



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 Rue St. Francois
MONDAY, MAY 8, 2023
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

| | | |
|-----------|------------------------------|--|
| 4-24-2023 | City Council Meeting Minutes | |
|-----------|------------------------------|--|

IV. SPECIAL PRESENTATIONS

| | | |
|--|-----------------------------------|--|
| | City Council Election of Officers | |
| | PROCLAMATIONS | |
| | Police Week | |
| | Municipal Clerk's Week | |

IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

VII. OLD BUSINESS

| | | |
|------|--|-------|
| | BILLS FOR SECOND READING | |
| 9878 | Ordinance to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building. (To be postponed to 5/22/2023 at the petitioner's request) | Eagan |

| | | |
|------|--|-------|
| 9880 | Ordinance to approve Painting brick to new color at 2678 N. Highway 67 Dairy Queen | Siam |
| 9881 | Ordinance allowing the Mayor to enter into a supplemental agreement with the Missouri Highways and Transportation Commission for the Mullanphy Road Project to include Patterson Road to Shackelford Road. | Eagan |
| 9882 | Ordinance authorizing an amendment to 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development). | Eagan |

VIII. NEW BUSINESS

| | | |
|--------|--|--|
| | BOARD APPOINTMENTS | |
| Ward 2 | Re-Appoint Jeff Plodzien to the Board of Adjustment as a full member. | |
| Ward 1 | Appoint Joy Jablonski to Parks and Recreation Board | |
| Ward 6 | Appt of Marty Margherio to the Board of Adjustment as an altermate member. | |
| | BILLS FOR FIRST READING | |

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETING BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON JANUARY 5TH, 2022 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MONDAY, MAY 8, 2023



Agenda Request Form

For Administration Use Only:

Meeting Date: 5/8/2023

Open Closed

Report No. 12/2023

Date Submitted:

To: City Council

Title: City Council Meeting Minutes

Prepared by: Ms. Deputy City Clerk Savanna Burton

Department:

Justification:

Attachments:

1. CC Minutes 4-24-2023

CITY OF FLORISSANT



COUNCIL MINUTES

Monday, April 24, 2023

The Florissant City Council met in regular session at Florissant City Hall, 955 Rue St. Francois on Monday, April 24, 2023 at 7:00 PM with Council President Eagan presiding.

I. PLEDGE OF ALLEGIANCE

The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

II. ROLL CALL OF MEMBERS

On Roll Call the following Councilmembers were present: Parson, Siam, Harris, Manganelli, Eagan, Caputa, Schildroth, O'Donnell, and Pagano. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

III. APPROVAL OF MINUTES

4-10-2023 City Council Regular Meeting Minutes

Councilman Parson made a motion to approve the City Council Minutes of April 10, 2023, seconded by Siam. Motion carried.

IV. SPECIAL PRESENTATIONS

Swearing in of the newly re-elected officials as follows:

Mayor Timothy J. Lowery

Judge Mary Elizabeth Dorsey

Ward 2 Councilman Paul Manganelli

Ward 4 Councilman Jeff Caputa

Ward 6 Councilman Thomas O'Donnell

Ward 8 Councilman Robert Parson Jr.

City Clerk Karen Goodwin swore in Mayor Timothy J. Lowery, Judge Mary Elizabeth Dorsey, Councilman Paul Manganelli, Councilman Jeff Caputa, Councilman Thomas O'Donnell, and Councilman Robert Parson, Jr.

PROCLAMATIONS

Mayor Norm McCourt Retiring

The City Clerk read the Proclamation for Black Jack Mayor Norm McCourt. Councilman Schildroth congratulated Mayor Norm McCourt for a great career and presented him with a Key to the City. Mayor Lowery thanked Mayor McCourt for everything he has done in Black Jack as well as North County and his mentorship. Mayor Norm McCourt thanked Florissant for the Proclamation and noted his pleasure of working with many members of the council and mayors of Florissant.

PRESENTATIONS

UMSL Student presentation

Rob Wilson, UMSL Honors College Instructor, noted the "Where We Live" class is an urban studies class to get students out and engaged in the community. Mr. Wilson noted

the class has worked with multiple municipalities including Florissant and the students presented their projects concerning the history of Florissant.

V. HEARING FROM CITIZENS

Elizabeth Lum, 120 S. Central, informed the council she is present to answer any questions they may have for the first reading regarding Scrubbles Car Wash.

VI. COMMUNICATIONS

Letter received from Missouri House Representative Gretchen Bangert

VII. PUBLIC HEARINGS

23-04-010. Request to amend 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development). (Planning & Zoning recommended approval on 4/3/2023)

The Clerk reported that Public Hearing 23-04-010 for the Request to amend 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development). The Chair declared the Public Hearing to be open.

Joe Dale, petitioner, noted this expansion is the church located west of their current property and contiguous to their current business. The request is to allow for vehicle storage only on the property as well as business offices within the existing church structure. Mr. Dale noted fence screening and lighting of the parking lot will be the only type of construction on the property at this time. Some interior maintenance take place for HVAC systems or similar needs, but overall the church is in good condition that construction is not necessary.

Being no further comments, Councilman Eagan made a motion to close the Public Hearing, seconded by Caputa. Motion carried.

VIII. OLD BUSINESS

BILLS FOR SECOND READING

9877. Ordinance approving the Community Development Block Grant (CDBG) Fiscal Year 2023 Annual Action Plan for the City of Florissant, Missouri and authorizing and directing the Mayor to submit such plan to the United States Department of Housing and Urban Development.

Councilman Eagan moved that Bill No. 9877 be read for a second time, seconded by O'Donnell. Motion carried and Bill No. 9877 was read for a second time.

Councilman Caputa moved that Bill No. 9877 be read for a third time, seconded by Harris. Motion carried and Bill No. 9877 was read for a third time and placed upon its passage.

Before the final vote was taken, all interested person were given the opportunity to be heard. Being none, on roll call the Council voted as follows:

VOTING

Motion by: Councilman Caputa, Jeff

Second by: Councilman Harris, Andrew

| COUNCIL MEMBERS | YES | NO | ABSTAIN | RECUSE |
|------------------------------|-----|----|---------|--------|
| Councilman Eagan, Joseph | X | | | |
| Councilman Harris, Andrew | X | | | |
| Councilman Manganelli, Paul | X | | | |
| Councilman Caputa, Jeff | X | | | |
| Councilman Schildroth, Keith | X | | | |

| | | | | |
|-------------------------------|---|--|--|--|
| Councilman O'Donnell, Thomas | X | | | |
| Councilwoman Pagano, Jackie | X | | | |
| Councilman Parson Jr., Robert | X | | | |
| Councilman Siam, Tommy | X | | | |

Whereupon the Chair declared Bill No. 9877 to have passed and become Ordinance No. 8884.

IX. NEW BUSINESS

BOARD APPOINTMENTS

Mayor. Re-appoint Zach Schneider to Traffic Commission
Term Expire April 8, 2026

Councilwoman Pagano moved to accept the mayor's reappointment of Zach Schneider to the Traffic Commission with a term expiring 4/8/2026. Seconded by Caputa, motion carried.

BILLS FOR FIRST READING

9878. Ordinance to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building.
Bill No. 9878 was read for the first time.

9879. Ordinance to amend Title III "Traffic Code" Schedule III " Stop Intersections" subsection IIIB by adding a 2 way stop intersection at Daniel Boone and Florissant Park.
Bill No. 9879 was read for the first time.

Councilman Manganelli moved that Bill No. 9879 be read for a second time, seconded by Schildroth. Motion carried and Bill No. 9879 was read for the second time.

Councilman Manganelli moved that Bill No. 9879 be read for a third time, seconded by Harris. Motion carried and Bill No. 9879 was read for the third time.

On roll call, the Council voted: Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, and Pagano yes.

Having received a unanimous vote of all members present, Bill No. 9879 was read for a third and final time and place upon its passage.

Before the final vote, all interested persons were given an opportunity to be heard. Seeing none, on roll call the Council voted as follows:

VOTING

Motion by: Councilman Manganelli, Paul

Second by: Councilman Harris, Andrew

| COUNCIL MEMBERS | YES | NO | ABSTAIN | RECUSE |
|-------------------------------|-----|----|---------|--------|
| Councilman Eagan, Joseph | X | | | |
| Councilman Harris, Andrew | X | | | |
| Councilman Manganelli, Paul | X | | | |
| Councilman Caputa, Jeff | X | | | |
| Councilman Schildroth, Keith | X | | | |
| Councilman O'Donnell, Thomas | X | | | |
| Councilwoman Pagano, Jackie | X | | | |
| Councilman Parson Jr., Robert | X | | | |
| Councilman Siam, Tommy | X | | | |

Whereupon the Chair declared Bill No. 9879 to have passed and become Ordinance No. 8885.

9880. Ordinance to approve painting brick to new color at 2678 N. Highway 67 Dairy Queen
Bill No. 9880 was read for the first time.

9881. An ordinance allowing the Mayor to enter into a supplemental agreement with the Missouri Highways and Transportation Commission for the the Mullanphy Road Project to include Patterson Road to Shackelford Road.

Bill No. 9881 was read for the first time.

9882. Ordinance authorizing an amendment to 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development).

Bill No. 9882 was read for the first time.

X. COUNCIL ANNOUNCEMENTS

Councilman Manganelli reminded residents of the Knights of Columbus bocce tournament on June 3, 2023 with a limit of 6 teams which will include on introduction to the Italian Festival.

Councilman Harris announced the 41st Annual Hazelwood PTA Scholarship Run/Walk would take place on Saturday, May 13th with multiple race lengths available and registration is available at hazelwoodptacouncil.com.

