept. of Conservation, Missouri DNR, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

Map was generated from a SimpliCity Business License Report. These businesses were selected because of their described uses and retail sales of primarily tobacco and vape products. These are not convenience stores or other retailers that sell tobacco or vape as a secondary product.



Memo To: Planning & Zoning Commission Date: November 21, 2023
Thru: Mayor Timothy Lowery
From: Patrick Mulcahy, Director of Economic Development
Subject: Amending the zoning categories to add limitations for stores that primarily sell tobacco products, alternative nicotine products, or vapor products:

City staff is requesting that stores that primarily sell tobacco, alternative nicotine or vapor products be limited within the City of Florissant to allow for 1 location per 4,000 residents. This would allow for 13 locations, which is the number of stores currently operating. We are also requesting that locations cannot be within a ½ mile of another such store, and that locations cannot be within 100 feet of any school, church or other building regularly used as place of worship. The Department of Economic Development has been researching this issue along with staff from the Public Works Department, the City Clerks office, and the City Attorney and staff agrees that these changes would be in the best interest and health of the City of Florissant.

Staff are also requesting that the zoning categories be amended to remove “Tobacco Store” as a permitted use, and to add it as a special use. Currently city staff have no way to keep track of this specific use, and this will allow the City Clerk to better track them and enforce the proposed new limitations.

These changes would align with the recent *Florissant 2050: Comprehensive Plan Update* for several reasons. One of the biggest issues brought by residents regarding quality of life was to improve the quality and vibrancy of Florissant’s commercial amenities. In the *Economic Development, Business, and Job Growth* section of the plan it was noted that Florissant needs to provide unique retail experiences that celebrate Florissant’s unique history and community character, and that currently too many businesses lack variety. We believe limiting the number of these stores is in line with that goal.

Another reason for limitation is for health reasons. Not only is it well documented that tobacco and vapor products have adverse health effects for those who use them, but there are also increased environmental health effects with vapor devices. They are considered hazardous waste that cannot be easily or properly disposed of, and this is causing environmental issues in communities throughout

the United States. Finally, there are also studies which show that there is an association between density and proximity of tobacco stores with smoking behaviors by youths.

Vehicle filling stations, convenience stores or grocery stores that are authorized to sell tobacco or associated products do not apply to these limitations and are not considered to be Tobacco, Alternative Nicotine or Vape businesses.

The new zoning category would read:

- **Tobacco products, Alternative Nicotine products or Vapor products**, provided, however that a store that sells primarily tobacco, alternative nicotine products or vapor products may not be permitted if the number of locations exceeds one (1) per 4 thousand (4,000) population in the city, or if the location of said store is within one-half (1/2) mile of another such store. In no event shall the City Council approve the issuance of a license for the sale of tobacco products, alternative nicotine products, or vapor products within one hundred (100) feet of any school, church or other building regularly used as a place of worship; except that when a school, church or place of worship shall thereafter be established within one hundred (100) feet of any place of business licensed to sell tobacco products, alternative nicotine products, or vapor products, renewal of the license shall not be denied for this reason.

If you have any questions, please do not hesitate to let me know.

Respectfully submitted,

Patrick Mulcahy
Director of Economic Development



Agenda Request Form

For Administration Use Only:

Meeting Date: 10/16/2023

Open Closed

Report No. 81/2023

Date Submitted:

To: City Council

Title: Ordinance to authorize an amendment to 'B-5' ordinance no. 8362 for Brew Crew, LLC d/b/a 7 Brew to allow for a drive thru only coffee shop located at 8180 N Lindbergh.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. Staff report
2. Application
3. 2017 Ordinance
4. Color Elevation
5. Signage
6. Memo

INTRODUCED BY COUNCILMAN EAGAN
NOVEMBER 27, 2023

BILL NO. 9937
ORDINANCE NO.

ORDINANCE TO AUTHORIZE AN AMENDMENT TO 'B-5' ORDINANCE NO. 8362 FOR BREW CREW, LLC D/B/A 7 BREW TO ALLOW FOR A DRIVE THRU ONLY COFFEE SHOP LOCATED AT 8180 N LINDBERGH.

WHEREAS, ordinance no. 6555 was passed in July of 2001 to establish a B-5 “Planned Commercial District” for the properties known as 8120, 8140, 8200 and 8240 N. Lindbergh; and

WHEREAS B-5 ordinance no. 6555 was amended by ordinance no. 6830 to allow for a Del Taco restaurant with drive through located at 8180 N. Lindbergh, and

WHEREAS ordinance no. 6830 was amended by ordinance no. 8362 to allow for a restaurant with outside dining for Bonzai Express of St. Louis d/b/a Crazy Bowls and Wraps; and

WHEREAS Brew Crew LLC has applied for an amendment to the development plan authorized by ordinance 6830 to allow for a drive-thru coffee shop; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of November 6, 2023 that an amendment to B-5 ordinance no. 8362, as to allow for the drive-thru only coffee shop located at 8180 N. Lindbergh; and

WHEREAS, due and lawful notice of a public hearing no. 23-11-032 on said proposed change was duly published, held and concluded on 27th day of November, 2023 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no. 8362 to allow for drive-thru coffee shop located at 8180 N. Lindbergh is in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: B-5 ord. no. 8362, is hereby amended for Brew Crew, LLC d/b/a 7 Brew to allow for a drive-thru coffee shop located at 8180 N. Lindbergh as depicted in the attached plans and subject to the following conditions:

1. PERMITTED USES

The use permitted in this 'B-5' Planned Commercial District shall be amended to replace restaurant with drive thru with drive thru only coffee shop.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building shall be limited to a building with a square footage of approximately 510 square feet with a cooler of approximately 280 square feet.

3. PERFORMANCE STANDARDS

Uses within this 'B-5' Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Article VII of the Florissant Zoning Code.

4. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA

The Final Site Development Plan shall include the following:

- a. Location and size, including height of building, landscaping and general use of the building.
- b. Gross square footage of building.
- c. Existing and proposed roadways, drives, and sidewalks on and adjacent to the property in question.
- d. Location and size of parking areas and internal drives.
- e. Building and parking setbacks.
- f. Curb cut locations.
- g. Existing proposed contours at intervals of not more than two (2) feet.
- h. Preliminary storm water and sanitary sewer facilities.
- i. Identification of all applicable cross-access and cross-parking agreements.
- j. Documentation of a 25-year lifespan of all materials prior to issuance of building permit.

5. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

- a. Structure Setbacks.
 - (1) No building, excluding retaining walls and light standards shall be located within forty (40) feet of the right-of-way of North Highway 67.
 - (2) The setbacks shall be as approved by the Planning and Zoning Commission.
- b. Parking, Loading and Internal Drives Setbacks.
 - (1) Parking, loading spaces, internal drives and roadways shall be located in accordance with the Site Development Plan attached.
 - (2) All of the setbacks depicted on the Preliminary Development Plan are approved but may be modified with the approval of the Planning and Zoning Commission.
- c. Minimum Parking/Loading Space Requirements.
 - (1) Parking regulations shall be as required by 405.225 of the Florissant Zoning Code, except as otherwise varied herein. There shall be a minimum of 8 parking spaces. Parking spaces shall comply with the Florissant parking requirements.
- d. Road Improvements, Access and Sidewalks.
 - (1) The Director of Public Works, the Missouri Department of Transportation (MODOT) and St. Louis County Department of Highways shall approve any new work in the North Highway 67 right-of-way. The property owner shall comply with all requirements for roadway improvements as specified by the Director of Public Works and MODOT in approving new work.
- e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) All site lighting shall be directed downward and inward to reduce glare onto the adjacent properties and roads.

f. Sign Requirements.

(1) All signage shall comply with the City of Florissant sign ordinance.

g. Landscaping and Fencing.

(1) Landscaping shall be in accordance with the Site Development Plan attached, except as amended herein.

(2) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water designs and drainage facilities shall comply with the following standards and requirements:

(1) Written approval of any required below ground storm water detention by the Metropolitan St. Louis Sewer District shall be filed with the Department of Public Works.

(2) The Director of Public Works shall have reviewed storm water plans to assure that storm water flow will have no adverse effect the neighboring properties or roads.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

(2) The minimum yard requirements shall be as shown on the Site Development Plan attached.

(3) All dumpsters shall be contained within a trash enclosure constructed of material to match the building with gates that are solid metal, metal reinforced vinyl or metal picket type with a maximum spacing of the pickets of 2 inches.

(4) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.

(5) All mechanical equipment shall be roof mounted and screened from view by the building parapet walls. All electrical equipment shall be properly screened with landscaping as required by section 405.245 of the Florissant Municipal Code.

(6) Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.

6. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must make a determination as to the extent of the changes per the following procedure:

1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.

2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.

3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the 'B-5' is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

7. VERIFICATION PRIOR TO OCCUPANCY PERMIT

Submit Final Development Plan for approval prior to recording per City Code Section 405.135.

8. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be affected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.
- c. Drawings C2.1, C5.1, C 6.1, and A 6.1 to be part of the record.

9. PROJECT COMPLETION.

Any new Construction shall start within 120 days of the issuance of building permits, and the development shall be completed in accordance of the final development plan within 180 days from start of construction.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2023.

Joseph Eagan

President of the Council

Approved this _____ day of _____, 2023

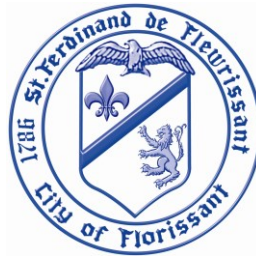
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1

MEMORANDUM



2

CITY OF FLORISSANT

3

4

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To: Planning and Zoning Commissioners Date: October 12, 2023

7

8

From: Todd Hughes, P.E. Director of Public Works cc: Applicant
Deputy City Clerk
File

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11

12

Subject: Request **recommended approval** of an amendment to 'B-5' located at 8180 N
Lindbergh to include the change of use from restaurant with drive through to drive thru only
coffee shop.

16

STAFF REPORT
CASE NUMBER PZ-101623-4

17

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19

I. PROJECT DESCRIPTION:

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This is a request for **recommended approval** of an amendment to 'B-5' located at 8180 N
Lindbergh to include the change of use from restaurant with drive through to drive thru only
coffee shop.

24

BUILDING: The proposed buildings are a 510 S.F building for the coffee shop and a
280 S.F cooler.

27

PARKING AND DRIVEWAYS:

28

There are 10 parking spaces shown on the development plan, including one accessible
space and loading zone. The parking ordinance requires 3 spaces.

31

LANDSCAPING:

32

Existing landscape plan is shown on the Site Development Plan.

34

STORMWATER AND SEWER CONCEPT:

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Existing.

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SITE LIGHTING:

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Shown on plans.

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SIGNAGE:

The proposal did not include a submission of the sign package.

II. EXISTING SITE CONDITIONS:

The property is occupied by restaurant. The parking is proposed to remain.

III. SURROUNDING PROPERTIES:

The property to the East is a B-5 District, it is also bounded by Lindbergh to the West and the property to the south is a B-5 District. The property across Lindbergh are zoned B-3 District.

IV. STAFF ANALYSIS:

Some basic explanation for this amendment B-5 is that the petitioner has proposed a replacement of the existing building to build a Drive thru only coffee shop.

All signs must meet the City Sign Code, other than the post sign.

SUGGESTED MOTION
8180 N Lindbergh

I move for recommended approval of a drive thru coffee shop located at 8180 N Lindbergh, subject to the conditions set forth below with these conditions being part of the record:

1. PERMITTED USES

The use permitted in this ‘B-5’ Planned Commercial District shall be amended to replace restaurant with drive thru with drive thru only coffee shop.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building shall be limited to a building with a square footage of approximately 510 square feet with a cooler of approximately 280 square feet.

3. PERFORMANCE STANDARDS

Uses within this ‘B-5’ Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Article VII of the Florissant Zoning Code.

5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA

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The above Final Site Development Plan shall include the following:

- a. Location and size, including height of building, landscaping and general use of the building.
- b. Gross square footage of building.
- c. Existing and proposed roadways, drives, and sidewalks on and adjacent to the property in question.
- d. Location and size of parking areas and internal drives.
- e. Building and parking setbacks.
- f. Curb cut locations.
- g. Existing proposed contours at intervals of not more than two (2) feet.
- h. Preliminary storm water and sanitary sewer facilities.
- i. Identification of all applicable cross-access and cross-parking agreements.
- j. Documentation of a 25 year lifespan of all materials prior to issuance of building permit.

6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

a. Structure Setbacks.

- (1) No building, excluding retaining walls and light standards shall be located within forty (40) feet of the right-of-way of North Highway 67.
- (2) The setbacks shall be as approved by the Planning and Zoning Commission.

b. Parking, Loading and Internal Drives Setbacks.

- (1) Parking, loading spaces, internal drives and roadways shall be located in accordance with the Site Development Plan attached.
- (2) All of the setbacks depicted on the Preliminary Development Plan are approved but may be modified with the approval of the Planning and Zoning Commission.

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c. Minimum Parking/Loading Space Requirements.

- (1) Parking regulations shall be as required by 405.225 of the Florissant Zoning Code, except as otherwise varied herein. There shall be a minimum of 8 parking spaces. Parking spaces shall comply with the Florissant parking requirements.

d. Road Improvements, Access and Sidewalks.

- (1) The Director of Public Works, the Missouri Department of Transportation (MODOT) and St. Louis County Department of Highways shall approve any new work in the North Highway 67 right-of-way. The property owner shall comply with all requirements for roadway improvements as specified by the Director of Public Works and MODOT in approving new work.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) All site lighting shall be directed downward and inward to reduce glare onto the adjacent properties and roads.

f. Sign Requirements.

- (1) All signage shall comply with the City of Florissant sign ordinance.

g. Landscaping and Fencing.

- (1) Landscaping shall be in accordance with the Site Development Plan attached, except as amended herein.
- (2) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water designs and drainage facilities shall comply with the following standards and requirements:

- (1) Written approval of any required below ground storm water detention by the Metropolitan St. Louis Sewer District shall be filed with the Department of Public Works.

176 (2) The Director of Public Works shall have reviewed storm water plans to
177 assure that storm water flow will have no adverse affect the
178 neighboring properties or roads.

179
180 i. Miscellaneous Design Criteria.

181
182 (1) All applicable parking, circulation, sidewalks, and all other site design
183 features shall comply with the Florissant City Code.

184
185 (2) The minimum yard requirements shall be as shown on the Site
186 Development Plan attached.

187
188 (3) All dumpsters shall be contained within a trash enclosure constructed
189 of material to match the building with gates that are solid metal, metal
190 reinforced vinyl or metal picket type with a maximum spacing of the
191 pickets of 2 inches.

192
193 (5) All storm water and drainage facilities shall be constructed, and all
194 landscaping shall be installed, prior to occupancy of the building,
195 unless remitted by the Director of Public Works due to weather related
196 factors.

197
198 (6) All mechanical equipment shall be roof mounted and screened from
199 view by the building parapet walls. All electrical equipment shall be
200 properly screened with landscaping as required by section 405.245 of
201 the Florissant Municipal Code.

202
203 (7) Unless and except to the extent otherwise specifically provided herein,
204 the Final Site Development Plan shall comply and be in accordance
205 with all other ordinances of the City of Florissant.

206
207 **7. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**
208 Any changes to the approved plans attached hereto must be reviewed by the
209 Building Commissioner. The Building Commissioner must make a determination
210 as to the extent of the changes per the following procedure:

211
212 1. The property owner or designate representative shall submit in writing a
213 request for an amendment to the approved plans. The building
214 commissioner shall review the plans for consistency with the purpose and
215 content of the proposal as originally or previously advertised for public
216 hearing and shall make an advisory determination.

217 2. If the building commissioner determines that the requested amendment is
218 not consistent in purpose and content with the nature of the purpose as
219 originally proposed or previously advertised for the public hearing, then
220 an amendment to the special use permit shall be required and a review

221 and recommendation by the planning and zoning commission shall be
222 required and a new public hearing shall be required before the City
223 Council.

224 3. If the building commissioner determines that the proposed revisions are
225 consistent with the purpose and content with the nature of the public
226 hearing then a determination of non-necessity of a public hearing shall be
227 made.

228 4. Determination of minor changes: If the building commissioner determines
229 that an amendment to the special use permit is not required and that the
230 changes to the plans are minor in nature the Building Commissioner may
231 approve said changes.

232 5. Determination of major changes: If the Building Commissioner
233 determines that an amendment to the 'B-5' is not required but the changes
234 are major in nature, then the owner shall submit an application for review
235 and approval by the Planning and Zoning commission.

236

237 **12. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

238 Submit Final Development Plan for approval prior to recording per City Code
239 Section 405.135.

240

241 **13. GENERAL DEVELOPMENT CONDITIONS.**

242 a. Unless, and except to the extent, otherwise specifically provided herein,
243 development shall be effected only in accordance with all ordinances of
244 the City of Florissant.

245

246 b. The Department of Public Works shall enforce the conditions of this
247 ordinance in accordance with the Final Site Development Plan approved
248 by the Planning & Zoning Commission and all other ordinances of the
249 City of Florissant.

250

251 c. Drawings C2.1, C5.1, C 6.1, and A 6.1 to be part of the record.

252

253

254 **7. PROJECT COMPLETION.**

255

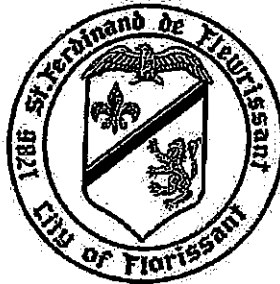
256 Any new Construction shall start within 120 days of the issuance of building
257 permits, and the development shall be completed in accordance of the final
258 development plan within 180 days from start of construction.

259

260

261 (End of report and suggested motion)

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL
DEVELOPMENT OR TO AMEND AN EXISTING B-5 COMMERCIAL
DEVELOPMENT



City Of Florissant – Public Works
314-839-7648

PLANNING & ZONING ACTION:

Address of Property: 8180 N Lindberg Blvd.

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

Petition to Establish a B-5 Ordinance: _____ Petition to Amend Existing B-5 Ordinance # 8362

1) Comes Now Brew Crew, LLC (7 Brew)

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lease

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned .61 acres
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for restaurant with drive thru
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:

The amendment is to request a drive thru only coffee shop instead of the current restaurant with drive thru.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Brandon Sebald

PETITIONER(S) SIGNATURE (S) *Brandon Sebald*
Print Name

FOR Brew Crew, LLC (7 Brew)

.. (company, corporation, partnership) Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- I (we) have a legal interest in the herein above described property.
 - I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS _____
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- | | |
|--|---|
| <p>(1) Names & addresses of all partners
 BRANNOU SEBALD
 3931 N DOGWOOD CANYON LP
 FAYETTEVILLE, AR 72704</p> | <p>LARRY WILSON
 3125 SALLY DRIVE
 VESTAL, NY 13850</p> |
| (2) Telephone numbers | (914) 384-1998 (607) 427-3221 |
| (3) Business address 3538 N HWY 112/STE 1, FAYETTEVILLE AR 72704 | |
| (4) State of Incorporation & a photocopy of incorporation papers ARKANSAS | |
| (5) Date of Incorporation AUGUST 9, 2021 | |
| (6) Missouri Corporate Number NA | |
| (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. NA | |
| (8) Name in which business is operated 7 BREW | |
| (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information. | |

Please fill in applicable information requested.

Name Brew Crew LLC

Address 3608 N Steele Blvd Ste 104 Fayetteville, AR 72704

Property Owner 400 North Lindberg LLC

Location of property 8180 N. Lindberg Blvd. Florissant, MO 63031

Dimensions of property 116' x 231'

Property is presently zoned B-5 per ordinance #

Current & Proposed Use of Property Currently restaurant w/ Drive thru. Proposed Drive Thru only Coffee Shop

Type of Sign freestanding pylon sign on existing sign base Height 19' 8"

Type of Construction Pre Fabricated Metal building Number Of Stories 1

Square Footage of Building 510 sf building + 280 sf cooler Number of Curb Cuts 2
= total 790sf

Number of Parking Spaces 12 spaces Sidewalk Length _____

Landscaping: No. of Trees 1 Diameter 2.5" CAL. B&B / Approx Mature 40'x30'
No. of Shrubs 27 Size 18" minimum

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

Location Map provided under separate document.

STATE OF ARKANSAS



John Thurston

ARKANSAS SECRETARY OF STATE

To All to Whom These Presents Shall Come, Greetings:

I, John Thurston, Arkansas Secretary of State of Arkansas, do hereby certify that the following and hereto attached instrument of writing is a true and perfect copy of


Articles of Organization

of

BREW CREW, LLC

filed in this office
August 09, 2021

In Testimony Whereof, I have hereunto set my hand and affixed my official Seal. Done at my office in the City of Little Rock, this 9th day of August 2021.


John Thurston
Secretary of State

Online Certificate Authorization Code: 45748361129ae98224a
To verify the Authorization Code, visit sos.arkansas.gov

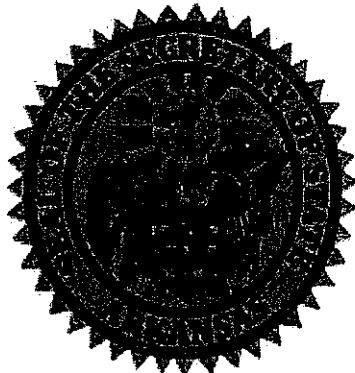


EXHIBIT A-2

Legal Description of FMLLC Parcel

Lots 1A and 1B of Florissant Market Place Plat 2 according to the plat thereof recorded in Plat Book 354 Page 821 of the St. Louis County Records.

1 INTRODUCED BY COUNCILMAN EAGAN
2 NOVEMBER 13, 2017

3
4 BILL NO. 9322 ORDINANCE NO. 8362

5
6 **REQUEST TO ISSUE AN AMENDMENT TO ORDINANCE NO. 6830 TO**
7 **ALLOW FOR A RESTAURANT WITH OUTDOOR DINING FOR THE**
8 **PROPERTY LOCATED AT 8180 N. LINDBERGH.**
9

10 WHEREAS, the City Council passed and approved B-5 Ordinance No. 6555 which
11 authorized a proposed development at 3120 N. Hwy 67; and

12 WHEREAS, B-5 ordinance no. 6555 was amended by ordinance no. 6830 to allow for a
13 Del Taco Restaurant with a drive thru facilities located at 8180 N. Lindbergh; and

14 WHEREAS, Bonzai Express of St. Louis d/b/a Crazy Bowls and Wraps has applied for a
15 restaurant with outside dining at 8180 N. Lindbergh prompting the amendment to ordinance no.
16 6830; and

17 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
18 recommended to the City Council at their meeting of October 16, 2017 that Ordinance No. 6830
19 be amended to allow for a restaurant with outside dining; and

20 WHEREAS, due and lawful notice of public hearing no. 17-11-026 on said proposed
21 change was duly published, held and concluded on 13th day of November, 2017 by the Council
22 of the City of Florissant; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 deliberation, has concluded that the amendment of Ordinance No. 6830, as hereinafter set forth,
25 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

26
27 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
28 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**
29

30 Section 1: Ordinance No. 6930 is hereby amended to allow for the a restaurant with outdoor
31 dining located at 8180 N. Lindbergh with the following stipulations:
32

33 Section 1, Subsection 2, paragraph (d) shall be changed to read:
34

35 (d) The floor area of lot 3(B) shall be **2200 square feet**, with a maximum height of 23
36 feet. The facility shall be stained masonry using PPG Perma-crete masonry stain in dark grey,
37 with same color over EIFS areas. Signage, canopies, and Hardie siding over front and side
38 elevations as shown on A3.0A attached with trespa.

39

Add the following: Section 1, Subsection 2, paragraph e.
(e) Outdoor dining shall be protected with bollards as shown on A1.0, attached.

Section 2, Subsection 2, paragraph f, (2) shall be changed to read:

Lot 2 shall have no freestanding sign; lot 3B shall have a freestanding sign as shown on Warren sign package dated 9/13/17, attached.

Section 3, Subsection i, paragraphs (5) and (8) shall be changed to read:

(5) "... The trash areas on Lots 2 and 3(B) shall be enclosed with brick and steel gates. Enclosure on lot 3(B) shall be stained to match building stain."

(8) All exterior building walls for buildings on outlot parcels shall be of unpainted standard brick, unpainted standard brick veneer, natural building stone or EIFS. Building walls of outlot 3(B) shall be stained as shown on A3.0A attached with trespas.

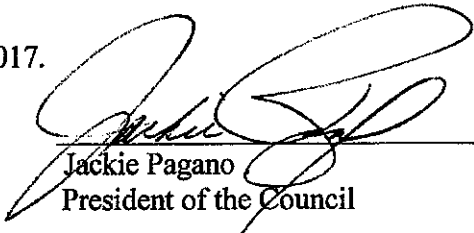
2. PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits and the project shall be developed in accordance of the approved amendments to the final development plans within 180 days of start of construction.


Section 2: Except as herein amended Ordinance No.6830 shall remain in full force and effect.

Section 3: This ordinance shall become in full force and effect immediately upon its passage and approval.

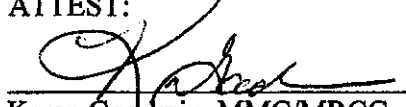
Adopted this 27 day of NOV, 2017.

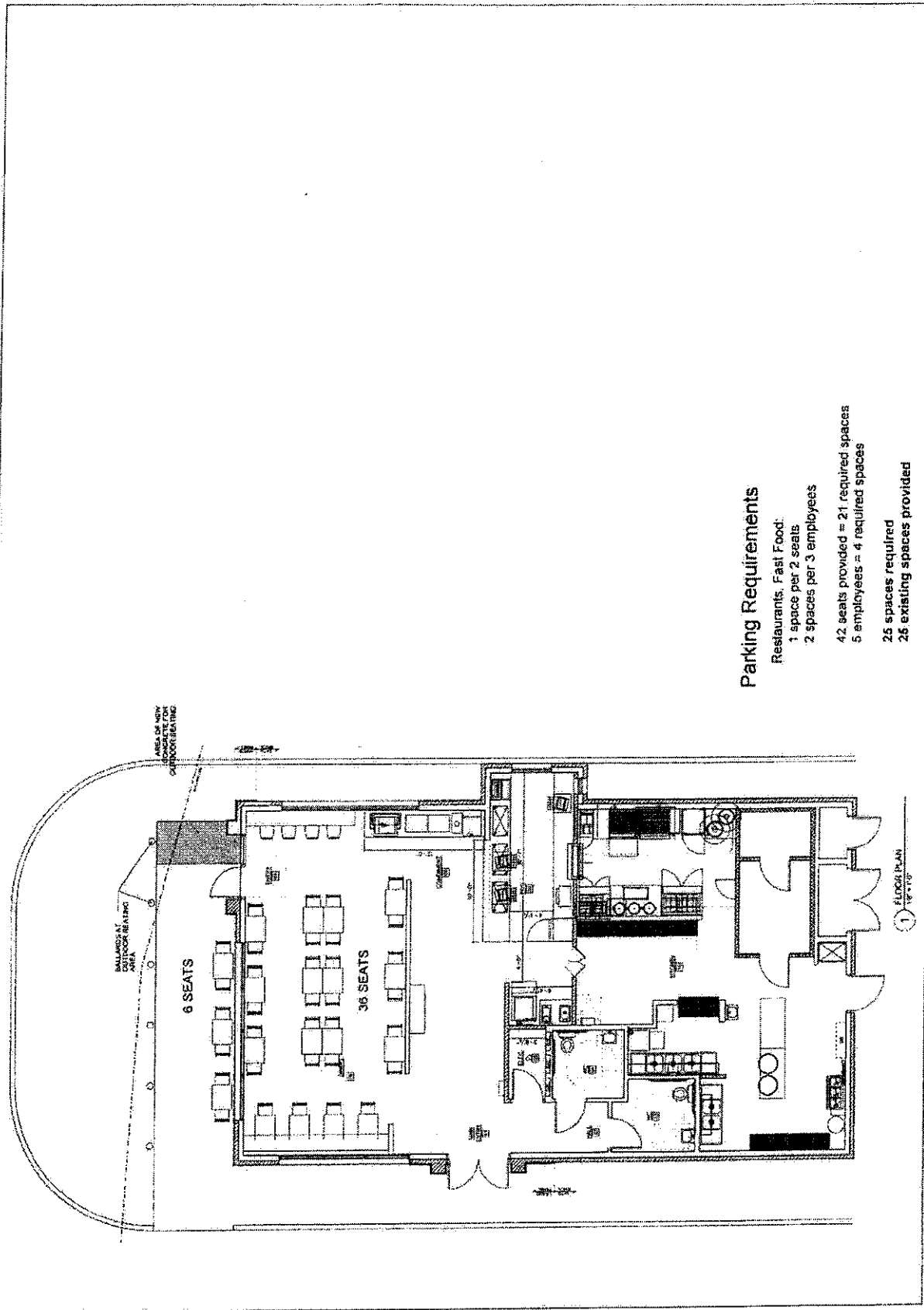

Jackie Pagano
President of the Council

Approved this 28 day of Nov, 2017.


Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

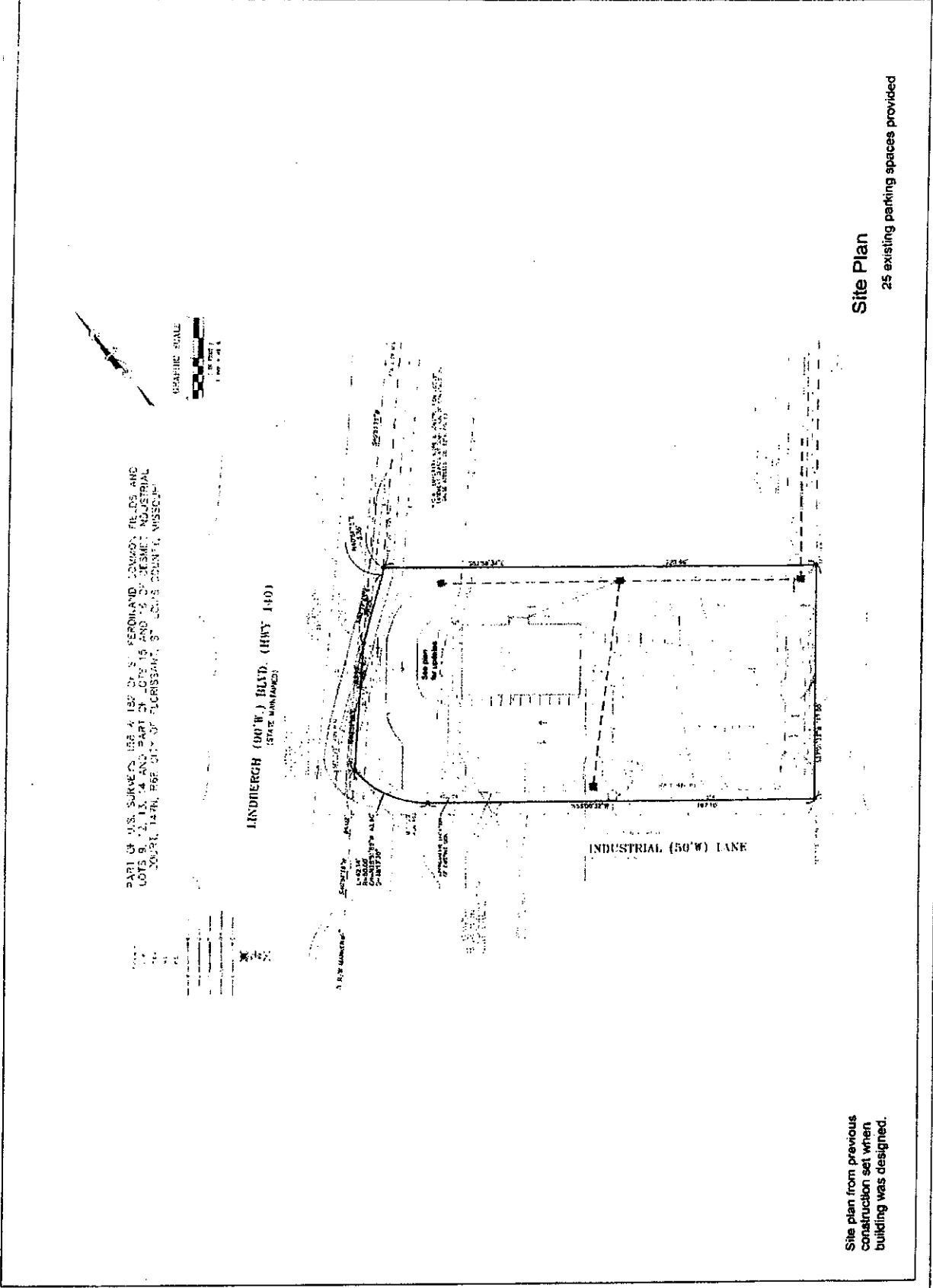

Karen Goddwin, MMC/MRCC
City Clerk



Parking Requirements

- Restaurants, Fast Food:
 1 space per 2 seats
 2 spaces per 3 employees
- 42 seats provided = 21 required spaces
 5 employees = 4 required spaces
- 25 spaces required
 26 existing spaces provided

1 FLOOR PLAN
 5/20/10



PART OF U.S. SURVEYS 188 & 189 OF S. FERDINAND JOHNSON FIELDS AND
LOTS 9, 11, 13, 14 AND PART OF LOTS 15 AND 16 DESMET INDUSTRIAL
SOUTH 14th, 14th, 16th CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI

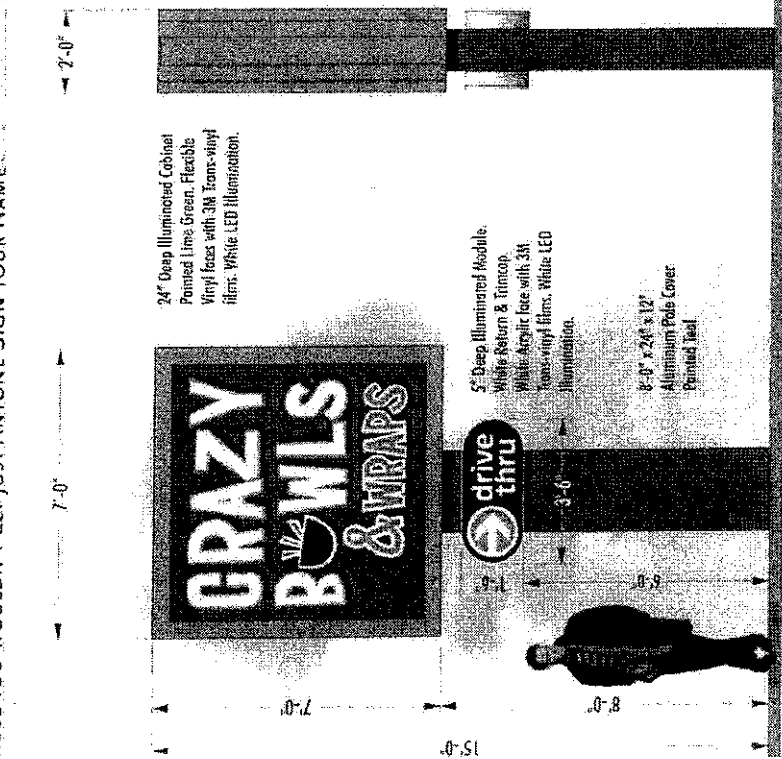
LINDBERGH (00'W) BLVD. (HWY 140)
(STATE MAINTAINED)

INDUSTRIAL (50'W) LANE

Site plan from previous
construction set when
building was designed.

Site Plan
25 existing parking spaces provided

BECAUSE YOU WOULDN'T LET JUST ANYONE SIGN YOUR NAME



24" Deep Illuminated Cabinet
Pointed Lime Green. Flexible
Vinyl faces with 3M Trans-vinyl
films. White LED illumination.

5" Deep Illuminated Module.
White Return & Trimcap.
White acrylic face with 3M
trans-vinyl films. White LED
illumination.

8'-0" x 24" x 12"
Aluminum Pole Cover
Painted teal

D/F Pylon Sign: 3/8" = 1'-0" (54.25sf)

FABRICATE AND INSTALL ONE DOUBLE SIDED INTERNALLY ILLUMINATED PYLON SIGN. ALUMINUM SIGN OVER ANGLE FRAME CONSTRUCTION PAINTED WITH ACRYLIC POLYURETHANE FINISHES (LIME GREEN & TEAL). INTERNAL ILLUMINATION SHALL BE BY WHITE LEDS POWERED BY LOW VOLTAGE POWER SUPPLIES. SIGN SUPPORTED BY AN STEEL POLE WHICH SHALL BE CONCEALED BY AN ALUMINUM POLE COVER WHICH FEATURES ILLUMINATED DRIVE THRU DIRECTIONAL MODULES. MAIN ID (FLEX FACE) AND MODULE FACES (ACRYLIC) SHALL BE DECORATED WITH 3M TRANS VINYL FILMS (TEAL, DARK EMERALD GREEN & LIME GREEN). SIGN BUILT WITH UL LISTED ELECTRICAL COMPONENTS AND SHALL HAVE A UL LISTED DISCONNECT SWITCH AND BEAR A UL LABEL. CONNECT TO EXISTING PRIMARY ELECTRICAL CIRCUIT AT SIGN POLE.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. | COPYRIGHT © 2014 WARREN SIGN COMPANY. ALL RIGHTS RESERVED.



WARREN SIGN

7955 Arnold Timberbrook Road, St. Louis, MO 63111
P. 636.287.1200 F. 636.287.3388
warrensigs.com

CLIENT
LEAZEBOWLS & WRAPS

PROJECT
PYLON SIGN

LOCATION

DATE
9/12/17

REVISED AS
LEAZEBOWLS WRAPS PYLON SIGN
DRAWING NO.
JK01917

REVISIONS

DESIGNED BY
Keith Henning | HSB

LEAZEBOWLS WRAPS PYLON SIGN

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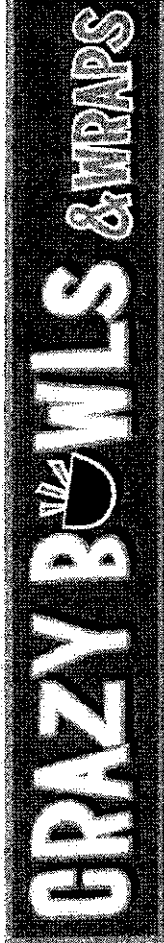
**WORRYFREE
WARRENTY**

CELEBRATING MORE THAN



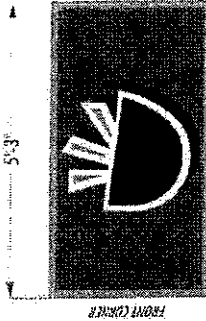
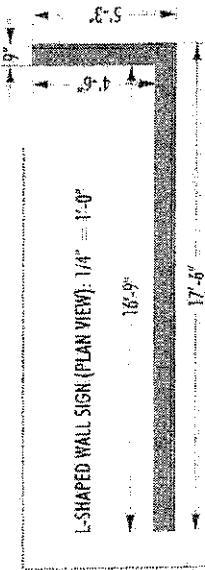
BECAUSE YOU WOULDN'T LET JUST ANYONE SIGN YOUR NAME

17'-6"

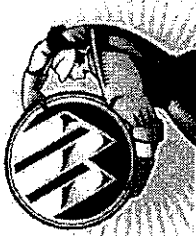
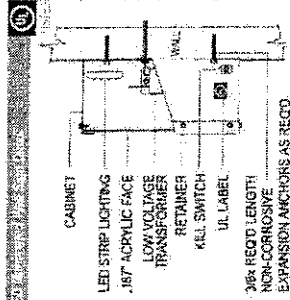


L-SHAPED WALL SIGN ELEVATION: 1/2" = 1'-0" (NORTH FACE) 2' x 16.5' COPY AREA = 33sf

FABRICATE AND INSTALL ONE INTERNALLY ILLUMINATED WALL SIGN. ALUMINUM SIGN OVER ANGLE FRAME CONSTRUCTION PAINTED TO MATCH JIMLINE GREEN. 3/16" THICK WHITE LEVAY FACES DECORATED WITH 3M TRANSLUCENT VINYL FILMS (TEAL, DARK EMERALD GREEN & LIME GREEN) ILLUMINATION SHALL BE BY WHITE LED MODULES POWERED BY LOW VOLTAGE POWER SUPPLIES. SIGN SHALL BE INSTALLED AT CORNER OF BUILDING USING NON-CORROSIVE ANCHORS AS REQUIRED. A 120V PRIMARY ELECTRICAL CIRCUIT TO SIGN AREA SHALL BE PROVIDED BY OTHERS. SIGN INSTALLER SHALL MAKE FINAL CONNECTION AT TIME OF INSTALLATION. SIGN BUILT WITH UL LISTED ELECTRICAL COMPONENTS PER UL SPECIFICATIONS AND SHALL BEAR A UL LABEL.



(WEST FACE) 2.5' X 2.33' COPY AREA = 5.82sf



WARREN SIGN

2955 Arnold Industrial Road, St. Louis, MO 63101
P. 636.292.1200 F. 636.292.2389
warrensigs.com

CLIENT
CRAFT BOWLS & WRAPS
PROJECT
EXTERIOR SIGN
LOCATION

DATE
1/11/17
DRAWN AS
CRAFT BOWLS & WRAPS WALL SIGN
DESIGNED BY
J. H. G. M. G.
REVISED

DESIGNED BY
John Hampton | JGHP

This drawing has been prepared for the client's use only. It is not to be used for any other purpose without the client's written permission.

WORRYFREE WARRENTY

CELEBRATING MORE THAN 85 YEARS



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 609 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. | COPYRIGHT © 2016 WARREN SIGN COMPANY. ALL RIGHTS RESERVED.