Councilman Caputa reminded residents to lock their firearms securely in their homes, not their vehicles. He announced the First Responder Canteen is looking for volunteers to supply water and other needs to first responders on calls. Any interested volunteers should contact either Robert Smith at flocomw4@gmail.com or Danny Cunningham at danny@stlfr.com.

Councilman O'Donnell noted Old Town Partners is an organization which supports businesses in Old Town. A spring clean up sponsored by Old Town Partners is taking place prior to Valley of Flowers Festival on Saturday, April 29th at 10am starting in the parking lot across from City Hall. The Ride into Spring event is from 10am to 2pm on Saturday, April 29th promoting discounts at local businesses with more information available on the Old Town Partners Facebook Page. VFW Post 4105 has elected Commander Joe Redden to take over for Ron Scanlon in May.

Councilman Eagan informed residents Ron Azzanni passed away suddenly on Friday, April 28th. Mr. Azzanni was a member of the City's Board of Adjustment and a long-time volunteer at the St. Ferdinand Fish Fry.

XI. MESSAGE FROM THE MAYOR

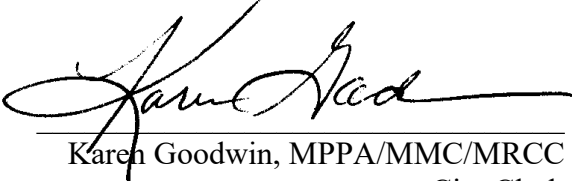
Mayor Lowry noted a plaque dedication would take place on Wednesday, May 3rd at 5:30pm for the late Sheila Williams in front of 990 St. Francois. Ms. Williams was one of the five founding members of the Florissant Valley Historic Society. The Valley of Flowers cleanup campaign is still continuing from April 3rd through May 5th which consists of residents cleaning up Florissant in preparation for the Valley of Flowers Festival. The Festival theme is the Kentucky Derby from May 5th to May 7th. Mayor Lowry thanked the City residents for his re-election as mayor and appreciates the support over the last four years.

XII. ADJOURNMENT

The Council President stated the next regular City Council Meeting will be Monday, May 8, 2023 at 7:00 pm.

Councilman Parson moved to adjourn the meeting, seconded by Pagano. Motion carried.

Adjourned at 7:54 PM
Respectfully submitted,



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

Bill No. 9877
Bill No. 9879

Ord. No. 8884
Ord. No. 8885



Agenda Request Form

For Administration Use Only:

Meeting Date: 5/8/2023

Open Closed

Report No. 7/2023

Date Submitted:

To: City Council

Title: Police Week

Prepared by: Mr. Sr. Communications Manager Andrew Quinones

Department:

Justification:

Attachments:

1. National Police Week 2023

OFFICE OF



THE MAYOR

CITY OF FLORISSANT

WHEREAS: We acknowledge May 14 – 20, 2023 as National Police Week to honor the service and sacrifice of those law enforcement officers killed in the line of duty while protecting our communities and safeguarding our democracy; and

WHEREAS: There are approximately 900,000 law enforcement officers serving in communities across the United States, including the dedicated men and women of the Florissant Police Department; and

WHEREAS: Nearly 60,000 assaults against law enforcement officers are reported each year, resulting in approximately 16,700 injuries; and

WHEREAS: Sadly, over the last decade, an average of 151 officers a year have been killed in the line of duty. And throughout U.S. history more than 21,000 law enforcement officers have made the ultimate sacrifice; and

WHEREAS: The names of these dedicated public servants are engraved on the walls of the National Law Enforcement Officers Memorial in Washington, D.C.; and

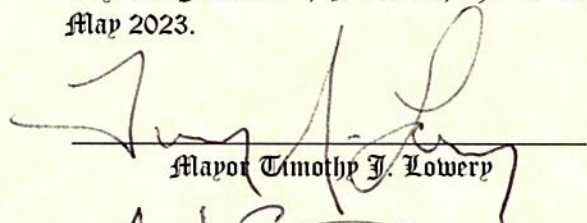
WHEREAS: New names of fallen heroes are being added to the National Law Enforcement Officers Memorial this spring, including 25 officers killed in 2023 to date and 245 officers killed in the previous year; and

WHEREAS: May 15, 2023 is designated as Peace Officers Memorial Day, in honor of all fallen officers and their families and U.S. flags should be flown at half-staff.

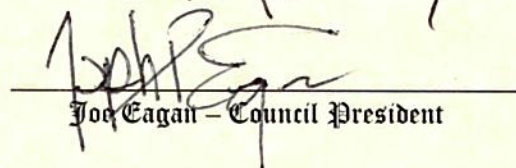
NOW, THEREFORE, I, TIMOTHY J. LOWERY, MAYOR OF THE CITY OF FLORISSANT AND MEMBERS OF THE CITY COUNCIL do hereby formally designate May 14 - 20, 2023, as National Police Week in the City of Florissant, and publicly salute the service of law enforcement officers in our community and in communities across the nation.

In Witness Whereof I hereunto Set My Hand And Cause To Be Affixed The Seal Of The City Of Florissant, Missouri, this 8th day of May 2023.





Mayor Timothy J. Lowery



Joe Cagan - Council President

OFFICE OF



THE MAYOR

CITY OF FLORISSANT

WHEREAS: The Office of the Professional Municipal Clerk, a time honored and vital part of local government exists throughout the world; and

WHEREAS: The Office of the Professional Municipal Clerk is the oldest among public servants and serves as the information center on functions of local government and community; and

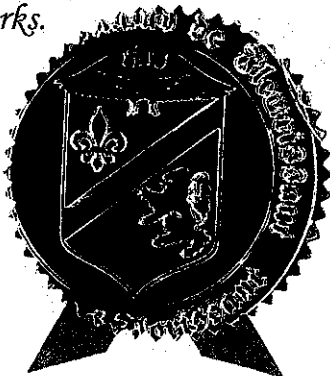
WHEREAS: The Office of the Professional Municipal Clerk provides the professional link between the citizens, the local governing bodies and agencies of government at other levels; and

WHEREAS: Professional Municipal Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all; and

WHEREAS: Professional Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Professional Municipal Clerk through participation in education programs, seminars, workshops and the annual meetings of their state, provincial, county and international professional organizations; and

WHEREAS: It is most appropriate that we recognize the accomplishments of the Office of the Professional Municipal Clerk,

NOW, THEREFORE, I, TIMOTHY J. LOWERY, MAYOR OF THE CITY OF FLORISSANT, MISSOURI, do hereby recognize the week of April 30 through May 6, 2023, as Professional Municipal Clerks Week, and further extend appreciation to our Professional Municipal Clerk, Karen Goodwin and to all Professional Municipal Clerks.



IN WITNESS WHEREOF I hereunto set my hand and cause to be affixed the Seal of the City of Florissant, Missouri, this 8th day of May, 2023.

© 94

Timothy J. Lowery
Mayor

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, April 10, 2023 at 7:00 p.m. on the following proposition:

To rezone the property located at 495 Howdershell from ‘B-3’ Extensive Business District to a ‘B-5’ Planned Commercial District to allow for a car wash and storage building. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

495 Howdershell Road

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Council Ward 2 Zoning 'B-3'

Initial Date Petitioner Filed 2/21/23

SIGN Allen G. Mink DATE: 3-20-23

Building Commissioner to complete ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Todd Buckner Scrubbles Express Wash Howdershell, LLC
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Owner
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 2.475

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant Bank Building

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construct a car wash building on one lot and a climate controlled

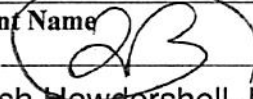
multi-story self storage building on another created lot within the 2.475 acre lot size

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Todd Buekner

Print Name 

PETITIONER(S) SIGNATURE (S) _____

FOR Scrubbles Express Wash Howdershell, LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

() I (we) have a legal interest in the herein above described property.

(X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS 221 Point West Blvd St. Charles MO 63301
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 636-928-5552

I (we) the petitioner (s) do hereby appoint Larry Walker - Bax Engineering as
BUSINESS
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation/LLC:

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Todd Buckner P.O. Box 7726 Tifton GA 31793
- (2) Telephone numbers 229-520-2244
- (3) Business address 8182 Maryland Ave. Suite 1500 St. Louis, MO 63105-3916
- (4) State of corporation & a photocopy of incorporation papers Missouri
- (5) Date of corporation August 8, 2022
- (6) Missouri Corporate Number LC014397335
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated Scrubbles Express Wash Howdershell, LLC
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Todd Buckner

Address P.O. Box 7726 Tifton GA 31793

Property Owner Scrubbles Express Wash Howdershell, LLC

Location of property 495 Howdershell Road

Dimensions of property Approximately 389' X 275'

Current Use of Property Vacant Bank to be demolished

Proposed Use of Property Car Wash and Climate controlled multi-story self storage

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories 3 story storage/ +/- 27' car wash

Square Footage of Building 19,396.74 s.f./floor storage
3,867 s.f. car wash Number of Curb Cuts 2

Number of Parking Spaces 6 employee car wash
6 storage bldg loading Sidewalk Length n/a existing along right-of-ways

Landscaping: No. of Trees 31 Diameter 2-1/2" caliper

No. of Shrubs 180 Size 18" diameter

Fence: Type Decorative Aluminum Length 700 Feet Height 4 Feet

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 495 Howdeshell CURRENT ZONING B-3

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT Bar Engig PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated

Yes / No

b. What current District would this proposal be a permitted use: none

c. Proposed uses for out lots: n/a

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line?

Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels?

Yes / No

c) Odor is there any foreseen problem with odor?

Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart?

Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation?

Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter?

Yes / No

g) Is there any dangerous amount of radiation produced from the operation?

Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure?

Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown?

Yes / No

j) Is buildings screened from adjoining residential?

Yes / No

3) Are height of structures shown?

Yes / No

4) Are all setbacks shown?

Yes / No

5) Are building square footages shown?

Yes / No

6) What is the exterior construction of the buildings? brick/block (cmu)

7) Is off street loading shown?

Yes / No

8) Parking:

a) Does parking shown meet the ordinance?

Yes / No

b) Is a variance required in accordance with the ordinance?

Yes / No

c) Ratio shown _____ to _____ see report

d) Total Number _____

e) Will cross access and cross parking agreements be required?

Yes / No

f) Is the parking lot adequately landscaped?

Yes / No

9) Are there any signs?

Yes / No

Number of signs shown not submitted

Type of Signs ground sign on plan only

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals?

Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown?

Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes No
- 14) Was a traffic study submitted? Yes No
Does the City Staff recommend a traffic study? Yes No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes No
- 16) Is a legal description of the property shown? Yes No
Does legal description appear to be proper? Yes No
- 17) Is an out-boundary plat of the property submitted? Yes No
- 18) Suggested time limitations of construction: Start _____ Finish 12 mos?
- 19) Is parking lot lighting shown? Yes No
- 20) Are new walkways required? Yes No
- 21) Is there sufficient handicapped access? Yes No
- 22) a) Are there proposed curb-cuts? Yes No
b) Do the curb-cuts meet the City ordinances? Yes No
- 23) Will this project require any street improvements? Yes No
- 24) Staff recommendations for site development plans: see staff report

25) Staff Comments: _____

2/28/23
Date Application reviewed

Philip E. ...
Building Commissioner or Staff Signature

Received by: _____ Date: _____

ZONING AUTHORIZATION APPLICATION



CITY OF FLORISSANT- BUILDING DIVISION

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

I, as the owner or authorized agent for the property described below, do hereby certify that I have the authority to make this application for zoning authorization for the activity described below and as shown on any attached plans, documents or descriptions, that the information provided is correct and that any use or construction will conform to the regulations of the Florissant Zoning Code, Chapter 405, as applicable:
<https://www.ecode360.com/28082280?highlight=405&searchId=13635529016766742#28082280>

New Tenant/Occupant Existing Tenant/Occupant

Property Address: 495 Howdershell Road Zoning District: B-3

Applicant's Name: Todd Buckner Applicant's Email: thomas.tbuckpivots@gmail.com

Applicant's Address: P.O. Box 7726 Tifton GA 31793 Phone #: 229-520-2244

Property Owner's Name: Scrubbles Express Wash Howdershell LLC Owner's Email: thomas.tbuckpivots@gmail.com

Property Owner's Address: P.O. Box 7726 Tifton GA 31793 Phone #: (229) 520-2244

Property Use(s): Vacant

Detailed description of Use(s) proposed, or "No Change":

Proposed car wash on one lot and a multi-story climate controlled storage building on the other lot. Rezone the parcels to B-5.

(Provide attachments to adequately describe the proposed Property Use(s), refer to Land Use terms in the City Code, Chapter 405.)

This application authorizes the Building Commissioner or designee to perform reasonable site inspections as required to determine compliance with the conditions applicable to this application. Further, I understand that any deviation from the application as requested shall require the express written approval of the Zoning Administrator.



Todd Buckner

Applicant Printed Name

1/24/23

Date

OFFICE USE ONLY BELOW

Zoning Approved Not Approved Authorization Conditions: _____

Signature of Building Commissioner or Designee: _____ Date: _____

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MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

3

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: March 16, 2023

8

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E
Director Public Works
Deputy City Clerk
Applicant
File

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Subject: Request **Recommended Approval** of a 'B-5' **Rezoning at 495 Howdershell (Scrubbles Car Wash)** to allow for a new car wash and storage building in an existing 'B-3' Zoning District.

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STAFF REPORT
CASE NUMBER PZ-032023-2

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I. PROJECT DESCRIPTION:

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This is a request recommended approval to Re-zone to a B-5 Zoning district to allow for a new car wash and storage building in existing B-3 District.

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II. EXISTING SITE CONDITIONS:

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The existing property at **495 Howdershell** is a vacant credit union.

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The existing building on the property is proposed to be removed. The property consists of existing parking areas to be removed.

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III. SURROUNDING PROPERTIES:

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The adjacent property to the Northwest is Pelican Cove in an R-6 Multi-Family District.

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There is another property to the Northeast in an R-6 Multi-Family District at 2105

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Keeven, Villa De Cresta Apartments.

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40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: C-1, C-2, C-3, C-4, C-
42 5 all dated 2/20/23 by Bax Engineering, Planning, Surveying, A-3 Color Elevations
43 (carwash) dated 2/17/23 by Levine and Associates and AD100.0, AD100.1, AD100.2
44 AD200.0 AD200.0.1, AD200.1, AD200.2, AD200.2.1 (storage building) dated 2/16/23
45 by MSS I Design, LLC., Photometric plan 1 of 1 dated 3/15/23 by St Louis Lighting
46 Group. The Petitioner has proposed a tunnel-style car wash of brick, concrete
47 architectural block and metal canopy. The following are Staff comments on the plans:
48

- 49 • C-1: Development Notes highlights many requirements-
 - 50 ○ Area of Property is 2.45 acres.
 - 51 ○ Building area 23,263.74 s.f. of which application states
 - 52 ▪ Carwash 3867 s.f.
 - 53 ▪ Storage 19,396.74 s.f. footprint (x 3 stories)
 - 54 ○ Carwash Parking
 - 55 ▪ Stacking is 37 cars, 5 times the wash capacity and
 - 56 ▪ 6 staff parking including the accessible space.
 - 57 ▪ 30 total parking includes 24 vacuum stalls.
 - 58 ○ Storage building parking none proposed, 6 loading of which 1 is covered.
 - 59 ○ Sewer and Storm concepts adequately shown, bio retention in the rear
 - 60 ○ Greenspace 33.4%
 - 61 ○ Ground sign is located behind the 40' setback in a thin island that divides
62 stacking from drying area.
 - 63 ○ Flagpole with lights near rubber mat cleaner island.
- 64 • C-2: Grading Plan: contours adequately shown.
- 65 • C-3: Photo of Existing Conditions on the site.
- 66 • C-4: Site Details include block retaining walls with guard rails and decorative
67 fencing for fall protection, 6' vinyl privacy fence, 20 foot tall light poles on 3 foot
68 base.
- 69 • C-5: Landscape Plan summary
 - 70 ○ Carwash Lot
 - 71 ▪ 2 trees, 60 perimeter shrubs required
 - 72 ▪ 210.26 feet of 6' vinyl fence north line provided
 - 73 ○ Storage Lot
 - 74 ▪ 1 trees, 120 perimeter shrubs required
 - 75 ▪ 174.56 feet 35 evergreens along north line provided
 - 76 ▪ 275 feet of 6' vinyl fence west line provided
 - 77 ○ 210 Shrubs provided total meets those required
 - 78 ○ Plantings along North line to help mitigate sound added.
- 79 • C-6: Site sections- A-A indicates sloping site from elevation of storage building
80 relative to the smaller car wash. B-B shows neighboring apartment in relation to
81 the car wash, whereas the much taller storage building not shown on B-B.
- 82 • 1 of 1: Photometric Plan indicates light levels down to 0.1 fc at perimeter.
- 83 • A-3 Comments:
 - 84 ○ Carwash colors provided include

- 85 ▪ Bronze canopy, trash enclosure gates, vacuum screen roofing,
- 86 gutters and trim.
- 87 ▪ Split Face Block color: wainscot
- 88 ▪ Field brick color
- 89 • AD100.0: First Floor color storage plan, total 427 storage units.
- 90 • AD100.1: Second Floor color storage plan
- 91 • AD100.2: Third Floor color storage plan
- 92 • AD100.3: Roof plan shows elevator through the roof.
- 93 • AD200.0 Comments: CMU1 and BRK1 are the same colors proposed for the
- 94 carwash, CMU-2 is a new block color and BRK-2 and BRK-3 are new brick
- 95 colors introduced into the design for the larger, 3 story building. MTL-2 slate
- 96 gray if for roof trim and doors, and MTL-3 if for clear anodized alum doors, SF-1
- 97 white is for downspouts and canopy.
- 98 • AD200.0.1: South and East elevations
- 99 • AD200.1: Axonometric views of 4 different angles.
- 100 • AD200.2: rear right and rear left views from the ground
- 101 • AD200.2.1 front right and rear left views from the ground

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103 **VI. STAFF RECOMMENDATIONS:**

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- 105 1. If recommended approval is granted, the attached suggested motion shall establish
- 106 regulations within this district.
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108 **Suggested Motion for 495 Howdershell (Scrubbles Car Wash)**

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110 I move to recommend approval of a ‘B-5’ Planned Commercial District, as

111 depicted by the attached drawings C-1, C-2, C-3, C-4, C-5 all dated 2/20/23 by

112 Bax Engineering, Planning, Surveying, A-3 Color Elevations (carwash) dated

113 2/17/23 by Levine and Associates and AD100.0, AD100.1, AD100.2 AD200.0

114 AD200.0.1, AD200.1, AD200.2, AD200.2.1 (storage building) dated 2/16/23 by

115 MSSI Design, LLC., Photometric plan 1 of 1 dated 3/15/23 by St Louis Lighting

116 Group, with permitted uses allowed being a car wash and storage building and the

117 following additional requirements:

118

119 1. **PERMITTED USES**

120 The uses permitted for this property shall be limited to car wash and storage

121 building as shown in detail on the attached drawings. Other uses than those

122 permitted shall require approval by amendment to this ‘B-5’ Ordinance.

123

124 2. **FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

125 The building space shall be limited to a single story 3867 SF car wash and 3

126 story 19,396.74 s.f. (footprint) storage building.