DETAILS

CUSTOMER:
Crazy Bowls and Wraps

DATE:
9/29/2017

REVISION:
1

QUOTED PRICE:
\$

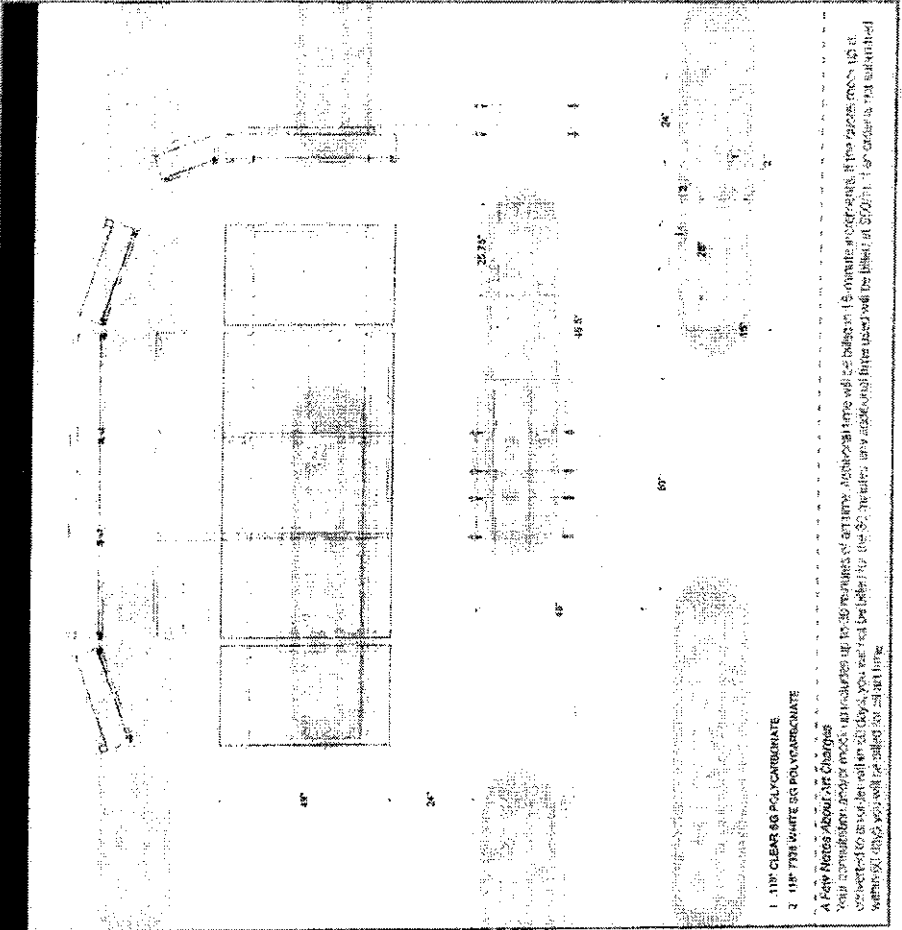
Approved as is
 Approved with changes
 Revise and resend

Note: changes to be made

PROJECT:

Computer generated colors may not exactly match finished colors. Tax and permits not included. This drawing is property of Coffelt Signs Company, Inc., and shall not be reproduced, copied, or used without written permission.

Date:



John Collins
 18 South Commercial | Emporia, KS 66801
 620.343.6411 | 800.443.6411 | Fax: 620.343.9233
 www.coffelt.com





START YOUR FISH

GRILLED WRAP \$4.95

- Buffalo Wrap
- Curry Wrap
- Fiesta Wrap
- BBQ Wrap
- Thai Wrap
- Turkey Wrap
- Mediterranean Wrap
- Traditional Wrap

CRAZY BOWLS

SALAD \$4.95

- Spicy Chicken Salad
- Spicy Turkey Salad
- Spicy Beef Salad
- Spicy Pork Salad
- Spicy Chicken Salad
- Spicy Turkey Salad
- Spicy Beef Salad
- Spicy Pork Salad

CROISSANT GRAB

- Ham & Cheese Croissant
- Ham & Swiss Croissant
- Ham & Turkey Croissant
- Ham & Brie Croissant
- Ham & Cheddar Croissant
- Ham & Pepperoni Croissant
- Ham & Mushroom Croissant
- Ham & Spinach Croissant



PERMA-CRETE®

MASONRY SYSTEMS

PERMA-CRETE Vertical Concrete Stain

LP200503

PERMA-CRETE Vertical Concrete Stain LP200503 is a water repellent coating that provides superior protection and beauty for a variety of exterior masonry surfaces. PERMA-CRETE Vertical Concrete Stain LP200503 will not peel, crack or blister from a properly prepared masonry surface. It is alkali resistant and can be applied to a surface with a pH of 6 to 13.

USED FOR	FEATURES
<ul style="list-style-type: none"> Tilt-up, precast and poured in place concrete Concrete block (CMU) Brick Stucco Sound barrier walls Bridges and supports 	<ul style="list-style-type: none"> Excellent weather resistance Alkali resistant Resists blistering & peeling Water repellent Excellent adhesion & penetration

RECOMMENDED SYSTEMS
Finish the following with two coats of **PERMA-CRETE Vertical Concrete Stain LP200503**:

SUBSTRATE

- Masonry
- Brick
- Stucco
- Concrete
- Concrete Block (CMU)*

*Perma-Crete Vertical Concrete Stain is not designed to waterproof concrete block or other porous substrates.

LIMITATIONS
Do not apply in direct sunlight or when air or surface temperature is below 50°F or above 110°F. Do not apply in late afternoon if condensation or fog is likely to occur, nor when rain is expected within 12 hours. Surface temperature must be at least 5°F above dew point. For optimum application properties, bring material to 65-85°F (18-29°C) temperature range prior to application. Use for services below 150°F. Do not use on horizontal surfaces. **Protect from freezing.**

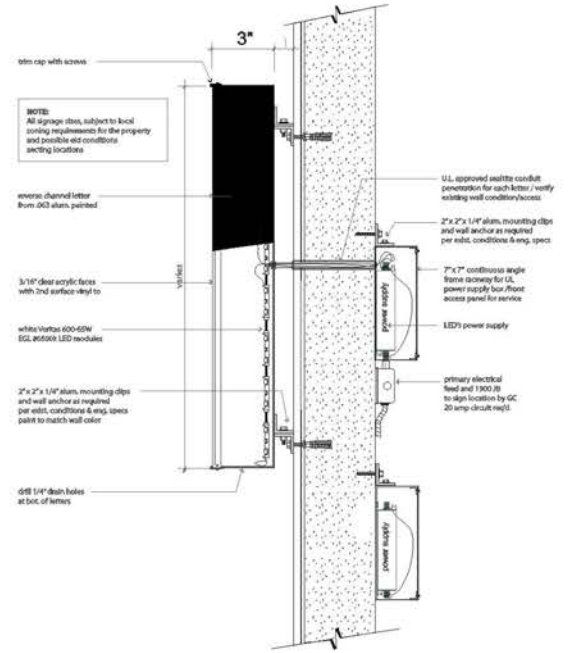
TECHNICAL DATA

Data below is based on White base.
Product Type: Acrylic Latex
Bases/Colors: LP200503 White/Tinting White
Sheen, 85°: Flat
Percent Solids:
 Weight: 52 ± 2%
 Volume: 39 ± 2%
Weight/Gallon: 10.9 lb
Thinner: Do not thin
Clean-up: Warm, soapy water.

Spread Rate (Theoretical): Per coat/two coats required
 60 -150 sq. ft./gal. depending on surface texture and porosity
Dry time (70°F @ 50% R.H.):
 To Touch: 15 minutes
 To Recoat: 15 minute
(Expect longer dry times at lower temperatures and higher relative humidity.)
Flash Point: >200°F (>93°C)
Flame Spread Rating: Class A (0-25)

REGULATORY DATA
 VOC based on white base. See labels for other bases.
VOC (theoretical):
 As supplied (untinted) - 1.02 lbs/gal (85 g/l)

WALL SIGN



Type: LED Channel Letters

Size: 38.12" x 120"

Material: Aluminum, Acrylic/Lexan, LEDs

Sides: 1

Quantity: 2 per building

Notes:



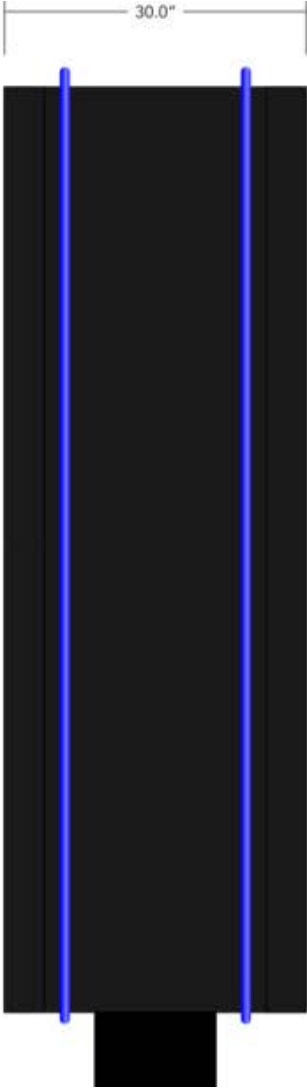
■ 4.2 sq ft ■ .35 sq ft ■ 6.21 sq ft ■ 3.8 sq ft ■ .36 sq ft

DIRECTIONAL SIGN



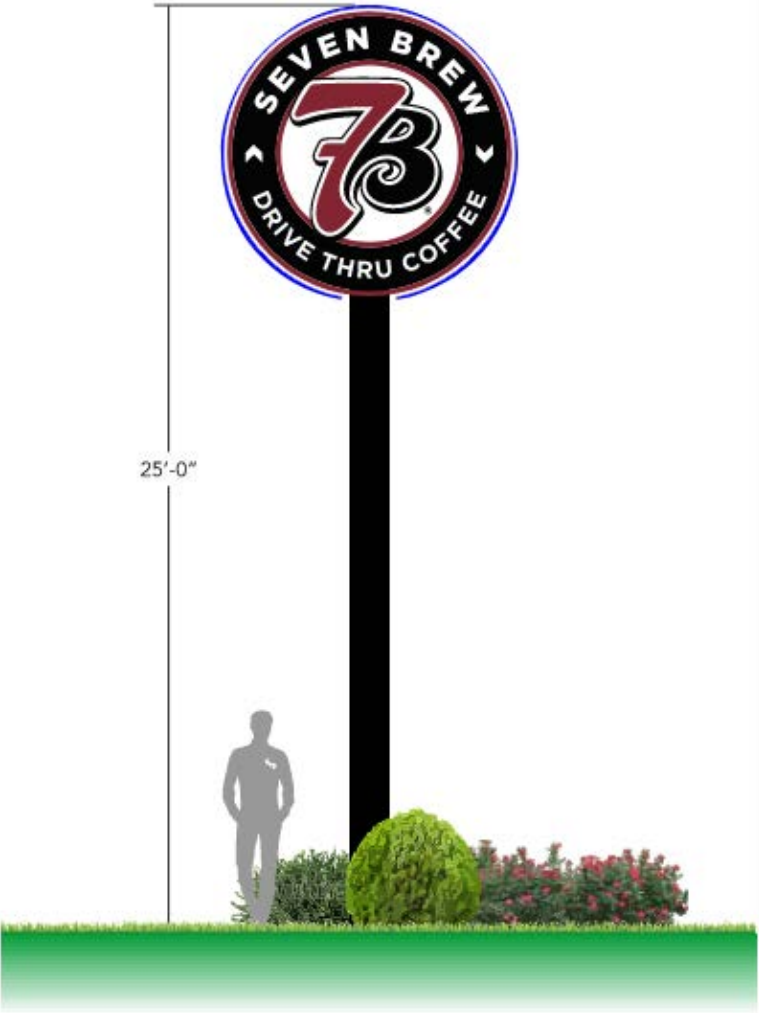
- A D/F INTERNALLY LED ILLUMINATED ALUMINUM CABINET WITH BLACK PAINTED TRIM AND RETURNS
- B REVERSE CUT BLACK VINYL AND TRANSPARENT GRAPHICS APPLIED TO ACRYLIC FACES
- C BLACK PAINTED PIPE

POLE SIGN



- A D/F ALUMINUM FLEX FACE PYLON CABINET
 - Black PAINTED CABINET AND SIDE TRIM
 - BLUE FAUX NEON AROUND OUTSIDE OF CABINET
 - INTERNAL LED ILLUMINATION
- B FLUSH FACE FLEX FACES
 - ARTWORK CREATED WITH TRANSLUCENT VINYL
- C STRUCTURAL PIPE
 - 12" DIAMETER
 - PAINTED BLACK
 - 25' OVERALL SIGN HEIGHT TO GRADE

POLE SIGN





October 17, 2023

City of Florissant,

We're very proud of the Modular Buildings that we manufacture!

They are constructed of premium, technologically advanced materials that are intended to offer durability in all ranges of applications, both indoors and outdoors across the United States.

Our buildings are comprised of these main materials:

- **G90**
 - (Galvanized Steel)
 - G90 is .748031 Thousandths of an Inch thick Galvanized Coating, or .8 mils.
 - The .8 mil Galvanized Steel Coating itself will last a minimum of 17 years, prior to rust forming.
 - The steel itself will last as many as 70 years without the presence of a galvanized coating (or paint)
- **PAC CLAD**
 - Coated Steel Panels, Typically Exterior
 - 30-Year Plus Life Expectancy.
- **NICHIHA**
 - Fiber Cement Panels, Brick Appearance, *for Exterior*.
 - Nichiha architectural wall panels have a 50-year life expectancy.

Thanks!!

Michael Lannon

Project Coordinator

Creative Modular Construction

michael.lannon@cmcmo.com



Agenda Request Form

For Administration Use Only:

Meeting Date: 12/11/2023

Open Closed

Report No. 85/2023

Date Submitted:**To:** City Council**Title:** Ordinance to transfer an existing Special Use and Special Use No. 4993 for a pole sign from Small Business Acquisitions, LLC d/b/a Meineke Discount Mufflers and Brakes to Stillman Brothers Automotive d/b/a Meineke Car Care located at 545 N. Highway 67 for the operation of an automotive repair shop.**Prepared by:** Administrator**Department:** City Clerk**Justification:**

Meineke was established before a Special Use was required, since the new ownership is required to transfer the Special Use for the pole sign, we are transferring the "existing non-conforming" Special Use for the business along with the pole sign to be more consistent and easier to track.

Attachments:

1. Meineke SPU Xfer

INTRODUCED BY COUNCILMAN CAPUTA
DECEMBER 11, 2023

BILL NO. 9940

ORDINANCE NO.

ORDINANCE TO TRANSFER AN EXISTING SPECIAL USE AND SPECIAL USE NO. 4993 FOR A POLE SIGN FROM SMALL BUSINESS ACQUISITIONS, LLC D/B/A MEINEKE DISCOUNT MUFFLERS AND BRAKES TO STILLMAN BROTHERS AUTOMOTIVE D/B/A MEINEKE CAR CARE LOCATED AT 545 N. HIGHWAY 67 FOR THE OPERATION OF AN AUTOMOTIVE REPAIR SHOP.

WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an automotive repair shop with a pole sign; and

WHEREAS Small Business Acquisitions, LLC acquired the existing non-conforming business and was issued Special Use Permit no. 4993 for the operation of an automotive repair shop located at 545 N. Highway 67; and

WHEREAS Stillman Brothers Automotive d/b/a Meineke Car Care has filed an application to transfer the existing non-conforming use and Special use Permit no. 4993 authorizing the location and operation of an automotive repair shop located at 545 N. Highway 67 to its name; and

WHEREAS, the City Council of the City of Florissant determined at its meeting on December 11, 2023 that the business would be operated in substantially identical fashion as set out herein; and

WHEREAS, Stillman Brothers Automotive d/b/a Meineke Car Care has accepted the terms and conditions as they apply to a special use permit for an automotive repair business.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The existing non-conforming use and Special Use Permit no. 4993 is hereby transferred from Small Business Acquisitions, LLC d/b/a Meineke Discount Mufflers and Brakes to Stillman Brothers Automotive d/b/a Meineke Car Care located at 545 N. Highway 67 for the operation of an automotive repair shop.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business for longer than one hundred and eighty days (180) days, the Special Use Permit herein granted shall no longer be in force and effect.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2023.

Joseph Eagan, Council President

Approved this _____ day of _____, 2023.

Mayor Timothy J. Lowery

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) _____

FROM Small business acquisitions, LLC
TO ^{DBA:} Meineke Car Care (Stillman Brothers Automotive)
FOR _____
ADDRESS 545 N Hwy 67
Ward _____ Zoning _____ Date Filed _____ Accepted By _____

TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now DARYL STILLMAN and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 545 N Hwy 67 in the City of Florissant, Missouri. Legal interest: Lease or () Simple Title
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE Daryl Stillman
Individual's Name

FOR: ^{DBA:} Meineke Car Care (Stillman Brothers Automotive)
Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):

I (we) have a legal interest in the above described property.

I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE Daryl Stillman

ADDRESS 4245 North St. Peters Parkway St. Peters Mo 63304

Telephone No. 314-913-0748 Email address DARYLSTILLMAN@YAHOO

I (we) the petitioner(s) do hereby appoint DARYL STILLMAN as my (our) duly authorized agent to represent me (us) in regard to this petition.

Daryl Stillman
PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (**current**) owner to Transfer the Special Use Permit.

[Signature]
SIGNATURE OF OWNER

Information sheet to be attached to all requests for Transfer of Special Permit

Type of Operation: (Select One)

Individual

Partnership

Corporation

LLC

INDIVIDUAL:

Name & address Meineke CAR CARE - DARYL STILLMAN

Telephone number & email address 314-913-0748 / DARYLSTILLMAN@YAHOO

Business name/address/phone Meineke CAR CARE, 545 N Hwy 67, 314-266-4151

Copy of fictitious name registration, if applicable _____

PARTNERSHIP:

Name & address of partner (s) DARYL STILLMAN, 4245 North St. Peters Parkway St. Peters MO 63304

Telephone number(s) and email address (s) 314-913-0748, DARYLSTILLMAN@YAHOO

Business name/ address /phone _____

Copy of fictitious name registration, if applicable _____

CORPORATION OR LLC:

Name & address of all corporate officers DARYL STILLMAN, STILLMAN BROTHERS AUTOMOTIVE LLC, 4245 North St. Peters Parkway St. Peters MO 63304

Telephone numbers & email addresses 314-913-0748, DARYLSTILLMAN@YAHOO

Business name/address/phone _____

Photocopy of Corporation/LLC Articles and Certificate _____

Date of incorporation/LLC 1-26-2010

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance
Number _____ which authorized a Special Permit:

TO: _____

FOR: _____

and agree to the terms and conditions listed in said ordinance and to any
additional term and conditions that the City Council shall deem appropriate.

DARYL STILMAN

PRINT - NAME OF APPLICANT

Daryl Stilman

SIGNATURE OF APPLICANT

TAXATION DIVISION
PO BOX 3666
JEFFERSON CITY, MO 65105-3666



Missouri
DEPARTMENT OF REVENUE

Telephone: 573-751-9268
Fax: 573-522-1265
E-mail: taxclearance@dor.mo.gov

MEINEKE CAR CARE CENTER 376
4245 N SAINT PETERS PKWY
SAINT PETERS, MO 63304-7384

DATE: 10/30/2023
VALID THROUGH: 01/29/2024
ST LOUIS COUNTY

CERTIFICATE OF NO TAX DUE

MISSOURI ID: 20810601
Notice Number 2043500097

To Whom It May Concern: The Department of Revenue, State of Missouri, certifies the above listed taxpayer has filed all required returns and paid all sales or withholding tax due, including penalties and interest, and does not owe any sales and withholding tax, as of October 29, 2023. This review does not include returns that are not required to be filed as of this date or that have been filed but not yet processed by the Department.

This statement only applies to sales and withholding tax due and is not to be construed as limiting the authority of the Director of Revenue to assess, or pursue collection of liabilities resulting from final litigation, default in payment of any installment agreement entered into with the Director of Revenue, any successor liability that may become due in the future, or audits or reviews of the taxpayer's records as provided by law.

THIS CERTIFICATE REMAINS VALID FOR 90 DAYS FROM THE ISSUANCE DATE.

TAXATION DIVISION

State of Missouri



Robin Carnahan
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

STILLMAN BROTHERS AUTOMOTIVE LLC
LC1030213

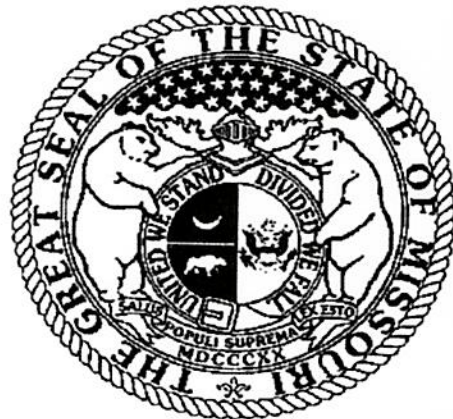
filed its Articles of Organization with this office on the January 26, 2010, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, ROBIN CARNAHAN, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the January 26, 2010, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this January 26, 2010.

Robin Carnahan

Secretary of State





State of Missouri
Robin Carnahan, Secretary of State

File Number: 201002690520
 LC1030213
 Date Filed: 01/26/2010
 Robin Carnahan
 Secretary of State

Articles of Organization

1. The name of the limited liability company is:

STILLMAN BROTHERS AUTOMOTIVE LLC

2. The purpose(s) for which the limited liability company is organized:

The transaction of any lawful business for which a limited liability company may be organized under the Missouri Limited Liability Company Act, Chapter 347 RSMo.

3. The name and address of the limited liability company's registered agent in Missouri is:

DARYL D STILLMAN **7403 SIELOFF DRIVE, APT A, HAZELWOOD MO 63042**
Name *Address*

4. The management of the limited liability company is: Manager Member

5. The duration (period of existence) for this limited liability company is:

Perpetual

6. The name(s) and street address(es) of each organizer:

DARYL D STILLMAN, 7403 SIELOFF DRIVE, APT A, HAZELWOOD MO 63042

7. The effective date of this document is:

01/26/2010

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

DARYL D STILLMAN

(Organizer Name)

INTRODUCED BY COUNCILMAN MENKE
February 13, 1989

BILL NO. 5755

ORDINANCE NO. 4993

AN ORDINANCE TRANSFERRING THE SPECIAL PERMIT FOR THE LOCATION OF A POST SIGN ON THE PROPERTY LOCATED AT 545 NORTH HIGHWAY 67 TO SMALL BUSINESS ACQUISITION AND MANAGEMENT COMPANY, INC. D/B/A MEINEKE DISCOUNT MUFFLERS & BRAKES.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant to transfer a Special Permit after an application has been filed indicating that the Special Permit would be operated under the same terms and conditions as the original ordinance; and

WHEREAS, an application has been filed by Small Business Acquisition and Management Company, Inc. d/b/a Meineke Discount Mufflers & Brakes to transfer the Special Permit authorized by Ordinance No. 4939 to its name; and

WHEREAS, the City Council of the City of Florissant determined at its meeting on January 23, 1989 that the sign granted under Ordinance No. 4939 will be identical as the sign set out in Ordinance No. 4939; and

WHEREAS, Small Business Acquisition and Management Company, Inc. d/b/a Meineke Discount Mufflers & Brakes has filed a written acceptance of all the terms and conditions of Ordinance No. 4939.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, MISSOURI, AS FOLLOWS:

Section 1: The Special Permit authorized by Ordinance No. 4939 is transferred from the name of Sound Exhaust, Inc. d/b/a Meineke Discount Mufflers to Small Business Acquisition and Management Company, Inc. d/b/a Meineke Discount Mufflers & Brakes.

Section 2: The conditions of the Special Permit shall remain as follows:

- 1) That the sign be located in line with the first pole of the Commerce Bank sign as set out in the Site Plan attached to Ordinance No. 4939.
- 2) That at any time when a business located within the same building on the real estate described in Ordinance No. 4939 requests a sign, that the named permittee herein shall authorize said sign to be located on the post as herein approved.
- 3) That the named permittee herein shall remove the existing roof sign pertaining to this business at the time of the installation of the post sign.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 27th day of February, 1989.



President of the Council
City of Florissant

Approved this 1 day of March, 1989.



Mayor, City of Florissant

ATTEST:



City Clerk

INTRODUCED BY COUNCILMAN MENKE
September 26, 1988

BILL NO. 5699

ORDINANCE NO. 4939

AN ORDINANCE GRANTING A SPECIAL PERMIT TO SOUND EXHAUST, INC. D/B/A MEINEKE DISCOUNT MUFFLER FOR A POST SIGN ON THE PROPERTY LOCATED AT 545 NO. HIGHWAY 67 UNDER CERTAIN CONDITIONS.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location of a post sign which would otherwise be prohibited by ordinance; and

WHEREAS, an application has been filed by Sound Exhaust, Inc. d/b/a Meineke Discount Muffler for the location of a post sign on the property hereinafter described; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that said Special Permit be granted under certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 22nd day of August, 1988 was duly published, held and continued until the 12th day of September, 1988, at which time the public hearing was reconvened and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit as hereinafter provided would be in the best interest of the City of Florissant, that said post sign does alleviate a hardship and is not simply for the convenience of the applicant, that said sign is consistent with good planning practices, that said post sign can be maintained in a manner that is visibly compatible with the use of the property in the surrounding area and other sign structures in the surrounding area, and said location is not within the historic district.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Permit is hereby granted to Sound Exhaust, Inc. d/b/a Meineke Discount Muffler for the location of a post sign on the following described property:

A parcel of land in Surveys 172 and 173 of St. Ferdinand Common Fields, fronting 200 feet on the Northwest line of Lindbergh Boulevard by a depth Northwestwardly of 160 feet between parallel lines; bounded Southwest by the Southwest line of tract of 2.50 acres described in deed to James S. Kelly and wife recorded in Book 3544 page 508, said 2.50 acre tract being Parcel 2 described in said deed; EXCEPTING THEREFROM that part condemned for widening of State Highway

M (140) in Cause #267203 of the St. Louis County Circuit Court,
Decree recorded in Book 5775 page 494 of the St. Louis County
Records.


Section 2: Said Special Permit shall be conditioned on
and shall remain in full force and effect only under the follow-
ing terms and conditions:

- (1) That the sign be located in line with the first pole of the Commerce Bank sign as set out in the Site Plan attached hereto and made a part hereof as if fully set out herein and marked Exhibit "A".
- (2) That at any time when a business located within the same building on the above described real estate requests a sign, that the named permittee herein shall authorize said sign to be located on the post as herein approved.
- (3) That the named permittee herein shall remove the existing roof sign pertaining to her business at the time of the installation of the post sign.

Section 3: The Special Permit herein authorized shall cease when the named permittee shall discontinue the operation of said business.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 26th day of September, 1988.



President of the Council
City of Florissant

Approved this 27 day of September, 1988.



Mayor, City of Florissant

ATTEST:



City Clerk



Agenda Request Form

For Administration Use Only:

Meeting Date: 10/2/2023

Open Closed

Report No. 69/2023

Date Submitted:

To: City Council

Title: Ordinance to amend Special Use No. 8376 issued to Shade Restaruant & Bar LLC d/b/a 1219 Restaurant and Lounge located at 1752-1759 N. New Florissant Road to allow for a change in hours of operation, in a 'B-3' Extensive Business District.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. Shade/Twelve 19 PH Notice
2. Staff Report
3. Application
4. Ordinance 8824
5. Floor Plan
6. Site Plan

INTRODUCED BY COUNCILMAN SIAM
OCTOBER 23, 2023

BILL NO. 9923

ORDINANCE NO.

ORDINANCE TO AMEND SPECIAL USE NO. 8824 ISSUED TO SHADE RESTARUANT & BAR LLC D/B/A 1219 RESTAURANT AND LOUNGE LOCATED AT 1752-1759 N. NEW FLORISSANT ROAD TO ALLOW FOR A CHANGE IN HOURS OF OPERATION, IN A 'B-3' EXTENSIVE BUSINESS DISTRICT.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the location and operation of a restaurant; and

WHEREAS, Ordinance no. 8376 was originally authorized for Five Aces Bar-b-que for a restaurant at this location; and

WHEREAS, Ordinance no. 8376 was subsequently transferred by ordinance no. 8407 to CA44 LLC, to Shade Partners LLC by ordinance no. 8603, and ultimately to Shade Restaurant and Bar LLC by ordinance no. 8824; and

WHEREAS, an application has been filed by Shade Restaurant and Bar LLC d/b/a 1219 Restaurant and Lounge for an amendment to the said Special Use Permit transfer heretofore granted under Ordinance No.8824 to authorize a change in hours of operation; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant at their meeting of October 2nd, 2023 has recommended that the amendment be denial; and

WHEREAS, due notice of a public hearing no. 23-10-027 on said application to be held on the 23rd day of October, 2023 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of an amendment to the Special Use Permit authorized by Ordinance No. 8824, as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Special Use Permit no. 8824 heretofore granted Shade Restaurant and Bar LLC d/b/a 1219 Restaurant and Lounge is hereby amended to authorize a change in the closing time for the restaurant to no later than 12 midnight.

Section 2: Said Special Permit shall be conditioned on and shall remain in full force and effect so long as the conditions set out in Ordinance 8376 as transferred to Shade Restaurant and Bar LLC by ordinance no. 8824 and as now amended, are adhered to.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2023.

Joseph Eagan
President of the Council

Approved this ____ day of _____, 2023.

Robert G. Lowery, Sr.
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMCA/MRCC
City Clerk

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MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: September 27, 2023

From: Todd Hughes, P.E., Director Public Works c: Deputy City Clerk
Applicant
File

Subject: **1752-1756 N. New Florissant Rd (Shade Restaurant/Bar) Request**
Recommended Approval to amend a Special Use (Ord. No. 8376) to allow
for adding a Nightclub Use, with Live Performances and a cover charge,
in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-100223-1

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** to amend a Special Use Permit, to alter closing time to 12:00 Midnight in Ord. No 8824, at Restaurant/Bar at **1752-1756 N New Florissant**, in a 'B-3' Extensive Business District.

II. EXISTING SITE CONDITIONS:

The existing property at **1752-1756 N. New Florissant Rd** is a property which is a 3.5 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is currently 2754 s.f. in the shopping center which is about 25,883 s.f. and the proposal is to allow for live performances on the existing stage with a cover charge. There is a drawing attached G-1 which shows the boundary limits and existing property.

The existing building was built in 1974 per County record, that currently houses other Uses.

III. SURROUNDING PROPERTIES:

41 The property to the West is Freddy’s at 1955 N Highway 67 in a ‘B-5’ District. The
42 property to the north is a vacant property at 1800 N New Florissant adjacent to
43 apartments zoned ‘R-6’. The creek along the East has an address of 2063 N Highway 67
44 for the common ground there.

45

46 **IV. STAFF ANALYSIS:**

47 The establishment was originally known as Five Aces under Ord. No. 8376 and was
48 transferred to Highway 67 BBQ under Ord. No. 8407, expanded to include 1756 N New
49 Florissant under Ord. No. 8517 , transferred to Shade under Ord. No. 8603 and
50 transferred to Shade Restaurant and Bar, LLC. Under ordinance number 8824, all
51 attached.

52

53 The current Use permitted is a Restaurant/Bar, hours are dictated by liquor license
54 regulations: https://atc.dps.mo.gov/licensing/faqs_alcohol.php

55 *6:00 am to 1:30 am Monday through Saturday;*

56 *9:00 am to midnight on Sundays (requires a Sunday license in most cases);*

57 *Most licensees must abide by these hours. There are some special license types that allow different*
58 *operating hours.*

59 And stipulations of the transfer ordinance to close no later than 10PM.

60

61 **III. STAFF RECOMENDATIONS:**

62

63 **Suggested Motion:**

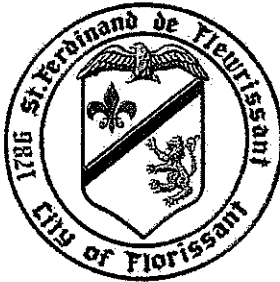
64 I move for Recommended Approval to amend a Special Use Ord. No. 8603, to allow for
65 the alteration of the closing time to no later than 12 Midnight, located at **1752-1756 N. New**
66 **Florissant Rd (Shade Restaurant/Bar)** in a ‘B-3’ Extensive Business District and subject
67 to all other restrictions set forth by prior Special use ordinances

68

69

(End of report and suggested motion)

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works
314-839-7648**

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR Exstended Business hours of operation

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # 8824 TO ALLOW FOR closing time adjustment 12:00 Am
ordinance # Statement of what the amendment is for.

LOCATION 1752-1756 N. New Florissant, Florissant MO 63033
Address of property.

1) Comes Now Leslie West Twelve 19 Restaurant & Lounge
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Leasor
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address Shade Restaurant & Bar, LLC
- (2) Telephone Number 314-274-8600
- (3) Business Address 1754 N. New Florissant
- (4) Date started in business 06/01/2022
- (5) Name in which business is operated if different from (1) Twelve 19 Restaurant & Lounge
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Walspert Properties

Address 12295 Olive Blvd St

Property Owner Nirav Patel

Location of property 1752-1756 N. New Florissant, Florissant MO 63033

Dimensions of property _____

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property Restaurant

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories _____

Square Footage of Building 3608 Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

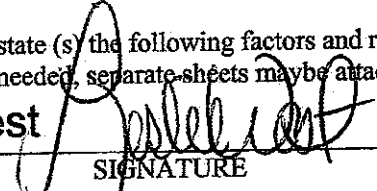
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
 (If more space is needed, separate sheets may be attached)

Leslie West  / Info@Twelve19restaurant.com 314-780-4890
 PRINT NAME SIGNATURE email and phone

FOR **Twelve 19 Restaurant & Lounge**
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE _____
 ADDRESS **1752 N. New Florissant, Florissant MO 63033**
 STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL **314-874-8600**
 BUSINESS

I (we) the petitioner (s) do hereby appoint **Lisa West** as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.


 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).


Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____



Building Commissioner or Staff Signature

1 INTRODUCED BY COUNCILMAN SIAM
2 JUNE 27, 2022

3
4 SUBSTITUTE BILL NO. 9793

ORDINANCE NO.

8824

5

6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8603 FROM SHADE PARTNERS, LLC TO SHADE**
8 **RESTAURANT & BAR, LLC FOR THE LOCATION OF A**
9 **RESTAURANT AND BAR LOCATED AT 1752-1756 N. NEW**
10 **FLORISSANT ROAD.**

11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a
14 restaurant; and

15 WHEREAS Five Aces Bar-v-que was issued Special Use Permit no. 8376 for the
16 operation of a restaurant located at 1752-1754 N. New Florissant Road; and

17 WHEREAS ordinance no. 8376 was subsequently transferred by ordinance no. 8407 to
18 CA44 LLC d/b/a Highway 67 BBQ for the operation of a restaurant; and

19 WHEREAS ordinance no. 8704 was transferred by ordinance no. 8603 to Shade Partners,
20 LLC d/b/a Shade Restaurant and Bar; and

21 WHEREAS Shade Restaurant & Bar LLC has filed an application to transfer Special use
22 Permit no. 8603 authorizing the location and operation of a restaurant located at 1752-1756 N.
23 New Florissant Road to its name; and

24 WHEREAS, the City Council of the City of Florissant determined at its meeting on June
25 27, 2022 that the business would be operated in substantially identical fashion as set out herein;
26 and

27 WHEREAS, Shade Restaurant and Bar, LLC has accepted the terms and conditions as
28 they apply to a special use permit for a restaurant.

29 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
30 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

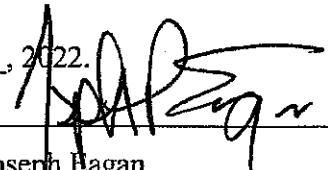
31 Section 1: Special Use Permit no. 8603 is hereby transferred from Shade Partners, LLC
32 to Shade Restaurant & Bar, LLC for the location of a restaurant and bar located at 1752-1756
33 N. New Florissant Road subject to the following conditions:

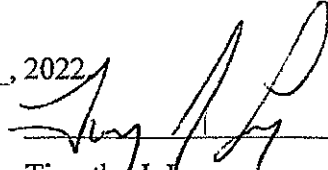
- 34 a. Full compliance with any and all conditions set forth in Special Use Permit
- 35 8603; and
- 36 b. There shall be no tinting of the windows or obstruction preventing clear sight
- 37 into the business from the parking lot or sidewalk; and
- 38 c. A security camera shall be installed to record activities indoor and outdoor, and
- 39 the video footage shall be available to the police department within 24 hours of
- 40 the request and shall be retained for a minimum of 10 days; and
- 41 d. Screening and roof be provided for the smoker at the rear of the building; and
- 42 e. The business shall be closed no later than 10 pm.


43 Section 2: The Special Use Permit herein authorized shall terminate if the said business
 44 ceases operation for a period of more than one hundred and eighty (180) days.

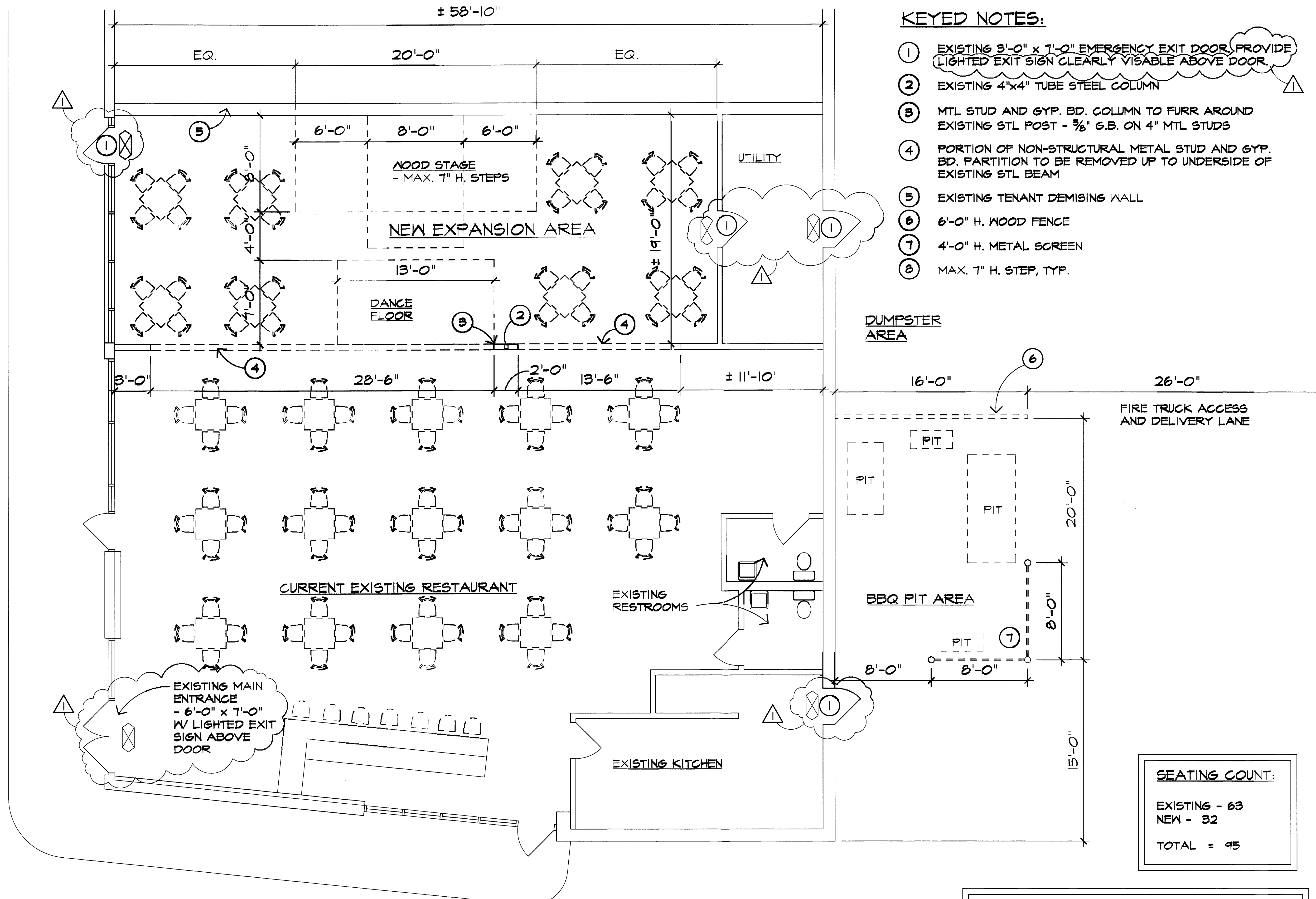
45 Section 3. The Special Use Permit authorized herein will be revoked if the applicant fails
 46 to comply with the conditions set forth herein or violates any State Statutes or ordinances of the
 47 City of Florissant.

48 Section 4: This ordinance shall become in force and effect immediately upon its passage
 49 and approval.

50
 51 Adopted this 21 day of Sept, 2022.
 52 
 53 _____
 54 Joseph Eagan
 55 Council President

56 Approved this 26 day of Sept, 2022.
 57 
 58 _____
 59 Timothy J. Lowery
 60 Mayor, City of Florissant

60 ATTEST:
 61 
 62 _____
 63 Karen Goodwin, MPPA/MMC/MRCC
 City Clerk



KEYED NOTES:

- ① EXISTING 3'-0" x 7'-0" EMERGENCY EXIT DOOR, PROVIDE LIGHTED EXIT SIGN CLEARLY VISABLE ABOVE DOOR.
- ② EXISTING 4"x4" TUBE STEEL COLUMN
- ③ MTL STUD AND GYP. BD. COLUMN TO FURR AROUND EXISTING STL POST - 5/8" G.B. ON 4" MTL STUDS
- ④ PORTION OF NON-STRUCTURAL METAL STUD AND GYP. BD. PARTITION TO BE REMOVED UP TO UNDERSIDE OF EXISTING STL BEAM
- ⑤ EXISTING TENANT DEMISING WALL
- ⑥ 6'-0" H. WOOD FENCE
- ⑦ 4'-0" H. METAL SCREEN
- ⑧ MAX. 7" H. STEP, TYP.

PHILIP A. GOMEZ
 ARCHITECT #A-6390
 128 BIRKDALE CT.
 ST. CHARLES, MO 63303
 314-504-7559
 © 2019 Philip Gomez, Architect
 These drawings, including all associated and referenced electronic data, are the sole property of the architect, and may not be altered in any way except by specific direction of the architect.

REV. 6-7-19

Client:
Chris Alexander
 1752 N. New Florissant Rd
 Florissant, MO 63033

Project:
HWY 64 BBQ
 Restaurant Expansion
 1752 N. New Florissant Rd
 Florissant, MO 63033

SEATING COUNT:
 EXISTING - 63
 NEW - 32
 TOTAL = 95

NOTE:
 ALL CEILING GRID AND FIXTURES, LIGHTING, SPRINKLER HEADS, AND AIR SUPPLY VENTS SHALL REMAIN. DAMAGED CEILING TILES AND FIXTURES TO BE REPLACED.

FLOOR PLAN
 1/8" = 1'-0"

Prj #:
 Date: **5-14-19**
 Sheet Contents:
Floor Plan
 Sheet No.:
A-1

1752 N. New Florissant Rd.

GENERAL PROJECT NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK.
2. DO NOT SCALE DRAWINGS.
3. "±" (PLUS-MINUS) DIMENSIONS INDICATE APPROXIMATE EXISTING CONDITIONS FOR REFERENCE ONLY, AND ARE NOT TO BE USED FOR LAYOUT OF NEW CONSTRUCTION.
4. ALL WALL DIMENSIONS ARE TO OUTSIDE EDGE OF FINISHED GYP. BD. U.N.O.
5. ALL NEW INTERIOR PARTITIONS TO BE MTL STUDS WITH 5/8" GYP. BD. B.S. U.N.O.
6. PROVIDE ALL TRIM, ACCESSORIES AND JOINT FINISHING AS REQUIRED FOR GYP. BD. ASSEMBLIES. PROVIDE CORNER BEADS AT ALL EXPOSED HORIZONTAL AND VERTICAL CORNERS. CAULK ALL UNTAPED JOINTS AT PERIMETER.
7. USE APPROVED WATER-RESISTANT GYP. BD. OR CEMENT BD. IN AREAS TO BE EXPOSED TO MOISTURE.
8. ALL DOORS 7'-0" HIGH U.N.O.
9. GLAZING IN ALL DOORS TO BE FULLY TEMPERED, LAMINATED SAFETY, OR APPROVED SHATTER RESISTANT PLASTIC.
10. INTERIOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS.
11. ALL TOILET ROOMS TO HAVE MIN. 50 CFM EXHAUST FANS, VENTED TO THE EXTERIOR.
12. LEAD FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.
13. ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AND LOCAL REGULATIONS.
14. ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.