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128 3. **PERFORMANCE STANDARDS**

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In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall be kept within a gated sight-proof area as shown.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

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3. **SITE DEVELOPMENT PLAN CRITERIA:**

a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District apply.

b. Internal Drives:

(1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

(1) Parking spaces provided on the property shall be **as depicted on drawing C-1 attached.**

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

(1) **Ground sign shall be as located on C-1.**

(2) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

(2) An automatic permanent irrigation system shall be designed and installed to cover all landscaped areas.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

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- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner shall make a determination as to the extent of the changes per the following procedure:

- 1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
- 2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City

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Council.

3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

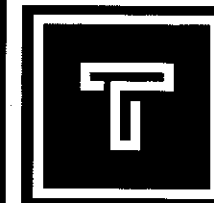
10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

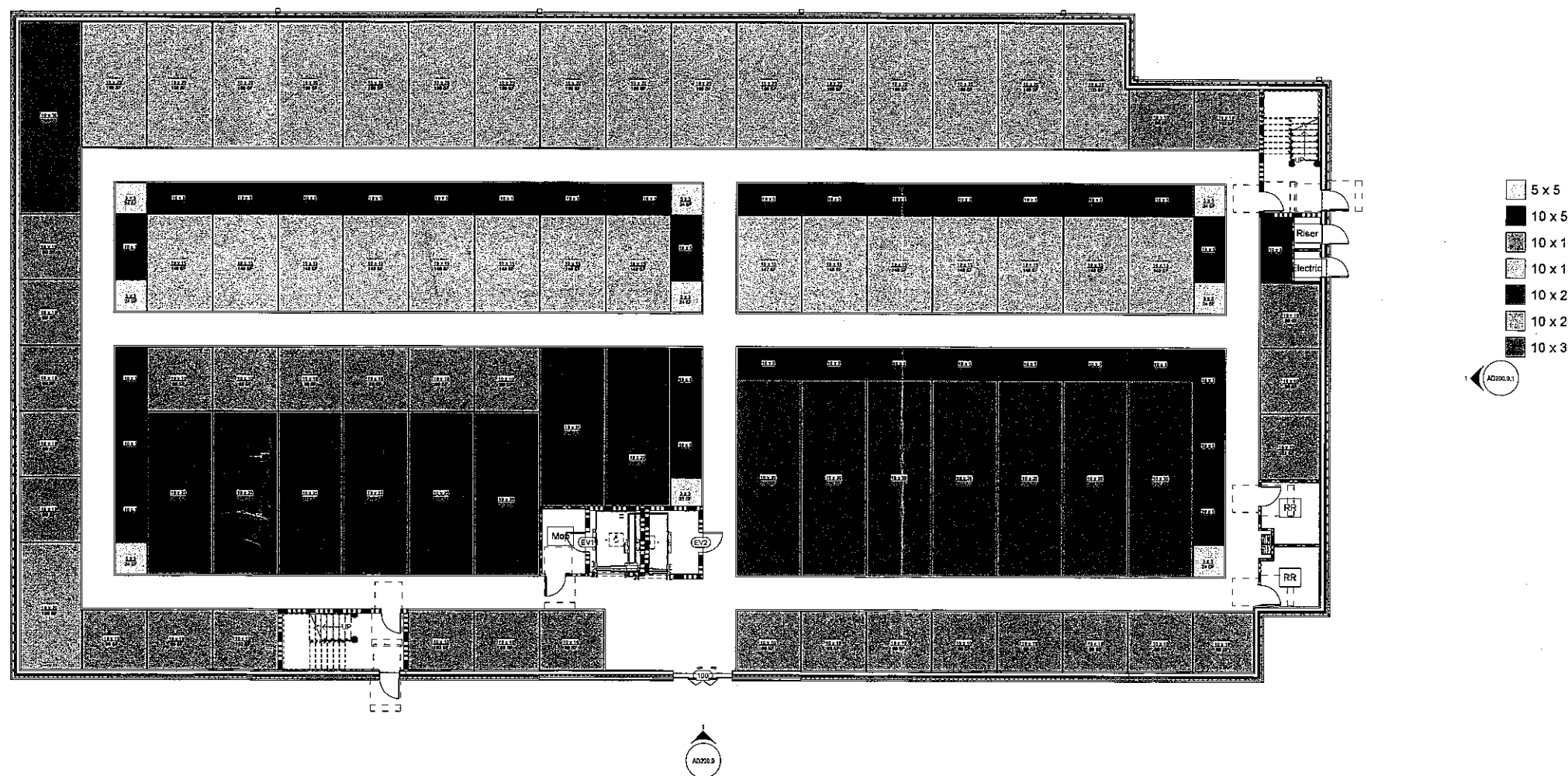
(end report and suggested motion)



tate architecture pllc
kernersville, nc 27285
336.413.0601
www.tatearchitecture.com

Owner Review Submission
Not for Permit or Construction

| Total Unit Mix Schedule | | | | |
|-------------------------|-----------|---------|------|--------|
| Count | Name | Rent As | % | Yield |
| 46 | 5 x 5 | 1150 | 11% | 1.98% |
| 32 | 5 x 10 | 1600 | 7% | 2.75% |
| 51 | 10 x 5 | 2550 | 12% | 4.38% |
| 32 | 10 x 7.5 | 2400 | 7% | 4.12% |
| 142 | 10 x 10 | 14200 | 33% | 24.40% |
| 1 | 10 x 12.5 | 125 | 0% | 0.21% |
| 73 | 10 x 15 | 10950 | 17% | 18.82% |
| 1 | 10 x 17.5 | 175 | 0% | 0.30% |
| 32 | 10 x 20 | 6400 | 7% | 11.00% |
| 9 | 10 x 25 | 2250 | 2% | 3.87% |
| 8 | 10 x 30 | 2400 | 2% | 4.12% |
| 427 | | 44200 | 100% | 75.96% |



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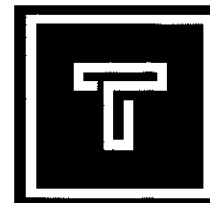
Commission:
SCARLETT GARVIN
FLORENCE, NC

Commission Number:
XXXXXXXX
Issue Date:
12/15/23
Revisions:

Architectural-
First Floor Plan

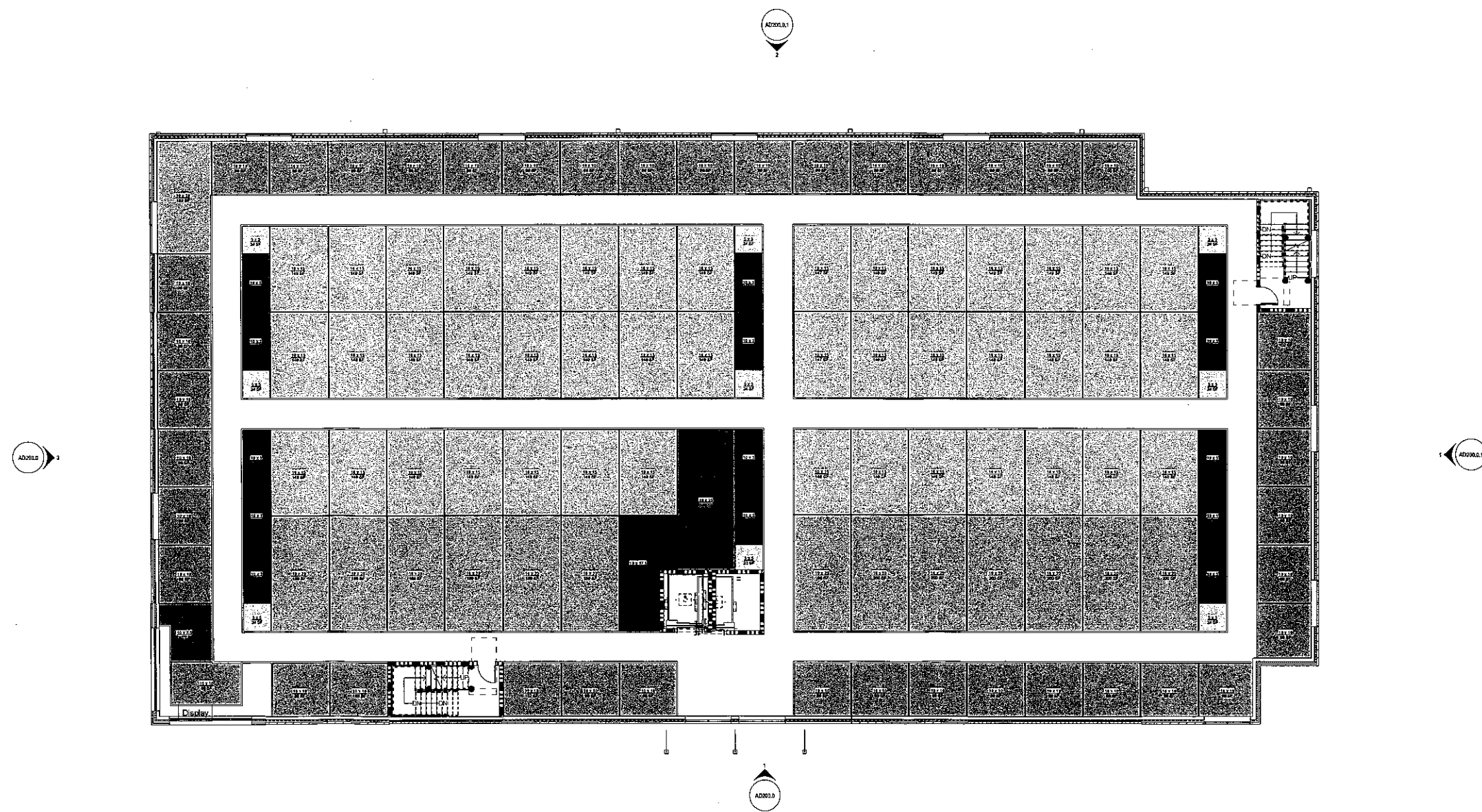
AD100.0
Sheet No.

AD100.0.0 - First Floor Plan
1/8" = 1'-0"



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DISCLAIMER:
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Commission Number: _____
Issue Date: _____
Revisions: _____

Commission Number: _____
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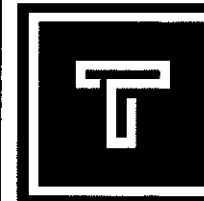
Commission Number: _____
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Revisions: _____

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Revisions: _____

Commission Number: _____
Issue Date: _____
Revisions: _____

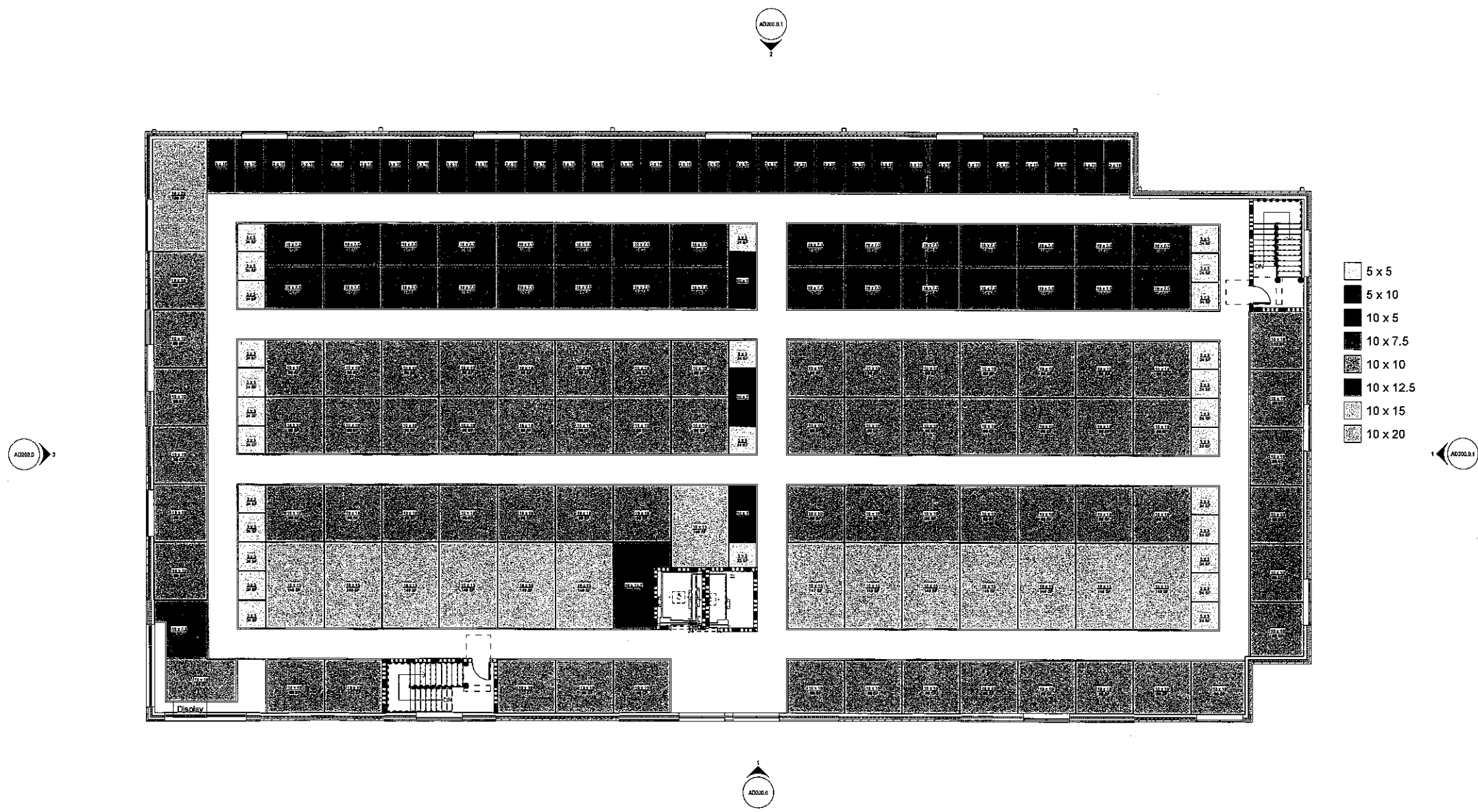
AD100.1.1 - Second Floor Plan
1/8" = 1'-0"

Architectural-
Second Floor Plan
AD100.1
Sheet No.



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Commission:
SHERBORN CARWASH
FLORENCE, MO

Commission Number:
XXXXXX
Issue Date:
05/2018
Revisions:

Architectural-
Third Floor Plan

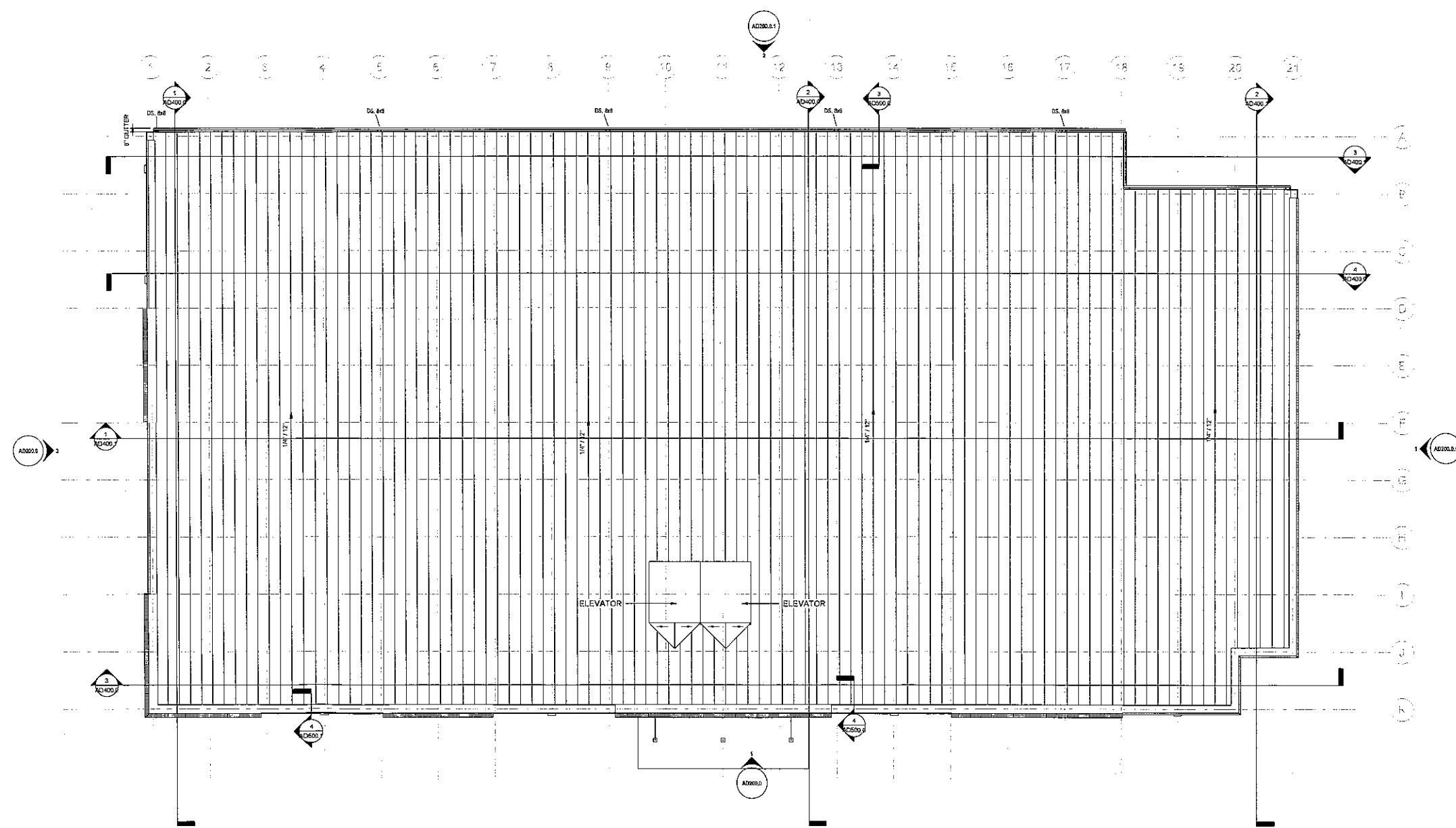
AD100.2
Sheet No.

AD100.2.1 - Third Floor Plan
1/8" = 1'-0"



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Commission:
SERRAVALLO CARWASH
FLORISSANT, MO

Commission Number:
XXXXXXXX
Issue Date:
03/20/21
Revisions:

Architectural-
Roof Plan

AD100.3
Sheet No.