VERIFICATION OF EXISTING CONDITIONS:

INASMUCH AS THE REMODELING AND/OR REHABILITATION OF THE EXISTING FACILITY REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE PRIOR TO CONSTRUCTION OR WITHOUT SIGNIFICANT COSTLY AND/OR DAMAGING INVESTIGATIONS, THE OWNER AGREES TO HOLD THE ARCHITECT HARMLESS AGAINST ALL DAMAGES, LIABILITIES OR COSTS ASSOCIATED WITH UNKNOWN CONDITIONS.

LIMITATION OF LIABILITY:

THE OWNER AGREES TO LIMIT THE ARCHITECT'S LIABILITY FOR ANY DAMAGES RELATING TO THIS PROJECT TO THE ARCHITECT'S FEE. THIS LIMITATION SHALL APPLY REGARDLESS OF THE CAUSE OF ACTION.

BUILDING CODE INFORMATION:

Project Description: New restaurant expansion build-out in an existing strip mall shopping center.

Code: 2018 International Building Code
2018 International Exist. Building Code

Use Group: A-2
Construction Type: II-A
Sprinkler System: None

OCCUPANCY

PUBLIC (TOTAL 2754 SQ. FT.)

DINING: ACTUAL SEATING = 95
STAGE: 184 SF / 15 SF PER OCC. = 13

EMPLOYEES (TOTAL 286 SQ. FT.)

KITCHEN: 238 SF / 200 = 2
BACK BAR: 48 SF / 200 = 1

TOTAL = III OCC'S

EGRESS WIDTH REQUIRED

III OCC'S x .2"/OCC. = 22.2"

OF EXITS REQUIRED = 3

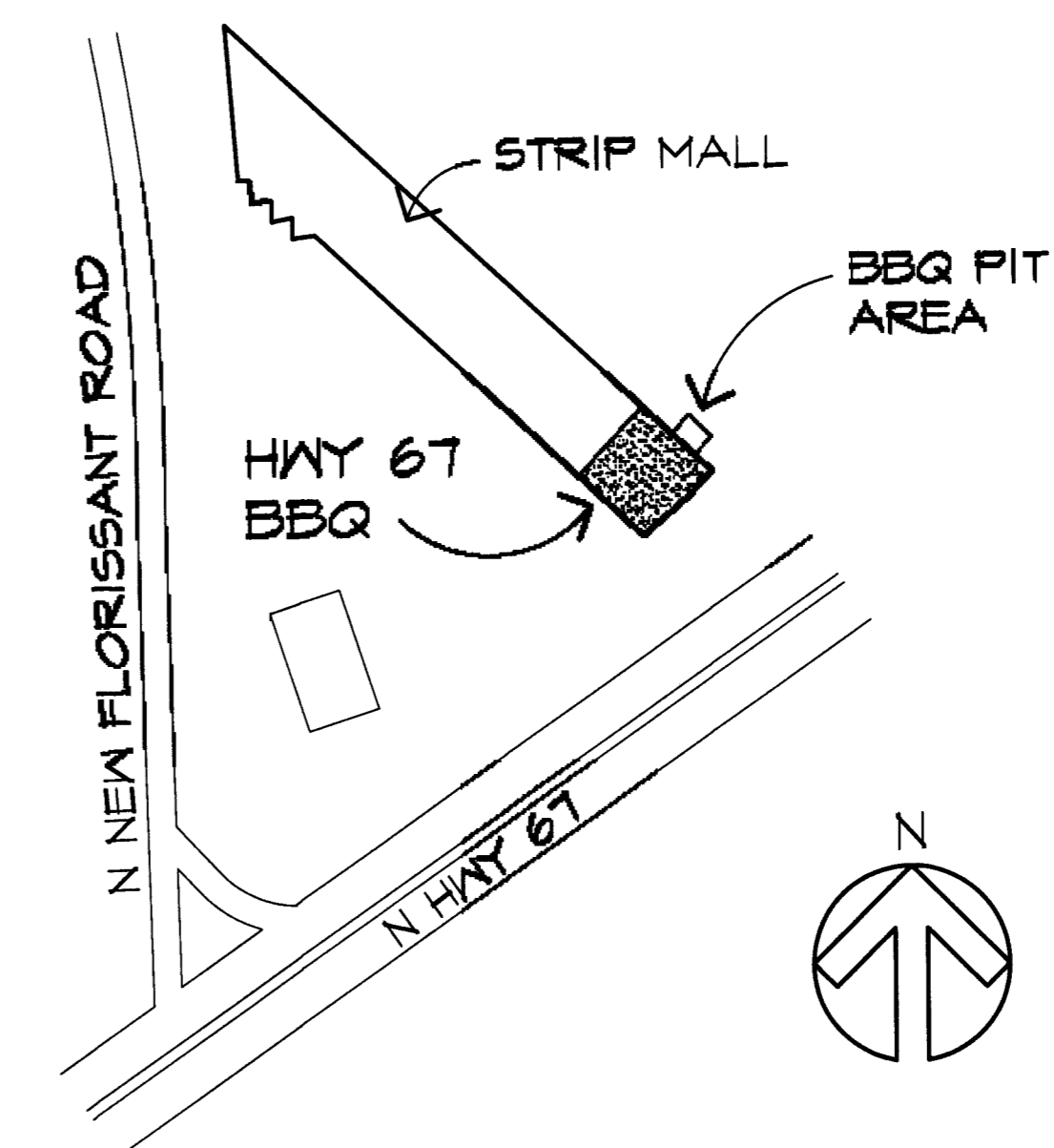
EGRESS WIDTH PROVIDED = 140" (3 EXITS)

LEGEND

- ② ———— DETAIL NUMBER
A-3 ———— DRAWING SHOWN ON
- --- PORTION OF EXIST. WALL OR PARTITION TO BE REMOVED
- ////// NEW PARTITION, FURRING, OR INFILL
- ==== PATCH AND REPAIR EXIST. WALL WHERE PARTITION HAS BEEN REMOVED

LOCATION MAP

NOT TO SCALE



DRAWING LIST

- G-1 COVER SHEET/PROJECT NOTES
A-1 FLOOR PLAN

PHILIP A. GOMEZ
ARCHITECT #A-6390

128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

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These drawings, including all associated and referenced electronic data, are the sole property of the architect, and may not be altered in any way except by specific direction of the architect.

△ REV. 6-7-19

Client:

Chris Alexander

1752 N. New Florissant Rd
Florissant, MO 63033

Project:

HWY 64 BBQ
Restaurant Expansion

1752 N. New Florissant Rd
Florissant, MO 63033

Prj #:

Date: **5-14-19**

Sheet Contents:

Project Notes

Sheet No.:

G-1



Agenda Request Form

For Administration Use Only:

Meeting Date: 12/4/2023

Open Closed

Report No. 88/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing the approval of a final site development plan in 'B-3' Extensive Business District for a new dental office located at 2855 N. Highway 67.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. Staff Report
2. Application
3. Plans
4. Materials
5. Material Warranty

INTRODUCED BY COUNCILMAN SIAM
JANUARY 8, 2024

BILL NO. 9942

ORDINANCE NO.

ORDINANCE APPROVING THE FINAL SITE DEVELOPMENT PLAN FOR THE PROPERTY LOCATED AT 2855 N. HWY 67, IN AN EXITING "B-3" EXTENSIVE BUSINESS DISTRICT FOR THE CONSTRUCTION OF AN ORAL SURGERY CENTER.

WHEREAS, Chapter 405.125 “B-3 Extensive Business District” of the Florissant City Code, authorizes the uses within this zoning district; and

WHEREAS, an application has been filed by The Evolutions Group requesting approval of the Final Site Development Plan for the property located at 2855 N. Hwy 67, in an exiting "B-3" Extensive Business District; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of December 4th, 2023, has recommended that said final development plan be approved; and

WHEREAS, due notice of a public hearing no. 24-01-001 on said application to be held on the 8th day of January, 2024 at 7:00 pm by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the approval of the subdivision plat would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The final site development plan, including landscaping and signage for **2855 N. Hwy 67 Center for the purpose of construction an oral surgery center** as depicted by the attached drawings, plans C100, C300, C400, C500, C501, C600, C800, **dated 7/19/23**, Landscaping Plan L101-1 **dated 7/19/2023**, subject to the regulations of the B-3 “Extensive Business District” with permitted uses allowed being professional office, those within the ‘B-3’ Extensive Business District without a Special Permit is hereby approved with the following additional requirements:

1. PERMITTED USES

The uses permitted for this property shall be limited to dental office/clinic, within the B-3 “Extensive Business District” without a Special Use Permit.

2. FLOOR AREA, HEIGHT, AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 4,3336 s.f. dental office/clinic, with those Uses permitted within the ‘B-3’ Extensive Business District without a Special Use Permit.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-3" Extensive Commercial District shall conform to the most restrictive performance standards as follows:

1. *Vibration.* Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. *Odor.* Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. *Smoke.* Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. *Toxic gases.* Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. *Emission of dirt, dust, fly ash and other forms of particulate matter.* Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. *Radiation.* Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. *Glare and heat.* Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. *Screening.*

a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.

b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

9. Sound transmission loss. Sound transmission loss horizontally and vertically between single units in multi-family housing shall be not less than fifty (50) STC and installed according to directions in the Residential Sound Conditioning Publication by the National Association of Home Builders of the United States, Washington, D.C., Copyright 1964.

4. TRASH ENCLOSURES

Trash container shall be kept within a gated sight-proof area as shown on attached plans. Materials to be compatible with the building.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area and Bulk Restrictions:

1. Height, Area and Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on drawings attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 40 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks

(1) Shall comply with Paving Legend on C400.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting shall be 0.5 fc minimum.

(2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

- (1) **Signs depicted on building does not reflect size**
- (2) All other signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

- (1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse effect on the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and bio-hazardous containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.
- (7) There shall be one ground sign located as shown on plans, otherwise consistent with the sign code of the City of Florissant.

(8) The proposed building shall be **100% masonry** brick veneer, having a minimum thickness of three and five-eighths (3 5/8) inches and meeting all the requirements of ASTM Designation C-216- Ord. 8748. And the steel beam columns and channel will be painted with high performance Tnemec Coating, having a life span of 15-25 years.

7. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable B-3 “Extensive Business District” ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must decide as to the extent of the changes per the following procedure:

1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.

4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall apply for review and approval by the Planning and Zoning commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be affected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

11. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the City Council

Approved this _____ day of _____, 2024.

Timothy J. Lowery
Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

41 The application is accompanied by professionally prepared site plans C100, C300, C400,
42 C500, C501, C600, C800, **dated 7/19/23**, Landscaping Plan L101-1 **dated 7/19/2023**;
43 and Exterior Elevations A201, and A202, **dated 7/20/2023**.
44

45 The Petitioner has proposed a new oral surgery dental center at this location. The
46 following are Staff comments on the plans.
47

- 48 1. C100: Civil Cover Sheet
 - 49 a. Contact Information, Site Date and General Notes
50
- 51 2. C300: Demolition Sheet
 - 52 a. Former building, American Cleaners, demolished under Permit No.
53 D73152
54
- 55 3. C400: Site Plan Sheet
 - 56 a. The petitioner proposes constructing a new building.
 - 57 b. Preliminary building plans were reviewed by the Public Works Director
58 and later the Building Commissioner
 - 59 c. The new building will set back from No Highway 67; behind the AT & T
60 retail store.
 - 61 d. Greenspace is shown at 30%
 - 62 e. Site acreage shown is 1.24 acres
 - 63 f. Parking required is shown at 40 spaces, (4.5 per 1,000 sq. ft.)
64
- 65 4. C500 - C501: Grading & Drainage Plan
 - 66 a. This sheet indicates BMP (best management practices) areas. The
67 remainder of the parcel is 0.79 acres is impervious.
68
- 69 5. C600: Utility Plan
 - 70 a. This sheet shows storm inlets, private sewer; and water and gas lines
71
- 72 6. C800: Details
 - 73 a. ADA requirements
 - 74 b. Curb and ramp
 - 75 c. Sidewalk and pavement
76
- 77 7. L101: Landscaping
 - 78 a. This sheet indicates new landscaping.
 - 79 b. Required Plantings by Ordinance:
 - 80 i. Plants meets or exceeds landscaping ordinance
 - 81 ii. All trees to be 2-1/2" caliper.
 - 82 iii. 76 various types of plant and shrubs are shown at building
83 perimeter, 63 required at one per every 5' building perimeter.
 - 84 iv. Landscaped islands meet the ordinance requirements
 - 85 v. One tree for every 15 parking spaces provided, 3- trees provided
86 for 40 spaces

- 87 vi. Residential buffer is not required
- 88 vii. 30% landscaping for site, 1.24 acres
- 89 viii. Irrigation system reflected on L101
- 90

91 8. Masonry Requirements:

- 92 a. Masonry: The building is proposed with a **100% masonry** brick veneer,
- 93 having a minimum thickness of three and five-eighths (3 5/8) inches and
- 94 meeting all the requirements of ASTM Designation C-216- Ord. 8748
- 95 b. Detailed in A201, A202; steel beam column and channel will be painted
- 96 with high performance Tnemec Coating, having a life span of 15-25 years
- 97

98 **VI. STAFF RECOMMENDATIONS:**

99 **Suggested Motion for 2855 N. Hwy 67 Center (The Evolutions Group):**

100 I move to recommend approval of the site development plan, including
101 landscaping and signage for **2855 N. Hwy 67 Center for the purpose of**
102 **construction an oral surgery center** as depicted by the attached drawings, plans
103 C100, C300, C400, C500, C501, C600, C800, **dated 7/19/23**, Landscaping Plan
104 L101-1 **dated 7/19/2023**, subject to the regulations of the B-3 “Extensive
105 Business District” with permitted uses allowed being professional office, those
106 within the ‘B-3’ Extensive Business District without a Special Permit, and the
107 following additional requirements:

108

109 **1. PERMITTED USES**

110 The uses permitted for this property shall be limited to dental office/clinic,
111 within the B-3 “Extensive Business District” without a Special Use Permit.

112

113 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

114 The building space shall be limited to a single story 4,3336 s.f. dental
115 office/clinic, with those Uses permitted within the ‘B-3’ Extensive Business
116 District without a Special Use Permit.

117

118 **3. PERFORMANCE STANDARDS**

119 In addition to all other requirements, uses within the "B-3" Extensive
120 Commercial District shall conform to the most restrictive performance
121 standards as follows:

- 122 1. *Vibration*. Every use shall be so operated that the maximum
- 123 ground vibration generated is not perceptible without instruments
- 124 at any point on the lot line of the lot on which the use is located.
- 125 2. *Odor*. Every use shall be so operated that no offensive or
- 126 objectionable odor is perceptible at any point on the lot line on
- 127 which the use is located.
- 128 3. *Smoke*. Every use shall be so operated that no smoke from any
- 129 source shall be emitted of a greater density than the density
- 130 described as No. 1 on the Ringelmann Chart as published by the
- 131 United States Bureau of Mines.

132 4. *Toxic gases.* Every use shall be so operated that there is no
133 emission of toxic, noxious or corrosive fumes or gases.
134 5. *Emission of dirt, dust, fly ash and other forms of particulate*
135 *matter.* Emission of dirt, dust, fly ash and other forms of
136 particulate matter shall not exceed eighty-five one-hundredths
137 (0.85) pounds per one thousand (1,000) pounds of gases of which
138 amount not to exceed five-tenths (0.5) pound per one thousand
139 (1,000) pounds of gases shall be of such size as to be retained on a
140 325-mesh U.S. standard sieve. In the case of emission of fly ash or
141 dust from a stationary furnace or a combustion device, these
142 standards shall apply to a condition of fifty percent (50%) excess
143 air in the stack at full load, which standards shall be varied in
144 proportion to the deviation of the percentage of excess air from
145 fifty percent (50%).
146 6. *Radiation.* Every use shall be so operated that there is no
147 dangerous amount of radioactive emissions.
148 7. *Glare and heat.* Any operation producing intense glare or heat
149 shall be performed in an enclosure in such a manner as to be
150 imperceptible along any lot line.
151 8. *Screening.*
152 a. All mechanical equipment, air-handling units, cooling
153 towers, condensers, etc., on roof or grade shall be screened
154 architecturally in such a manner as to be a part of the
155 design of the building.
156 b. Incinerators and stacks shall be enclosed in the same
157 material as the main exterior building material.
158 9. *Sound transmission loss.* Sound transmission loss horizontally
159 and vertically between single units in multi-family housing shall be
160 not less than fifty (50) STC and installed according to directions in
161 the Residential Sound Conditioning Publication by the National
162 Association of Home Builders of the United States, Washington,
163 D.C., Copyright 1964.

164
165 **4. TRASH ENCLOSURES**

166 Trash container shall be kept within a gated sight-proof area as shown on
167 attached plans. Materials to be compatible with the building.
168

169 **5. PLAN SUBMITTAL REQUIREMENTS**

170 Final Development Plan shall include improvements as shown on
171 drawings attached, including entire property, trash enclosures, landscape,
172 lighting and legal description.
173

174 **6. SITE DEVELOPMENT PLAN CRITERIA:**

175 a. Height, Area and Bulk Restrictions:

176 1. Height, Area and Bulk Regulations. The height, area and bulk
177 regulations for uses in the "B-3" Extensive Commercial District

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b. Internal Drives:

(1) There shall be parking as shown on drawings attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 40 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks

(1) Shall comply with Paving Legend on C400.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) The light level for parking lot lighting shall be 0.5 fc minimum.
- (2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

- (1) **Signs depicted on building does not reflect size**
- (2) All other signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse effect on the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and bio-hazardous containers shall be contained within a trash enclosure with gates compatible with existing building.

- 223 (3) All storm water and drainage facilities shall be constructed, and all
224 landscaping shall be installed, prior to occupancy of the building,
225 unless remitted by the Director of Public Works due to weather related
226 factors.
227
- 228 (4) All mechanical equipment, electrical equipment, and communication
229 equipment shall be screened in accordance with the Florissant Zoning
230 Code.
231
- 232 (5) The exterior design of the buildings shall be constructed in accordance
233 with the renderings as approved by the Florissant Planning and Zoning
234 Commission and attached hereto.
235
- 236 (6) All other requirements of the Florissant Municipal Code and other
237 ordinances of the city shall be complied with unless otherwise allowed
238 by this ordinance.
239
- 240 (7) There shall be one ground sign located as shown on plans, otherwise
241 consistent with the sign code of the City of Florissant.
242
- 243 (8) The proposed building shall be **100% masonry** brick veneer, having a
244 minimum thickness of three and five-eighths (3 5/8) inches and meeting
245 all the requirements of ASTM Designation C-216- Ord. 8748. And the
246 steel beam columns and channel will be painted with high performance
247 Tnemec Coating, having a life span of 15-25 years
248

249 **7. FINAL SITE DEVELOPMENT PLAN**

250 A final site development plan shall be submitted to the Building
251 Commissioner to review for compliance with the applicable B-3
252 "Extensive Business District" ordinance prior to recording. Any
253 variations from the ordinance approved by the City Council and/or the
254 conceptual plans attached to such ordinance shall be processed in
255 accordance with the procedure established in the Florissant Zoning Code.
256

257 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

258 Any changes to the approved plans attached hereto must be reviewed by the
259 Building Commissioner. The Building Commissioner must decide as to the
260 extent of the changes per the following procedure:
261

- 262 1. The property owner or designate representative shall submit in writing a
263 request for an amendment to the approved plans. The building
264 commissioner shall review the plans for consistency with the purpose and
265 content of the proposal as originally or previously advertised for public
266 hearing and shall make an advisory determination.
- 267 2. If the building commissioner determines that the requested amendment is
268 not consistent in purpose and content with the nature of the purpose as

- 269 originally proposed or previously advertised for the public hearing, then
270 an amendment to the special use permit shall be required and a review
271 and recommendation by the planning and zoning commission shall be
272 required and a new public hearing shall be required before the City
273 Council.
- 274 3. If the building commissioner determines that the proposed revisions are
275 consistent with the purpose and content with the nature of the public
276 hearing then a determination of non-necessity of a public hearing shall be
277 made.
- 278 4. Determination of minor changes: If the building commissioner determines
279 that an amendment to the special use permit is not required and that the
280 changes to the plans are minor in nature the Building Commissioner may
281 approve said changes.
- 282 5. Determination of major changes: If the Building Commissioner
283 determines that an amendment to the B-5 is not required but the changes
284 are major in nature, then the owner shall apply for review and approval by
285 the Planning and Zoning commission.
- 286
- 287 **9. VERIFICATION PRIOR TO OCCUPANCY PERMIT**
- 288 a. Any new roadway improvements shall be completed prior to the issuance
289 of any final occupancy permit.
- 290
- 291 b. Any new stormwater detention shall be completed prior to the issuance of
292 any occupancy permit.
- 293
- 294 c. All fencing and/or landscaping intended as screening properties shall be
295 completed prior to the issuance of any occupancy permit, unless remitted
296 by the Director of Public Works due to weather related factors.
- 297
- 298 **10. GENERAL DEVELOPMENT CONDITIONS.**
- 299 a. Unless, and except to the extent, otherwise specifically provided herein,
300 development shall be affected only in accordance with all ordinances of
301 the City of Florissant.
- 302
- 303 b. The Department of Public Works shall enforce the conditions of this
304 ordinance in accordance with the Final Site Development Plan approved
305 by the Planning & Zoning Commission and all other ordinances of the
306 City of Florissant.
- 307
- 308 **9. PROJECT COMPLETION.**
- 309 Construction shall start within 90 days of the issuance of building permits for
310 the project and shall be developed in accordance of the approved final
311 development plan within 12 months of start of construction.
- 312
- 313

(End of suggested motion)

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 2855 North Highway 67 Florissant, Missouri 63033

Property Owners Name: Alex Heatrice Phone/email: 202-415-5473

Property Owners Address: 2855 North Highway 67 Florissant, Missouri 63033

Business Owners Name: A Professional Investment Group Phone/email: 202-415-5473

Business Owners Address: 16721 Clayton Rd. Wildwood, MO 63011

DBA (Doing Business As) Premier Institute of Oral and Facial Surgery

Authorized Agents Name: Chad Hill Co. Name: Hill Commercial Construction
(Authorized Agent to Appear Before The Commission)

Agents Address: 7076 S Alton Way A Centennial, CO 80112 Phone/email: 303-994-4849

Request Ratify Conditional Approval of the Building Commissioner of a minor change in the Development Plan

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

11.21.2023
Date

OFFICE USE ONLY

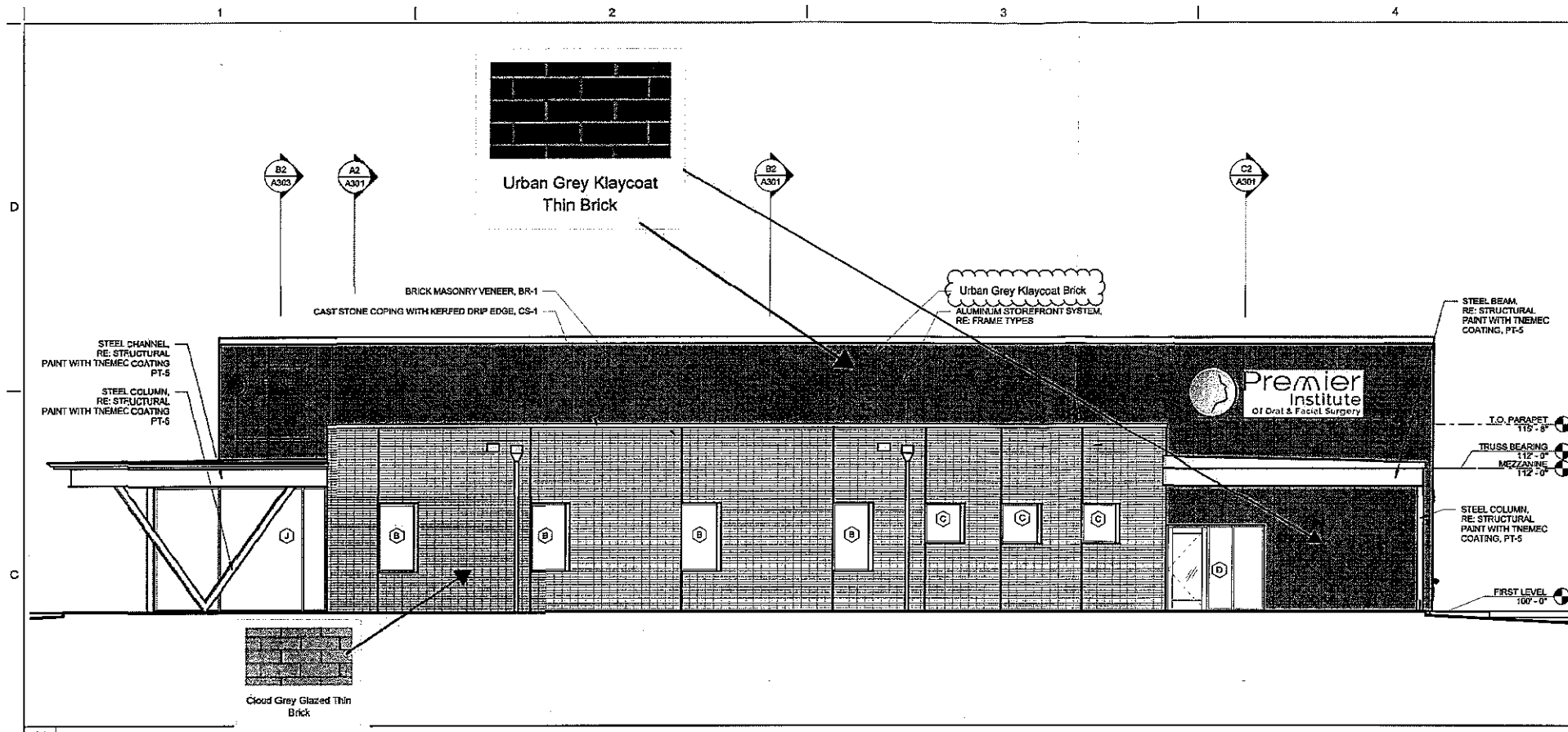
Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION



C1 EAST ELEVATION
A201 SCALE: 3/16" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS FOR A WATERPROOF AND WARRANTABLE SYSTEM
2. CONTRACTOR TO PROVIDE OWNER/ARCHITECT WITH ALL EXTERIOR SAMPLES, FROM EACH MANUFACTURERS FULL RANGE OF FINISH OPTIONS, UNDER A SINGLE SUBMITTAL, FOR REVIEW AND APPROVAL
3. SEALANT JOINTS TO MATCH COLOR OF ADJACENT MATERIAL, TYPICAL

LEGEND - EXTERIOR ELEVATIONS

- Cloud Grey Glazed Brick
- Urban Grey Klaycoat Brick
- BLOCKING FOR SIGNAGE

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architecture | interiors

5416 South Yale Avenue, Suite 630
Jenks, Oklahoma 74037
918.372.5252
www.rudimentarchitecture.com



07.20.2023

THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

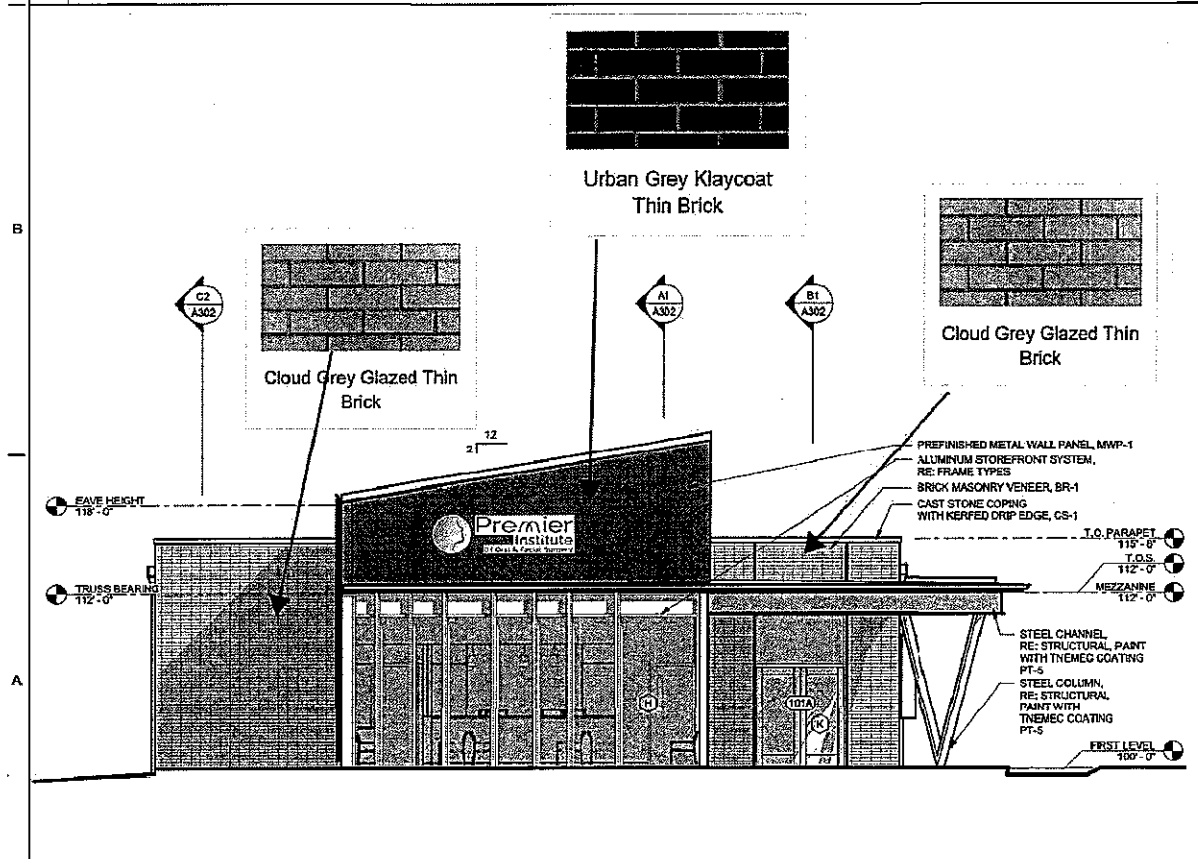
EXTERIOR ELEVATIONS

PROJECT NO.: 22-009
DATE: 07.20.2023
REVISED:
SHEET:

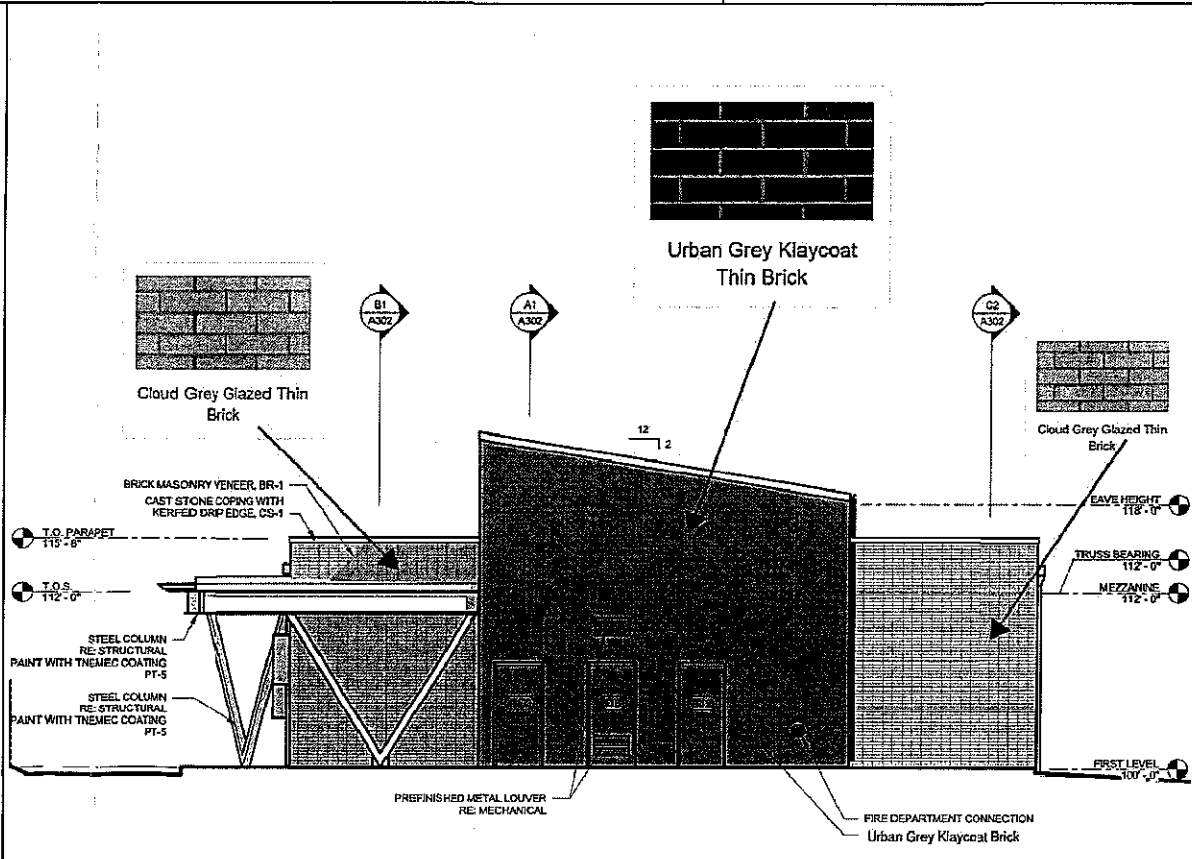
A201

PERMIT

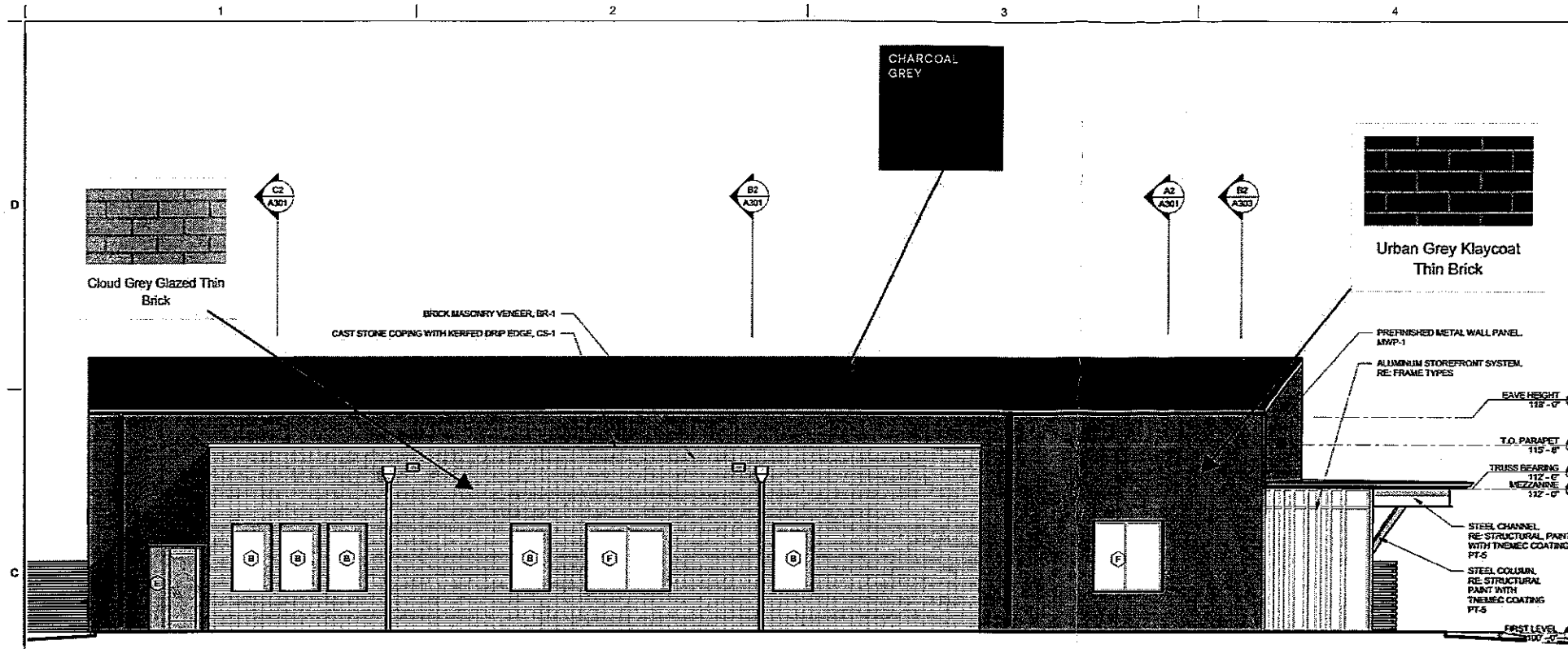
This document, and the ideas and designs incorporated herein, are the intellectual property of Rudiment Architecture, and are not to be used, in whole or in part, for any other project, without the written authorization of Rudiment Architecture, PLLC.



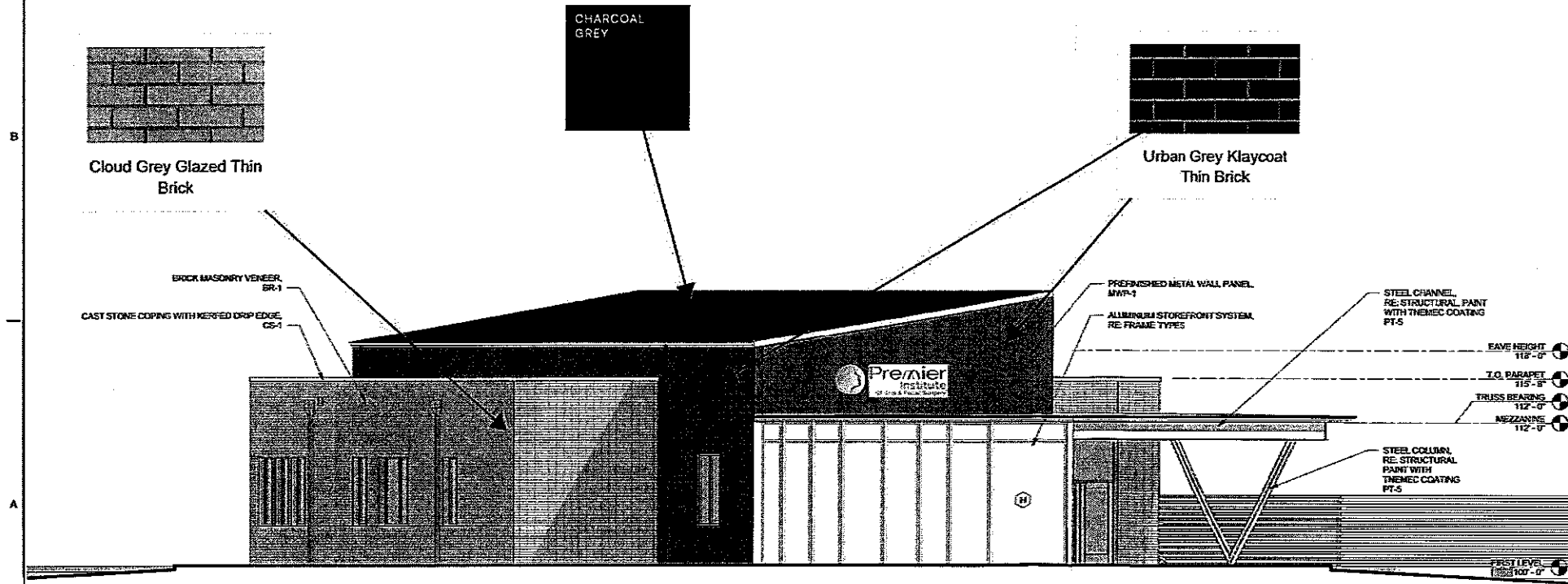
A1 SOUTH ELEVATION
A201 SCALE: 3/16" = 1'-0"



A3 NORTH ELEVATION
A201 SCALE: 3/16" = 1'-0"



C1 | WEST ELEVATION
A202 | SCALE: 3/16" = 1'-0"



A1 | TRUE ELEVATION
A202 | SCALE: 3/16" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS FOR A WATER-TIGHT AND WARRANTYABLE SYSTEM
2. CONTRACTOR TO PROVIDE OWNER/ARCHITECT WITH ALL EXTERIOR SAMPLES, FROM EACH MANUFACTURERS FULL RANGE OF FINISH OPTIONS, UNDER A SINGLE SUBMITAL, FOR REVIEW AND APPROVAL
3. SEALANT JOINTS TO MATCH COLOR OF ADJACENT MATERIAL, TYPICAL

LEGEND - EXTERIOR ELEVATIONS

- Cloud Grey Glazed Brick
- Urban Grey Klaycoat Brick
- BLOCKING FOR SIGNAGE

rudiment
architectural interior

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STATE OF MISSOURI
CHAD WALKER
LAND SURVEYOR
NUMBER A-202402906
ARCHITECT
07.20.2023

THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

EXTERIOR ELEVATIONS

PROJECT NO.: 22-009
DATE: 07.20.2023
REVISED:

SHEET:
A202

PERMIT

The owner and the user of the ideas and designs presented herein, as an architect or professional architect, is the property of Rudiment Architecture, and it is not to be used, in whole or in part, for any other project, without the written permission of Rudiment Architecture, PLLC.