AD100.3.1 - Roof Plan
1/8" = 1'-0"

MECHANICAL UNITS TO BE LOCATED ON THE GROUND

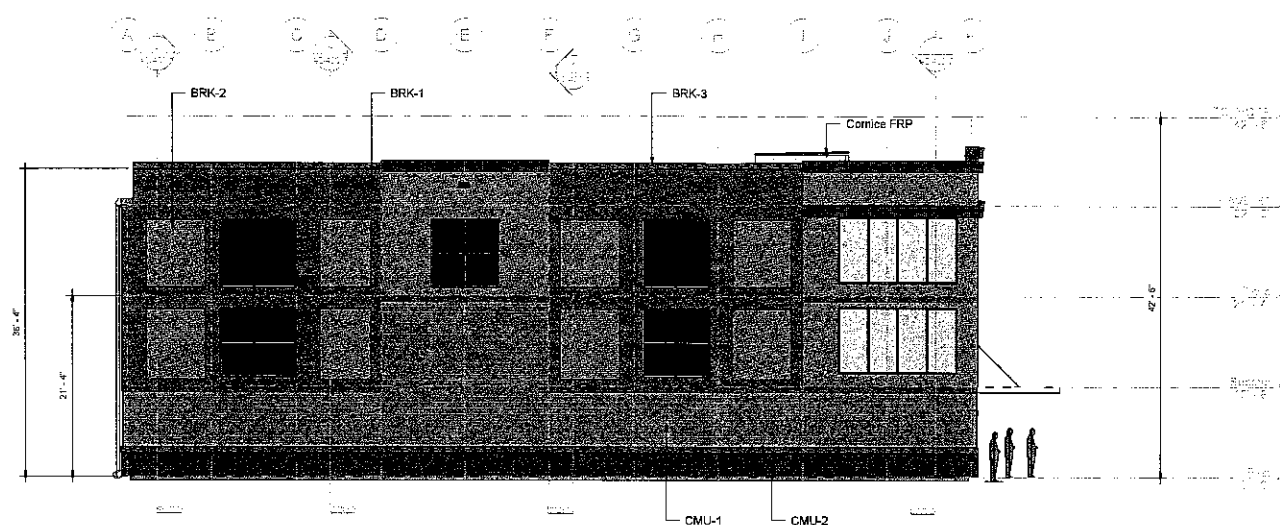


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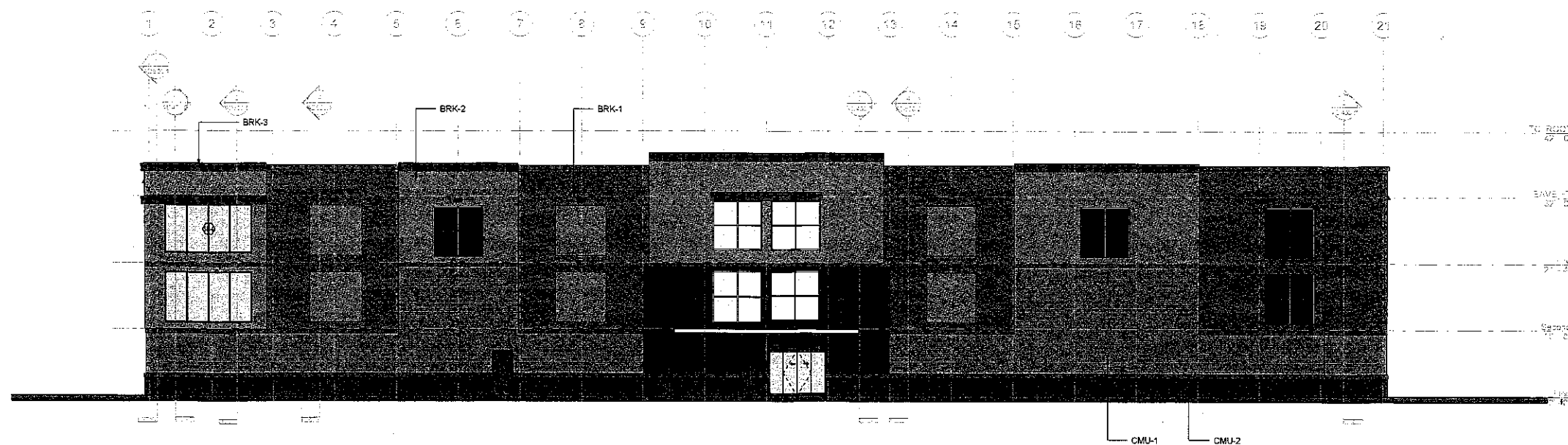
| MATERIALS LEGEND | | | |
|------------------|--|--|---|
| | CMU-1 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: SOFT GOLD | | BRK-1 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_SAVANNAH BLEND |
| | CMU-2 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: EARL GREY | | BRK-2 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_GREY STONE |
| | | | BRK-3 ARCHITECTURAL BRICK VENEER ROWLOCK MFR: COUNTY MATERIALS COLOR: HERITAGE_AMBER ROSE |
| | | | MTL-2 MISCELLANEOUS METALS (PARAPET COPING, GUTTER / D.S. HM EXT. DOORS, ETC) COLOR: SLATE GRAY |
| | | | MTL-3 WINDOW/DOOR FRAMES, GLASS MFR: YKK COLOR: CLEAR |
| | | | SF-1 STORE-FRONT MFR: YKK GLASS: CLEAR |

MATERIALS LEGEND Copy 1
1/8" = 1'-0"



AD200.0.3 - NORTH ELEVATION

1/8" = 1'-0"



AD200.0.1 - WEST ELEVATION(FACING HWY 321)

1/8" = 1'-0"

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Commission:
SCHUBBLES CARWASH
FLOORPLAN, NO.

Commission Number:
33600004
Issue Date:
10/20/23
Revisions:

Architectural-
Exterior Elevations

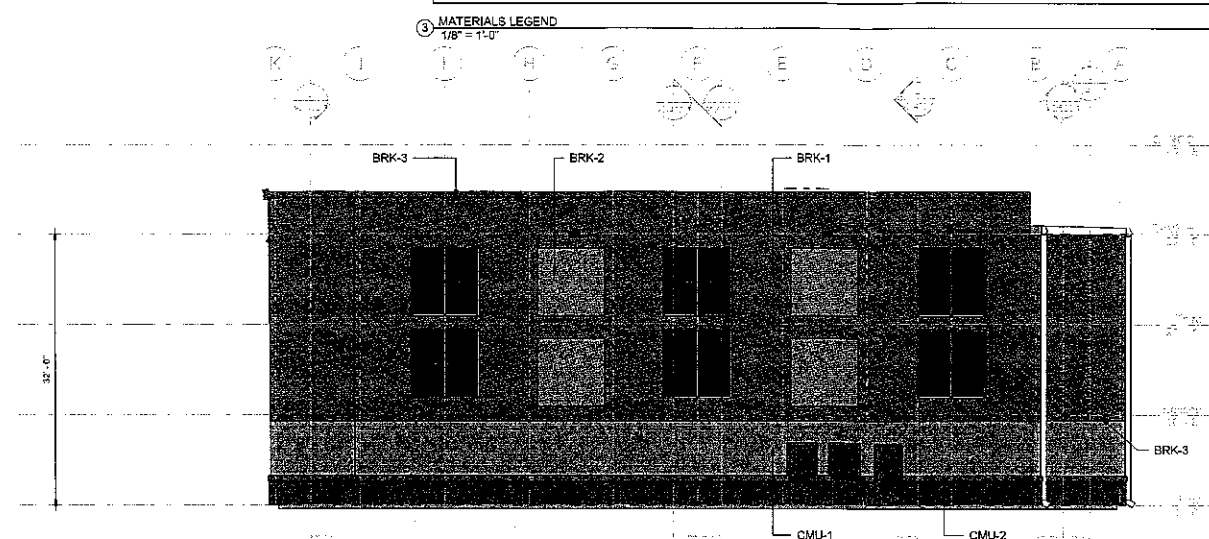
AD200.0
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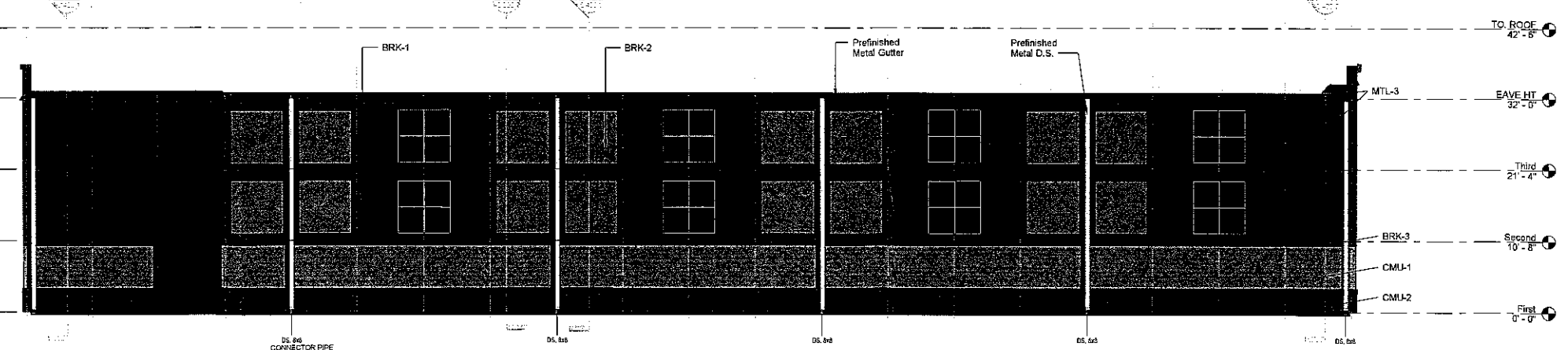
Owner Review Submission
Not for Permit or Construction

| MATERIALS LEGEND | | | |
|------------------|--|--|--|
| | CMU-1 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: SOFT GOLD | | BRK-1 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_SAVANNAH BLEND |
| | CMU-2 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: EARL GREY | | BRK-2 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_GREY STONE |
| | | | BRK-3 ARCHITECTURAL BRICK VENEER ROWLOCK MFR: COUNTY MATERIALS COLOR: HERITAGE_AMBER ROSE |
| | | | MTL-2 MISCELLANEOUS METALS (PARAPET COPING, GUTTER / D.S., HM EXT. DOORS, ETC) COLOR: SLATE GRAY |
| | | | MTL-3 WINDOW/DOOR FRAMES, GLASS MFR: YKK COLOR: CLEAR |
| | | | SF-1 STORE-FRONT MFR: YKK GLASS: CLEAR |



AD200.0.1.1 - SOUTH ELEVATION

1/8" = 1'-0"



AD200.0.1.2 - EAST ELEVATION

1/8" = 1'-0"

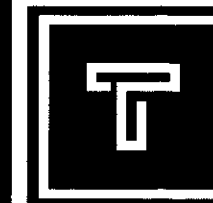
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CONTRACTOR:
SCHAUBLES CARWASH
FLORISSANT, MO

Commission Number: XXXXXXXX
Issue Date: 10/2/23
Revisions:

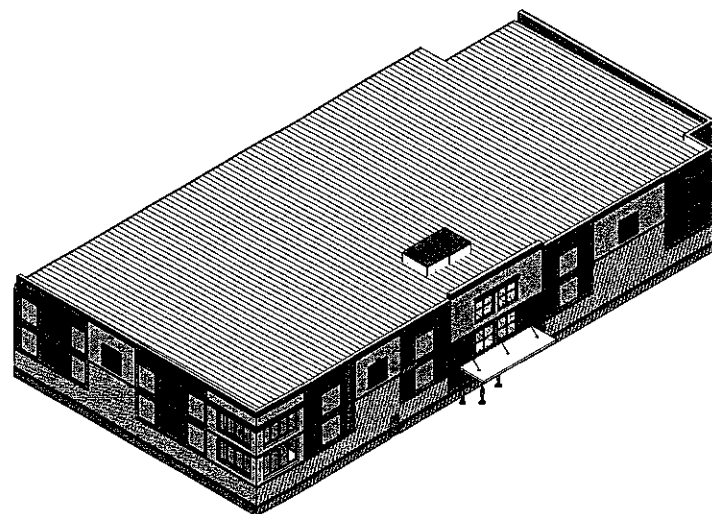
Architectural-
Exterior Elevations

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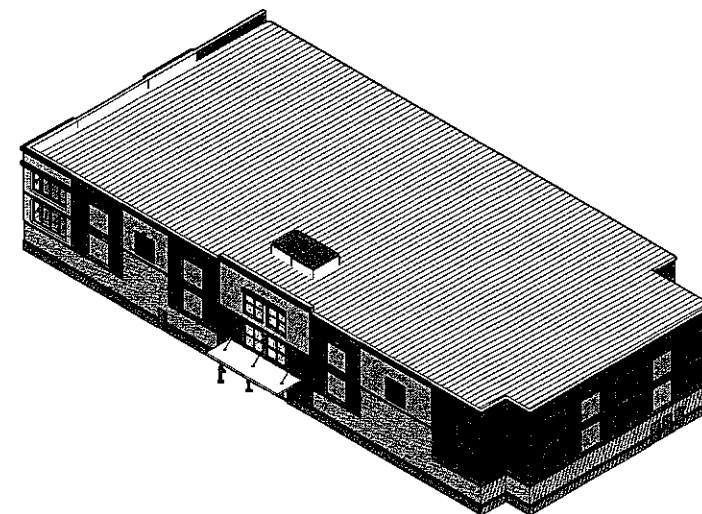


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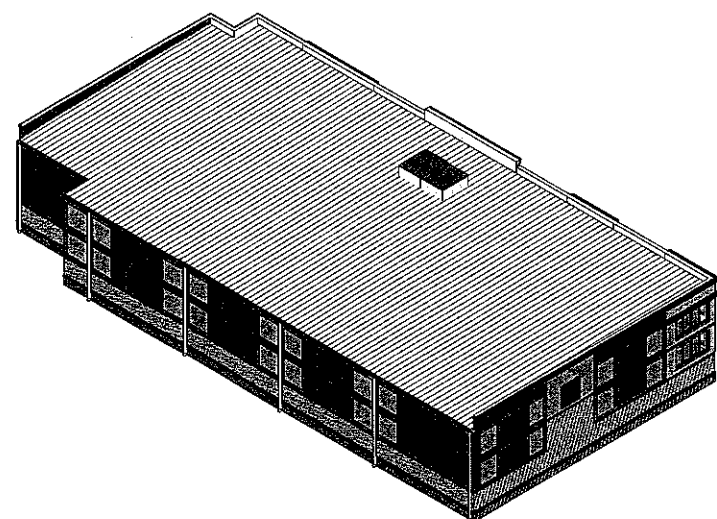
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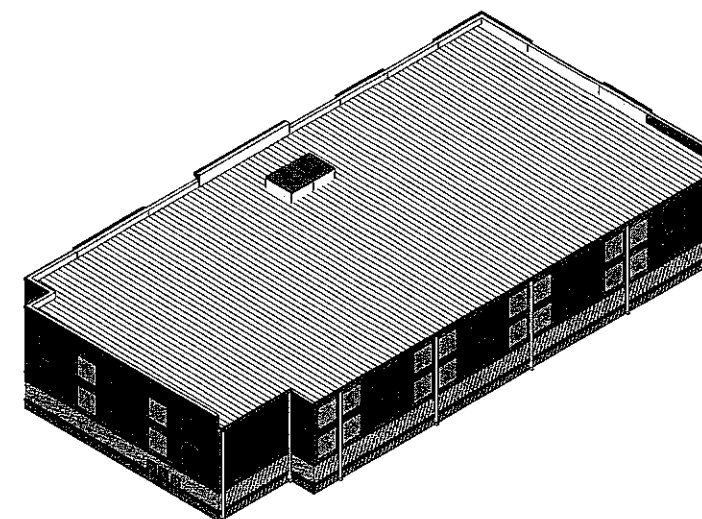
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AD200.1.2 - Axon View



AD200.1.1 - Axon View



AD200.1.0 - Axon View

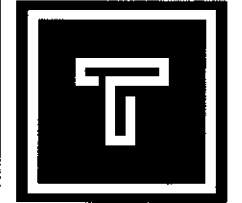
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Commission Number:
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Issue Date:
XXXXXX
Revision:

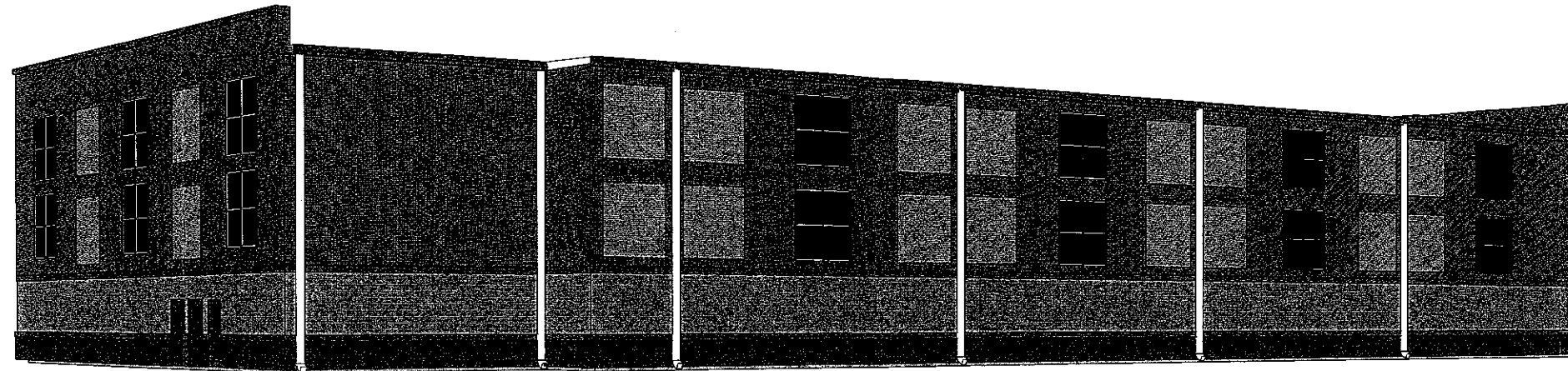
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Axon Views

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Sheet No.



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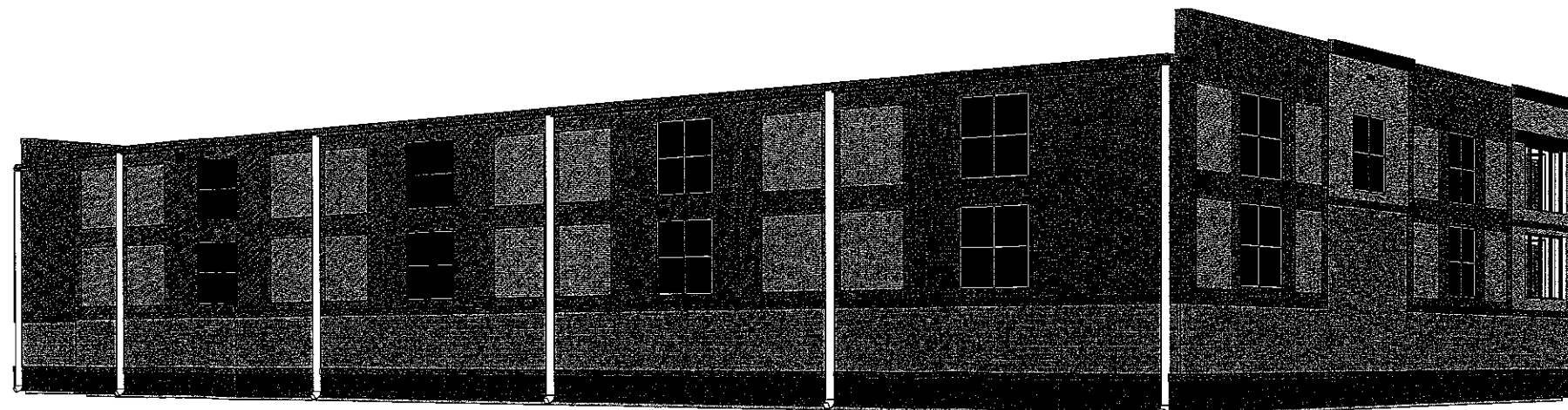