NOT FOR CONSTRUCTION
FOR PERMIT REVIEW ONLY

THE EVOLUTIONS GROUP - DR. ALEX HEATRICE
SITE PLAN

2855 NORTH HIGHWAY 67

A TRACT OF LAND BEING LOT 2 AND PART OF LOT 3 OF LINDBERGH PLAZA. PLAT BOOK 124, PAGE: 47.
ST. LOUIS COUNTY, MISSOURI

rudiment
architectural|interiors

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design
collective

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structural-civil-landscape-survey
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englewood, co 80112
303.350.1600 303.364.5858
mtdr@wallacedesign.com
exp: 12/31/23
P.N.: 2275084

CONTACTS:

OWNER
DR. ALEXANDER HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MO 63033

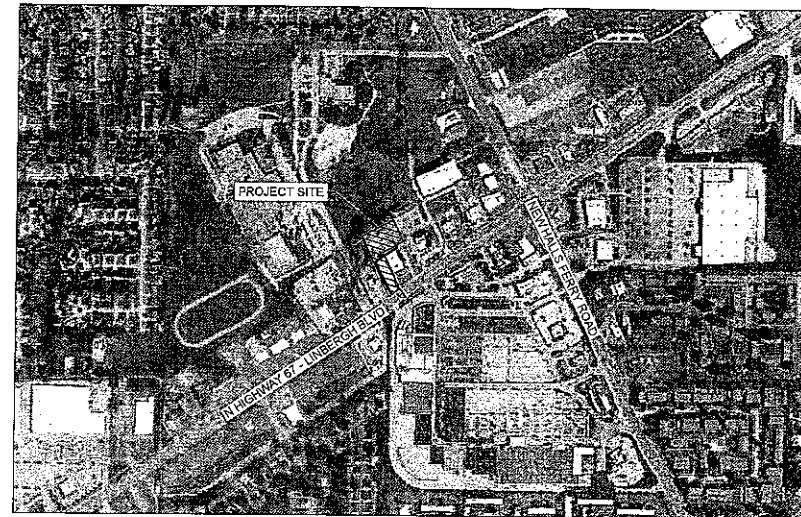
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SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C100	CIVIL COVER SHEET
C300	DEMOLITION PLAN
C400	SITE PLAN
C500	GRADING & DRAINAGE PLAN
C501	GRADING BLOW-UPS
C800	UTILITY PLAN
C800	DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE NOTES



VICINITY MAP
SCALE: 1"=600'

SITE DATA:	
LAND AREA SUMMARY	
NET LAND AREA	53,912 SF (+/-1.24 AC)
SITE DATA	
ZONING	B-3 EXTENSIVE COMMERCIAL
BUILDING DATA	
TOTAL BUILDING:	4,336 SF
IMPERVIOUS AREA	
TOTAL SITE AREA	53,912 SF (1.24 AC)
TOTAL DISTURBED AREA:	25,554 SF (0.59 AC)
EXISTING IMPERVIOUS AREA:	34,621 SF (0.79 AC)
PROPOSED IMPERVIOUS AREA:	9,067 SF
NET CHANGE:	
OFF-STREET PARKING REQUIREMENTS	
REQUIRED: (4.5 SPACES PER 1000 SF - MEDICAL/DENTAL OFFICE) 20 SPACES	
	19 GUEST PARKING SPACES
	12 OVERFLOW PARKING SPACES
	9 STAFF PARKING SPACES
PROVIDED:	40 TOTAL PARKING SPACES
ACCESSIBLE PARKING REQUIREMENTS	
REQUIRED:	
FOR 25-50 SPACES:	2 ACCESSIBLE SPACES
PROVIDED:	2 ACCESSIBLE SPACES
PROPERTY DESCRIPTION	
A TRACT OF LAND BEING LOT 2 AND PART OF LOT 3 OF LINDBERGH PLAZA. PLAT BOOK 124, PAGE: 47. ST. LOUIS COUNTY, MISSOURI	

GENERAL NOTES:	
1.	CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
2.	THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
3.	ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
4.	UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND REGULATIONS OF THE CITY OF FLORISSANT, MISSOURI DEPARTMENT OF NATURAL RESOURCES, AND STATE DEPARTMENT OF TRANSPORTATION, AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
5.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, TAP FEES, ETC.
6.	ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
7.	RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.
8.	NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
EXCAVATION NOTIFICATION	
1.	ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS).
2.	CONTRACTORS TO CALL 811 (OR VISIT CALL811.COM) TO REQUEST UTILITY LOCATES. ONCE COMPLETION OF MARKINGS HAS BEEN CONFIRMED BY THE CONTRACTOR, NO AUTOMATED OR MECHANICAL EQUIPMENT SHOULD BE USED WITHIN TWO FEET ON EITHER SIDE OF THE MARKINGS (OR ANOTHER MORE STRINGENT TOLERANCE AS DIRECTED), AND EXISTING FACILITIES MUST BE EXPOSED BY HAND.
3.	EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

LEGEND		
ABBREVIATIONS	LINETYPES	SYMBOLS
(M) MEASURED DATA	— SF —	UTILITY POLE
(R) RECORD DATA	---	LIGHT POLE
BC BACK OF CURB	---	GUY ANCHOR
BL BUILDING LINE	---	ELECTRIC BOX
CL CENTERLINE	---	ELECTRIC METER
EG EXISTING GRADE	---	ELECTRIC TRANSFORMER
FF FINISHED FLOOR	---	AVC UNIT
FG FINISHED GRADE	---	ELECTRIC MANHOLE
FL FLOWLINE	---	GAS METER
GL CUTTER LINE	---	GAS VALVE
HP HIGH POINT	---	OIL/GAS WELLHEAD
INV INVERT	---	VENT PIPE
LF LINEAR FEET	FO ---	PIPELINE MARKER
LP LOW POINT	OC ---	COMMUNICATION PEDESTAL
ME MATCH EXISTING	UC ---	UNDERGROUND COMMUNICATION
RW RIGHT-OF-WAY	OE ---	OVERHEAD ELECTRIC
SF SQUARE FEET	UE ---	UNDERGROUND ELECTRIC
SY SQUARE YARDS	G ---	NATURAL GAS
TBK TOP OF BANK	FM ---	SEWER FORCE MAIN
TC TOP OF CURB	SS ---	SANITARY SEWER MAIN
TG TOP OF GRATE	SS ---	SANITARY SEWER SERVICE
TOE TOP OF BANK	---	DRAINAGE AREA, MAJOR
TP TOP OF PAVEMENT	---	DRAINAGE AREA, MINOR
TR TOP OF RIM	---	DRAINAGE FLOW PATH
TS TOP OF SIDEWALK	SD ---	STORM DRAINAGE PIPE
TW TOP OF WALL	F ---	FIRE LINE
	W ---	WATER LINE
	WSL ---	WATER SERVICE LINE
	IRR ---	IRRIGATION LINE
		BENCHMARK
		ACCESSIBLE PARKING
		MAILBOX
		MONITORING WELL
		POT-HOLE
		SIGN

SITE ACCESSIBILITY	
1.	ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURB RAMPS, ACCESSIBLE PARKING, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY CODES (AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES; THE PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) PUBLISHED IN THE FEDERAL REGISTER JULY 2011; INTERNATIONAL BUILDING CODE (IBC); ICC A117.1, ETC.)
2.	WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THESE GUIDELINES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THESE GUIDELINES WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THESE GUIDELINES, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
3.	GENERAL SLOPE GUIDANCE:
3.1.	CROSS SLOPES SHALL NOT EXCEED 1:50 (2.0%).
3.2.	RUNNING SLOPES SHALL NOT EXCEED 5% EXCEPT AT RAMPS.
3.3.	RAMP RUNNING SLOPES SHALL NOT EXCEED 1:12 (8.3%).
3.4.	SLOPES AT LANDINGS, ACCESSIBLE PARKING STALLS, AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3.5.	EXCEPTIONS WITHIN THE PUBLIC RIGHT-OF-WAY: WHERE THE ESTABLISHED ADJACENT STREET GRADE EXCEEDS 5%, RUNNING SLOPES PARALLEL TO THE STREET SLOPES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET. CURB RAMP RUNNING SLOPE CAN EXCEED 8.3% TO LIMIT THE RESULTING THE RAMP LENGTH TO 15 FEET.
SURVEY	
1.	EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE SHOWN PER THE FIELD SURVEY PERFORMED BY ALTEA, LLC DATED NOVEMBER 15, 2022.

THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033

CIVIL COVER SHEET

PROJECT NO.: 22-009

DATE: 07.19.2023

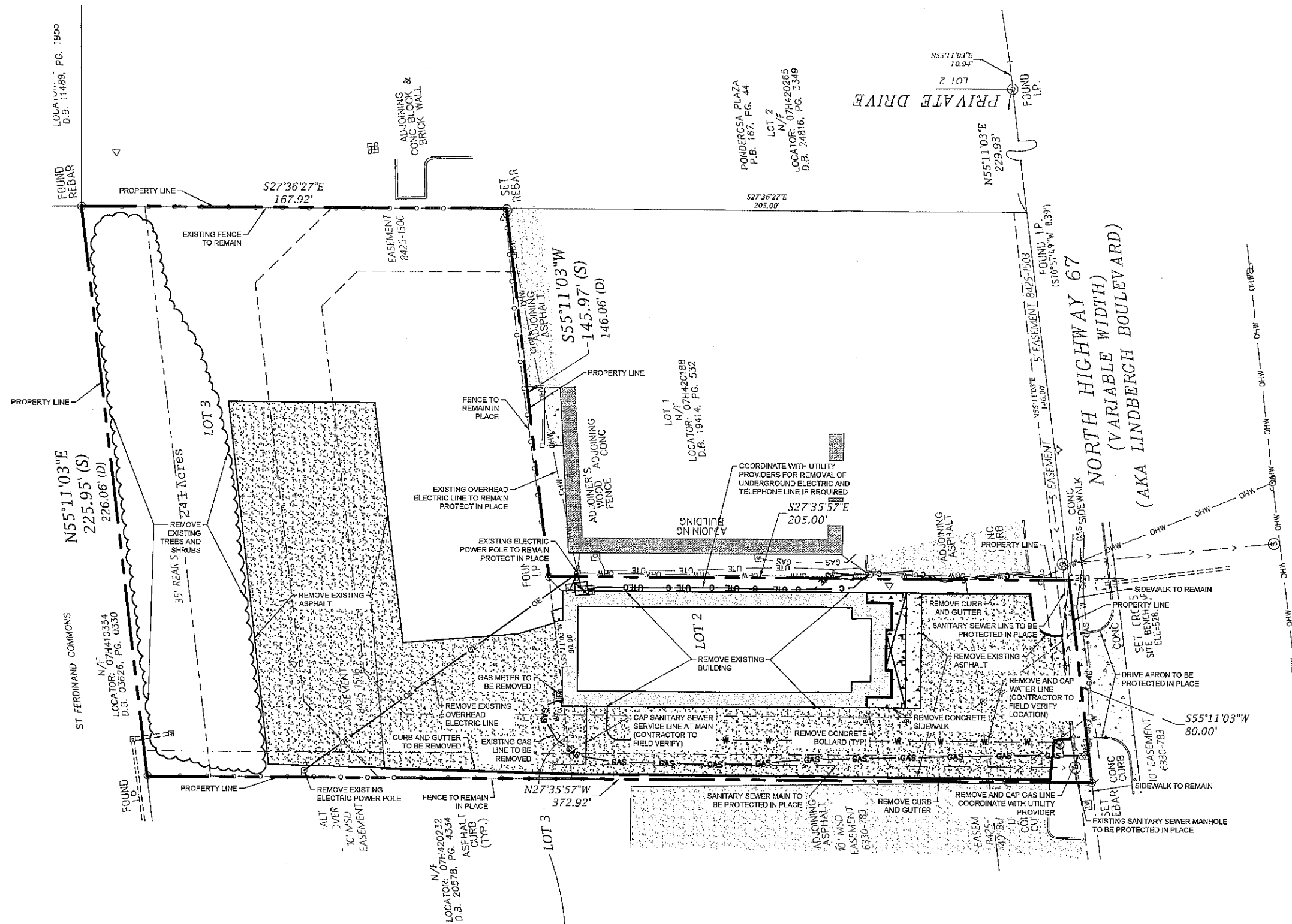
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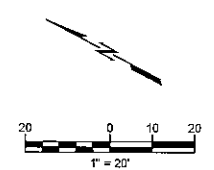
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FOR PERMIT REVIEW ONLY



- GENERAL DEMOLITION NOTES:**
1. ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
 2. CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
 3. CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
 4. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
 5. WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 6. ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
 7. CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MAINHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
 8. TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER THE AUTHORITY HAVING JURISDICTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
 10. CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
 11. CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
 12. REMOVE BUILDING IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, FOOTINGS, UTILITIES, AND ALL BUILDING APPURTENANCES. COORDINATE WITH UTILITY PROVIDERS TO ENSURE ALL UTILITIES ARE SHUT OFF AND CAPPED PRIOR TO DEMOLITION. SERVICE LINES SHALL BE REMOVED AND CAPPED BACK TO MAIN UTILITY LINE, UNLESS NOTED OTHERWISE.
 13. PRIOR TO UTILITY DEMOLITION COORDINATE WITH AUTHORITY HAVING JURISDICTION.
 14. UTILITIES BEING REMOVED OR RELOCATED SHALL BE ISOLATED AND SERVICE DISCONNECTED PRIOR TO ANY DEMOLITION.
 15. NO UTILITY INTERRUPTIONS WILL BE ALLOWED WITHOUT CONSENT OF THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF FOUR WORKING DAYS PRIOR TO THE REQUESTED SHUT DOWN.



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DEMOLITION
PLAN

PROJECT NO.: 22-009

DATE: 07.19.2023

REVISED:

SHEET:

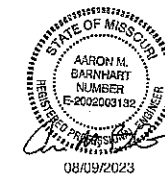
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GRADING &
DRAINAGE PLAN

PROJECT NO.: 22-009

DATE: 07.19.2023

REVISED:

SHEET:

C500

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GRADING LEGEND:

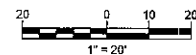
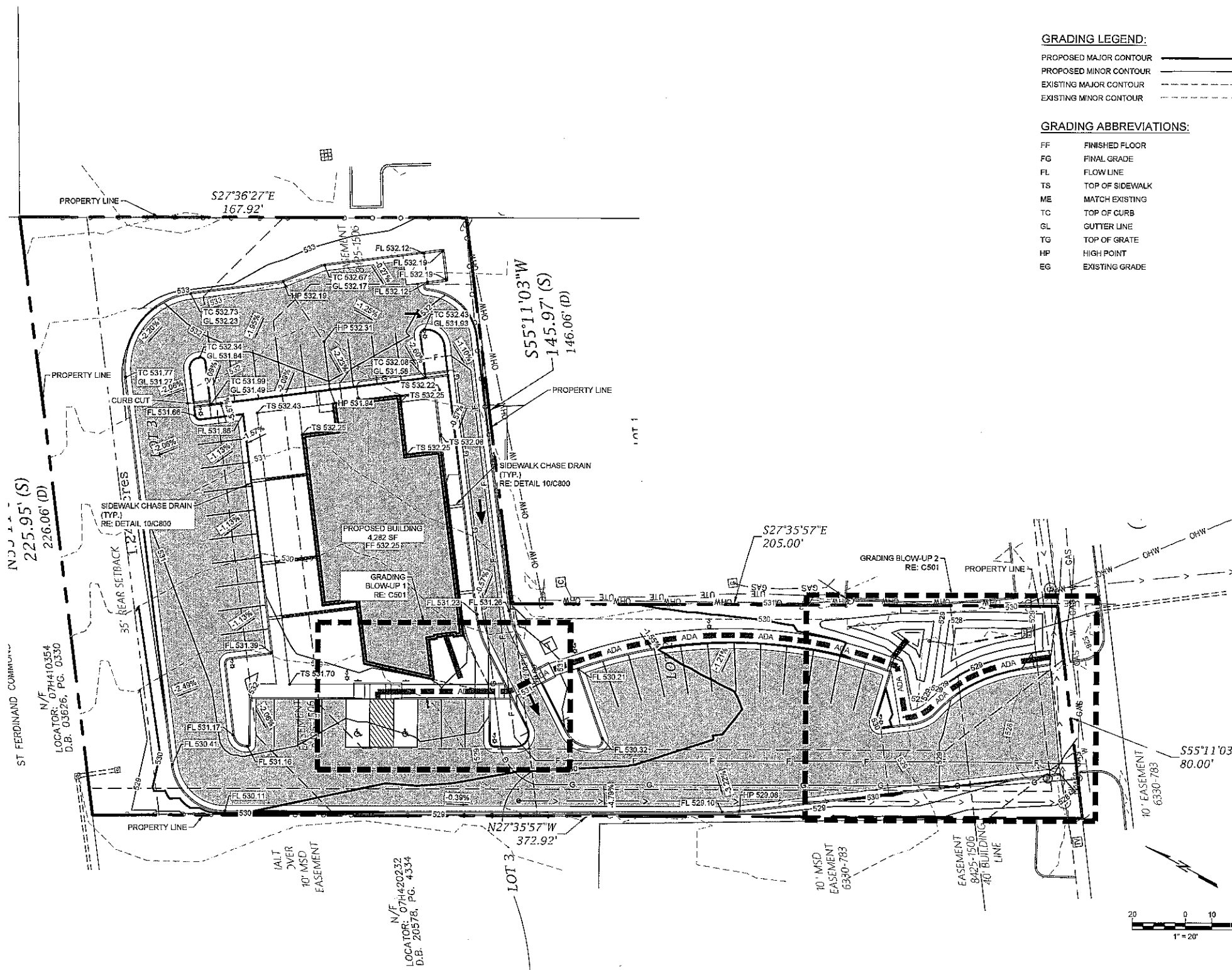
PROPOSED MAJOR CONTOUR	—————
PROPOSED MINOR CONTOUR	—————
EXISTING MAJOR CONTOUR	- - - - -
EXISTING MINOR CONTOUR	- - - - -

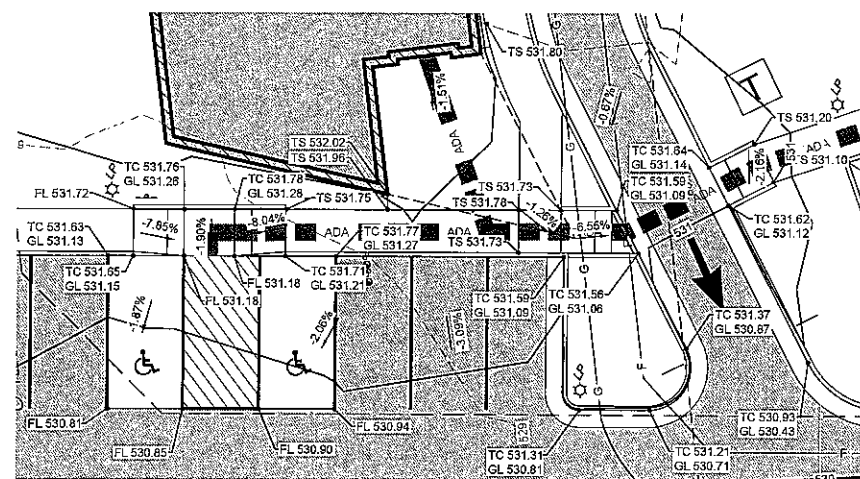
GRADING ABBREVIATIONS:

FF	FINISHED FLOOR
FG	FINAL GRADE
FL	FLOW LINE
TS	TOP OF SIDEWALK
ME	MATCH EXISTING
TC	TOP OF CURB
GL	GUTTER LINE
TG	TOP OF GRATE
HP	HIGH POINT
EG	EXISTING GRADE

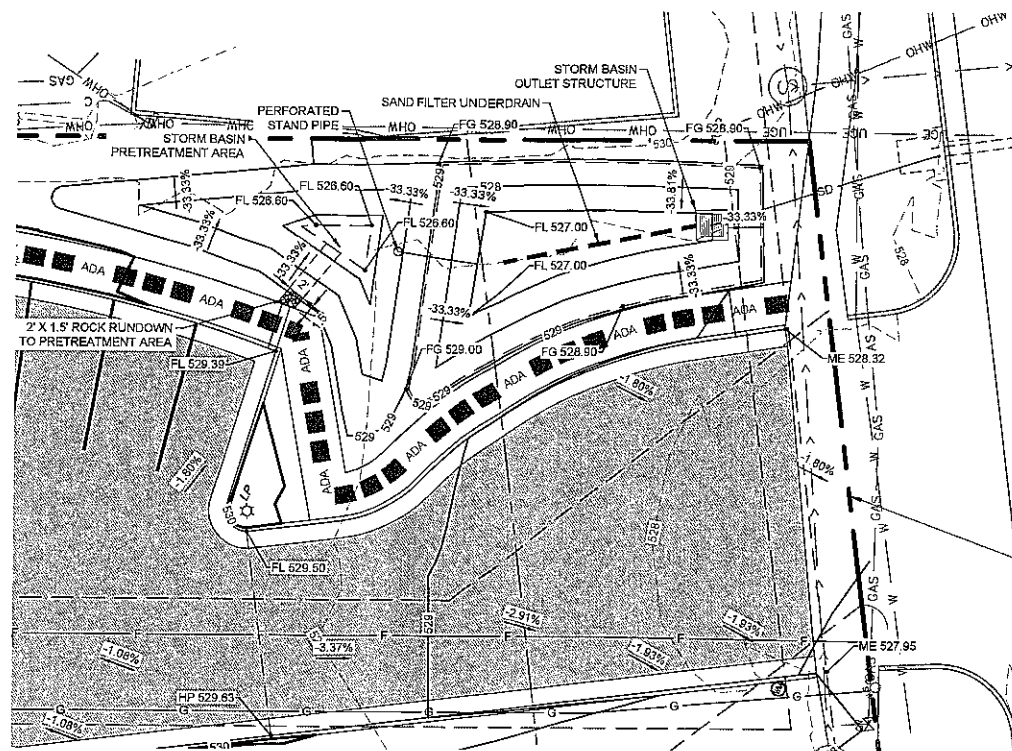
GENERAL GRADING NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY LOCAL AUTHORITIES.
- ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS, AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI. ALL SURVEYING COSTS SHALL BE THE CONTRACTOR'S.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- REFERENCE GEOTECHNICAL ENGINEERING REPORT BY _____ DATED _____ FOR COMPLETE PAVING AND SUBGRADE RECOMMENDATIONS. CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 98% AND 95% STANDARD PROCTOR DENSITY, RESPECTIVELY, AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SPECIFIED THEREIN. CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1/4 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT SITES MUST BE SMOOTH AND MONOLITHIC. ALL GRADING MUST MEET AND MATCH GRADES ON ALL SIDES.
- ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE (EXCEPT AT RAMPS) AND 2% CROSS. ACCESSIBLE PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH THE APPLICABLE ACCESSIBLE DESIGN GUIDELINES.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- LANDSCAPE ISLANDS TO BE FILLED WITH SOIL SUITABLE FOR VEGETATION. THE CONTRACTOR WILL INSURE THAT NO PONDING WILL OCCUR AT LANDSCAPE ISLANDS. ALL SURFACE WATER MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPE. NO WATER SHALL BE TRAPPED.
- CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND DOWNSPOUTS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS AT THE COMPLETION OF THE PROJECT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
- REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.





GRADING BLOW-UP - 1
SCALE: 1"=10'



GRADING BLOW-UP - 2
SCALE: 1"=10'

GENERAL GRADING NOTES:

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED, AND APPROVED BY LOCAL AUTHORITIES.
- ALL BENCHMARKS, CONTROL POINTS, PROPERTY MARKERS, AND RIGHT-OF-WAY MONUMENTS DISTURBED OR DESTROYED SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI. ALL SURVEYING COSTS SHALL BE THE CONTRACTOR'S.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- REFERENCE GEOTECHNICAL ENGINEERING REPORT BY _____ DATED _____ FOR COMPLETE PAVING AND SUBGRADE RECOMMENDATIONS. CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- IF EXCAVATED MATERIAL IS UNSUITABLE FOR COMPACTION, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL FURNISH SUITABLE BORROW.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION, COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 98% AND 95% STANDARD PROCTOR DENSITY, RESPECTIVELY, AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SPECIFIED THEREIN. CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- EXCAVATE TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.
- GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, ABRUPT CHANGES IN SLOPES SHALL BE WELL ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
- CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT SITES MUST BE SMOOTH AND MONOLITHIC. ALL GRADING MUST MEET AND MATCH GRADES ON ALL SIDES.
- ACCESSIBLE ROUTES AND SIDEWALKS ARE NOT TO EXCEED 5% RUNNING SLOPE (EXCEPT AT RAMPS) AND 2% CROSS. ACCESSIBLE PARKING AND ACCESS AISLES NOT TO EXCEED 2% SLOPE IN ANY DIRECTION. ALL RAMPS SHALL COMPLY WITH THE APPLICABLE ACCESSIBLE DESIGN GUIDELINES.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- LANDSCAPE ISLANDS TO BE FILLED WITH SOIL SUITABLE FOR VEGETATION. THE CONTRACTOR WILL INSURE THAT NO PONDING WILL OCCUR AT LANDSCAPE ISLANDS. ALL SURFACE WATER MUST DRAIN AROUND THE ISLAND WITH POSITIVE SLOPE. NO WATER SHALL BE TRAPPED.
- CONTRACTOR SHALL MEET AND MATCH TOP OF JUNCTION BOXES/MANHOLES OR CLEANOUTS WITH FINISHED PAVING GRADES. FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO JUNCTION BOX/MANHOLE LIDS, WATER METER LIDS, AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND DOWNSPOUTS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS AT THE COMPLETION OF THE PROJECT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED SOIL AREAS SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL AND SHALL BE PERMANENTLY STABILIZED WITH SEED OR SOD.
- REMOVE ALL TREES (INCLUDING ROOTBALLS), GRASS, WEEDS, ROOTS, AND OTHER DEBRIS FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
- EXISTING TREES WHERE INDICATED SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES.

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GRADING BLOW-UPS

PROJECT NO.: 22-009

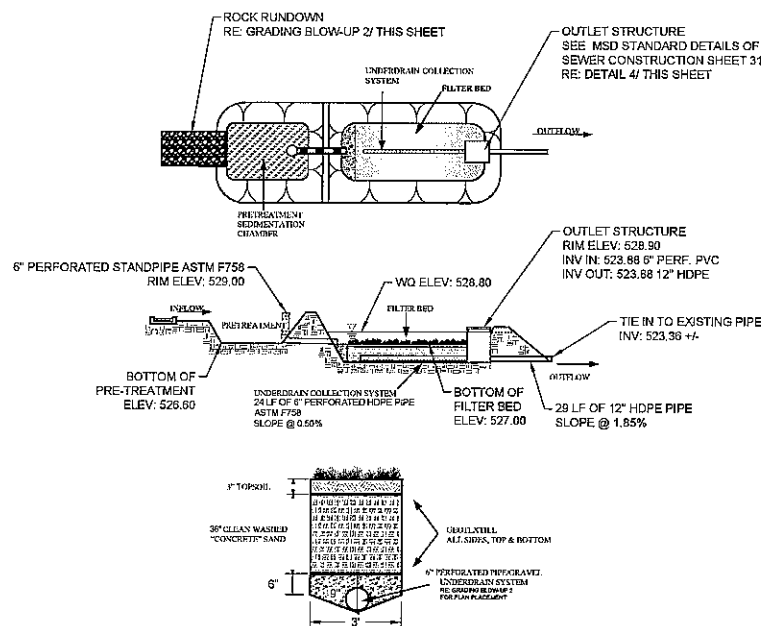
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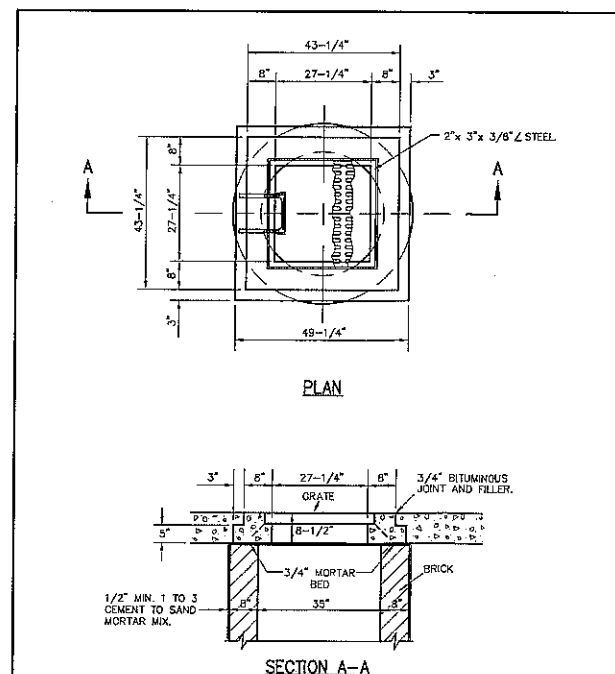
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3 SAND FILTER SYSTEM
SCALE: NTS



NOTES:
1) INLETS ON THIS SHEET ARE TO BE USED IN LOCATIONS WHERE STANDARD OPEN THROAT INLETS CANNOT BE USED IN PAVED TRAFFIC WAY AND IN LIMITED EASEMENTS.
2) STANDARD DEPTH = 4.0 FEET.

2 GRATE INLET BRICK CONSTRUCTION		METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>	
Dr. RGW/SAM Ch. J.C.K.	2009	SHEET 31	

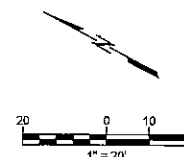
4 OUTLET STRUCTURE
SCALE: NTS

GRADING LEGEND:

- PROPOSED MAJOR CONTOUR ————
- PROPOSED MINOR CONTOUR ————
- EXISTING MAJOR CONTOUR - - - - -
- EXISTING MINOR CONTOUR - - - - -

GRADING ABBREVIATIONS:

- FF FINISHED FLOOR
- FG FINAL GRADE
- FL FLOW LINE
- TS TOP OF SIDEWALK
- ME MATCH EXISTING
- TC TOP OF CURB
- GL GUTTER LINE
- TG TOP OF GRATE
- HP HIGH POINT
- EG EXISTING GRADE



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UTILITY PLAN

PROJECT NO.: 22-009

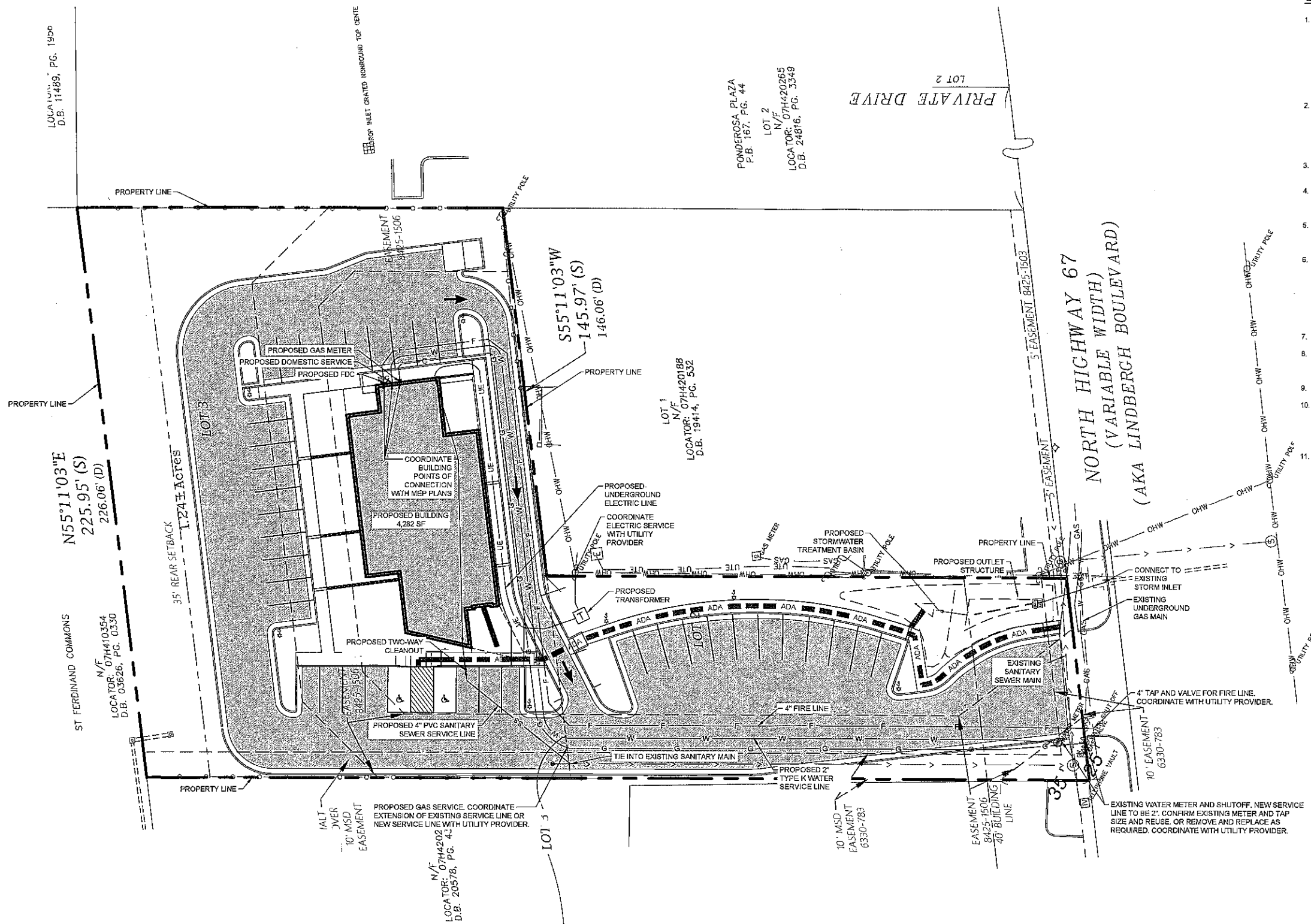
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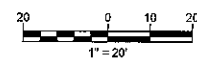
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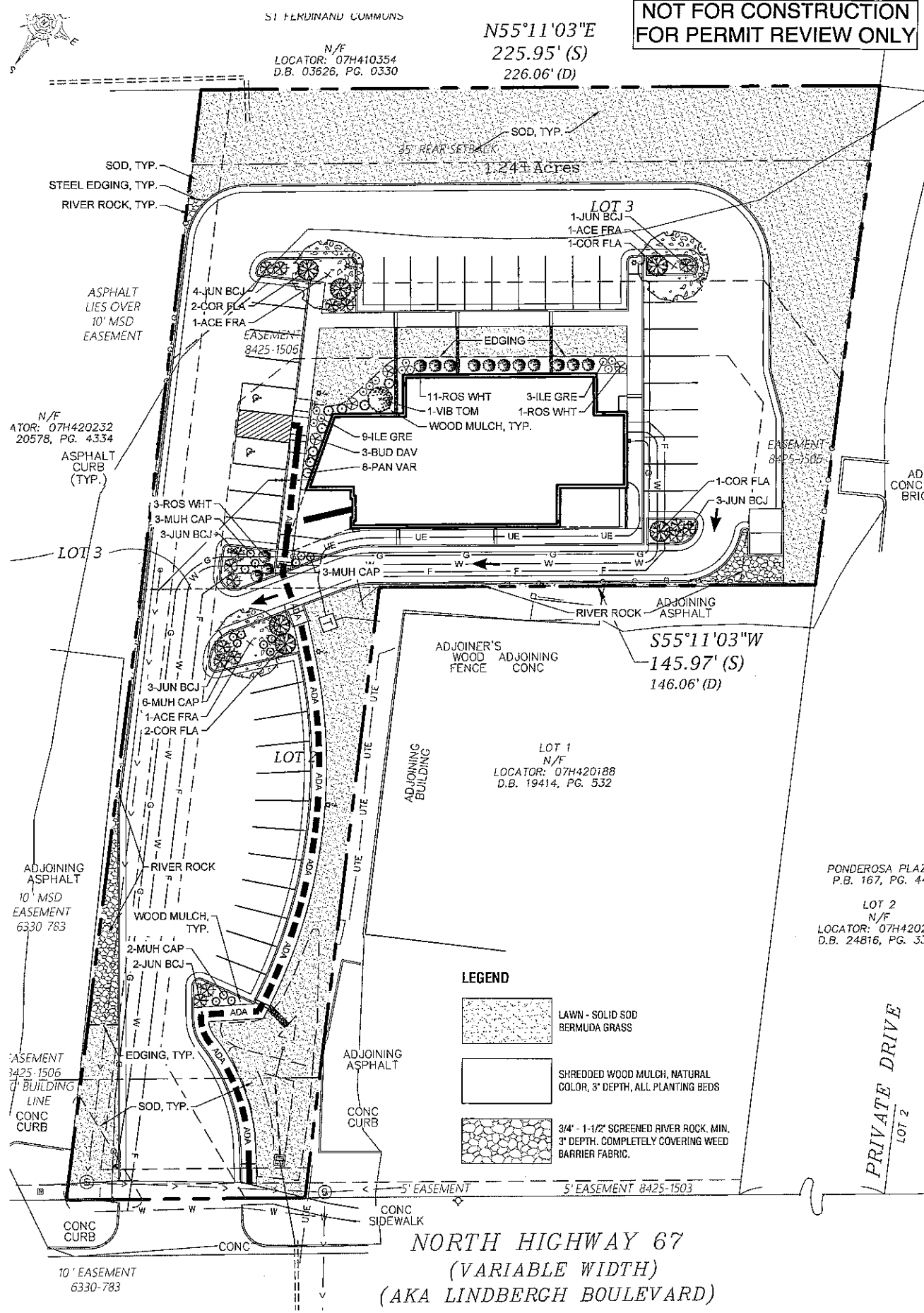
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GENERAL UTILITY NOTES:

1. PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE. SERVICE LINES SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS (TELECOMMUNICATIONS, ELECTRIC, GAS, ETC.) PRIOR TO INSTALLING SERVICE LINES OR APPURTENANCES. CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
2. THIS PLAN DEPICTS THE INTENT OF PRIVATE AND FRANCHISE UTILITY ROUTINGS AS UNDERSTOOD DURING DESIGN PHASES OF THE PROJECT. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO NEGOTIATE ALL CONTRACTS FOR SERVICE WITH EACH INDIVIDUAL UTILITY COMPANY AND TO PROVIDE THE ENGINEER WITH ANY DOCUMENTS THAT MAY AFFECT THE LAYOUT.
3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS BEFORE CONNECTING TO ANY EXISTING LINE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
5. NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. TERMINATE SERVICE PIPING 5' FROM BUILDING WALL UNTIL BUILDING PIPING SYSTEMS ARE INSTALLED. TERMINATE PIPING WITH VALVE AND CAP PLUG OR FLANGE AS REQUIRED FOR PIPING MATERIAL. MAKE CONNECTIONS TO BUILDING PIPING SYSTEMS WHEN THOSE SYSTEMS ARE INSTALLED.
7. FIRE LINE BACKFLOW PREVENTER (DOUBLE CHECK ASSEMBLY) SHALL BE LOCATED INSIDE THE BUILDING.
8. ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
9. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR CONTINUATION OF UTILITIES AT BUILDING.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS (INCLUDING IRRIGATION SLEEVES) PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS. THE CONTRACTOR SHALL INSTALL ALL CONDUITS WITH A PULL STRING. ALL CONDUIT SHALL BE SCH. 40 PVC, UNLESS NOTED OTHERWISE.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.





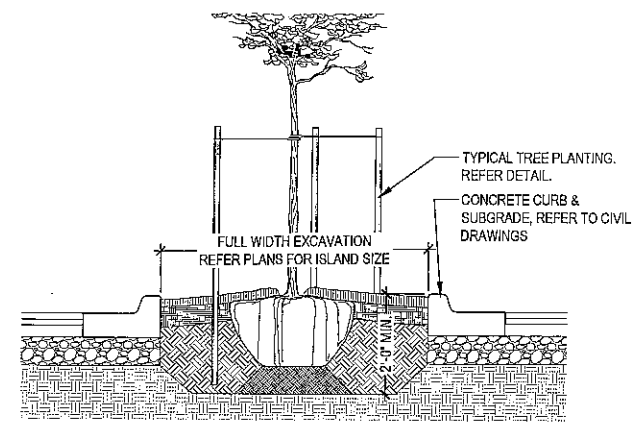
- LANDSCAPE REQUIREMENTS**
- PARKING LOT REQUIREMENTS**
- REQUIRED: ONE 2" CAL. TREE PER 15 PARKING SPACES
40 SPACES = 3 TREES
 - PROVIDED: 3 TREES
- BUILDING PERIMETER REQUIREMENTS**
- REQUIRED: 1 PLANT PER FIVE LINEAR FEET OF EXTERIOR WALL
311 LINEAR FEET = 63 PLANTS
 - PROVIDED: 76 PLANTS
- LANDSCAPE BUFFER REQUIREMENTS**
- REQUIRED: 15' BUFFER IF ADJACENT TO RESIDENTIAL
 - PROVIDED: N/A - NO RESIDENTIAL
- LANDSCAPE AREA REQUIREMENTS**
- REQUIRED: 30% LANDSCAPING FOR SITES 1.0 - 1.99 ACRES
53,913 SF = 1.24 ACRES = 16,174 SF LANDSCAPE AREA
 - PROVIDED: 17,416 SF

PLANT LIST

KEY	QUAN	UNIT	NAME	SIZE	ROOT BALL	REMARKS
ACE FRA	3	EA.	ACER RUBRUM 'FRANKSRED' RED SUNSET RED MAPLE	2.5" CAL	B&B	MATCHED
BUD DAV	4	EA.	BUDDLEJA DAVIDII 'BLACK KNIGHT' BUTTERFLY BUSH	#3C	4'-0" O.C.	
COR FLA	6	EA.	CORNUS SERICEA 'FLAVIRAMEA' YELLOW TWIG DOGWOOD	#3C	4'-0" O.C.	
ILE GRE	12	EA.	ILEX VOMITORIA 'GREMOR' PP21168 MICRON HOLLY	#3C	4'-0" O.C.	
JUN BCJ	16	EA.	JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	#3C	5'-0" O.C.	
MUH CAP	15	EA.	MUHLENBERGIA CAPILLARIS 'LENGA' REGAL MIST PINK MUHLY GRASS	#1C	3'-0" O.C.	
PAN VAR	8	EA.	PANICUM VIRGATUM 'HEAVY METAL' HEAVY METAL SWITCHGRASS	#1C	3'-0" O.C.	
ROS WHT	14	EA.	ROSA X 'RADWHITE' PP #20273 WHITE KNOCK OUT ROSE	#3C	4'-0" O.C.	
VIB TOM	1	EA.	VIBURNUM PLICATUM TOMENTOSUM SUMMER SNOWFLAKE VIBURNUM	#3C	N/A	

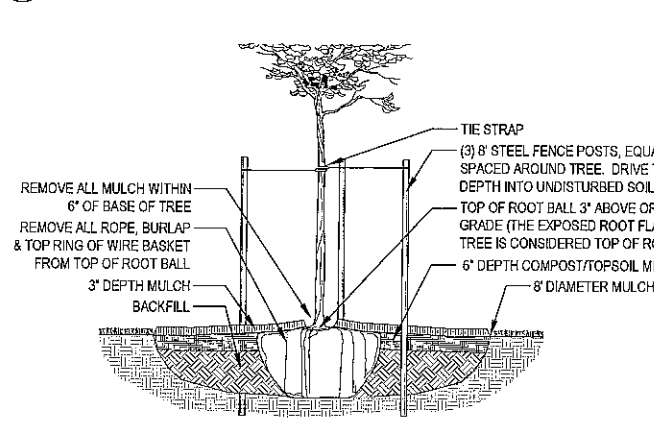
- LAYOUT NOTES**
- H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULT-TRUNK
 - O.C. INDICATES APPROXIMATE SPACING TO BE EQUAL ON CENTER. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.
 - MATCHED: SIZE AND OTHER PHYSICAL CHARACTERISTICS TO BE SIMILAR. ALL DIMENSIONS TO BE WITHIN 5% RANGE.
 - QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST.
 - 2" CALIPER TREES AND LARGER TO BE LIMBED 5' MINIMUM TO FIRST BRANCH WITH NO VISIBLE PRUNING MARKS ALLOWED UNLESS OTHERWISE NOTED.
 - ALL TREES TO HAVE A SINGLE CENTRAL LEADER UNLESS OTHERWISE NOTED.

- LANDSCAPE STATEMENT**
- WALLACE DESIGN COLLECTIVE AN OKLAHOMA CORPORATION, AND THE UNDERSIGNED ARLIN VANCIUREN, REGISTERED LANDSCAPE ARCHITECT NUMBER 2015024031, DO HEREBY STATE THAT IN OUR PROFESSIONAL OPINION THE SUBMITTED LANDSCAPE PLAN IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE ZONING CODE OF THE CITY OF FLORISSANT, MISSOURI.
- 08/09/2023



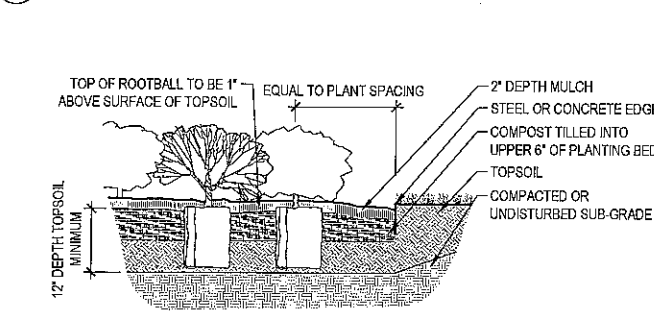
- NOTES**
- REFER TO CIVIL PLANS FOR PARKING LAYOUT.
 - TREES IN PARKING LOT ISLANDS TO BE INSTALLED SIMILAR TO TYPICAL TREE PLANTING.
 - CENTER OF PARKING LOT ISLANDS TO BE MOUNDED AT 5% MINIMUM.
 - EXCAVATION FOR PLANTING AREAS IN PARKING LOT ISLANDS TO BE 2'-0" MINIMUM WITH TOPSOIL FILL EXTENDING 6" MINIMUM BELOW TREE ROOTBALL WITH COMPACTED TOPSOIL FOR SUPPORT AS SHOWN.

2 TREE PLANTING IN PARKING ISLAND



- NOTES**
- EXCAVATED MATERIAL MAY BE USED FOR BACKFILL IF MATERIAL IS FRIABLE AND FREE OF ROCKS AND CLODS OVER 2" DIAMETER. PROVIDE ADDITIONAL TOPSOIL IF NEEDED FOR TOPSOIL/COMPOST MIX AT SURFACE.
 - AT ROOT FLARE, MAIN ORDER ROOTS TO BE A MAXIMUM OF 1" BELOW TOP OF ROOT BALL SOIL SURFACE.
 - COMPOST TO BE EQUAL TO BACK TO EARTH COMPOSTED COTTON BURS.
 - COMPOST TO BE INCORPORATED INTO UPPER 6" OF BACKFILL BY APPROVED MEANS AT THE RATE OF 8 CUBIC FEET (4-20" BAGS) FOR EACH TREE PLANTING AREA.

3 TYPICAL TREE PLANTING



- NOTES**
- EXCAVATED MATERIAL MAY BE USED FOR BACKFILL IF MATERIAL IS FRIABLE AND FREE OF ROCKS AND CLODS OVER 2" DIAMETER. PROVIDE ADDITIONAL TOPSOIL IF NEEDED FOR TOPSOIL/COMPOST MIX AT SURFACE.
 - COMPOST TO BE EQUAL TO BACK TO EARTH COMPOSTED COTTON BURS.
 - 2" LAYER OF COMPOST TO BE INCORPORATED INTO UPPER 6" OF BACKFILL BY APPROVED MEANS FOR ALL SHRUB PLANTING AREAS.

3 TYPICAL SHRUB PLANTING



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08/09/2023

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LANDSCAPE PLAN

PROJECT NO.: 22-009
DATE: 07.19.2023
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LANDSCAPE GRADING & TOPSOIL

1. TOPSOIL: REUSE FROM STOCKPILE AND PROVIDE NEW TOPSOIL AS NEEDED.
2. IMPORTED TOPSOIL: FRIABLE LOAM, TYPICAL OF CULTIVATED TOPSOILS LOCALLY; FREE OF SUBSOIL, ROOTS, GRASS, EXCESSIVE AMOUNT OF WEEDS, STONE, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 6.0 TO 7.0; CONTAINING A MINIMUM OF 2 PERCENT AND A MAXIMUM OF 5 PERCENT ORGANIC MATTER. TOPSOIL SHALL NOT BE DELIVERED OR USED FOR PLANTING WHILE IN A FROZEN OR MUDDY CONDITION. TOPSOIL SHALL CONFORM TO THE FOLLOWING GRAIN SIZE DISTRIBUTION FOR MATERIAL PASSING THE #10 SIEVE:

U.S. SIEVE SIZE	NUMBER	PERCENT PASSING	
		MINIMUM	MAXIMUM
10	100	100	100
18	85	85	100
35	70	85	100
60	50	85	100
140	35	63	100
270	32	52	100
0.002MM	3	8	100

3. SUBMIT SOURCE AND ANALYSIS OF TOPSOIL FOR BACKFILL. TEST TO BE PERFORMED BY ACCREDITED SOILS LABORATORY. SUBMITS SOILS TEST AND RECOMMENDATIONS FOR AMENDMENTS INCLUDING ADJUSTING SOIL PH TO A VALUE BETWEEN 6.0 AND 7.0.
4. ELIMINATE UNEVEN AREAS AND LOW SPOTS. REMOVE DEBRIS, ROOTS, BRANCHES, STONES, IN EXCESS OF 1 INCH IN SIZE. REMOVE SUB-GRADE CONTAMINATED WITH PETROLEUM PRODUCTS.
5. SCARIFY SUB-GRADE TO DEPTH OF 6 INCHES WHERE TOPSOIL IS SCHEDULED. REMOVE DEBRIS THAT IS BROUGHT TO THE SURFACE IN EXCESS OF 1 INCH IN SIZE.
6. REVIEW SUB-GRADE SCARIFICATION WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCING PLACEMENT OF TOPSOIL.
7. USE TOPSOIL IN RELATIVELY DRY STATE. PLACE DURING DRY WEATHER.
8. FINE GRADE TOPSOIL OR PLANTING MIX ELIMINATING ROUGH OR LOW AREAS. MAINTAIN LEVELS, PROFILES, AND CONTOURS OF SUB-GRADE.
9. REMOVE STONE, ROOTS, GRASS, WEEDS, DEBRIS, AND FOREIGN MATERIAL WHILE SPREADING.
10. MANUALLY SPREAD TOPSOIL OR PLANTING MIX AROUND TREES, PLANTS, AND STRUCTURES, TO PREVENT DAMAGE.
11. LIGHTLY COMPACT PLACED TOPSOIL.
12. REMOVE SURPLUS SUBSOIL AND TOPSOIL FROM SITE.
13. LEAVE STOCKPILE AREA AND SITE CLEAN AND RAKED, READY TO RECEIVE LANDSCAPING.
14. TOP OF TOPSOIL OR PLANTING MIX TOLERANCES: PLUS OR MINUS 1/2 INCH.
15. REQUIRED TOPSOIL DEPTH FOR LANDSCAPE AREAS:
 - A. LAWN AREAS: 6 INCHES MINIMUM TOPSOIL.
 - B. PLANTING BEDS (SHRUBS, GROUND COVER, ETC.): 12 INCHES MINIMUM TOPSOIL.

SODDING

1. SOD: CULTIVATED GRASS SOD; WITH STRONG FIBROUS ROOT SYSTEM, FREE OF STONES, BURNED OR BARE SPOTS, AND WEEDS.
2. VERIFY THAT PREPARED SOIL BASE IS READY TO RECEIVE THE WORK OF THIS SECTION.
3. SUBMIT GRASS SPECIES AND LOCATION OF SOD SOURCE FOR APPROVAL.
4. DELIVER SOD ON PALLETS. PROTECT EXPOSED ROOTS FROM DEHYDRATION.
5. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
6. COORDINATE THE WORK OF THIS SECTION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM AND PLANT MATERIAL AS APPLICABLE.
7. MAINTAIN SODDED AREAS IMMEDIATELY AFTER PLACEMENT UNTIL GRASS IS WELL ESTABLISHED, HAS ACHIEVED COMPLETE COVERAGE, AND EXHIBITS A VIGOROUS GROWING CONDITION OR UNTIL DATE OF SUBSTANTIAL COMPLETION WHICHEVER IS LONGER. MAINTENANCE PERIOD SHALL INCLUDE MINIMUM OF TWO MOWINGS.
8. FINISH GRADE AREAS TO BE SODDED SO THAT THE SURFACE IS SMOOTH AND IS APPROXIMATELY 1 INCH BELOW ADJOINING SIDEWALKS AND OTHER PAVED SURFACES.
9. REMOVE ALL WEEDS AND GRASSES FROM AREAS TO BE SODDED.
10. PLANTING SURFACE SHALL BE MADE FRIABLE BY APPROVED METHOD OF SCARIFICATION. PREPARED SURFACE SHALL BE FLOATED SMOOTH AND FREE OF BUMPS AND DEPRESSIONS. REMOVE STONES AND FOREIGN MATTER OVER 2 INCHES IN DIAMETER FROM TOP 2 INCHES OF SOD BED. PLANT IMMEDIATELY THEREAFTER, PROVIDED THE BED HAS REMAINED IN A FRIABLE CONDITION AND HAS NOT BECOME MUDDY OR HARD. IF IT HAS BECOME HARD, TILL TO A FRIABLE CONDITION AGAIN.
11. APPLY FERTILIZER NO MORE THAN 48 HOURS BEFORE LAYING SOD.
12. LIGHTLY WATER TO AID THE DISSIPATION OF FERTILIZER.
13. PRIOR TO LAYING SOD, INCORPORATE SOIL AMENDMENTS SUCH AS LIME AND SULPHUR AT RATES RECOMMENDED BY SOILS TESTS TO A 4 INCH DEPTH.
14. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD.
15. LAY SOD IMMEDIATELY ON DELIVERY TO SITE WITHIN 24 HOURS AFTER HARVESTING TO PREVENT DETERIORATION.
16. LAY SOD TIGHT WITH NO OPEN JOINTS VISIBLE AND NO OVERLAPPING; STAGGER END JOINTS 12 INCHES MINIMUM. DO NOT STRETCH OR OVERLAP SOD PIECES.
17. FINISHED SODDING TO BE SMOOTH AND FREE OF BUMPS AND DEPRESSIONS. SURFACE TO BE FLUSH WITH ADJOINING GRASS AREAS IF ANY. PLACE TOP ELEVATION OF SOD APPROXIMATELY 1/2 INCH BELOW ADJOINING EDGING, PAVING AND CURBS. GRADE PLANTING SURFACE AS NECESSARY TO ACCOMPLISH ABOVE.
18. ON SLOPES 4 INCHES PER FOOT AND STEEPER, LAY SOD PERPENDICULAR TO SLOPE AND SECURE EVERY ROW WITH WOODEN PEGS AT MAXIMUM 2 FEET ON CENTER. DRIVE PEGS FLUSH WITH SOIL PORTION OF SOD.
19. WATER SODDED AREAS DEEPLY IMMEDIATELY AFTER INSTALLATION.
20. AFTER SOD AND SOIL HAVE DRIED SUFFICIENTLY, ROLL SODDED AREAS TO INSURE GOOD BOND BETWEEN SOD AND SOIL AND TO REMOVE MINOR DEPRESSIONS AND IRREGULARITIES.
21. SODDED AREAS TO BE VIGOROUSLY GROWING AT TIME OF FINAL ACCEPTANCE OR IF INSTALLATION OCCURS DURING DORMANCY WARRANTY TO EXTEND THROUGH FIRST MONTH OF FOLLOWING GROWING SEASON. AT CONCLUSION OF INITIAL WARRANTY PERIOD REPLACE DEAD OR UNHEALTHY SOD.
22. MOW GRASS AT REGULAR INTERVALS TO MAINTAIN AT A MAXIMUM HEIGHT OF 2-1/2". DO NOT CUT MORE THAN 1/3 OF GRASS BLADE AT ANY ONE MOWING.
23. NEATLY TRIM EDGES AND HAND CLIP WHERE NECESSARY.
24. IMMEDIATELY REMOVE CLIPPINGS AFTER MOWING AND TRIMMING.
25. WATER SUFFICIENTLY TO INSURE ESTABLISHMENT AND MAINTAIN VIGOROUS APPEARANCE.
26. ROLL AND/OR TOPDRESS SURFACE AS NEEDED TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES.
27. CONTROL GROWTH OF WEEDS. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM IMPROPER USE OF HERBICIDES.
28. IMMEDIATELY REPLACE SOD IN AREAS WHICH SHOW DETERIORATION OR BARE SPOTS. ANY AREAS THAT HAVE HAD TOPSOIL WASHED AWAY SHALL BE FILLED TO MATCH SPECIFIED GRADE WITH TOPSOIL BEFORE RESODDING.
29. PROTECT SODDED AREAS WITH WARNING SIGNS DURING MAINTENANCE PERIOD.
30. APPLY APPROVED FERTILIZER AT RATE TO PROVIDE 1-1/2 POUNDS OF ACTUAL NITROGEN PER 1000 SQUARE FEET EVERY 25 DAYS DURING GROWING SEASON.
31. FOR THE PURPOSE OF ESTABLISHING AN ACCEPTABLE STANDARD, NO BARE AREAS WILL BE PERMITTED.

**NOT FOR CONSTRUCTION
FOR PERMIT REVIEW ONLY**

PLANTING

1. WORK REQUIRED IN THIS SECTION TO BE PERFORMED BY EXPERIENCED PERSONNEL UNDER DIRECTION OF A SKILLED FOREMAN.
2. CONTRACTOR SHALL LOCATE ALL MATERIALS AND BE RESPONSIBLE FOR CONFORMANCE WITH REQUIREMENTS OF THIS SECTION. ALL PLANTS NOT MEETING REQUIREMENTS SHALL BE REJECTED.
3. ALL TREES TO BE REVIEWED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING
 - A. TREES WILL BE REVIEWED AT LOCAL GROWING OR NURSERY BY OWNER'S REPRESENTATIVE AND APPROVED BEFORE DELIVERING TO THE SITE. CONTRACTOR SHALL SCHEDULE REVIEW OF PLANT MATERIAL IN SUCH A MANNER THAT NO SINGLE REVIEW PERIOD WILL EXCEED ONE WORKING DAY WITH A MAXIMUM OF TWO REVIEW PERIODS. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL PARTIES PRIOR TO SCHEDULING.
4. ALL PLANT MATERIAL SHALL BE TRUE TO NAME, IN GOOD HEALTH, FREE OF DISEASE AND INSECTS, EXCELLENT IN FORM AND IN CONFORMANCE WITH ANSI Z60. SPECIES AND SIZE IDENTIFIED ON PLANT LIST. ALL PLANTER MATERIALS TO BE NURSERY GROWN.
5. B&B PLANTS TO BE MOVED WITH SOLID BALLS WRAPPED IN BURLAP. PLANTS TO BE LIFTED ONLY BY BALL OR CONTAINER.
6. DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO PLACEMENT. KEEP PLANT MATERIALS NOT IMMEDIATELY INSTALLED MOIST AND PROTECT FROM FREEZING BY COVERING BALL OR CONTAINER WITH MULCH. ANY PLANTS NOT PLANTED WITHIN 3 DAYS OF DELIVERY ARE TO BE HEeled-IN IN A VERTICAL POSITION, ROOT BALLS FULLY ENCOMPASSED BY MULCH AND A TEMPORARY WATERING SYSTEM INSTALLED.
7. WARRANT ALL PLANTS TO BE LIVING, HEALTHY SPECIMENS FOR A PERIOD OF ONE YEAR COMMENCING UPON DATE OF SUBSTANTIAL COMPLETION. WARRANTY PERIOD SHALL TERMINATE ONLY IF PLANTS HAVE BEEN IN FULL LEAF FOR 30 DAYS AT END OF WARRANTY PERIOD. TERMINATION OF WARRANTY PERIOD SHALL BE EXTENDED AS NECESSARY TO COMPLY. ALL MATERIALS TO BE IN VIGOROUS CONDITION AT END OF WARRANTY PERIOD.
8. IMMEDIATELY REMOVE DEAD PLANTS AND PLANTS NOT IN A VIGOROUS CONDITION AND REPLACE AS SOON AS WEATHER CONDITIONS PERMIT. EACH REPLACEMENT SHALL BE COVERED WITH ONE YEAR WARRANTY COMMENCING AT TIME OF PLANTING. REPLACEMENTS TO MATCH ADJACENT PLANTS OF THE SAME SPECIES IN SIZE AND FORM.
9. CONTRACTOR TO BEGIN MAINTENANCE OF PLANT MATERIAL IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL DATE OF SUBSTANTIAL COMPLETION.
10. MAINTENANCE SHALL INCLUDE MEASURES NECESSARY TO ESTABLISH AND MAINTAIN PLANTS IN A VIGOROUS AND HEALTHY GROWING CONDITION. INCLUDE THE FOLLOWING:
 - A. CULTIVATION AND WEEDING OF PLANT BEDS AND TREE PITS. WHEN HERBICIDES ARE USED FOR WEED CONTROL, APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMEDY DAMAGE RESULTING FROM USE OF HERBICIDES.
 - B. WATERING SUFFICIENT TO MAINTAIN OPTIMUM MOISTURE LEVEL.
 - C. PRUNING, INCLUDING REMOVAL OF DEAD OR BROKEN BRANCHES, AND TREATMENT OF PRUNE WOUNDS.
 - D. DISEASE AND INSECT CONTROL.
 - E. MAINTAINING PLANTS IN AN UPRIGHT, PLUMB POSITION, AND REPAIR OF SETTLING.
 - F. MAINTENANCE OF WRAPPINGS, GUYS, TURNBUCKLES AND STAKES. ADJUST TURNBUCKLES OR OTHERWISE KEEP
 - G. GUY WIRES TIGHT. REPAIR OR REPLACE ACCESSORIES WHEN REQUIRED.
11. MULCH: DOUBLE GROUND HARDWOOD BARK MULCH EQUAL TO THAT PRODUCED BY FOSTER BROTHERS, WOOD PRODUCTS INC. www.fosterbrothers.com. SUBMIT TYPE AND SOURCE FOR APPROVAL BY OWNER'S REPRESENTATIVE.
12. FERTILIZER: OSMOCOTE SLOW RELEASE 18-6-12
13. SOIL ACIDIFIER: EQUAL TO TIGER 90 OR ORGANIC SULPHUR 0-0-0-0
14. COMPOST: BACK TO EARTH COMPOSTED COTTON BURRS AS SUPPLIED BY SOIL MENDER PRODUCTS, LP www.soilmender.com
15. METAL EDGING: 3/16 INCH x 4 INCH STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY COL-MET, 3333 MILLER PARK SOUTH, GARLAND, TEXAS 75042, PHONE 972/494-3900, WWW.COLMET.COM. EDGING TO BE SET VERTICAL WITH TOP EDGE 1 INCH ABOVE FINISHED GRADE.
16. WRAPPING MATERIALS: HEAVY PAPER MANUFACTURED FOR TREE WRAPPING PURPOSE.
17. GREEN METAL FENCE POSTS (3 PER TREE) - 8 FOOT HEIGHT.
18. HARDWARE (CABLES, WIRE, EYE BOLTS, AND TURNBUCKLES): NONCORROSIVE; OF SUFFICIENT STRENGTH TO WITHSTAND WIND PRESSURE.
19. TIE STRAPS: SOFT POLYPROPYLENE MATERIAL EQUAL TO ARBORTIE, BY DEEP ROOT PARTNERS, LP, 31 LANGSTON ST., SUITE 4, SAN FRANCISCO, CA, 94103, 1-800-277-7668.
20. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. BERMUDA GRASS, IF PRESENT, TO BE EXTERMINATED BY APPROVED MEANS OR ALL SOIL REMOVED TO 6 INCH DEPTH AND REPLACED WITH TOPSOIL FREE OF BERMUDA GRASS.
21. STAKE TREE LOCATIONS AND PLACE SHRUBS, VINES, AND GROUND COVERS FOR REVIEW AND FINAL ORIENTATION BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
22. OUTLINE BED EDGES FOR APPROVAL BY OWNER'S REPRESENTATIVE.
23. EXCAVATE FOR PLANT MATERIALS. TREE PITS SHALL BE 8" IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM. SLOPE CUT EDGE TO 6" DEPTH AND BOTTOM OF PIT TO DEPTH REQUIRED TO ACCOMMODATE TREE ROOTBALL. SHRUB PITS SHALL BE 12 INCHES GREATER IN DIAMETER THAN ROOT BALL. TOPSOIL FROM EXCAVATION MAY BE RETAINED FOR BACKFILL IF IT IS FRIABLE AND FREE OF ROCK AND CLODS GREATER THAN 2" IN DIA. REMOVE ALL SUBSOIL, ROCK, AND DEBRIS FROM SITE.
24. SET TREES WITH TOP OF ROOT BALL 3 INCHES ABOVE SURROUNDING GRADE, AND OTHER PLANT MATERIALS 1 INCHES ABOVE SURROUNDING GRADE, AFTER SETTLEMENT.
25. REMOVE CONTAINERS FROM CONTAINER-GROWN STOCK. SET PLANTS IN CENTER OF PITS AND BACKFILL WITH TOPSOIL IN 6 INCH LAYERS. PULL AWAY ROPES, WIRES, ETC. FROM THE TOP OF THE BALL.
26. REMOVE ANY SOIL FROM THE TOP OF THE ROOTBALL, TO THE LEVEL OF THE ROOT FLARE.
27. THOROUGHLY WATER SOIL WHEN THE HOLE IS HALF FULL, AND AGAIN WHEN FULL.
28. APPLY 1/2 POUND FERTILIZER EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
29. AFTER PLANTING TREES, FORM A 3" DIAMETER RIDGE OF TOPSOIL AROUND EDGE OF EXCAVATION TO RETAIN WATER.

IRRIGATION

1. IRRIGATION SYSTEM TO BE ELECTRIC SOLENOID CONTROLLED UNDERGROUND SPRINKLER SYSTEM CONSISTING OF PVC PLASTIC PIPE AND FITTINGS, WITH FIXED SPRAY AND VARIABLE ARC ROTARY POP-UP HEADS IN A MULTI-STATION ELECTRIC CONTROL SYSTEM, PROGRAMMED AS APPROVED BY OWNER'S REPRESENTATIVE.
2. SUBMIT THE IRRIGATION DESIGN FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE NO LESS THAN TWO WEEKS PRIOR TO COMMENCING INSTALLATION OPERATIONS. THE DESIGN SHALL INCLUDE THE PIPING LAYOUT, LOCATION AND COVERAGE OF SPRINKLER HEADS, NOZZLE SIZES AND TYPES, PLANT AND LANDSCAPING FEATURES, SITE STRUCTURES, LIST OF FITTINGS TO BE USED, AND CONTROL SYSTEM AND WIRING DIAGRAMS AND DATA; AND SHALL NOTE WATER PRESSURE AT THE PROJECT SITE.
3. UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (REPRODUCIBLES) OF COMPLETED FACILITIES AS INSTALLED. DRAWINGS SHALL BE PROVIDED TO ARCHITECT IN A) ELECTRONIC FORM (AUTOCAD 2010 FORMAT) B) THREE (3) COPIES OF THE AS-BUILT DRAWING IN BLUELINE

- OR PHOTOCOPIY FORM. AS-BUILT DRAWING SHALL SHOW THE MEASURED DISTANCE FROM EASILY IDENTIFIED, FIXED LOCATIONS TO ISOLATION VALVES, ELECTRIC CONTROL VALVES, MANUAL DRAIN VALVES AND WIRE SPLICES. TWO DIMENSIONS FROM FIXED POINTS PER LOCATION ARE REQUIRED.
4. UPON COMPLETION AND FINAL REVIEW OF SYSTEM BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL PROVIDE THREE (3) BINDERS CONTAINING MANUFACTURER'S INSTALLATION, OPERATION AND MAINTENANCE INSTRUCTIONS AS WELL AS A PARTS BREAKDOWN AND CATALOG FOR EACH PIECE OF EQUIPMENT INSTALLED ON THE PROJECT. AS A MINIMUM THE BINDERS SHALL INCLUDE INFORMATION FOR THE IRRIGATION CONTROLLER, BOOSTER PUMP, BACKFLOW PREVENTER, PRESSURE REGULATORS, ISOLATION VALVES, ELECTRIC CONTROL VALVES, DRAIN VALVES, AIR RELIEF VALVES, ALL SPRAY AND ROTARY SPRINKLER HEADS, RAIN AND FREEZE AND MOISTURE SENSORS.
5. IRRIGATION CONTRACTOR TO PROVIDE A RECOMMENDED SCHEDULE FOR RUN TIMES AND FREQUENCY OF WATERING FOR THE FIRST TWO WEEKS, THE FIRST TWO MONTHS, AND THE FIRST TWELVE MONTHS (INCLUDING ALL SEASONAL CHANGE REQUIREMENTS) AFTER COMPLETION OF ENTIRE SYSTEM.
6. CONTRACTOR TO INSTRUCT OWNER'S PERSONNEL IN OPERATION AND MAINTENANCE OF ENTIRE SYSTEM INCLUDING ADJUSTING OF SPRINKLER HEADS.
7. CONTRACTOR TO INSPECT IRRIGATION SYSTEM AT TWO AND FOUR WEEKS AFTER DATE OF SUBSTANTIAL COMPLETION AND MAKE NECESSARY ADJUSTMENTS.
8. ENTIRE IRRIGATION SYSTEM TO BE UNCONDITIONALLY GUARANTEED AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP, INCLUDING REPAIR OF SETTLING OF BACKFILLED AREAS BELOW GRADE AND ADJUSTING HEADS TO PROPER LEAF FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
9. ALL MINOR ADJUSTMENTS, ANY DEFECTIVE ELECTRICAL CONTROL VALVES, SPRINKLER HEADS OR OTHER WORKING PARTS SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE OWNER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
10. ALL DAMAGE BY OTHERS DURING THE ONE-YEAR GUARANTEE PERIOD WILL BE OWNER'S RESPONSIBILITY.
11. ALL MATERIALS TO BE INCORPORATED IN THIS SECTION BE NEW AND OF THE BEST QUALITY MEETING.
 - A. RAINBIRD
 - B. WEATHER-MATIC
 - C. HUNTER
 - D. TORO
13. MAINLINE PIPING TYPE & SIZE: AS INDICATED ON PLANS
14. MAINLINE PIPING DEPTH: 18" MINIMUM DEPTH
15. LATERAL PIPING TYPE & SIZE: ALL LATERAL PIPES, DOWNSTREAM OF THE CONTROL VALVES, SHALL BE HAVE SOLVENT WELD JOINTS AND SHALL MEET THE LATEST REQUIREMENTS OF ASTM D 2241 STANDARD SPECIFICATION FOR POLY (VINYL CHLORIDE) (PVC) PLASTIC PIPE WITH STANDARD DIMENSION RATIO (SDR) OF 21 AND A PRESSURE RATING (PR) OF 200 PSI.
16. LATERAL PIPING DEPTH: 12" MINIMUM DEPTH.
17. LOW FLOW DRIP PIPING TYPE & FITTINGS: RAINBIRD OR EQUAL.
18. LOW FLOW DRIP PIPING DEPTH: BELOW MULCH LAYER OR AS SPECIFIED BY MANUFACTURER.
19. ALL PIPING TO HAVE MAXIMUM VELOCITIES OF FIVE FEET PER SECOND.
20. ALL 1/2" INLET SPRAY HEADS SHALL BE CONNECTED TO THE IRRIGATION PIPING UTILIZING 1/2" THICK WALLED POLYETHYLENE TUBING (RAIN BIRD MODEL SPX-100) AND APPROPRIATE INSERT FITTINGS (RAIN BIRD MODELS SBE-050, SBE-075, SBA-050, SBA-075). SUFFICIENT LENGTHS OF FLEXIBLE PIPE SHALL BE USED TO FORM A SWEEPING ARC TO ENSURE THAT SPRAY HEADS ARE SUPPORTED PROPERLY AND ALLOW FOR VERTICAL ADJUSTMENT AND MOVEMENT DURING SERVICE.
21. SWING JOINTS: EQUAL TO PREFABRICATED SCH. 80 PVC BY SPEARS. FOR USE ON GEAR-DRIVEN ROTARY HEADS, QUICK-COUPLING VALVES, AND GROUND LEVEL POP-UP IMPACT DRIVEN HEADS.
22. ZONE VALVES: RAINBIRD PEB OR EQUAL.
23. WHERE POSSIBLE, LOCATION OF ZONE & OTHER VALVES TO BE IN GROUND COVER OR LOW PLANTING BEDS. VALVES INSTALLED IN TURF AREAS TO BE OUTSIDE NATURAL WALKWAYS AND PATHS.
24. VALVE BOXES FOR ZONE VALVES: EQUAL TO CARSON INDUSTRIES MODEL 1419 WITH 1419-6X EXTENSIONS.
25. VALVE BOXES TO BE SET WITH COVER FLUSH WITH FINISH GRADE WITH EARTH FILL CAREFULLY TAMPED AROUND EACH VALVE BOX.
26. VALVE BOXES SHALL BE SUPPORTED BY BLOCKING BELOW IN SUCH THAT ANY SURFACE LOADS ON THE VALVE BOX ARE NOT TRANSMITTED TO PIPING OR VALVES.
27. VALVE BOXES SHALL HAVE 12" BY 12" BY 6" MINIMUM DEPTH WASHED GRAVEL SUMP TO ALLOW WATER TO DRAIN AWAY FROM VALVES.
28. VALVE BOXES SHALL BE CENTERED ON THE VALVES.
29. ZONE VALVE BOXES TO BE PLACED PARALLEL TO NEARBY CURBS, WALKS, WALL, BUILDINGS, ETC.
30. ABOVE GRADE BACKFLOW PREVENTERS TO BE IN FIBERGLASS ENCLOSURE EQUAL TO "HOT BOX" MANUFACTURED BY NORTHEAST FLORIDA ENTERPRISES, INC. 1-800-736-0238. PLACE ON CONCRETE SLAB AND ANCHOR WITH 4 BOLTS. SIZE TO FIT BACKFLOW PREVENTER. PROVIDE ELECTRICAL CONNECTION FOR HEATER CABLE AS RECOMMENDED BY ENCLOSURE MANUFACTURER.
31. WIRE FOR COMMUNICATION BETWEEN THE CONTROLLER AND DECODERS SHALL BE 14-2 GAUGE MAXI-CABLE AS REQUIRED FOR THE DECODER SYSTEM.
32. ENVIRONMENTAL SENSORS TO BE EQUAL TO RAINBIRD WR2 RAINFREEZE SENSOR. MOUNT SENSOR AT INCONSPICUOUS LOCATION APPROVED BY OWNER'S REPRESENTATIVE USING MANUFACTURER'S RECOMMENDATIONS.
33. CONTRACTOR SHALL PROVIDE A BOOSTER PUMP TO INCREASE THE WATER PRESSURE WHERE NECESSARY TO PROVIDE DESIGNED PRESSURE. THE FINAL BOOSTER PUMP STATION DESIGN CRITERIA WILL DEPEND ON THE DESIGN REQUIREMENTS FOR PROJECT AS WELL AS THE STATIC WATER PRESSURE AT THE TIME OF PROJECT CONSTRUCTION. CONTRACTOR SHALL CONSULT WITH OWNER OR HIS REPRESENTATIVE BEFORE ORDERING THE BOOSTER PUMP.
34. INSTALL AUTOMATIC DRAIN VALVES AT ALL LOW SECTIONS OF LATERAL PIPING (LINES DOWNSTREAM FROM VALVES) TO ENSURE COMPLETE DRAINAGE OF SYSTEM WHEN NOT IN USE. WRAP EACH VALVE WITH APPROVED FILTER FABRIC. MINIMUM OF TWO DRAINS PER ZONE.
35. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION INCLUDING ALL PRESSURE TESTS, CONTRACTOR SHALL CONDUCT A PERFORMANCE TEST OF THE COMPLETE SYSTEM TO INSURE THAT ALL COMPONENTS ARE FUNCTIONING PROPERLY. PERFORMANCE TEST SHALL CONSIST OF OPERATING THE SYSTEM THROUGH A COMPLETE IRRIGATION CYCLE PER DAY FOR TWO (2) CONSECUTIVE DAYS. CONTRACTOR SHALL BE AT THE SITE TO MONITOR THE PERFORMANCE TESTS AND MAKE ANY ADJUSTMENTS AND CORRECTIONS AS NEEDED DURING THE TESTING PERIOD.

PLANTING NOTES

1. CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE RESULTING FROM PLANTING OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
2. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THE SURVEY. CONTACT THE LOCAL UTILITY LOCATION SERVICES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
3. ALL AREAS NOTED AS "LAWN" ON PLAN, AND ALL OTHER AREAS ON SITE WHICH ARE NOT OTHERWISE DESIGNATED AND ARE DAMAGED BY CONSTRUCTION, ARE TO BE PLANTED WITH SOLID SOD BERMUDA GRASS.
4. ALL PLANTING BEDS THAT ADJUT LAWN AREAS TO BE BORDERED BY STEEL EDGING.
5. FINISH GRADE FOR SHRUB, GROUND COVER, AND LAWN AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS UNLESS OTHERWISE NOTED ON DRAWINGS.
6. FIELD STAKE LOCATIONS OF PROPOSED TREES FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY OF TREES.
7. STEPPING STONES TO BE RANDOM SHAPES AND AVERAGE 2X2' IN SIZE. CONTRACTOR TO PROVIDE SAMPLES OF STEPPING STONES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
8. BOULDERS TO BE NATIVE, WEATHERED, FIELD-COLLECTED STONES WITH NO SUBSTANTIAL SCARS AND SHALL HAVE SIGNIFICANT COVERAGE OF LICHENS AND/OR MOSS. DIMENSIONS OF BOULDERS SHALL RANGE FROM 5 TONS TO 2 TONS, WITH 50% OF THE BOULDERS BEING ONE TON OR OVER. BOULDERS TO BE PARTIALLY BURIED TO SIMULATE A NATURAL CONDITION. DEPTH OF BOULDERS TO BE BURIED TO AVERAGE 1/3 OF HEIGHT OR AS NEEDED TO SIMULATE A NATURAL CONDITION. LOCATION AND ORIENTATION OF BOULDERS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE. PLACED BOULDERS TO BE PROTECTED FROM DAMAGE FROM CONSTRUCTION OPERATIONS.
9. FOR ADDITIONAL PLANTING REQUIREMENTS REFER TO SPECIFICATIONS.
10. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES HAVING VISITED THE SITE AND BECOME FAMILIAR WITH THE CONDITIONS RELATED TO THE INSTALLATION OF SITE IMPROVEMENTS.

rudiment
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08/09/2023



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**THE EVOLUTIONS GROUP
DR. ALEX HEATRICE
2855 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63033**

LANDSCAPE NOTES

PROJECT NO.: 22-009
DATE: 07.19.2023
REVISED:

SHEET:
L101

08/09/2023

LANDSCAPE STATEMENT

WALLACE DESIGN COLLECTIVE AN OKLAHOMA CORPORATION, AND THE UNDERSIGNED ARLIN VANCIUREN, REGISTERED LANDSCAPE ARCHITECT NUMBER 2015024031, DO HEREBY STATE THAT IN OUR PROFESSIONAL OPINION THE SUBMITTED LANDSCAPE PLAN IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE ZONING CODE OF THE CITY OF FLORISSANT, MISSOURI.

This document, and the ideas and designs incorporated herein, are the intellectual property of Wallace Design Collective. No part of this document, and its contents, shall be used, in whole or in part, for any other project without the written authorization of Wallace Design Collective, PLLC.

MAC
METAL ARCHITECTURAL

PUSHING
THE ENVELOPE

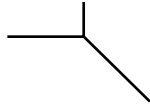
ROOFING
Catalog





MAC

METAL ARCHITECTURAL



For more than 30 years, MAC has been offering its customers top-of-the-line steel cladding profiles designed and manufactured entirely in Canada. Constantly in pursuit of innovation, our company offers products with rich and unique colors, bringing style and elegance to the projects they clad.

We promise you sustainable, high-performance products that will enhance and protect your home's envelope. Backed by a 40-year warranty, they will give you peace of mind for years to come.

At MAC, we do not compromise on quality or aesthetics. We strive to offer you products that are in line with architectural trends so that they are the perfect style complement to your property. We want to help you turn your new project into the dream place you imagined.

In addition to enhancing the look and value of your home by 6–8%, MAC profiles are maintenance-free and offer impeccable, lasting beauty year after year. Discover our unique styles that will perfectly match all your projects!

LET YOURSELF BE INSPIRED!

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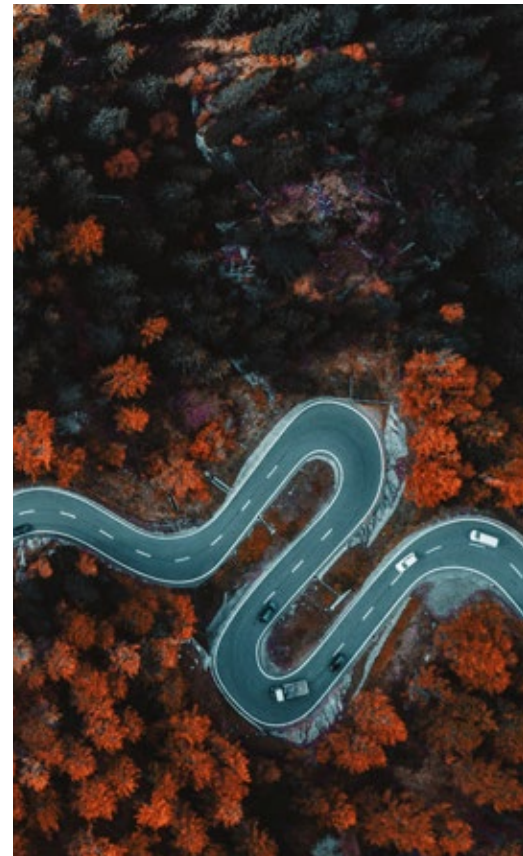


MS 1

Prestige with a classic,
contemporary look

The MS 1 profile blends in with both classic and contemporary architecture. This style of profile, with a triangular pinch strip and a flat 19.25" surface, adds character and prestige to the projects it covers. It is often used in Scandinavian-style projects, where the cladding used is continued from the roof to the walls to create a unique look that will leave no one indifferent.

Our seamless profiles are strong and sustainable, made of 97% recycled steel, and 100% recyclable and maintenance-free.







MS 1

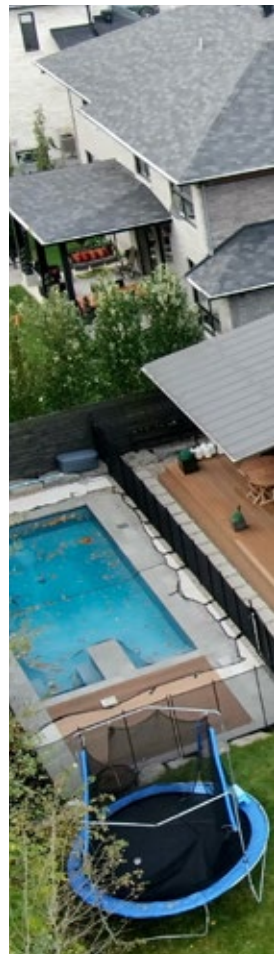
Beauty in simplicity!

CHARACTERISTICS

- Maintenance-free
- 3 times stronger & more durable than asphalt shingle roofing
- 40-year warranty
- Excellent protection against harsh weather conditions
- No visible seams for a sleek, modern look
- 19.25" flat surface
- Triangular strip profile

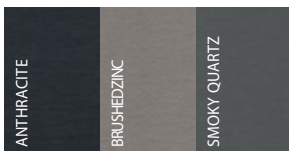


19.25" x 11/16" x 3' @ 60'



AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION







MS 2

Scandinavian style for your home

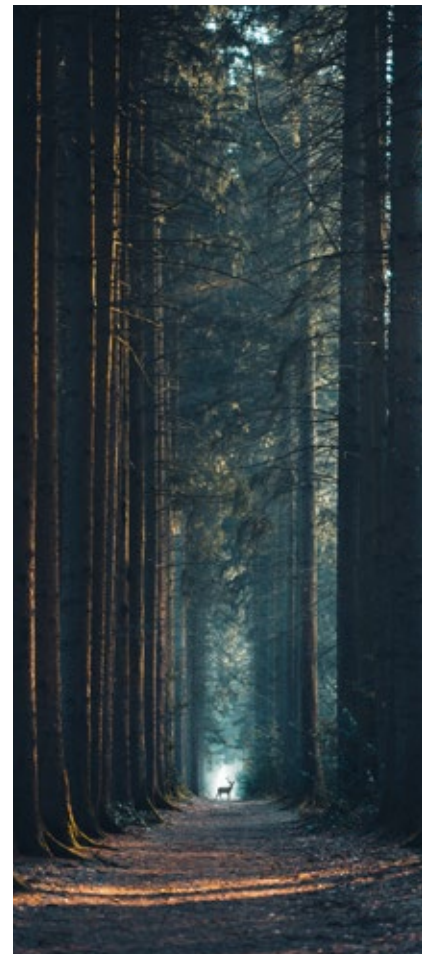
The MS 2 profiles are from the same family as the MS 1 profiles and are reinforced with two longitudinal grooves which add structure to the profile. It is suitable for both classic and contemporary architecture. This style of profile, with a triangular pinch strip, is distinguished by its 19.25'' flat surface, which adds character and prestige to the projects it covers. Often used in Scandinavian-style projects, the cladding is used from the roof to the walls to create a unique look that will not leave anyone indifferent.

CHARACTERISTICS

- Maintenance-free
- 3 times stronger & more durable than asphalt shingle roofing
- 40-year warranty
- Excellent protection against harsh weather conditions
- No visible joints for a clean, modern look
- 19.25'' flat surface incorporating two grooves
- Triangular strip profile



19.25'' x 1 1/16'' x 3' @ 60'

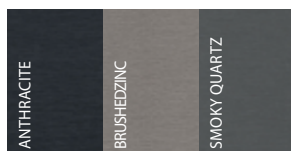




MS 2 | Titanium Black

AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



MS AUTHENTIC

All the charm of ancestral roofs
with a modern touch!

MS Authentic |
Ash Grey

The MS Authentic profile offers all the charm of ancestral steel roofs with horizontal joints and is ideal for creating a traditional architectural style. This style of profile with a triangular pinch strip and a flat 19.25" surface will bring charm and distinction to your home.

CHARACTERISTICS

- Maintenance-free
- 3 times stronger and more durable than asphalt shingle roofing
- 40-year warranty
- Excellent protection against harsh weather conditions
- No visible joints for a clean, modern look
- Triangular strip profile
- Cross joints every 8 feet
- 19.25" flat surface



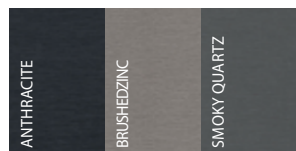
19.25" x 11/16" x 3' @ 60'





AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



MS 3 & MS 4

Harmonious and linear!



The MS 3 and MS 4 profiles perfectly reproduce the old hand-made roofs thanks to a high precision profiling technology that ensures a beautiful finish. Rectangular strip profiles add relief to projects and accentuate architectural details. Treat yourself to the style and aesthetics of MS 3.

CHARACTERISTICS

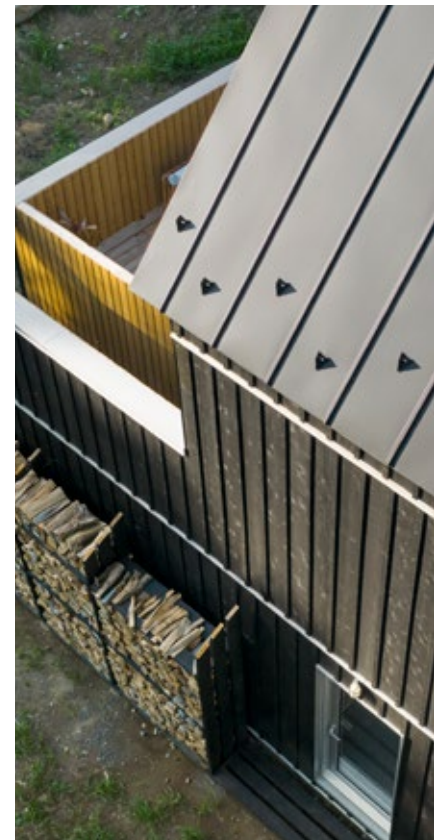
- Maintenance free
- 3 times stronger and more durable than asphalt shingle roofs
- 40 year warranty
- Excellent protection against harsh weather conditions
- No visible joints for a clean, modern look
- MS 3 17.75" flat surface with square bead
- MS 4 17.75" surface with two grooves
- Profile square profile strips

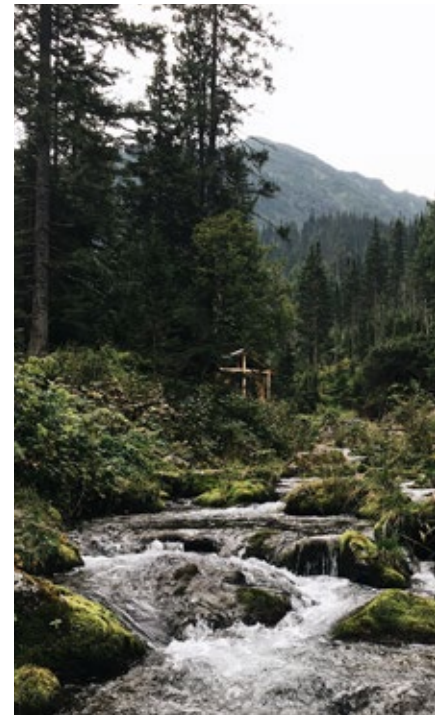


MS 3
17.75" x 1 1/2" x 3' @ 60'



MS 4
17.75" x 1 1/2" x 3' @ 60'

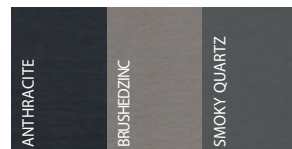




MS 3 | Titanium Black

AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



STEEL

an ecological choice

At the center of all trends and innovations, eco-responsibility and sustainable development are the future of construction and renovation. With the passage of time, environmental standards become increasingly important, and companies must aim for more eco-responsible actions. At MAC Metal Architectural, we do not take the environment lightly, and we do everything we can to surpass ourselves in this area that is so important to us. How do we do this? By using products made from recycled materials on your homes! We are proud to say that MAC steel has low toxic emissions and is 100% recyclable at the end of its long life.

Made of 97% recycled steel / 100% recyclable

Contributes to your project's LEED certification







8 REASONS

to choose MAC



1 // Highly resistant paint

With Textural III & IV, we offer our customers a unique painting process that provides superior protection against weathering, extreme climatic conditions, and scratches.

2 // 40-year warranty

and an incomparable painting process that ensures longevity and durability, we offer all our customers our 40-year Peace of Mind Guarantee: perfect protection against the distinctive weather and climate of our country.

3 // A plus for your property

With a transferable warranty, MAC steel siding offers a double added value to your property. In addition to significant savings in installation costs, you will increase the value of your home by 6–8%.

4 // An environmentally friendly product

MAC steel siding is one of the premium building products of the new millennium. In addition to containing 97% recycled content, MAC products have low toxic emissions and are 100% recyclable at the end of their life.

5 // Maintenance free

MAC steel siding retains its original appearance and requires little maintenance, so you will be assured of peace of mind for years to come.

6 // Increased resistance to rust

MAC pre-painted galvanized steel products and their textural paint system provide increased rust resistance, making them your best protection against harsh weather conditions.

7 // Superior product

Because performance, efficiency, and customer satisfaction are our primary concerns, we never skimp on quality. We can therefore offer you quality profiles that stand out!

8 // Perfect finish

MAC is THE leader in screwless profiles. You will therefore benefit from top-quality products that add a look of prestige to all the buildings they cover.



THE TEXTURAL SYSTEM

Technological performance

MAC's exclusive TEXTURAL III and IV paint processes provide superior protection against extreme weather and climatic conditions.

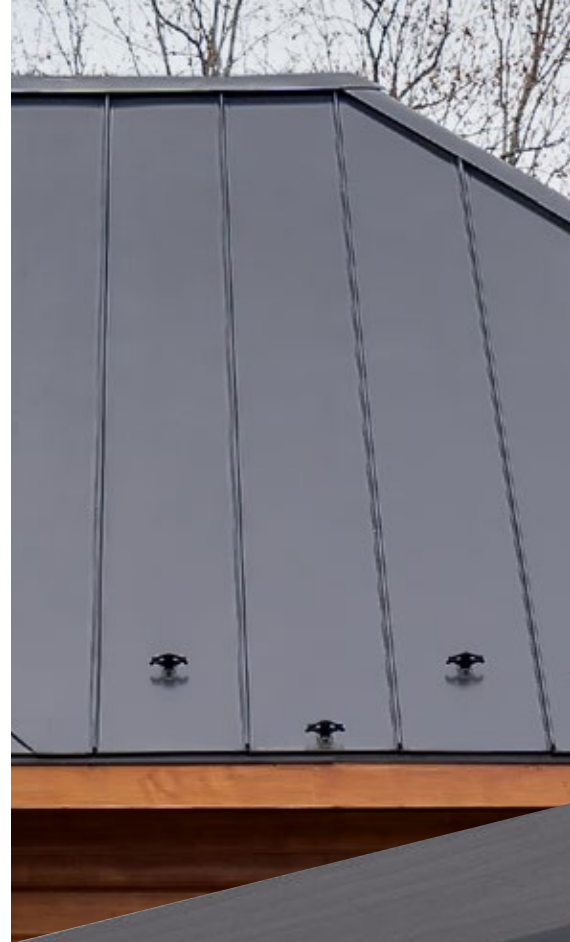
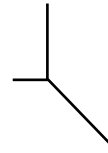
The constant search for aesthetics and premium quality is part of our DNA, which is why TEXTURAL technology is applied to all our products. Our wide variety of colors creates an unparalleled depth of hue and texture, perfectly reproducing noble materials such as oxidized copper, zinc, and wood, while matte surface finishes eliminate unwanted glare from the sun and provide a clean finish.

TEXTURAL TECHNOLOGY PERFORMANCE UNDER THE MICROSCOPE

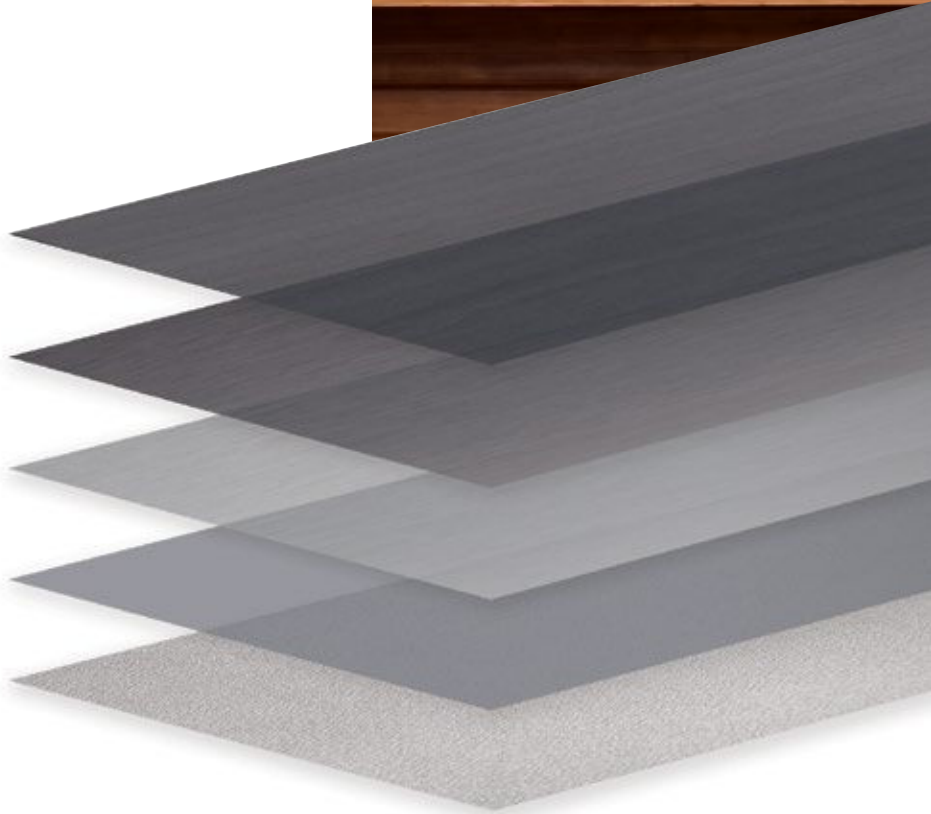
- Exceptional corrosion resistance
- Excellent fade resistance
- Superior protection against weathering and extreme climatic conditions
- Scratch and delamination resistance

2x more resistant to UV rays
3x more resistant to corrosion

MAC uses only the most advanced paint technologies in the industry to provide quality cladding that will last for years to come. Our PVDF-based Wood Collection will retain its natural wood look without the worry of maintenance or fading.



- PROTECTIVE COATING**
POLYESTER TYPE POLYURETHANE
- ZINC COATING G90**
- STEEL SUBSTRATE**
24 OR 26 GAUGE
22 gauge on request
- ZINC COATING G90**
- PRIMER**
Base coat
polyester type



Note that the full range of standard steel colors available on the market can also be ordered upon request. We recommend that you contact your sales representative for availability, quantities, and lead times.

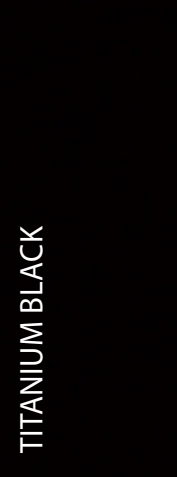
OUR COLORS



SIGNATURE Collection



TITANIUM WHITE



TITANIUM BLACK



ANTHRACITE



BRUSHED ZINC



SMOKY QUARTZ



CHARCOAL GREY



BRIGHT RED



ONYX BLACK



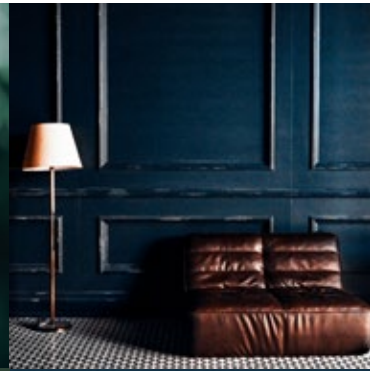
METALLIC GREY



METALLIC COPPER



SLATE GREY



SANDSTONE RED



DARK BROWN



ENGLISH GREEN



AUTUMN BLUE

The colors printed in this brochure are for information purposes only and may vary slightly from the actual color.

ACCESSORIES

The detail is in the finishing touch

With an eye for detail, MAC offers a series of accessories that will complement your project perfectly. This will inevitably make heads turn in the neighborhood.

Our profiles are offered with a series of compatible accessories for a perfect finish in every detail. Discover our moldings, soffits, ventilation vents and snow barriers perfectly adapted to our profiles, and all offered in our unique color series.

Clapping Vent



Snow Guard



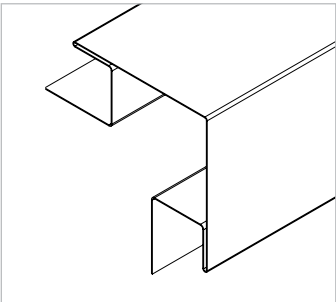
PEAK



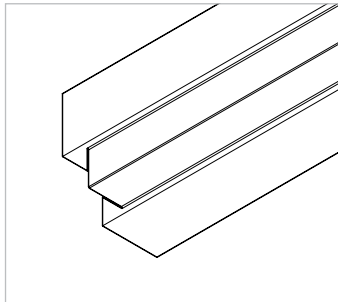
NORTH WEST



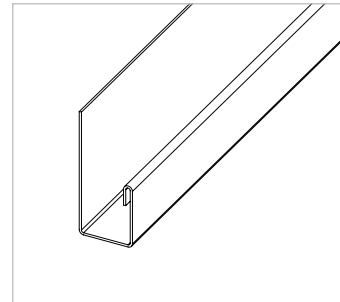
Moldings



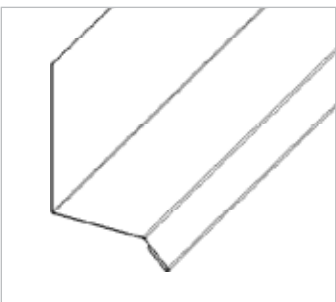
OUTSIDE CORNER



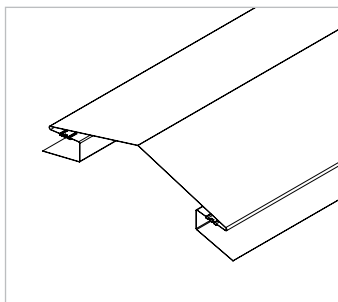
INSIDE CORNER



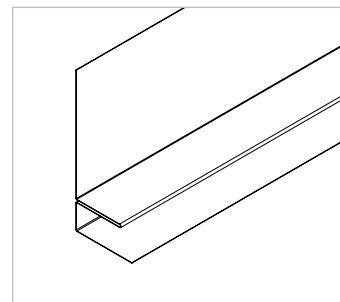
J TRIM



DRIP FLASHING



RIDGE CAP



WALL-ROOF JUNCTION



MAC
METAL ARCHITECTURAL

MAC creates products
with bold designs
that blend in with
the environment around them.

MACMETALARCHITECTURAL.COM

MADE IN CANADA

5975, chemin de la Savane, Saint-Hubert, QC J3Y 0X1
T 450 464-5486 - info@macmetalarchitectural.com

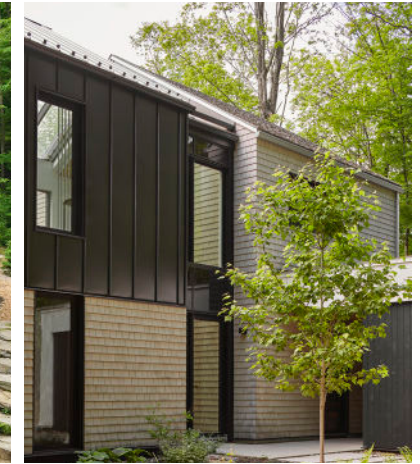


MS 1, MS 2 & MS AUTHENTIC

Data Sheet



Prefinished Steel Roof and Wall Profile Without Visible Screws



MS 1



MS 2



MS AUTHENTIC



DESCRIPTION

Profile designed for both wall and roof installation, offering the possibility to create designs from roof to wall. Vertical installation. Combining the best of durability and aesthetics, this triangular pinch strip profile is a must-have in the design of living spaces that emphasize clean, flat surfaces. Installed as roofing and siding, it will create a balance of perfectly balanced lines from roof to floor, plus a linear design that will stand the test of time!

WARRANTY

Since we use a superior grade of steel and an unparalleled painting process that ensures longevity, MAC offers its customers a 40-year Quiet Guarantee.



INSTALLATION WARRANTY

In the event that a problem occurs during the installation of the profiles, it is important to report the situation immediately to your supplier before proceeding with the rest of the installation. For MS 1, MS 2 and MS Authentic profiles, the supplier must be notified prior to the installation of 500 sq. ft. Beyond 500 sq. ft. the installer is responsible for the installation.

PHYSICAL DATA OF THE PROFILE

Dimensions	
Standard length	Assorted according to plans and specifications up to 60 ft (18.29 m)
Height (covered)	19.25 in (488.95 mm)
Thickness (width)	1.0625 in (27 mm)
Weight (per panel)	26 g 1.06 lb/ft ² (0.48 kg/ft ²) 24 g 1.32 lb/ft ² (0.6 kg/ft ²) 22 g 1.65 lb/ft ² (0.75 kg/ft ²)
Screw holes (openings)	0.75 x 0.1875 in (19 mm x 4.8 mm)
Screw hole intervals	1.5 in (39.1 mm) OR 2.25 in (57.2 mm)
Available gauges	
Gauge 26 & 24 roofing & 22 wall	26 g 24 g 22 g (wall on demand)
Packaging details	
Single package size (for the 3 profiles)	33 x 31 7/8 in (max) x custom length 50 panels
Installation direction	
Installation orientation	vertical
Characteristics of the profiles	
MS 1	Triangular strip Flat surface
MS 2	Triangular strip Incorporate two grooves
MS Authentic	Triangular strip Cross joints every 8 feet

TESTS

WIND RESISTANCE

Resistance to overload due to uniformly distributed static pressure-related winds, according to ASTM Standard D5206-06a.

Resistance type	Pressure
Breaking pressure of a component Failure mode - nailing tape (16 in c/c)	2872 Pa (60 psf)
Breaking pressure of a component Failure mode - nailing tape (24 in c/c)	2872 Pa (60 psf)

FIRE RESISTANCE

- Tested to ASTM-E2768 for use in non-combustible construction in Wildland Urban Interfaces in California (required for WUI listing).
- Tested as per CAN/ULC-S135 for use in non-combustible constructions.
- Tested as per ASTM E84 for non-combustible construction (Class A category).
- Classified 0 Flammability Hazard, according to the NFPA Rating Explanation Guide.

TYPE OF TEST	DESCRIPTION	STATUS
CAN/ULC-S135	Fire resistance (CAN)	Compliant
ASTM E84	Fire resistance (USA)	Class A
W.U.I.	Wildland Urban Interface accreditation	Inscription 8140-2358-0500
ASTM D5206-06A	Maximum sustained pressure	2872 Pa (60 psf) 16 in c/c 2872 Pa (60 psf) 24 in c/c 1915 Pa (40 psf) 36 in c/c 1317 Pa (27.5 psf) 48 in c/c
ASTM E330	Plank deflection under wind pressure (Tested for these variables, the results are available upon request)	16 in c/c + 1920 Pa - 1949 Pa 24 in c/c + 1783 Pa - 1933 Pa
ASTM E283	Air leakage of the wall assembly	Compliant
FBC	Florida Building Code accreditation	In progress
TDI	Texas Department of Insurance accreditation	In progress
Miami Dade, ASTM E1886, E1996, TAS 202 & TAS 203	ZHLA.63 Hurricane Resistance accreditation	Non-tested

RESTRICTIONS OF ROOFING SLOPES

- MINIMUM SLOPE 10° or 17.03% (~ 2/12 pitch) for pre-finished steel roof with TEXTURAL III paint system (colors based on polyurethanes)
- MINIMUM SLOPE 15° or 26.75% (~ 3/12 pitch) for pre-finished steel roof with TEXTURAL IV paint system (colors at the base of PVDF)
- MINIMUM 18° SLOPE or 32.49% (~ 4/12 pitch) for pre-finished steel roof with PERSPECTRA paint system PLUS (colors based on polyesters)
- For slopes less than 3/12-manual installation recommendation of MAC sealer inside staple (all along the groove of the female part of the staple).
 - * Sealing against the risk of water infiltration due to the hydrostatic pressure of water during snowmelt.

PRINCIPAL CHARACTERISTICS

- No perforations and no visible screws
- No joints along the length of the panels
- Non-combustible product
- Increased wind resistance
- MS 1 19.25' flat surface
- MS 2 19.25' surface incorporating two flutes
- 24- and 26-gauge (22-gauge on demand)

ENVIRONMENT

Placing the environment at the heart of our priorities, all of our products are made from 86% recycled material and are 100% recyclable at the end of their life, in addition to contributing to the following LEED points:

- Recycled steel content (LEED – Credit 4.1 & Credit 4.2)
Valid for all coatings (roofs and walls)
- Reduction of Heat Islands (LEED – Credit 7.2)
Valid for roof coverings with slopes > 2/12 depending on the solar reflectance index (ISR or SRI greater than 29) corresponding to the chosen color (roofs only)



ASSEMBLY

- Comply with the manufacturer's requirements, recommendations, and written specifications, including any available technical bulletins such as the installation guide, installation videos available on the manufacturer's web page, and instructions in the web page and instructions appearing in the product catalog.

INSTALLATION SURFACES

- ROOFING installation: on plywood (minimum thickness 5/8 in) covered with a high temperature membrane compliant for steel roofs.
- WALL installation: on plywood (min. thickness 5/8 in), on wood furring (1 in x 3 in) (25,4 mm x 76.2 mm) or on metal furring (Z bar) 18 gauge or 20 gauge, if needed.

Note: All furring must be ground horizontally and vertically to allow installation according to accepted practice and to achieve a good final installation result.

FIXATION

- For each type of installation (wall or roof), a drip flashing must be installed behind the furring and the weather barrier for the MS 1, MS 2 & MS Authentic profiles. It must be carefully levelled, as it will determine the straightness of the work.
- Before starting the installation, refer to the videos and installation guides to make sure you have all the tools and accessories you need to start the installation.
- A methodical verification of the work must be done every 3 or 4 sheets in order to detect possible anomalies.
- Continuous installation of drip moldings, starter moldings, inset/outset corner pieces corner pieces, borders, soffits, moldings adjacent to doors and windows by the manufacturer.
- Set a screw every 20, 22, or 24 inches depending on the degree of slope and exposure to the winds.
- For wall installations, screws should be set every (406 mm) to 24 in (610 mm).
- Allow an additional 3 inches to make the bends. The ends of the panels should be folded after the starting moldings and the wings of the grooves. The same applies to the panels at the ends, which must also be stapled along their length upon starting moldings. The ends of the panels that enter the pocket of the ridge cap or other moldings laid in advance must be folded (towards the open air) and sealed at the junction of the staples and the junction of the ridge cap or moldings.
- Never leave the cut edge of the panels exposed on the surface. Normally, the cut edges must be folded on themselves, stapled, or covered by adjacent moldings. Requires sealant application for shallow slopes, near grooves, or for increased safety against high winds and noise vibration.
- When there are several floors to be covered, it is important to put a horizontal expansion moulding on all floors if the structure is made of wood, or at every 30 feet if the structure is made of steel.
- When necessary, cut the panels into lengths, using only a specialized MAC guillotine, sheet metal scissors, or a steel nibbler. Cold-cut metal rotary blades made by Diablo are the only brand tested and recommended by MAC. Please refer to the cutting recommendation leaflet for all details and models.
- Installation of the MAC siding products on ZIP R-sheathing panels and other dual composite panels with a softer material than wood is not recommended. This type of panel doesn't offer a good rigid mounting surface for the MAC products and will allow for movement and deformation under varying weather and sun exposure transferring into oil canning.

FASTENING

MAC is proud to offer you a screw system adapted to its profiles. The screws used to screw our products must meet the STM B-117 2000h standard. The use of MAC screws designed for our profiles is strongly recommended.

Use the MAC High-End Century K-LATCH Screw or MAC Self-Drilling K-LATCH Screw depending on the type of furring or surface to be fastened.

The screws should be set with moderate contact on the clip part of the panel to avoid impeding the expansion of the metal. The screws must not exert any upward or downward pressure to avoid deforming the siding or opening the panels at the joints. Remove the protective film from the siding prior to installation to facilitate a good visual inspection of the quality of the installation and in order to make appropriate corrections as installation progresses.



A058.250
K-LATCH High-End
Century Screw
1.25 in



A053.250
K-LATCH
Self-Drilling Screw
1.25 in

ACCESSORIES & MOLDINGS

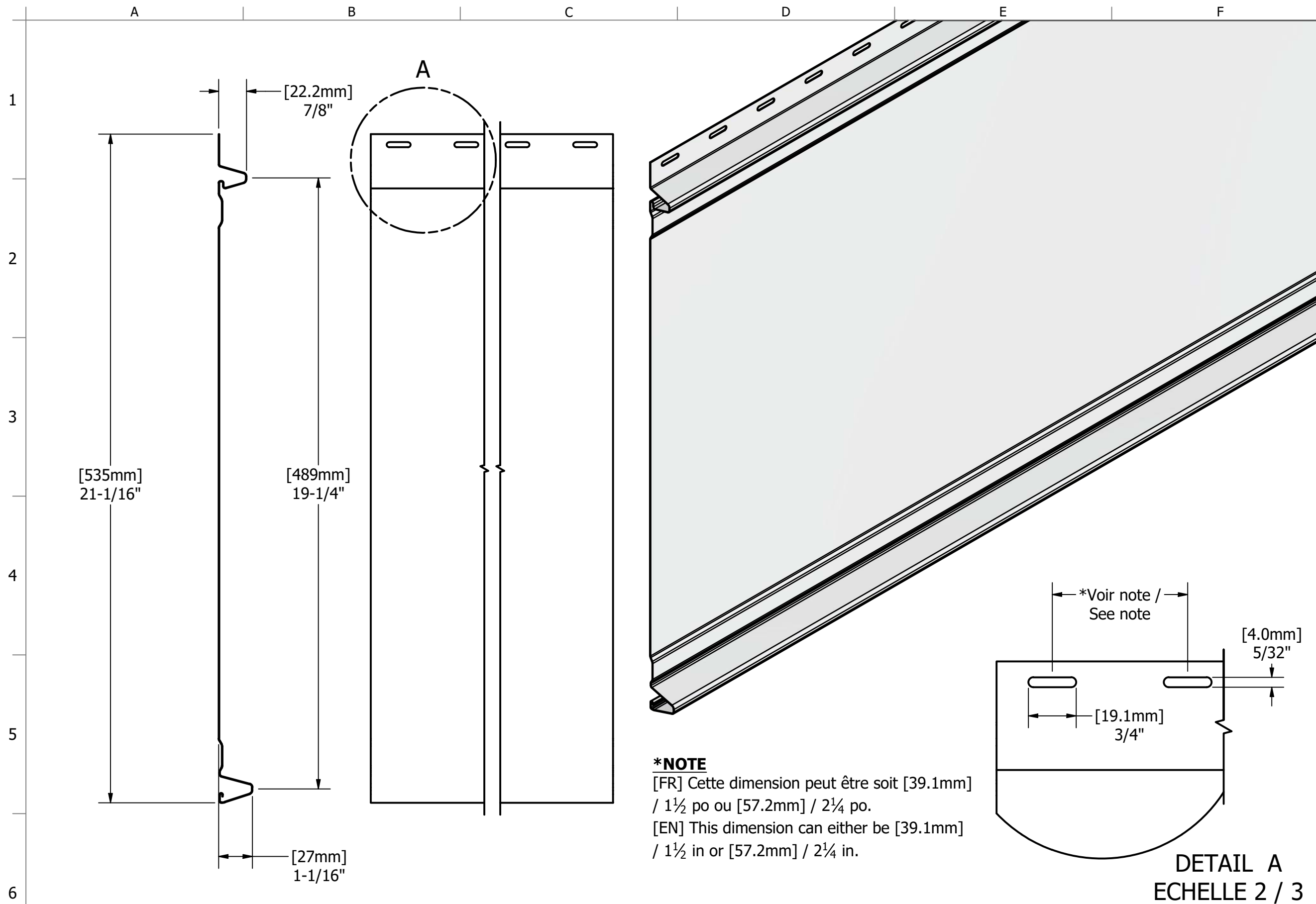
With an eye for detail, MAC offers a series of accessories compatible with its profiles to ensure a perfect finish. Discover our moldings, arches, soffits, vents, screws, and snow gates offered in our unique color series.

All standard moldings such as transition trim, inside/outside corners, and drip moldings are available from the MAC manufacturer or distributors in 10 ft (3048 mm) lengths. Please refer to the website for the complete molding and flashing guide. Custom moldings are available in 10 ft (3048 mm) lengths upon request. They can be manufactured by MAC or by a forming company from flat rolls supplied by MAC.

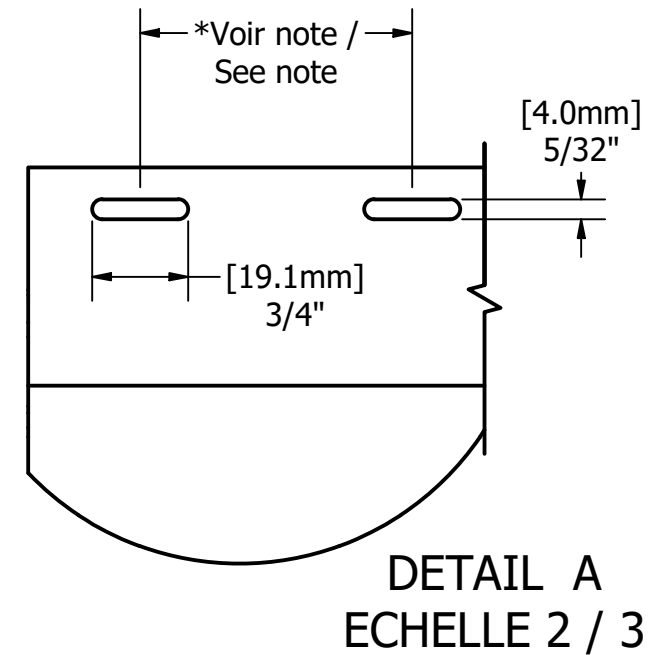
RESOURCES

To help you in the realization of your project, we have made all of the CAD, REVIT, and DWG drawings, as well as the videos and technical guides of our profiles, available for you to use on website. Find these resources in the PRO Space of each.





***NOTE**
 [FR] Cette dimension peut être soit [39.1mm] / 1½ po ou [57.2mm] / 2¼ po.
 [EN] This dimension can either be [39.1mm] / 1½ in or [57.2mm] / 2¼ in.



Project leader / Chargé de projet :
FB
 Part number / Numéro de pièce :
MS1
 Part name / Nom de la pièce :
MS1
 Designer / Concepteur :
GM
 Paint system / Système de peinture :
TEXTURAL III, TEXTURAL IV, PERSPECTRA PLUS
 Nominal thickness / Épaisseur nominale :
22, 24, 26 Gauge/Jauge
 Material / Matériau :
STEEL / ACIER

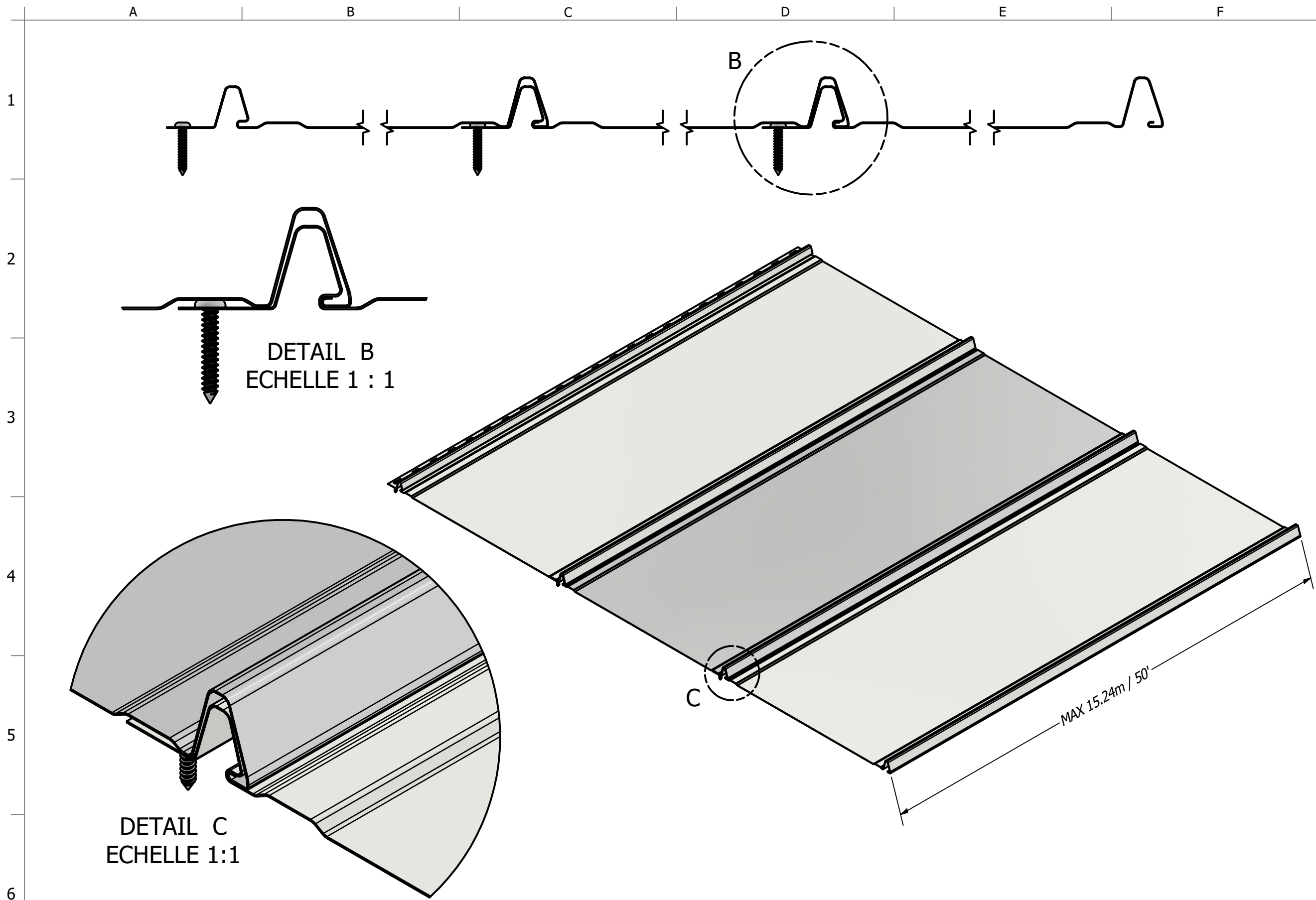
Revisions / Révisions

REV.	DESCRIPTION
B	Ajout palette de vissage
A	Original
-	-
-	-
-	-

Update / Mise à jour :
2023-01-26



File Name / Nom de fichier : MS1	Revision / Révision B	Drawn by / Dessiné par : GM	Date : 2022-11-16	Size / Format : Tabloid 11"/17"	Scale / Échelle : 1:2	Units / Unités : [mm] "	Page / Feuille : 1 de 2
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Project leader / Chargé de projet :
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Part number / Numéro de pièce :
MS1

Part name / Nom de la pièce :
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Designer / Concepteur :
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Paint system / Système de peinture :
TEXTURAL III, TEXTURAL IV, PERSPECTRA PLUS

Nominal thickness / Épaisseur nominale :
22, 24, 26 Gauge/Jauge

Material / Matériau :
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40-YEAR WARRANTY



MAC METAL ARCHITECTURAL INC ("MAC") PROVIDES A 40 (FORTY) YEAR WARRANTY ON ITS METAL ROOFING AND SIDING, NAMELY THE MS-1, MS-MODULAR, MS-2, MS-3, MS-4, MS-AUTHENTIC, HARRYWOOD, HARRYWOOD PLUS, HARRYWOOD BLOCK, NORWOOD, NORWOOD MINI, VERSA, METAL BLOCK, BOARD AND BATTEN, REVERSE BOARD AND BATTEN, MS-750 (I), MS-380 IN PREPAINTED STEEL IN THE TEXTURAL III AND TEXTURAL IV COLOR SERIES, UNDER RESERVE OF THE FOLLOWING TERMS AND CONDITIONS.

THE WARRANTY COVERS ALL PAINT DEFECTS (CHIPPING AND/OR PEELING), DISCOLORATION AND CHALKING ON THE SAME PURSUANT TO NORMAL USAGE IN NORMAL CLIMATIC CONDITIONS.

DURING THE FIRST 30 (THIRTY) YEARS, THE DISCOLORATION SHALL NOT ATTAIN RESPECTIVELY 5 DELTA E HUNTER UNITS IN THE CASE OF A VERTICAL APPLICATION AND 8 DELTA E HUNTER UNITS IN THE CASE OF A HORIZONTAL APPLICATION FOR THE COLORS IN THE TEXTURAL III SERIES AS WELL AS 5 UNITS NBS HUNTER FOR THE COLORS IN THE TEXTURAL IV SERIES WITH PRINTS AND THE MEASURES DECREED BY THE ASTM D2244 STANDARD.

Measures shall be taken on clean surfaces after eliminating all deposits or any chalking in accordance with ASTM D3964 Standard. Any change to coloration (DELTA E) may be measured by a homologated colormeter producing a reactance reading from the tri-chromatic filter X,Y and Z system, based on the luminance values at 20 °C of the CIE in Hunter units L, a, and b.

With respect to products with metallic coatings in the TEXTURAL III series, the discoloration shall be uniform during the first twenty-five (25) years. The panels or panel sections which are subject to unequal sun exposure due to installation conditions shall be excluded from this warranty in such unequal zones of exposure.

As to panels with TEXTURAL IV series printed paint, it is impossible to measure the coloring on a printed surface with instruments because of the natural variations of the pattern. However, the appearance of the print shall remain intact and recognizable during the first twenty (20) years of exposure and the discoloration shall be uniform.

DURING THE FIRST 30 (THIRTY) YEARS OF EXPOSURE, FLOURING SHALL NOT EXCEED N° 8 IN THE CASE OF A VERTICAL APPLICATION AND N° 6 IN THE CASE OF A HORIZONTAL APPLICATION (Refer to ASTM D4214 Standard). IN THE CASE OF METALLIC PAINTS, THIS PERIOD IS LIMITED TO 20 (TWENTY) YEARS (Refer to ASTM D4214 Standard, Method A).

THIS WARRANTY APPLIES ONLY TO PRODUCTS USED IN CANADA AND IN THE UNITED STATES CONTINENTAL (i.e., except Alaska and Hawaii).

40-YEAR WARRANTY



This warranty constitutes the client's only recourse with respect to whatever product defect or default. MAC OFFERS NO OTHER WARRANTY, DOES NOT WARRANT OR MAKE ANY OTHER CONDITION, IMPLICIT OR EXPLICIT, WRITTEN OR VERBAL, IN REGARDS TO THE PRODUCT, WHETHER UNDER COMMON LAW, STATUTE OR OTHERWISE, INCLUDING WITHOUT LIMITATION, ANY MERCHANT QUALITY WARRANTY OR ANY INTERPRETATIONS OF GENERAL OR PARTICULAR USE TO WHICH MAC EXPRESSLY DECLINES ANY LIABILITY TO THE STATED TERMS, WITHIN THE LIMITS PROVIDED BY LAW.

This warranty is transferable to the subsequent purchasers of the property but only (i) if a written notice of the future transfer has been sent to MAC at least thirty (30) days before said transfer and (ii) if MAC has had the opportunity to examine the product at least thirty (30) days before the transfer and has found no evidence of damage to the product; should there be a lack of notice as stated above or in the case of notice of damage by MAC, the warranty will not apply.

APPLICATION

The client must inspect the MAC panels prior to their installation so that expenses are limited should the material be recognizably faulty or non-compliant. MAC's liability is limited to manufacturing and providing replacement panels in order to provide products compliant to performance pursuant to the original warranty. Labor costs and other costs related to replacement are the client's responsibility. The replacement of faulty panels does not extend the warranty. Notwithstanding, the remaining warranty will continue to apply on replacement parts.

MAC's liability from the sale of or providing metal panels, their installation or their use, whether based on a warranty, a contract or a tort, is limited to the current purchase price of the material corresponding to the faulty part of the MAC panels which are to be replaced. MAC shall not be held liable in any way for direct or indirect, accessory, secondary or special damages sustained by the client or whomever in relation to the purchase, the installation or the use of MAC panels, or of any other damages related to labour or those caused by a loss of the use of the property or the contents of the property.

CLAIMS

1. To make a claim, the buyer must notify MAC in writing within thirty (30) days of the discovery of the defect. Failing to notify MAC of the defect within statutory limits shall invalidate this warranty.
2. The notice must contain a complete description of the material and must include the original bill of sale, the date of the appearance of the defect and pictures supporting the claim. The notice must be forwarded to MAC by e-mail at info@macmetalarchitectural.com.
3. The buyer shall provide MAC with all available options to inspect the metal panels before any changes are made to them.
4. All of the claims shall be subject to a prior investigation in order to determine the cause and its admissibility

40-YEAR WARRANTY



EXCEPTIONS TO THE WARRANTY:

1. If the metal panels are not properly installed in accordance with MAC instructions, the Company is not liable for the material sold.
2. If the metal panels are constantly exposed to aggressive and/or corrosive atmospheric conditions, this warranty is not applicable because metal panels are not made for environmentally aggressive use, such as:
 - 2.1 Conditions relating to exposure or constant water wash by salt water or salt water spray, other salts, or to salt water fumes.
 - 2.2 Conditions relating to long-term exposure to corrosive chemical products, smoke, ashes, cement dust, organic residue, or animal excrement.
 - 2.3 If products are in direct contact with or washed by water containing lead, copper, or any other materials which are reactive with steel (i.e., fascias, gutters, eaves, etc.)
 - 2.4 Conditions or circumstances which promote the formation or the condensation of corrosive smoke inside the property.
3. The Discoloration Warranty does not cover metallic paints from the TEXTURAL III and TEXTURAL IV series because, for such products, this phenomenon cannot be precisely measured by a trichromatic spectro photometer. The panels or sections of panels are excluded from a uniform discoloration warranty when they are subject to highly unequal exposure to sun and for all unequal exposure zones. The discoloration warranty does not apply to the paint systems on polyurethanes with a clear finish.
4. If the metal panel incline is less than 5 degrees when they were manufactured in TEXTURAL III and TEXTURAL IV series.
5. If the metal panels have suffered mechanical, chemical, or any other type of damage during transport or storage on the construction site or during installation.
6. If water evacuation is prevented or the metal panels are subject to permanent condensation.
7. If damage or defects are linked to or result from panel manufacturing or embossing or their adjacent moldings.
8. If the damages which could be caused to the client resulted-in a difference from the pre-painted panels on lots installed at different stages of the project and/or associated with different orders and/or to the difference between existing lots of panels replaced under the warranty.
9. If the damage was caused directly or indirectly by hidden staples on the metallic panels.

40-YEAR WARRANTY



10. If the panels were in permanent contact with wet or rotten wood, damp insulation, or other corrosive products.
11. If the damage is due to the weakness in the substrate steel or faulty basic steel, or the steel is not compatible with ASTM AZ 275 (G90) Standard.
12. If the damage is due to the use of installation accessories incompatible with MAC products.
13. If the damage is directly or indirectly caused by residual particles of the metal when the metal is hot cut or with the use of circular tools.
14. If the damage is caused by exposure to the cut banks or to stapling of the panels on different types of moldings.
15. If the damage is caused by the formation or falling of ice, frozen snow, or hail.
16. If the damage is caused by the installation, use of, or broken snow barriers, or by any other equipment used to retain snow on roofs.
17. The warranty does not apply to damages resulting from a landslide, structural defects, or any other cause not attributable to an inherent defect to the manufacturing of MAC materials.
18. The warranty does not apply in the case of force majeure or natural disasters (explosions, fire, riots, acts of war, tornadoes, earthquakes, or other external forces).

Maintenance of the profiles

Entretien des profilés

MAINTENANCE OF MAC METAL ARCHITECTURAL PROFILES

Although MAC Metal Architectural's pre-painted steel profiles require very little maintenance, occasional cleaning of the materials can increase the life and appearance of the finishes. A simple washdown with clean water from a garden hose or very light pressure washer is usually sufficient.

In the event that heavy dust deposits have dulled the surface, a simple solution of water and laundry detergent will be required. Mix 100 ml (1/3 cup) of regular laundry detergent in 4 liters (1 gallon) of water. Scrubbing should be done with a soft cloth and followed by rinsing with clean water.

AVOID USING SOLVENTS AND ABRASIVE CLEANERS AT ALL TIMES

To remove traces of caulking compound, oil, tar, wax, glue residue or other such substances, Titan Laboratories Oil-Flo Solvent Cleaner can be gently applied. A wash with a solution of laundry detergent and water followed by a proper rinse with clean water should immediately follow any application of this product.

ENTRETIEN DES PROFILÉS MAC METAL ARCHITECTURAL

Bien que les profilés d'acier prépeint de MAC Metal Architectural ne nécessitent que très peu d'entretien, un nettoyage occasionnel des matériaux peut augmenter la durée de vie ainsi que l'apparence des finis. Un simple lavage à l'eau claire à l'aide d'un boyau d'arrosage ordinaire ou à pression très légère est généralement suffisant.

Advenant le cas où des dépôts importants de poussières auraient terni la surface, une simple solution d'eau et de détergent à lessive sera nécessaire. Mélangez 100 ml (1/3 tasse) de détersif à lessive ordinaire dans 4 litres (1 gallon) d'eau. Le frottage doit être effectué à l'aide d'un linge doux et être suivi d'un rinçage à l'eau claire.

EN TOUT TEMPS, ÉVITEZ D'UTILISER DES SOLVANTS ET DES NETTOYEURS ABRASIFS

Pour retirer des traces de composé à calfeutrer, d'huile, de goudron, de cire, de résidu de colle ou d'autres substances du même type, le produit Oil-Flo Solvent Cleaner de la compagnie Titan Laboratories peut être appliqué avec délicatesse. Un lavage à l'aide de la solution composée de détergent à lessive et d'eau ainsi qu'un bon rinçage à l'eau claire doit immédiatement suivre toute application de ce produit.



Agenda Request Form

For Administration Use Only:

Meeting Date: 12/4/2023

Open

Closed

Report No. 89/2023

Date Submitted:

To: City Council

Title: Ordinance to authorize an amendment to B-5 ordinance No 8888 for Travers Automotive Group to allow for a sign over 40 sq. ft. in a 'B-5' Planned Commercial District located at 660 Charbonier Rd.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH Notice 660 Charbonier
2. Staff Report
3. Application
4. Plans

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 8, 2024

BILL NO. 9943

ORDINANCE NO.

ORDINANCE TO AUTHORIZE AN AMENDMENT TO B-5 ORDINANCE NO 8888 FOR TRAVERS AUTOMOTIVE GROUP TO ALLOW FOR A SIGN OVER 40 SQ. FT. IN A 'B-5' PLANNED COMMERCIAL DISTRICT LOCATED AT 660 CHARBONIER RD.

WHEREAS ordinance no. 6166 was passed in October of 1998 approving the rezoning of property owned by Mission Hills Development and known as 225-227 N. Hwy 67 to a B-5 Planned Commercial District; and

WHEREAS, Special Use Permit 7065 was granted to GMT Auto Sales Inc, for the operation of an auto detail shop with vehicle storage located at 2420 Rear North Highway 67; and

WHEREAS, Ordinance no. 7536 was passed in August of 2008 to amend B-5 Ordinance no. 6166 to allow for an addition to the existing building located at 225 N. Highway 67; and

WHEREAS Ordinance no. 7631 was passed in August of 2009 amending B-5 Ordinance no. 6166 to allow for the sale of vehicles from an adjacent property located at 365 N. Hwy 67; and

WHEREAS Ordinance no. 7941 was passed in January of 2013 to amend B-5 Ordinance no. 6166 to allow for a face change including an electronic messaging board for the property located at 225 N. Hwy 67; and

WHEREAS Ordinance no. 8080 was passed in October of 2014 to amend B-5 Ordinance no. 6166 as amended to consolidate properties known as 265 and 365 N. Hwy 67 and 620 and 624 Charbonier into one car leasing establishment, allow for signage and repeal Special Use ordinance no. 7550; and

WHEREAS Ordinance no. 8218 was passed in April of 2016 to amend Ordinance no. 8080 to allow for the addition to the existing building located at 620 Charbonier; and

WHEREAS Ordinance no. 8888 was passed in April of 2023 to authorize an amendment to B-5 ordinance no. 6166 to allow for the expansion of a car sales establishment to include the property located at 660 Charbonier; and

WHEREAS Travers Automotive and RV Group has applied for an amendment to ordinance no. 8888 that amended B-5 ordinance 6166 to add 660 Charbonier the development plan to allow for a sign over 40 sq. ft. and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of December 4th, 2023, that an amendment to Ordinance no. 8888 that amended B-5 ordinance 6166 to add 660 Charbonier the development plan to allow for a sign over 40 sq. ft; and

WHEREAS due and lawful notice of a public hearing no. 24-01-002 on said proposed change was duly published, held, and concluded on 8th day of January 2024 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to ordinance no. 8888 to allow for signage in excess of 40 sq. ft. locate at 660 Charbonier is in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Ord. no. 8888, is hereby amended to allow for signage in excess of 40 sq. ft. locate at 660 Charbonier as depicted as shown on the attached sign design plan. Furthermore, no additional signs are allowed without approval from the Building Commissioner.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the Council

Approved this _____ day of _____, 2024.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend Ordinance No 8888 for Travers Automotive Group to allow for a sign over 40 sq. ft. in a 'B-5' Planned Commercial District located at 660 Charbonier Rd. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: November 13, 2023
From: Debra M. Irvin, Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: **660 Chabonier (Travers Automotive Group)** request to amend B-5, adding new wall sign over 40 s.f. but less than or equal to 100 s.f. in a ‘B-5’ Planned Commercial District.

STAFF REPORT
CASE NUMBER PZ-120423-3

I. PROJECT DESCRIPTION:

This is a request to amend B-5 adding new wall sign over 40 s.f. in a ‘B-5’ Planned Commercial District. Travers Automotive Group is vehicle sales, whose Use is Special Use in this District.

II. EXISTING SITE CONDITIONS:

The existing space is the former Florissant Presbyterian Church and School, approved for Traver’s Automotive Group under Ordinance 8888. The rear building is now the main headquarters for Travers Automotive Group, all within the ‘B-5’ Planned Commercial District and is operating as outlined in the ordinance.

The subject property is approximately 5.20 acres.

III. SURROUNDING PROPERTIES:

The property is surrounded by other retail, restaurants and a gas station, also within the ‘B-5’ Planned Commercial District and ‘B-3’ Extensive Commercial District.

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IV. STAFF ANALYSIS:

Plans received from the applicant include channel letter signage designs for wall signs for the business. These signs will be illuminated.

Owner has been informed of signs not to exceed 100 s.f. Under the sign code, wall signs up to 40 s.f. in area can be approved by staff, but up to 100 s.f. signs must have the approval of P&Z, under the following:

According to city code, section 520.070: *“Under unusual or special circumstances, the Building Commissioner may permit the erection of signs up to one hundred (100) square feet in area not otherwise permitted, but the applicant shall first obtain approval of the Planning and Zoning Commission for erection and maintenance of such non-conforming signs.”*

VI. STAFF RECOMMENDATIONS:

Suggested Motion:

I move for Approval of single illuminated 97.40 s.f. wall sign as shown on attached sign design plan. Furthermore, no additional signs are allowed without approval from the Building Commissioner.

(End of report and suggested motion)

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 660 Charbonier Rd, Florissant, MO 63031

Property Owners Name: Glenn Travers Phone/email: gmtautosales@yahoo.com 314-960-4175

Property Owners Address: 660 Charbonier Rd, Florissant, MO 63031

Business Owners Name: Glenn Travers Phone/email: _____

Business Owners Address: 660 Charbonier Rd, Florissant, MO 63031

DBA (Doing Business As) Travers Automotive and RV Group

Authorized Agents Name: Erin Plass Co. Name: Landmark Sign Company
(Authorized Agent to Appear Before The Commission)

Agents Address: 175 Chesterfield Industrial, Chesterfield MO 63005 Phone/email: erin@landmarksignusa.com 636-536-0400

Request Lit Wall Sign for 660 Charbonier Rd.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Erin Plass 11/27/2023
Applicant's Signature Date

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

660 Charbonier -Wall Sign

Former Church building, new home Travers's.

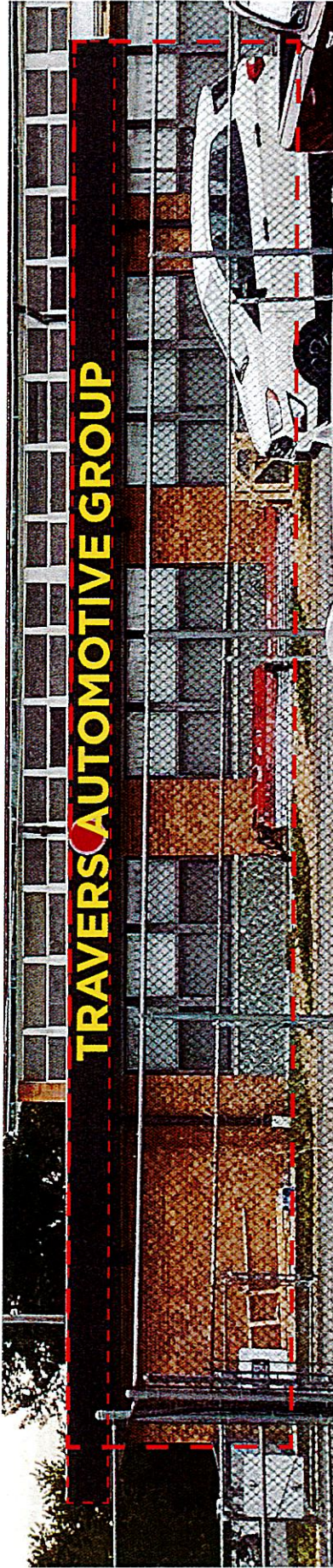
561"

TRIVERS AUTOMOTIVE GROUP

97.40 SQ FT

CUSTOMER IS ALLOWED 100 SQ FT

RED DOTTED LINE IS 180" HIGH X 1160" - INNER SIGN BAND AREA IS 32" HIGH



SIGNATURE: _____

DATE: _____

APPROVED AS IS

APPROVED WITH NOTED CHANGES

REVISE AND RESUBMIT

★ NOTE: APPROVAL IS NEEDED BEFORE PRODUCTION / FABRICATION CAN BEGIN. ★
COLORS OF PRINTED PROOF AND ELECTRONIC PROOF MAY VARY FROM ACTUAL COLORS OF COMPLETED SIGNS.

DESIGNER: JESS MARKS

SALES PERSON: ADRIAN ALLEN
PROOF DATE: 10/18/2023

CLIENT: TRIVERS AUTOMOTIVE GROUP
CONTACT: Amanda Schomaker
PHONE: (314) 737-5398
EMAIL: amanda.schomaker@gotravers.com

DESCRIPTION OF WORK: RACEWAY MOUNTED CHANNEL LETTERS - OPTIONS

175 Chesterfield Industrial Boulevard
Chesterfield, MO 63005 • 636-536-0400
www.landmarksignusa.com
info@landmarksignusa.com



IMPORTANT: THIS DRAWING IS PROPERTY OF LANDMARK SIGN COMPANY AND HAS BEEN PREPARED FOR YOUR VIEWING ONLY. THIS PROPERTY MAY NOT BE RE-PRODUCED OR DUPLICATED WITHOUT WRITTEN PERMISSION OF LANDMARK SIGN COMPANY OR THROUGH PURCHASE

To Whom It May Concern,

I, Glenn Travers, owner, in association with Travers Automotive and RV Group have reviewed the purposed signage at 660 Charbonier Rd. Upon review of said signage we have approved the work to be done.

Glenn Travers
Owner
Travers Automotive and RV Group

Contact:

Amanda Schomaker
Director of Marketing
amanda.schomaker@gotravers.com
cell: 512-748-8701

660 Charbonier Rd., Florissant, MO 63031



Agenda Request Form

For Administration Use Only:

Meeting Date: 12/4/2023

Open

Closed

Report No. 91/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing an amendment Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH 3390 N Hwy 67
2. Staff Report
3. Application
4. Plans

INTRODUCED BY COUNCILMAN SIAM
JANUARY 8, 2024

BILL NO. 9944
ORDINANCE NO.

**ORDINANCE AUTHORIZING AN AMENDMENT ORDINANCE NO. 7965
FOR WALMART TO ALLOW FOR PAINTING OF THE EXTERIOR AND
NEW TRESPA FILM IN A ‘B-5’ PLANNED COMMERCIAL DISTRICT
LOCATED AT 3390 N HIGHWAY 67.**

WHEREAS ordinance no. 7965 was passed in April of 2012 approving the rezoning of 3350 & 3400 N. Hwy 67 and 3605 Seville to a B-5 Planned Commercial District to allow for the construction of a new retail center; and

WHEREAS the St. Louis County Assessor’s office now identifies this property as 3390 N. Highway 67; and

WHEREAS BRR Architecture, Inc has applied on behalf of Walmart store #5927 for an amendment to the B-5 development plan authorized by ordinance 7965 to allow for the painting of the exterior and new Trespa Film;

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of December 4th, 2023 that an amendment to B-5 ordinance no. 7965, to allow for the painting of the exterior and new Trespa Film located at 3390 N. Highway 67; and

WHEREAS, due and lawful notice of a public hearing no. 24-01-003 on said proposed change was duly published, held and concluded on 8th day of January 2024 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no. 7965 to allow for the painting of the exterior and new Trespa Film located at 3390 N. Highway 67 is in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1:

B-5 ord. no. 7965, is hereby amended to allow for minor changes to the site development plan of the ‘B-5’

Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry Unit (CMU), and parapet caps; also apply film on front trespa panels, and install new signs at **3390 N Highway 67 (Wal-Mart)**

Related drawings are attached. The exterior modifications depict minor changes in the development plan, which is not in conflict with the nature of the development and meets all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this 'B-5' Planned Commercial District, and the following additional requirements:

1. PROJECT COMPLETION.

Construction shall start within 60 days issuance of building permits and the project and shall be developed in accordance of the approved amendments to the final development plan within 180 days of start of construction.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2024.

Joseph Eagan

President of the Council

Approved this _____ day of _____, 2024..

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



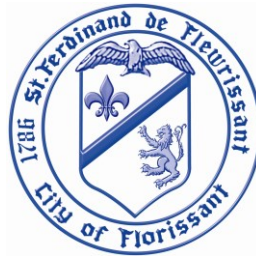
In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend Ordinance No. 7965 for Walmart to allow for painting of the exterior and new trespa film in a 'B-5' Planned Commercial District located at 3390 N Highway 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT

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"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: November 8, 2023

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From: Debra Irvin, Building Commissioner cc: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

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Subject: Request an amendment of the B-5, minor ratification of the Building
Commissioner to allow painting exterior rear of the building Concrete
Masonry Unit (CMU), and parapet caps; apply film on front trespa panels,
and install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5'
Zoning District

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STAFF REPORT

CASE NUMBER PZ-120423-4

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I. PROJECT DESCRIPTION:

Request an amendment of the B-5f , minor ratification of the existing ordinance to paint
exterior rear building CMU, and parapet caps; apply film on front trespa panels, and
install new signs at **3390 N Highway 67 (Wal-Mart)** in a 'B-5' Zoning District,
Ordinance No. 7965.

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II. EXISTING SITE CONDITIONS:

The existing property at 3390 N Highway 67 is a high traffic retail chain store. The
property is currently zoned 'B-5'.

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III. SURROUNDING PROPERTIES:

The property to the West is 3200 N Highway 67 in a 'B-3' District, the properties to the
South are in an 'R-4' District. The East is bounded by Coldwater Creek.

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IV. STAFF ANALYSIS:

Under the Zoning Code, Section 405.135 (for a 'B-5' District only), minor changes to a
previously recorded development plan may be approved without a public hearing if the

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41 Building Commissioner deems the changes to be minor in nature and is ratified by P&Z,
42 the Building Commissioner submits the proposed amendment to P&Z for review and
43 approval by motion to ratify approval by staff. **The attached plan was submitted for**
44 **review and consideration of approval to paint exterior rear of building CMU and**
45 **parapet caps; apply film on front trespa panels, and install new signs at 3390 N**
46 **Highway 67 (Wal-Mart)** in a ‘B-5’ Zoning District

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48 Excerpt from Zoning Code, section 405.135. para. L2c.:
49 *“c. Initial determination of consistency/minor changes. If the Building Commissioner determines that the*
50 *proposed amendment to the previously approved site plan is minor in nature and is not in conflict with the*
51 *nature of the proposal as originally or previously advertised for public hearing and meets all of the*
52 *conditions of the pertinent Planned Commercial District ordinance, the Building Commissioner shall notify*
53 *the Planning and Zoning Commission thereof and may conditionally approve such proposed amendment,*
54 *which approval shall be deemed ratified by the Planning and Zoning Commission unless five (5) or more*
55 *members thereof thereafter request at the first (1st) regularly scheduled and conducted meeting after*
56 *notification that such proposed amendment be submitted to the Planning and Zoning Commission for*
57 *review. In lieu of a grant of conditional approval, the Building Commissioner or designated representative*
58 *may submit the proposed amendment to the Planning and Zoning Commission for review. In case of*
59 *disapproval of the proposed amendment by the Building Commissioner, the applicant shall be notified and*
60 *may thereafter request review thereof by the Planning and Zoning Commission...”*

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62 The application is accompanied by attached plan.

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64 Comments on plans: Owner shall provide color samples for CMU

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66 See the following suggested motion:

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68 **V. STAFF RECOMMENDATION AND SUGGESTED MOTION:**

69 I move to amend the B-5 for minor changes to the site development plan of the ‘B-5’
70 Ordinance No. 7965 to allow for exterior painting of the rear exterior Concrete Masonry
71 Unit (CMU), and, parapet caps; also apply film on front trespa panels, and install new
72 signs at **3390 N Highway 67 (Wal-Mart)**

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74 Related drawings are attached. The exterior modifications depict minor changes in the
75 development plan, which is not in conflict with the nature of the development and meets
76 all of the conditions of Ordinance No. 7965. Approval is subject to the regulations of this
77 ‘B-5’ Planned Commercial District, and the following additional requirements:

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80 1. PROJECT COMPLETION.

81 Construction shall start within 60 days issuance of building permits and
82 the project and shall be developed in accordance of the approved
83 amendments to the final development plan within 180 days of start of
84 construction.

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86 **(End of suggested motion and staff report)**

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant, while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 3390 N. Highway 67

Property Owners Name: THF Florissant Development LLC Phone/email:

Property Owners Address: PO Box 8050 Bentonville, AR 72712

Business Owners Name: Walmart Real Estate Business Trust Attn Realty Manager Store #5927 Phone/email: zach.luensmann@walmart.com

Business Owners Address: 2608 SE J St. Bentonville, AR 72716

DBA (Doing Business As) Walmart Store #5927

Authorized Agents Name: BRR Architecture, Inc. Co. Name: Kristi Burk (Authorized Agent to Appear Before The Commission)

Agents Address: 8131 Metcalf Ave. Suite 300 Phone/email: 479-286-2936

Request Paint exterior rear building CMU and parapet caps. Apply film on front trespa panels.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Kristi Burk

Digitally signed by Kristi Burk, DN: cn=US, email=kristi.burk@brrarch.com, o=BRR Architecture, Inc., cn=Kristi Burk, Reason: I have reviewed this document Date: 2023.10.30 15:29:15 -0500

10/30/23

Applicant's Signature

Date

OFFICE USE ONLY

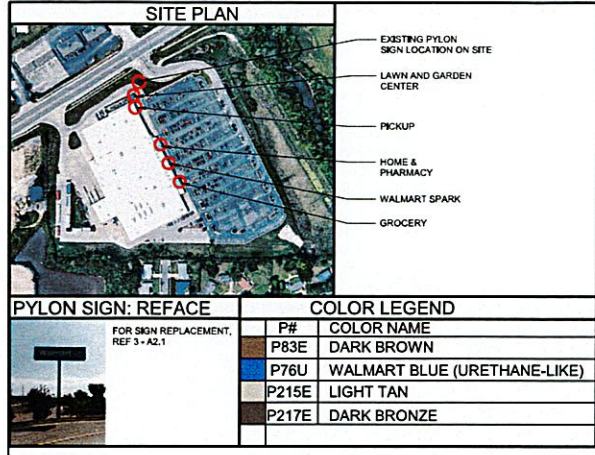
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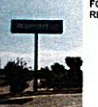
STAFF REMARKS:

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION



PYLON SIGN: REFACE		COLOR LEGEND	
FOR SIGN REPLACEMENT, REF 3-A2.1	P#	COLOR NAME	
	P83E	DARK BROWN	
	P76U	WALMART BLUE (URETHANE-LIKE)	
	P215E	LIGHT TAN	
	P217E	DARK BRONZE	

KEYNOTES	COLOR LEGEND	DEMOLITION NOTES	SHEET NOTES
4.25 UTILITY FACE BRICK	P82 BUFF-NUTMEG VELOUR P5E SAFETY YELLOW P21E SAFETY RED P33E CREAM P36E BLACK P76U WALMART BLUE (URETHANE-LIKE) P83E DARK BROWN P215E LIGHT TAN P217E DARK BRONZE	1. NOT USED 2. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS	1. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQ'D 2. REF. DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS 3. NOT USED 4. NOT USED 5. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIFT ED LOGO (SIGNS), COORDINATE SCOPE OF WORK WITH WALMART CM 6. IF PAINTING ADJACENT WALLS PAINT FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH PRIMARY ADJACENT BUILDING COLOR/COATING 7. PAINT ANY ROOFTOP GAS PIPING (PSE) a. WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING b. DO NOT PAINT METER OR VALVES 8. IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL LIND 9. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P21E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED 10. PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE 11. NOT USED 12. DO NOT PAINT LED WALL PACK HOUSINGS 13. PAINT GARDEN CENTER FENCE STEEL DOORS AND FRAMES (P36E) 14. NOT USED 15. DO NOT PAINT QUIK-BRICK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS 16. NOT USED 17. PAINT JOB CRANE (P36E) ON JOB BOOM (P5E) ON HANDRAILS 18. PAINT SPRINKLER VALVES (P21E) a. DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL

brr
ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
4111 METCAL AVENUE
SUITE 100
OVERLAND PARK, KS 66204
www.brrarch.com
TEL 913-884-8888
FAX 913-884-8844

CONSULTANTS

Walmart
FLORISSANT, MO
3390 N. HIGHWAY 67
STORE NO. 09927 - 220
JOB NUMBER: 964898 | PHOTO: 190 SC

ISSUE BLOCK	

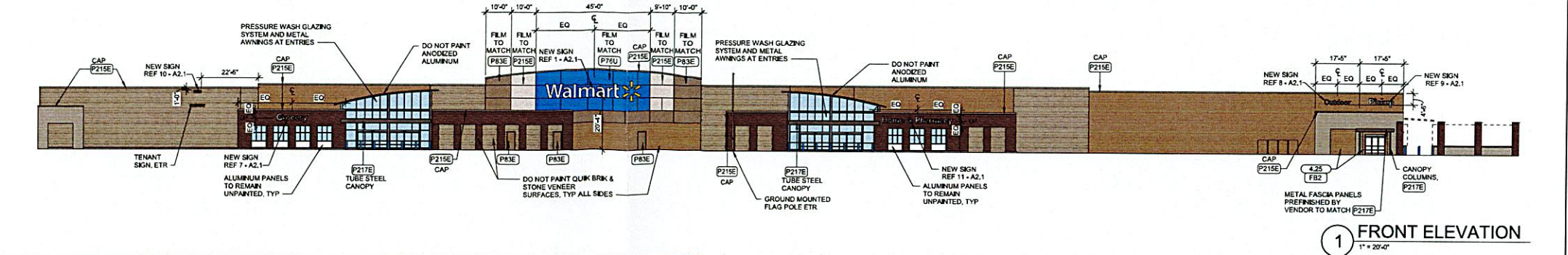
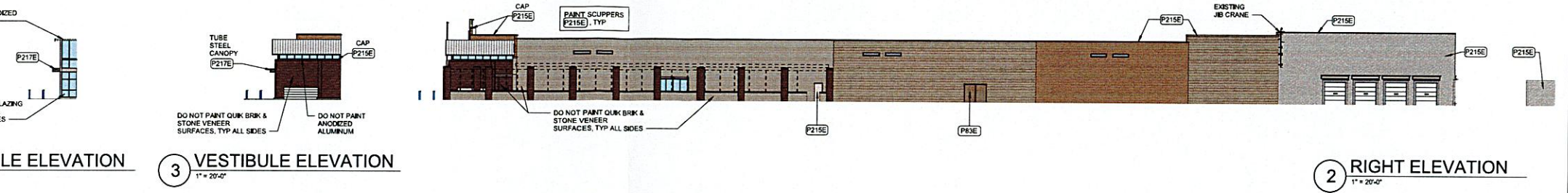
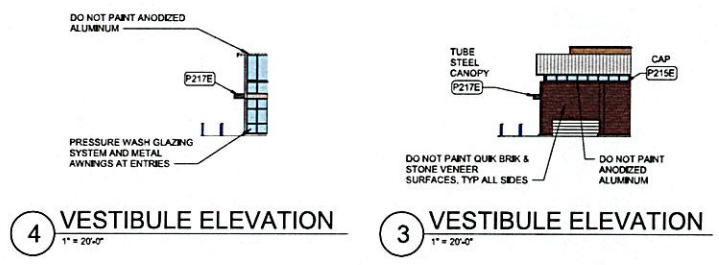
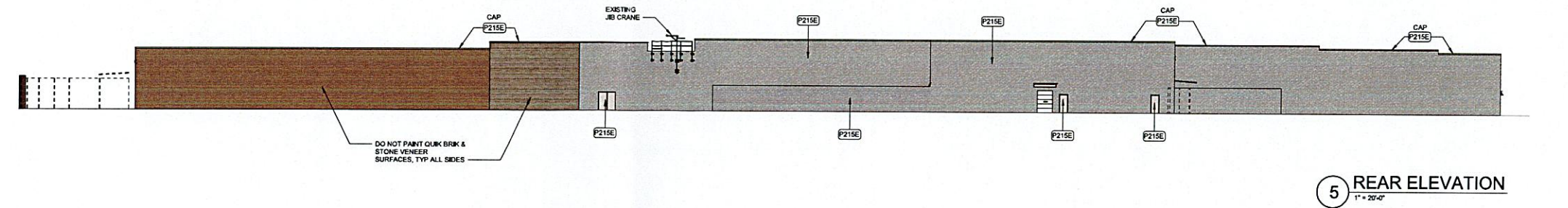
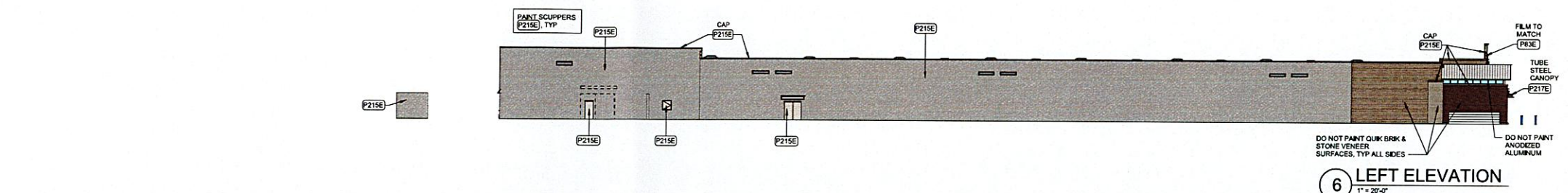
CHECKED BY: DMJ SP
DRAWN BY: NRS
PROTO CYCLE: 08/02/23
DOCUMENT DATE: 10/20/23

10/30/2023

TREVOR TYSON HOLCOMB
ARCHITECT
LICENSE NO. A-2022000409
BRR ARCHITECTURE, INC.
ARCHITECTURAL CORPORATION
MISSOURI LICENSE NO. ARC 000160

EXTERIOR ELEVATIONS

SHEET: **A2**





Agenda Request Form

For Administration Use Only:

Meeting Date: 12/4/2023

Open Closed

Report No. 90/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing an amendment to the Zoning Code to add "Tobacco Store" as a Special Use to Sections 405.115, 405.120, 405.125, 405.130, and 405.460.

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. PH Notice Zoning Code Change
2. Staff report
3. Business locations
4. Memo

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 8, 2024

BILL NO. 9944

ORDINANCE NO.

ORDINANCE AUTHORIZING AN AMENDMENT TO TITLE IV “LAND USE”, CHAPTER 405 “ZONING CODE” TO ESTABLISH TOBACCO, ALTERNATIVE NICOTINE, OR VAPOR ESTABLISHMENTS AS A SPECIAL USE IN VARIOUS DISTRICTS WITH CERTAIN RESTRICTIONS.

WHEREAS the staff has recommended limiting the number of stores that primarily sell tobacco, alternative nicotine, or vapor products in the City of Florissant; and

WHEREAS the City Council feels it is in the best interest of the health and well being of the residents of the City of Florissant to limit the number and distance between businesses that sell primarily tobacco, alternative nicotine, or vapor products; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Article IV “District Regulations”, Section 405.115 “B-1” Local Shopping District, Section 405.120 “B-2” Central Business District, Section 405.125 “B3 Extensive Business District”, Section 405-130 “B-4” Highway Commercial District and Section 405.160 “H” Historic District, subsection “D” Historic Business District are hereby amended by adding the following to the Special Use section and renumbering accordingly:

Tobacco products, Alternative Nicotine products or Vapor products, provided, however that a store that sells primarily tobacco, alternative nicotine products or vapor products may not be permitted if the number of locations exceeds one (1) per 4 thousand (4,000) population in the city, or if the location of said store is within one-half (1/2) mile of another such store. In no event shall the City Council approve the issuance of a license for the sale of tobacco products, alternative nicotine products, or vapor products within one hundred (100) feet of any school, church or other building regularly used as a place of worship; except that when a school, church or place of worship shall thereafter be established within one hundred (100) feet of any place of business licensed to sell tobacco products, alternative nicotine products, or vapor products, renewal of the license shall not be denied for this reason.

Section 2: Section 405.035 “Definitions” is hereby amended to include the following definitions:

ALTERNATIVE NICOTINE PRODUCT

Any non-combustible product containing nicotine that is intended for human consumption, whether chewed, absorbed, dissolved, or ingested by any other means. "Alternative nicotine product" does not include any vapor product, tobacco product or any product regulated as a drug or device by the United States Food and Drug Administration under Chapter V of the Food, Drug and Cosmetic Act.

TOBACCO PRODUCTS

Any substance containing tobacco leaf including, but not limited to, cigarettes, cigars, pipe tobacco, snuff, chewing tobacco or dipping tobacco, but does not include alternative nicotine products or vapor products.

VAPOR PRODUCT

Any non-combustible product containing nicotine that employs a heating element, power source, electronic circuit or other electronic, chemical or mechanical means, regardless of shape or size, that can be used to produce vapor from nicotine in a solution or other form. "Vapor product" includes any electronic cigarette, electronic cigar, electronic cigarillo, electronic pipe or similar product or device and any vapor cartridge or other container of nicotine in a solution or other form that is intended to be used with or in an electronic cigarette, electronic cigar, electronic cigarillo, electronic pipe or similar product or device. "Vapor product" does not include an alternative nicotine product or tobacco product.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2024.

Joseph Eagan, Council President

Approved this _____ day of _____, 2024.

Timothy J. Lowery, Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with Chapter 405 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 8, 2023 at 7:00 p.m. on the following proposition:

To amend the Zoning Code to add “Tobacco Store” as a Special Use to Sections 405.115, 405.120, 405.125, 405.130, and 405.460. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email cityclerk@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

MEMORANDUM



CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Memo To: Planning & Zoning Commission Date: November 21, 2023
Thru: Mayor Timothy Lowery
From: Patrick Mulcahy, Director of Economic Development

STAFF REPORT
CASE NUMBER PZ-120423-5

Subject: Amending the zoning categories to add limitations for stores that primarily sell tobacco products, alternative nicotine products, or vapor products:

Proposed Code section amendments for Tobacco, Alternative Nicotine, and Vapor products:

Chapter 405 "Land Use" Article IV "District Regulations"

- Section 405.115 "B-1" Local Shopping District
- Section 405.120 "B-2" Central Business District
- Section 405.125 "B-3" Extensive Business District
- Section 405.130 "B-4" Highway Commercial District
- Section 405.160 "H" Historic District, Subsection "D" Historic Business District.

All sections would be amended by deleting the permitted use "Tobacco Store" and adding a Special use to read as follows:

Tobacco products, Alternative Nicotine products or Vapor products, provided, however that a store that sells primarily tobacco, alternative nicotine products or vapor products may not be permitted if the number of locations exceeds one (1) per 4 thousand (4,000) population in the

city, or if the location of said store is within one-half (1/2) mile of another such store. In no event shall the City Council approve the issuance of a license for the sale of tobacco products, alternative nicotine products, or vapor products within one hundred (100) feet of any school, church or other building regularly used as a place of worship; except that when a school, church or place of worship shall thereafter be established within one hundred (100) feet of any place of business licensed to sell tobacco products, alternative nicotine products, or vapor products, renewal of the license shall not be denied for this reason.

Possible Definitions to be included in Section 405.035 Definitions (Identical to the definitions in the offenses Chapter)

ALTERNATIVE NICOTINE PRODUCT

Any non-combustible product containing nicotine that is intended for human consumption, whether chewed, absorbed, dissolved or ingested by any other means. "Alternative nicotine product" does not include any vapor product, tobacco product or any product regulated as a drug or device by the United States Food and Drug Administration under Chapter V of the Food, Drug and Cosmetic Act.

TOBACCO PRODUCTS

Any substance containing tobacco leaf including, but not limited to, cigarettes, cigars, pipe tobacco, snuff, chewing tobacco or dipping tobacco, but does not include alternative nicotine products or vapor products.

VAPOR PRODUCT

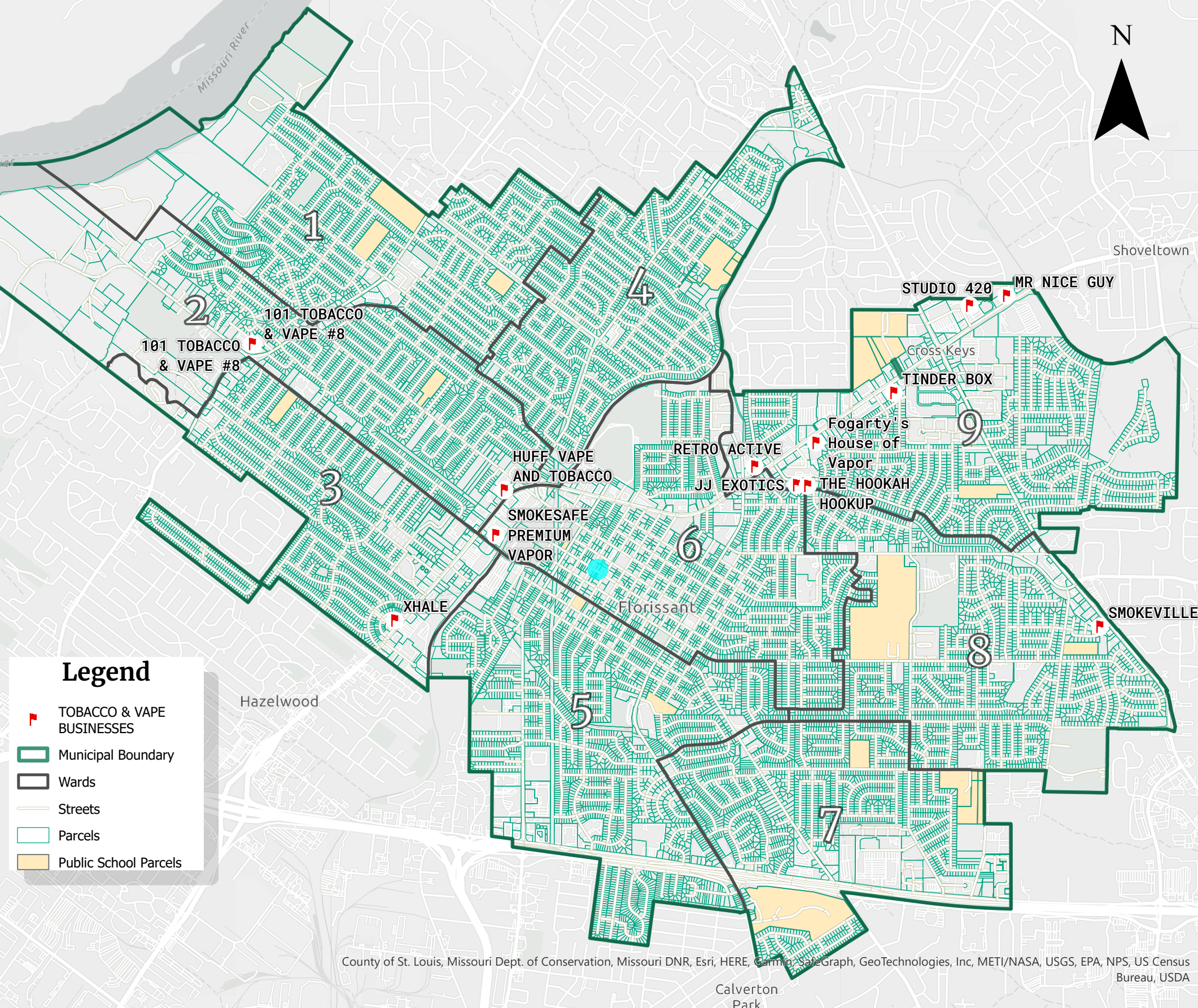
Any non-combustible product containing nicotine that employs a heating element, power source, electronic circuit or other electronic, chemical or mechanical means, regardless of shape or size, that can be used to produce vapor from nicotine in a solution or other form. "Vapor product" includes any electronic cigarette, electronic cigar, electronic cigarillo, electronic pipe or similar product or device and any vapor cartridge or other container of nicotine in a solution or other form that is intended to be used with or in an electronic cigarette, electronic cigar, electronic cigarillo, electronic pipe or similar product or device. "Vapor product" does not include an alternative nicotine product or tobacco product.



Tobacco & Vape Business Locations

City of Florissant

Business Florissant Address	Business DBA
111 FLOWER VALLEY SHOPPING CTR CITY OF FLORISSANT MO 63033	STUDIO 420
12761 NEW HALLS FERRY RD FLORISSANT MO 63033	SMOKEVILLE
2318 N HIGHWAY 67 A FLORISSANT MO 63033	Fogarty's House of Vapor
2164 N WATERFORD DR FLORISSANT MO 63033	JJ EXOTICS
739 N HIGHWAY 67 FLORISSANT MO 63031	HUFF VAPE AND TOBACCO
3359 N HIGHWAY 67 FLORISSANT MO 63033	MR NICE GUY
1764 N NEW FLORISSANT RD FLORISSANT MO 63033	RETRO ACTIVE
514 N HIGHWAY 67 FLORISSANT, MO 63031	SMOKESAFE PREMIUM VAPOR
2121 CHARBONIER RD FLORISSANT MO 63031	101 TOBACCO & VAPE #8
2123 CHARBONIER RD FLORISSANT MO 63031	101 TOBACCO & VAPE #8
2714 N HIGHWAY 67 FLORISSANT MO 63033	TINDER BOX
8215 N LINDBERGH BLVD FLORISSANT, MO 63031	XHALE
2250 N WATERFORD DR FLORISSANT, MO 63031	THE HOOKAH HOOKUP



County of St. Louis, Missouri Dept. of Conservation, Missouri DNR, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

Map was generated from a SimpliCity Business License Report. These businesses were selected because of their described uses and retail sales of primarily tobacco and vape products. These are not convenience stores or other retailers that sell tobacco or vape as a secondary product.



Memo To: Planning & Zoning Commission Date: November 21, 2023
Thru: Mayor Timothy Lowery
From: Patrick Mulcahy, Director of Economic Development
Subject: Amending the zoning categories to add limitations for stores that primarily sell tobacco products, alternative nicotine products, or vapor products:

City staff is requesting that stores that primarily sell tobacco, alternative nicotine or vapor products be limited within the City of Florissant to allow for 1 location per 4,000 residents. This would allow for 13 locations, which is the number of stores currently operating. We are also requesting that locations cannot be within a ½ mile of another such store, and that locations cannot be within 100 feet of any school, church or other building regularly used as place of worship. The Department of Economic Development has been researching this issue along with staff from the Public Works Department, the City Clerks office, and the City Attorney and staff agrees that these changes would be in the best interest and health of the City of Florissant.

Staff are also requesting that the zoning categories be amended to remove “Tobacco Store” as a permitted use, and to add it as a special use. Currently city staff have no way to keep track of this specific use, and this will allow the City Clerk to better track them and enforce the proposed new limitations.

These changes would align with the recent *Florissant 2050: Comprehensive Plan Update* for several reasons. One of the biggest issues brought by residents regarding quality of life was to improve the quality and vibrancy of Florissant’s commercial amenities. In the *Economic Development, Business, and Job Growth* section of the plan it was noted that Florissant needs to provide unique retail experiences that celebrate Florissant’s unique history and community character, and that currently too many businesses lack variety. We believe limiting the number of these stores is in line with that goal.

Another reason for limitation is for health reasons. Not only is it well documented that tobacco and vapor products have adverse health effects for those who use them, but there are also increased environmental health effects with vapor devices. They are considered hazardous waste that cannot be easily or properly disposed of, and this is causing environmental issues in communities throughout

the United States. Finally, there are also studies which show that there is an association between density and proximity of tobacco stores with smoking behaviors by youths.

Vehicle filling stations, convenience stores or grocery stores that are authorized to sell tobacco or associated products do not apply to these limitations and are not considered to be Tobacco, Alternative Nicotine or Vape businesses.

The new zoning category would read:

- **Tobacco products, Alternative Nicotine products or Vapor products**, provided, however that a store that sells primarily tobacco, alternative nicotine products or vapor products may not be permitted if the number of locations exceeds one (1) per 4 thousand (4,000) population in the city, or if the location of said store is within one-half (1/2) mile of another such store. In no event shall the City Council approve the issuance of a license for the sale of tobacco products, alternative nicotine products, or vapor products within one hundred (100) feet of any school, church or other building regularly used as a place of worship; except that when a school, church or place of worship shall thereafter be established within one hundred (100) feet of any place of business licensed to sell tobacco products, alternative nicotine products, or vapor products, renewal of the license shall not be denied for this reason.

If you have any questions, please do not hesitate to let me know.

Respectfully submitted,

Patrick Mulcahy
Director of Economic Development



Agenda Request Form

For Administration Use Only:

Meeting Date: 1/8/2024

Open

Closed

Report No. 92/2023

Date Submitted:

To: City Council

Title: Ordinance amending Chapter 250 "Indoor Clean Air Code" to provide clarification regarding hookah and electronic smoking devices.

Prepared by: Administrator

Department: City Clerk

Justification:

Staff has asked for clarification in the code so that it is clear that hookahs are not allowed in restaurants. The proposed ordinance contains minor changes to improve the definition of "smoking" as well as adds hookah and electronic smoking devices to list of prohibited smoking devices.

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 8, 2023

BILL NO. 9946

ORDINANCE NO.

ORDINANCE AMENDING CHAPTER 250 "INDOOR CLEAN AIR CODE" TO PROVIDE CLARIFICATION REGARDING HOOKAH AND ELECTRONIC SMOKING DEVICES.

Section 1: Section 250.030 “Prohibition of Smoking in Enclosed Places of Employment and other Public Places” is hereby amended by deleting subsections A and B and replacing them with the following:

- A. It shall be unlawful for any person within an enclosed place of employment to possess lighted or heated smoking materials in any form, including, but not limited to, the possession of lighted or heated cigarettes, cigars, pipes, hookahs, or any electronic smoking device.
- B. It shall be unlawful for any person within an enclosed public place, or within any other places hereinafter specified, to possess lighted or heated smoking materials in any form, including, but not limited to, the possession of lighted or heated cigarettes, cigars, pipes, hookahs, or any other electronic smoking device, including, but not limited to, the following places:
 - 1. Elevators in public buildings.
 - 2. Restrooms in public buildings.
 - 3. Libraries, educational facilities, childcare and adult day care facilities, museums, auditoriums, aquariums, and art galleries.
 - 4. Any health care facility, health clinic or ambulatory care facilities, including, but not limited to: laboratories associated with the rendition of healthcare treatment, hospitals, nursing homes, doctors’ offices, and dentists’ offices.
 - 5. Any indoor place of entertainment or recreation, including, but not limited to, gymnasiums, theaters, concert halls, bingo halls, arenas and swimming pools.
 - 6. Service lines.
 - 7. Facilities primarily used for exhibiting a motion picture, stage, drama, lecture, musical recital, or other similar performance.
 - 8. Shopping malls or retail establishments.
 - 9. Indoor and outdoor sports arenas.
 - 10. Restaurants, including lounge and bar areas, except outdoor dining areas.
 - 11. Convention facilities.
 - 12. All indoor public areas and waiting rooms of public transportation facilities, including, but not limited to, bus and mass transportation facilities.
 - 13. Many other area used by public or serving as a place of work.
 - 14. Every room, chamber, place of meeting or public assembly, including school buildings under the control of any board, council, commission, committee, including, but not limited to, joint committees, or agencies of the City or any political subdivision of the State during such time as a public meeting is in progress, to the extent such place is subject to the jurisdiction of the City.
 - 15. All enclosed areas owned by the City.
 - 16. Rooms in which meetings or hearings open to the public are held, except where such rooms are in a private residence.

17. Sidewalks, driveways and other open areas within fifteen (15) feet of the entry to any building owned or occupied by any governmental entity, or within fifteen (15) feet of the entry to any building open to the public; provided, however, that this entryway prohibition shall not apply within outside dining areas where smoking is permitted or to entries that are located less than fifty (50) feet from another public entry.

Section 2: Section 250.020 “Definitions” is hereby amended by replacing the definition of smoking with the following:

SMOKING

The combustion of a cigarette, cigar, pipe tobacco, hookah, any other tobacco product or any similar combustible or electronic device in any manner or in any form to include vapor products.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2024.

Joseph Eagan, Council President

Approved this ____ day of _____, 2024.

Timothy J. Lowery, Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk



Agenda Request Form

For Administration Use Only:

Meeting Date:

Open Closed

Report No. 93/2023

Date Submitted:**To:** City Council**Title:** Ordinance amending Chapter 120 "Boards, Commissions and Committees" by deleting it in its entirety and replacing it with a new section.**Prepared by:** Administrator**Department:** City Clerk**Justification:**

In response to action items in the Strategic Plan, the Mayor and department heads have discussed some updates to the Boards and Commission chapter and other boards throughout the code. This update accomplishes several goals identified in our discussions.

1. There are two new boards that have been added, an Arts Commission and a Diversity and Inclusion Commission.
2. Eliminates the Wellness commission and the Tourism Commission since these commissions have not been functional. (Since wellness is important, we included some of the duties of that commission in the Parks commission duties).
3. The chapter has been rearranged to be in alphabetical order and all the sections made more consistent with similar sections.
4. The boards and commissions that are in other sections of the code are added at the beginning for cross reference allowing for easier access.

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 8, 2024

BILL NO. 9947

ORDINANCE NO.

ORDINANCE AMENDING CHAPTER 120 "BOARDS, COMMISSIONS AND COMMITTEES" BY DELETING IT IN ITS ENTIRETY AND REPLACING IT WITH A NEW SECTION.

Section 1: Chapter 120 "Boards, Commissions and Committees" is hereby amended by deleting it in its entirety and replacing it with a new section as follows:

Chapter 120

Boards, Commissions and Committees

Charter References — The planning and zoning commission, art. XI; board of adjustment, §11.5.

Cross Reference – Personnel Commission. Title I 125.015

Cross Reference – Citizen Police Review Board. Title I. 125-270

Cross Reference – Emergency Management Commission. 240.010

Cross Reference — Parks and recreation advisory board, §§**245.190** et seq.

Cross Reference – Board of Adjustment. 405 Art IX

Cross Reference – Landmarks and Historic District Commission. 405.425

Cross Reference – Property Maintenance Board of Appeals. 500 Art. XII, 599.330, 108.1

Article I

Code of Ethics

Section 120.010 Applicability.

[Code 1980 §2-69; CC 1990 §2-111]

There is hereby established a Code of Ethics which shall apply to all commission, board and committee members appointed by the Mayor and by the City Council.

Section 120.020 Delivery to Members.

[Code 1980 §2-70; CC 1990 §2-112]

The City Clerk shall deliver a copy of the Code of Ethics established under this Article to all persons who are appointed by the Mayor and by the City Council as members of commissions, boards and committees of the City within ten (10) days after their appointment is entered upon the

minutes of the City Council by depositing a copy of such Code of Ethics in the United States mail addressed to the residence of the person so appointed.

Section 120.030 Principle To Be Accepted.

[Code 1980 §2-71; CC 1990 §2-113]

Commission, board and committee members shall accept the fundamental principle that the sole function of local government is the efficient provision of facilities and services deemed essential for the kind of urban living desired by the resident population.

Section 120.040 Official Duties To Be Faithfully Discharged.

[Code 1980 §2-72; CC 1990 §2-114]

Commission, board and committee members, recognizing that the public interest is their primary concern, shall faithfully discharge their official duties regardless of personal considerations.

Section 120.050 Special Consideration Prohibited.

[Code 1980 §2-74; CC 1990 §2-116]

No commission, board or committee member shall grant a special consideration, treatment or advantage to any citizen beyond that which is available to every other citizen.

Section 120.060 Financial Interest in City Contracts or Sales To City Prohibited.

[Code 1980 §2-75; CC 1990 §2-117]

No commission, board or committee member shall have a financial interest, direct or indirect, in any contract with the City or be financially interested, directly or indirectly, in the sale to the City of any land, materials, supplies, equipment or services. Any person violating this Section shall forfeit his/her appointment or commission and be subject to such additional penalties as may be provided by law.

Section 120.070 Engaging in Business or Personal Interest Incompatible With Proper Discharge of Official Duties — Prohibited.

[Code 1980 §2-76; CC 1990 §2-118]

No commission, board or committee member shall engage in any business or transaction or have a financial or other personal interest, direct or indirect, which is incompatible with the proper discharge of his/her official duties in the public interest or would tend to impair his/her independence of judgment or action in the performance of his/her official duties.

Section 120.080 Private Interest in Proposed City Legislation To Be Disclosed.

[Code 1980 §2-77; CC 1990 §2-119]

A commission, board or committee member who has a financial or other private interest in any proposed City legislation shall disclose on the records of the Council the nature and extent of such interest.

Section 120.090 Representation of Private Interests Against City.

[Code 1980 §2-78; CC 1990 §2-120]

No commission, board or committee member shall appear in behalf of private interests before any officer, department or agency of the City Government; and no such person shall represent private interests in any action or proceeding against the interest of the City in any litigation to which the City is a party or in any action or proceeding in the Municipal Court in which the City or any agency or any officer or employee of the City in the course of his/her duties is a complainant.

Section 120.100 Gifts From Persons Dealing With City.

[Code 1980 §2-79; CC 1990 §2-121]

No commission, board or committee member shall accept any valuable gift, whether in the form of service, loan, thing, promise or in any other form, from any person which, to his/her knowledge, is interested, directly or indirectly, in any manner whatsoever in business dealings with the City.

Section 120.110 Disclosure or Improper Use of Confidential Information.

[Code 1980 §2-80; CC 1990 §2-122]

No commission, board or committee member shall disclose confidential information concerning the property, government or affairs of the City; nor shall he/she use such information to advance the financial or other private interest of himself/herself or others.

Section 120.120 Certain Private Employment or Services Prohibited.

[Code 1980 §2-81; CC 1990 §2-123]

No commission, board or committee member shall engage in or accept private employment or render services for private interests when such employment or service is incompatible with the proper discharge of his/her official duties.

Section 120.130 Transactions With the City, Etc.

[Code 1980 §2-82; CC 1990 §2-124]

No commission, board or committee member shall sell or barter anything to the City, or to a contractor to be supplied the City, or purchase anything from the City other than those things which the City offers generally to the public (for example, utility services), and then only on the same terms as are offered to the public.

Section 120.140 Certain Commission and Board Members Ineligible For Public Office.

[Code 1980 §2-83; CC 1990 §2-125]

No member of the Planning and Zoning Commission, Board of Appeals or Personnel Commission shall continue in such position after becoming a candidate for nomination or election to any public office.

Section 120.150 Political Favors from City Officers or Employees Prohibited.

[Code 1980 §2-84; CC 1990 §2-126]

No commission, board or committee member shall, directly or indirectly, solicit, receive or be in any manner concerned in soliciting, obtaining or receiving any monetary contribution or assistance, financial or otherwise, for any political purpose whatsoever from any officer or employee of the City.

Section 120.160 Unauthorized Use of City Property Prohibited — Personal Benefit From City Personnel Prohibited.

[Code 1980 §2-85; CC 1990 §2-127]

No commission, board or committee member shall request or permit the use of City-owned property for any purpose except the conduct of City business; and no such person shall, directly or indirectly, attempt to obtain any service or benefit from City personnel for the personal affairs of such person.

Section 120.170 Enforcement of Article — Violations and Penalties Generally.

[Code 1980 §2-86; CC 1990 §2-128]

The provisions of this Article may be enforced in any court of competent jurisdiction; and upon conviction of violating or conspiring to violate the provisions of this Article, a person shall be punished by a fine of not less than one hundred dollars (\$100.00) and not more than five hundred dollars (\$500.00). The conviction of any such person of such offense shall operate automatically to terminate his/her service. Any person so removed shall not be reinstated into City service. The conviction of any person of such offense shall automatically disqualify such person from future appointment and employment.

Article II

General Provisions

Section 120.175 Removal of Members.

- A. Any member of a commission, board or committee who is appointed by the Council or whose appointment is approved by the Council shall, upon an affirmative vote of the City Council, be deemed to have resigned from such board, commission or committee:
 - 1. If such member fails to attend three (3) consecutive regular meetings of such board, commission or committee without such absences having been excused by such board, commission or committee; or
 - 2. If such member fails to attend at least fifty percent (50%) of all meetings, regular or special, in any calendar year.

When any of such absence conditions occur, the Chairman of such board, commission or committee shall give written notice thereof and any known extenuating circumstances to the Council and to the board, commission or committee member concerned, following which the Council may declare a vacancy and fill such vacancy by appointment.

Section 120.180 Extension of Appointment For Board, Commission or Committee Members.

[CC 1990 §2-98; Ord. No. 6359, 1-10-2000]

- A. Unless otherwise provided for within the Code of Ordinances, a member of any board, commission or committee may continue to serve after the expiration of the appointment term until replaced or reappointed.
- B. A commission, board or committee member shall be deemed regularly appointed when his/her appointment is entered upon approved minutes of the Council.

Section 120.185 Serving On Planning and Zoning Commission and Board of Adjustment Simultaneously Prohibited.

[Ord. No. 1857 §1, 1-24-2012]

No person shall service on the Planning and Zoning Commission and the Board of Adjustment at the same time.

Article III
Arts Commission of Florissant

Section 120.190 Established

There is hereby established an Arts Commission of Florissant

Section 120.195 Membership – Term

The Arts Commission of Florissant shall consist of seven (7) persons, residents and working artist professionals over the age of 18 of the City of Florissant who shall be appointed by the Mayor with the approval of the City Council. The terms of the members shall be three (3) years appointed by staggered terms.. Members shall serve until their successors have been duly appointed and qualified.

Section 120.200 Organization – Adoption of Rules and Regulations

- A. The Arts Commission of Florissant shall elect its own Chairman and Vice Chairman who shall serve for a term of one (1) year.
- B. At any regularly scheduled meeting, the Commission may adopt any rules and regulations as it deems necessary to carry out the responsibilities set out in this Article.

Section 120.205 Meetings – Quorum

- A. The Arts Commission shall meet once per month but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
- B. A quorum for the purpose of making and adopting recommendations to be submitted to the City Council, shall consist of a majority plus one (1) of the number of the members required on the board.

Section 120.210 Committee to act in an advisory capacity only.

No part of this Article shall be construed as a delegation of legislative functions from the City Council, and such Commission shall be advisory only.

Section 120.215 Duties and Responsibilities

- 1. Promote artistic and cultural development within the City.
- 2. Work to broaden the artistic offerings of the City through hosting traveling art exhibits, working with City departments to host exhibits and performances that represent the population as a whole.
- 3. Work to provide community engagement through arts education to the public.

4. Advise City departments on types of performances the community would like the City to host at City sponsored events.
5. Work to engage the public in community arts events.
6. Identify community artists and coordinates opportunities to showcase their work through public exhibition.
7. Develop art galleries in local businesses around Florissant to host traveling exhibits
8. Develop murals at local businesses and public spaces
9. Assist in the selection of public art purchases
 - o Sculpture on the Move
 - o Paintings
 - o Photographs
 - o Any other culturally significant work of art deemed appropriate
10. Offer a representative member to advise/participate with non-City member groups.

Section 120.220 Expenses

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.225 Annual Report

The Arts Commission of Florissant shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article IV

Citizen Participation Committee

Section 120.230 Established.

[Code 1980 §2-97; CC 1990 §2-236; Ord. No. 8495, 2-25-2019]

There is hereby established a Citizen Participation Committee of the City.

Section 120.235 Membership — Term.

[Code 1980 §2-97; CC 1990 §2-237; Ord. No. 5381, 8-24-1992; Ord. No. 6078, 2-23-1998; Ord. No. 8495, 2-25-2019]

The Citizen Participation Committee shall consist of nine (9) members appointed at large by the City Council. All members shall be residents of the City. The term of each member shall be for three (3) years.

Section 120.240 Organization — Adoption of Rules and Regulations.

[Code Book §2-99; CC 1990 §2-238; Ord. No. 8495, 2-25-2019]

- A. The Citizen Participation Committee shall elect its own Chairman and Vice Chairman, who shall serve for a term of one (1) year.
- B. At any regularly scheduled meeting, the Committee may adopt any rules and regulations it deems necessary to carry into effect the responsibilities set out in this Article.

Section 120.245 Meetings — Quorum.

[Code 1980 §2-99; CC 1990 §2-239; Ord. No. 5822, 2-26-1996; Ord. No. 8495, 2-25-2019]

- A. The Citizen Participation Committee shall meet three (3) times a year, but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
- B. A quorum, for the purpose of making and adopting recommendations to be submitted to the Council, shall consist of a majority plus one (1) of the number of members required for the committee.

Section 120.250 Committee To Act in Advisory Capacity Only.

[Code 1980 §2-100; CC 1990 §2-240; Ord. No. 8495, 2-25-2019]

No part of this Article shall be construed as a delegation of legislative functions from the Council, and such Committee shall be advisory only.

Section 120.255 Duties and Responsibilities.

[Code 1980 §2-101; CC 1990 §2-241; Ord. No. 8495, 2-25-2019]

It shall be the duty of the Citizen Participation Committee to review and make recommendations to the Council for the spending of community development funds, to hold public hearings as the Committee deems necessary to gather information from which recommendations concerning community development funds and their expenditures can be made to the Council, and at least once each year to meet with the Council as a whole to make its recommendations concerning the expenditure of community development funds. The Committee shall also be empowered to make recommendations to the Council on any matter submitted to it for its consideration by the Council as a whole at any regularly scheduled Council meeting and shall submit its recommendations to the Council after its study.

Section 120.260 Expenses

[Code 1980 §2-102; CC 1990 §2-242; Ord. No. 8495, 2-25-2019]

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses.

Section 120.265 Annual Report

The Citizen Participation Commission shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article V Disability Awareness Commission

Section 120.270 Established — Membership — Terms.

[Code 1980 §2-206; CC 1990 §2-161; Ord. No. 5244, 6-11-1991]

There is hereby established a Florissant Disability Awareness Commission of the City which shall consist of seven (7) persons, residents of the City, who shall be appointed by the Mayor with the approval of the Council. The terms of such members shall be three (3) years. Members shall serve until their successors have been duly appointed and qualified.

Section 120.275 Organization.

[Code 1980 §2-208; CC 1990 §2-163; Ord. No. 5244, 6-11-1991]

The Florissant Disability Awareness Commission shall elect its own Chairman and Vice-Chairman who shall serve one (1) year terms. The Commission may adopt from time to time such rules and regulations as it deems necessary to carry into effect its responsibilities.

Section 120.280 Duties Generally, Annual Report Required.

[Code 1980 §2-207; CC 1990 §2-162; Ord. No. 5244, 6-11-1991; Ord. No. 5892, 11-11-1996]

It shall be the duty of the Florissant Disability Awareness Commission to coordinate all programs conducted by the City for citizens with disabilities and to make recommendations to the Mayor and Council concerning any programs or changes in existing programs as it deems appropriate for the citizens of the City who have disabilities. The Commission shall make an annual report to the Mayor and City Council concerning its activities.

Section 120.285 Expenses.

[CC 1990 §2-164; Ord. No. 5244, 6-11-1991]

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.290 Annual Report

The Disability Awareness Commission shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article VI
Diversity and Inclusion Commission

Section 120.295 Established

There is hereby established Diversity and Inclusion Commission in the City of Florissant

Section 120.300 Membership – Term

The Diversity and Inclusion Commission shall consist of nine (9) members appointed to staggered terms by the Mayor with approval of the City Council, one member representing each ward. Members shall be broadly representative of the racial, ethnic, and religious groups in the community. The term of appointment shall be for three (3) years. No individual shall serve more than two (2) full consecutive terms on the commission.

Section 120.305 Organization – Adoption of Rules and Regulations

1. The Diversity and Inclusion Commission shall elect its own Chairman and Vice Chairman who shall serve for a term of one (1) year.
2. At any regularly scheduled meeting, the Commission may adopt any rules and regulations as it deems necessary to carry out the responsibilities set out in this Article.

Section 120.310 Meetings – Quorum

1. The Diversity and Inclusion Commission shall meet once per month but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
2. A quorum for the purpose of making and adopting recommendations to be submitted to the City Council, shall consist of a majority plus one (1) of the number of the members required for the commission.

Section 120.315 Committee to act in an advisory capacity only.

No part of this Article shall be construed as a delegation of legislative functions from the City Council, and such Commission shall be advisory only.

Section 120.320 Duties and Responsibilities

1. Foster, through community effort or otherwise, goodwill, cooperation and conciliation among community groups and elements of the inhabitants of the City;
2. Formulate and carry out educational programs that will aid in discouraging all types of prejudice and discrimination;
3. Support educational campaigns and programs devoted to eliminating group tensions, prejudices, intolerance, bigotry, and discrimination;
4. Recommend programs, policies, and procedures to the City Council which will protect against discrimination, promote the health, safety, and welfare of community members.

Section 120.325 Expenses

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.330 Annual Report

The Diversity and Inclusion Commission of Florissant shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article VII

Environmental Quality

Commission

Section 120.335 Established.

[Code 1980 §2-162; CC 1990 §2-146]

There is hereby established a Commission on Environmental Quality.

Section 120.340 Membership - Term

[Code 1980 §2-163; CC 1990 §2-147; Ord. No. 7342 §1, 10-13-2006]

The Commission on Environmental Quality shall consist of nine (9) members who shall be residents of the City. The members shall be appointed by the Mayor with the approval of the City Council.

The terms of the members of the Commission on Environmental Quality shall be for three (3) years. Presently serving members of the Commission shall serve the unexpired portion of their terms. Appointments to fill vacancies shall be for the unexpired portion of a term only.

Section 120.345 Organization – Adoption of Rules and Regulations

1. The Environmental Quality Commission shall elect its own Chairman and Vice Chairman who shall serve for a term of one (1) year.
2. At any regularly scheduled meeting, the Commission may adopt any rules and regulations as it deems necessary to carry out the responsibilities set out in this Article.

Section 120.350 Meetings – Quorum

1. The Environmental Quality Commission shall meet once per month but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
2. A quorum for the purpose of making and adopting recommendations to be submitted to the City Council, shall consist of a majority plus one (1) of the number of the members required for the commission.

[Code 1980 §2-165; CC 1990 §2-149]

- A. The Commission on Environmental Quality shall have the powers and duties to:
1. Monitor the quality of the environment, including observation, and, where possible, measurements of air, water, soil, and noise pollution utilizing the available sources of data supplemented by such additional measurements as the Commission deems necessary. Observations of the above pollutants will be reported to the appropriate City, County or State authorities. These occurrences will be recorded by the Commission, with a copy of the report sent to the Mayor and City Council, and made a matter of public record.
 2. Work with the City offices in the developing of green areas within the City. Periodic surveys will be made by the Commission to ascertain the location of trees, shrubs and flower plantings. The suggested locations shall be filed with the appropriate City offices and with the City Council.
 3. Develop an environmental education program. This will include the acquisition of environmental information from municipal, State and Federal sources and the public dissemination of pertinent environmental data with the approval of the Council.
 4. Review the codes and ordinances of the City affecting environmental quality and make such recommendation as it deems appropriate regarding the amendment, modification or change in such ordinances or the adoption of new ordinances for the purpose of improving the environmental quality of the City.

Section 120.360 Expenses

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

[Code 1980 §2-167; CC 1990 §2-151]

The Commission on Environmental Quality shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article VIII

Landmarks and Historic District Commission

Section 120.370 Created.

[CC 1990 §2-176; Ord. No. 6489, 1-22-2001]

The Landmark and Historic District Commission is established and organized in accordance with the Florissant City Code, the Zoning Ordinance, as amended. Cross reference Article XII 405.425.

Article IX

Senior Citizens Commission

Section 120.375 Established — Membership — Terms.

[Code 1980 §2-178; CC 1990 §2-201; Ord. No. 6213, 12-14-1998; Ord. No. 6764, 10-28-2002]

There is hereby established a Senior Citizens Commission of the City which shall consist of one (1) member from each of the nine (9) wards and nine (9) alternates who shall be residents of the City and shall be appointed by the Mayor with the approval of the Council. The terms of such members shall be three (3) years. Members shall serve until their successors have been duly appointed and qualified.

Section 120.380 Duties Generally — Annual Report Required.

[Code 1980 §2-179; CC 1990 §2-202]

It shall be the duty of the Senior Citizens Commission to coordinate all programs conducted by the City for senior citizens and to make recommendations to the Mayor and Council concerning any programs or changes in existing programs as it deems appropriate for the senior citizens of the City. The Commission shall make an annual report to the Mayor and City Council concerning its activities.

Section 120.385 Organization.

[Code 1980 §2-180; CC 1990 §2-203]

The Senior Citizens Commission shall elect its own Chairman and Vice Chairman who shall serve one (1) year terms. The Commission may adopt from time to time such rules and regulations as it deems necessary to carry into effect its responsibilities.

Section 120.390 Expenses.

[Code 1980 §2-181; CC 1990 §2-204]

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.395 Annual Report

The Senior Citizens Commission of Florissant shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article X

Traffic Commission

Section 120.400 **Established.**

[CC 1990 §2-245; Ord. No. 5380, 8-24-1992]

There is hereby established a Traffic Commission to serve without compensation.

Section 120.405 **Members-Terms**

The Traffic Commission shall consist nine (9) persons who shall be residents of the City of Florissant, one (1) from each ward of the City, who shall be appointed by the Mayor with the approval of the Council. The Director of Public works (or his/her designee) shall serve as the City liaison and the Police Chief (or his/her designee) shall serve in an advisory capacity. The terms of such members shall be four (4) years, provided however, those residents presently serving on the Traffic Commission shall continue to serve with the initial terms of the members from the even-numbered wards being two (2) years and the initial terms of the members from the odd-numbered wards being four (4) years. Members shall serve until their successors have been duly appointed and qualified.

Section 120.410 **Organization – Adoption of Rules and Regulations**

1. The Environmental Quality Commission shall elect its own Chairman and Vice Chairman who shall serve for a term of one (1) year.
2. At any regularly scheduled meeting, the Commission may adopt any rules and regulations as it deems necessary to carry out the responsibilities set out in this Article.

Section 120.415 **Meetings – Quorum**

1. The Traffic Commission shall meet once per month but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
2. A quorum for the purpose of making and adopting recommendations to be submitted to the City Council, shall consist of a majority plus one (1) of the number of the members required for the commission.

Section 120.420 **Powers and Duties.**

[CC 1990 §2-246; Ord. No. 5380, 8-24-1992]

It shall be the duty of the Traffic Commission to recommend to the Mayor, City Council, the Director of Public Works and the Chief of Police ways and means for improving traffic conditions, coordination of traffic activities and the administration and enforcement of traffic regulations.

Section 120.425 Expenses

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.430 Annual Report

The Traffic Commission shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article XI

Veterans Commission

Section 120.420 Established, Membership and Terms.

[Ord. No. 7186 §1, 7-25-2005; Ord. No. 7206 §1, 9-15-2005]

There is hereby established a Veterans Commission which shall consist of fifteen (15) members who shall be residents of the City and a veteran of the armed services with at least one (1) member being from each of the nine (9) wards. The members of the Veterans Commission shall be appointed by the Mayor with the approval of the City Council. The terms for each member shall be three (3) years. Members shall serve until their successors have been appointed and qualified.

Section 120.425 Organization – Adoption of Rules and Regulations

1. The Veterans Commission shall elect its own Chairman and Vice Chairman who shall serve for a term of one (1) year.
2. At any regularly scheduled meeting, the Commission may adopt any rules and regulations as it deems necessary to carry out the responsibilities set out in this Article.

Section 120.430 Meetings – Quorum

1. The Veterans Commission shall meet once per month but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
2. A quorum for the purpose of making and adopting recommendations to be submitted to the City Council, shall consist of a majority plus one (1) of the number of the members required for the commission.

Section 120.435 Duties Generally.

[Ord. No. 7186 §1, 7-25-2005]

It shall be the duties of the Veterans Commission to assist families of persons currently serving in the United States armed services, to coordinate efforts with the Veterans Administration of the State of Missouri, to coordinate activities associated with patriotic events, including but not limited to Memorial Day and July fourth (4th), to provide education and leadership to the youth of the community regarding past wars and conflicts, and such other duties that may be assigned by the Mayor to promote and honor any and all people that have served in the United States armed services.

Section 120.440 **Expenses**

The payment and processing of expenses shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.445 **Annual Report**

The Veterans Commission shall make an annual report to the City Council giving a full account of its business and its accomplishments

Article XII

Youth Advisory Commission

Section 120.450 Established.

[Code 1980 §2-192; CC 1990 §2-216]

There is hereby established a Youth Advisory Commission for the City.

Section 120.455 Membership — Appointment — Terms.

CC 1990 §2-217; Ord. No. 5487, 4-26-1993; Ord. No. 5783, 11-13-1995; Ord. No. 8104 §1, 12-8-2014]

The youth advisory commission shall consist of eight (8) residents of the city, including seven (7) young persons, who are at least thirteen (13) years of age and not to exceed eighteen (18) years of age. The remaining one (1) person shall be an adult resident representative of a youth-oriented private agency when possible that shall serve in an advisory capacity and shall not be a voting member.

In addition, one (1) Recreation Department Staff shall serve as the liaison to the commission. The commission shall be appointed by the mayor, with the approval of the council.

The terms of such members shall be three (3) years, provided however, those residents presently serving on the commission shall continue to serve until their term expires. Members may be reappointed, except those appointed as young persons may not be reappointed as such in the event that they have passed the age of eighteen (18); however, all members shall continue to serve on the commission until their successors have been duly appointed and qualified.

Section 120.425 Organization – Adoption of Rules and Regulations

1. The Youth Advisory Commission shall elect its own Chairman and Vice Chairman who shall serve for a term of one (1) year.
2. At any regularly scheduled meeting, the Commission may adopt any rules and regulations as it deems necessary to carry out the responsibilities set out in this Article.

Section 120.415 Meetings – Quorum

3. The Youth Advisory Commission shall meet once per month but shall be authorized to meet more frequently by a majority vote of the members present at a regularly scheduled meeting.
4. A quorum for the purpose of making and adopting recommendations to be submitted to the City Council, shall consist of a majority plus one (1) of the number of the members required for the commission.

Section 120.455 Duties.

It shall be the duty of the youth advisory commission to advise the mayor and the council on all phases of youth needs, services and programming, including youth employment, jobs and training, and recreational opportunities. It shall also be the duty of the commission to review all programs conducted by the city for young persons and to make recommendations to the mayor and the council concerning any programs or changes in existing programs as it deems appropriate for the young residents of the city. It shall also be the duty of the commission to assist with various programs including snowman judging, Suicide Prevention events, holiday programs and house decorating judging.

Section 120.465 Expenses.

[Code 1980 §2-195; CC 1990 §2-220]

The payment and processing of expenses of the Youth Advisory Commission shall be in accordance with the regulations of the City concerning the payment of reasonable and necessary expenses to other boards and commissions of the City.

Section 120.470 Annual Report

The Arts Commission of Florissant shall make an annual report to the City Council giving a full account of its business and its accomplishments.

Article XIII
Industrial Development Authority

Section 120.470 Established.

[CC 1990 §2-250]

There is hereby established and created an "Industrial Development Authority of the City of Florissant, Missouri".

Section 120.480 Authorization.

[CC 1990 §2-251]

The Incorporators of the Industrial Development Authority are hereby authorized to proceed to form the Industrial Development Authority by executing, acknowledging and filing Articles of Incorporation with the Missouri Secretary of State, as provided for in Sections 349.010 to 349.105, inclusive, RSMo. The Articles of Incorporation shall not be amended unless authorized by the City Council in the manner provided for in such State Statutes.

Section 120.490 Directors.

[CC 1990 §2-252]

The Industrial Development Authority shall have five (5) directors who shall be duly qualified electors and taxpayers in the City of Florissant, Missouri. The directors shall be resident taxpayers for five (5) years immediately prior to their appointment. No director shall be an officer or employee of the City of Florissant, Missouri. All directors shall be appointed for six (6) year terms by the Mayor of the City of Florissant, Missouri, subject to confirmation by a majority of the City Council, except that the first (1st) group of directors shall serve until the expiration of the terms for which they are initially appointed.

Section 120.500 Reporting.

[CC 1990 §2-253]

The Industrial Development Authority shall file an annual report with the City Council, such annual report to include an audited financial statement.

Section 120.510 Governing Provisions.

[CC 1990 §2-254; Ord. No. 5833, 4-8-1996]

The Industrial Development Authority shall be governed by Sections 349.010 to 349.105, inclusive, RSMo., in addition to those set forth in this Article.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 202_.

, Council President

Approved this ____ day of _____, 202_.

Timothy J. Lowery, Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk



Agenda Request Form

For Administration Use Only:

Meeting Date: 1/8/2024

Open

Closed

Report No. 95/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing the Mayor to enter into a maintenance agreement with the Metropolitan Sewer District (MSD) for Bangert Park located at 275 S. New Florissant Road.

Prepared by: Administrator

Department: Parks and Recreation

Justification:

Please see attached

Attachments:

1. Agreement

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 8, 2024

BILL NO. 9949

ORDINANCE NO.

ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO A MAINTENANCE AGREEMENT WITH THE METROPOLITAN SEWER DISTRICT (MSD) FOR BANGERT PARK LOCATED AT 275 S. NEW FLORISSANT ROAD.

NOW THEREFORE, BE IT ORDAINTED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, MISSOURI, AS FOLLOWS:

Section 1. The Mayor of the City of Florissant is hereby authorized to enter into a maintenance agreement with the Metropolitan Sewer District (MSD) for Bangert Park located at 275 S. New Florissant Road and attached hereto.

Section 2. This ordinance shall be in full force and effect from and after the date of its passage by the City Council.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the City Council

Approved this _____ day of _____, 2024.

Timothy J. Lowery
Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk



Agenda Request Form

For Administration Use Only:

Meeting Date: 1/8/2024

Open

Closed

Report No. 96/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing a sanitary and storm water easement for the Metropolitan Sewer District (MSD) on Lot 1 of Bangert Park Library Subdivision.

Prepared by: Administrator

Department: Parks and Recreation

Justification:

Please see attachment

Attachments:

1. Easement

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 8, 2024

BILL NO. 9950

ORDINANCE NO.

**ORDINANCE AUTHORIZING A SANITARY AND STORM WATER
EASEMENT FOR THE METROPOLLITAN SEWER DISTRICT (MSD) ON
LOT 1 OF BANGERT PARK LIBRARY SUBDIVISION.**

NOW THEREFORE, BE IT ORDAINTED BY THE CITY COUNCIL OF THE CITY OF
FLORISSANT, MISSOURI, AS FOLLOWS:

Section 1. A sanitary and storm water easement for the Metropolitan Sewer District (MSD) on Lot 1 of Bangert Park Library Subdivision is hereby authorized per the attached easement.

Section 2. This ordinance shall be in full force and effect from and after the date of its passage by the City Council.

Adopted this _____ day of _____, 2024.

Joseph Eagan
President of the City Council

Approved this _____ day of _____, 2024.

Timothy J. Lowery
Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

DOCUMENT TYPE: Easement

DATE OF DOCUMENT:

GRANTOR: City of Florissant
655 Rue St., Florissant, MO 63031

GRANTEE: Metropolitan St. Louis Sewer District
2350 Market Street, St. Louis, MO 63103

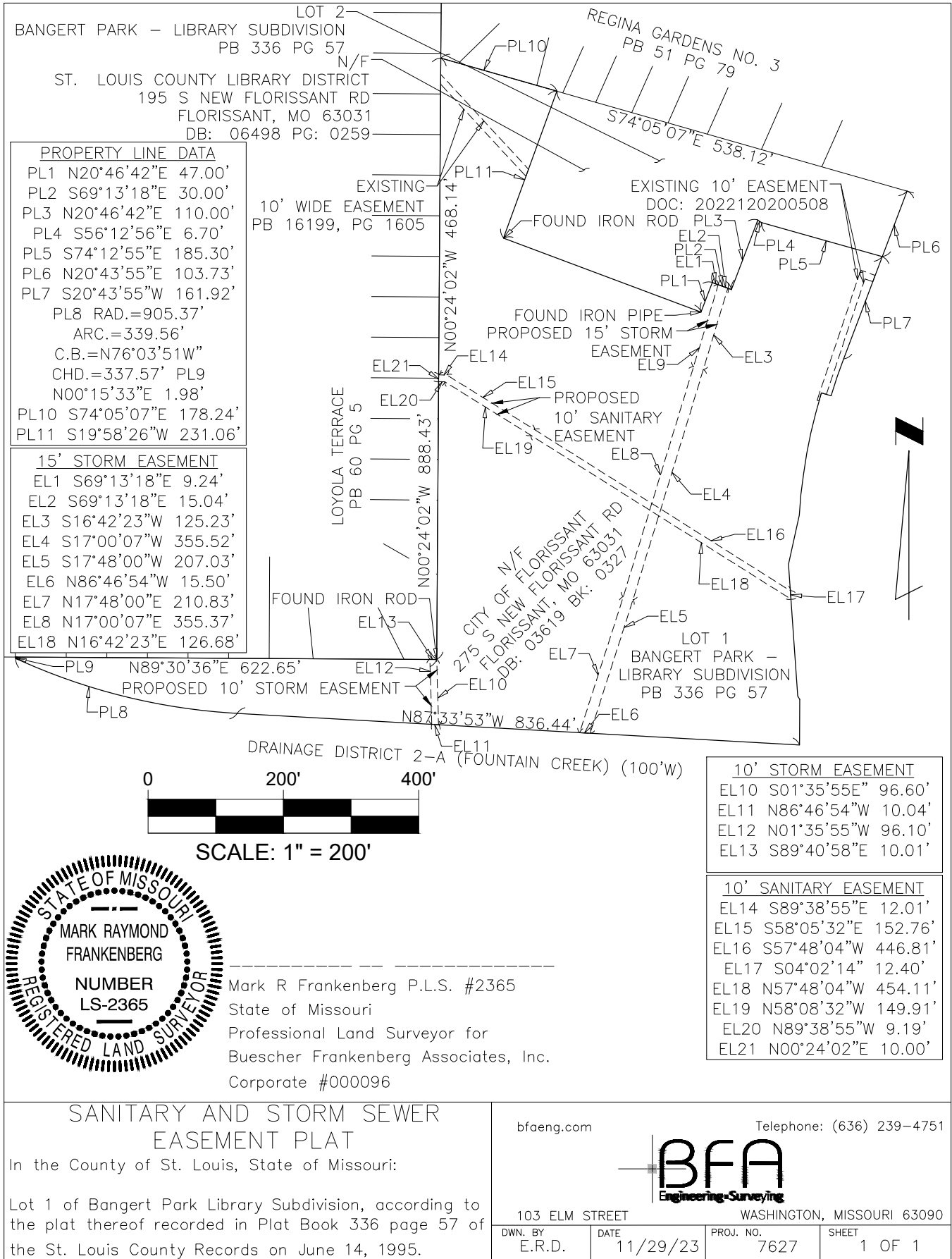
PROPERTY ADDRESS: Bangert Park Pool
275 S New Florissant Road, Florissant, MO 63031

COUNTY LOCATOR#: 09J440767

CITY OF ST. LOUIS PARCEL#: N/A

CITY/MUNICIPALITY: Florissant

LEGAL DESCRIPTION: Lot 1 of Bangert Park Library Subdivision, according to the plat thereof recorded in Plat Book 336 page 57 of the St. Louis County Records on June 14, 1995.



PROPERTY LINE DATA

PL1	N20°46'42"E	47.00'
PL2	S69°13'18"E	30.00'
PL3	N20°46'42"E	110.00'
PL4	S56°12'56"E	6.70'
PL5	S74°12'55"E	185.30'
PL6	N20°43'55"E	103.73'
PL7	S20°43'55"W	161.92'
PL8	RAD.=905.37'	
	ARC.=339.56'	
	C.B.=N76°03'51"W	
	CHD.=337.57'	
PL9	N00°15'33"E 1.98'	
PL10	S74°05'07"E	178.24'
PL11	S19°58'26"W	231.06'

15' STORM EASEMENT

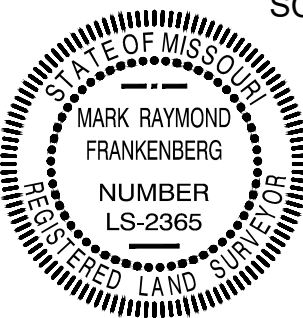
EL1	S69°13'18"E	9.24'
EL2	S69°13'18"E	15.04'
EL3	S16°42'23"W	125.23'
EL4	S17°00'07"W	355.52'
EL5	S17°48'00"W	207.03'
EL6	N86°46'54"W	15.50'
EL7	N17°48'00"E	210.83'
EL8	N17°00'07"E	355.37'
EL18	N16°42'23"E	126.68'

10' STORM EASEMENT

EL10	S01°35'55"E	96.60'
EL11	N86°46'54"W	10.04'
EL12	N01°35'55"W	96.10'
EL13	S89°40'58"E	10.01'

10' SANITARY EASEMENT

EL14	S89°38'55"E	12.01'
EL15	S58°05'32"E	152.76'
EL16	S57°48'04"W	446.81'
EL17	S04°02'14"	12.40'
EL18	N57°48'04"W	454.11'
EL19	N58°08'32"W	149.91'
EL20	N89°38'55"W	9.19'
EL21	N00°24'02"E	10.00'



Mark R Frankenberg P.L.S. #2365
State of Missouri
Professional Land Surveyor for
Buescher Frankenberg Associates, Inc.
Corporate #000096

**SANITARY AND STORM SEWER
EASEMENT PLAT**

In the County of St. Louis, State of Missouri:

Lot 1 of Bangert Park Library Subdivision, according to the plat thereof recorded in Plat Book 336 page 57 of the St. Louis County Records on June 14, 1995.

bfaeng.com		Telephone: (636) 239-4751	
		103 ELM STREET WASHINGTON, MISSOURI 63090	
		DWN. BY E.R.D.	DATE 11/29/23