AD200.2.1 - 04 Rear Left

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Commission:
SCROLLERS GARAGE
FLORISSANT, MO

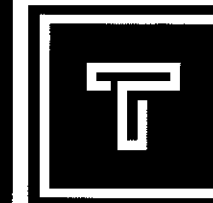
Commission Number:
XXXXXX
Issue Date:
02/25/23
Revisions:



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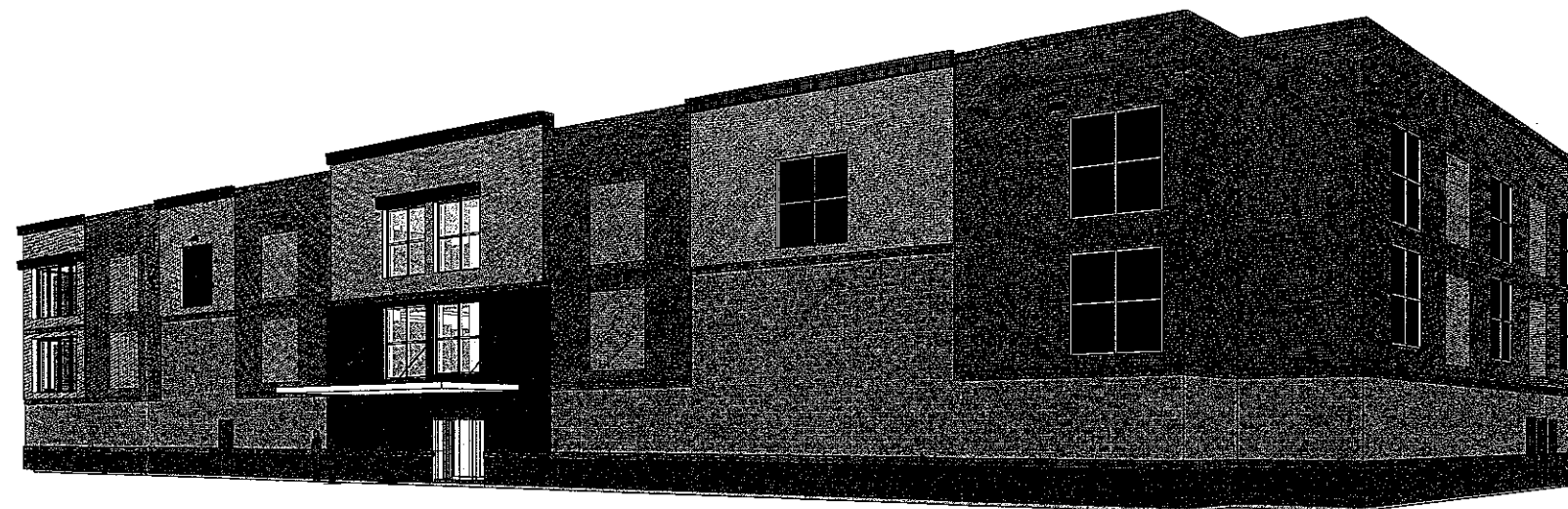
Architectural-
3D Perspective Views

AD200.2
Sheet No.

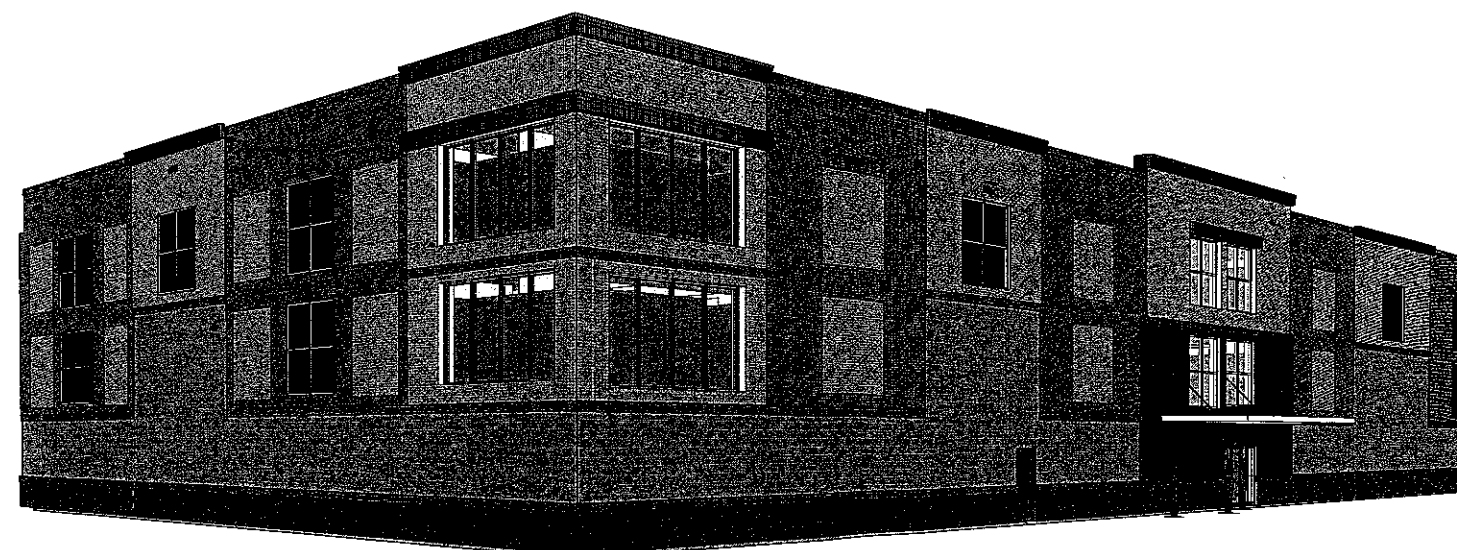


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AD200.2.1.1 - 01 Front Right



AD200.2.1.2 - 02 Front Left

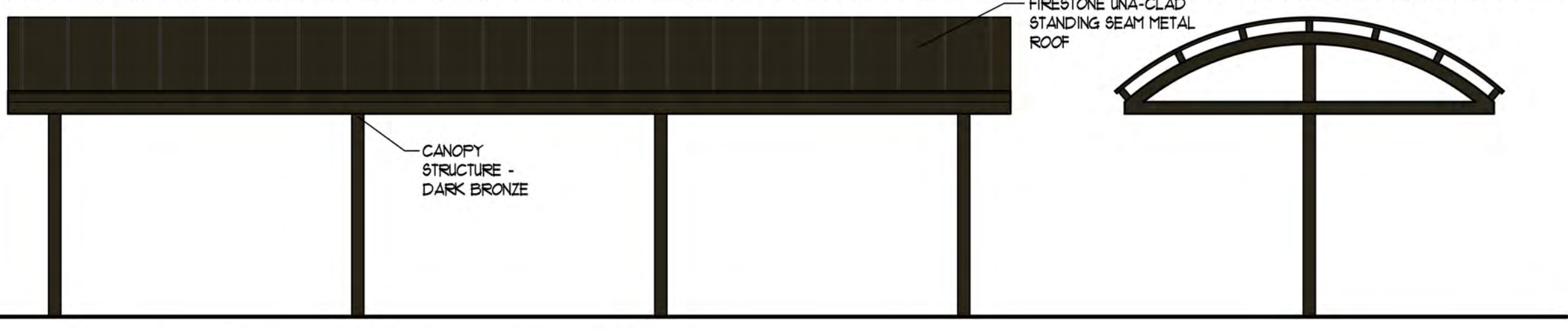
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FLORRISSANT, NC

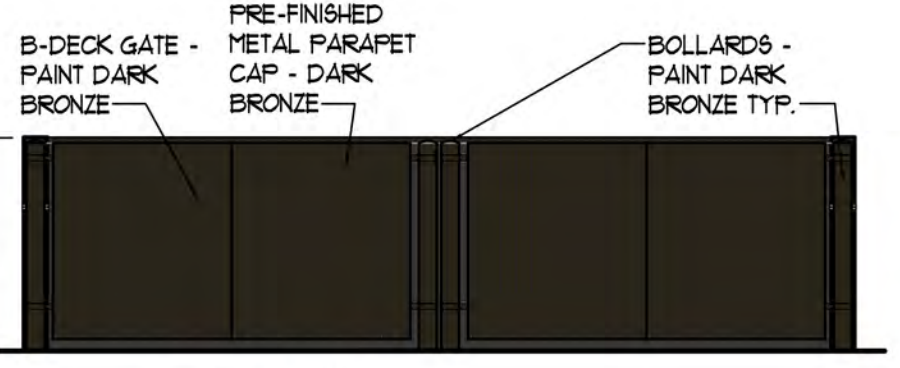
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Issue Date
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Revisions

Architectural-
3D Perspective Views

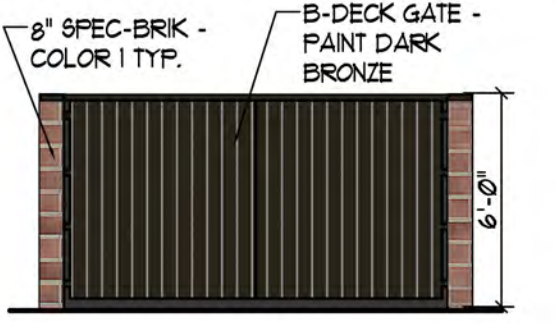
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Sheet No.



PAY STATION CANOPY ELEVATIONS
SCALE: 3/16" = 1'-0"



TRASH ENCLOSURE ELEVATIONS
SCALE: 3/16" = 1'-0" (23'-4" X 11'-4" ENCLOSURE)



VACUUM SCREENING
SCALE: 3/16" = 1'-0" (12'-0" X 6'-4" ENCLOSURE)



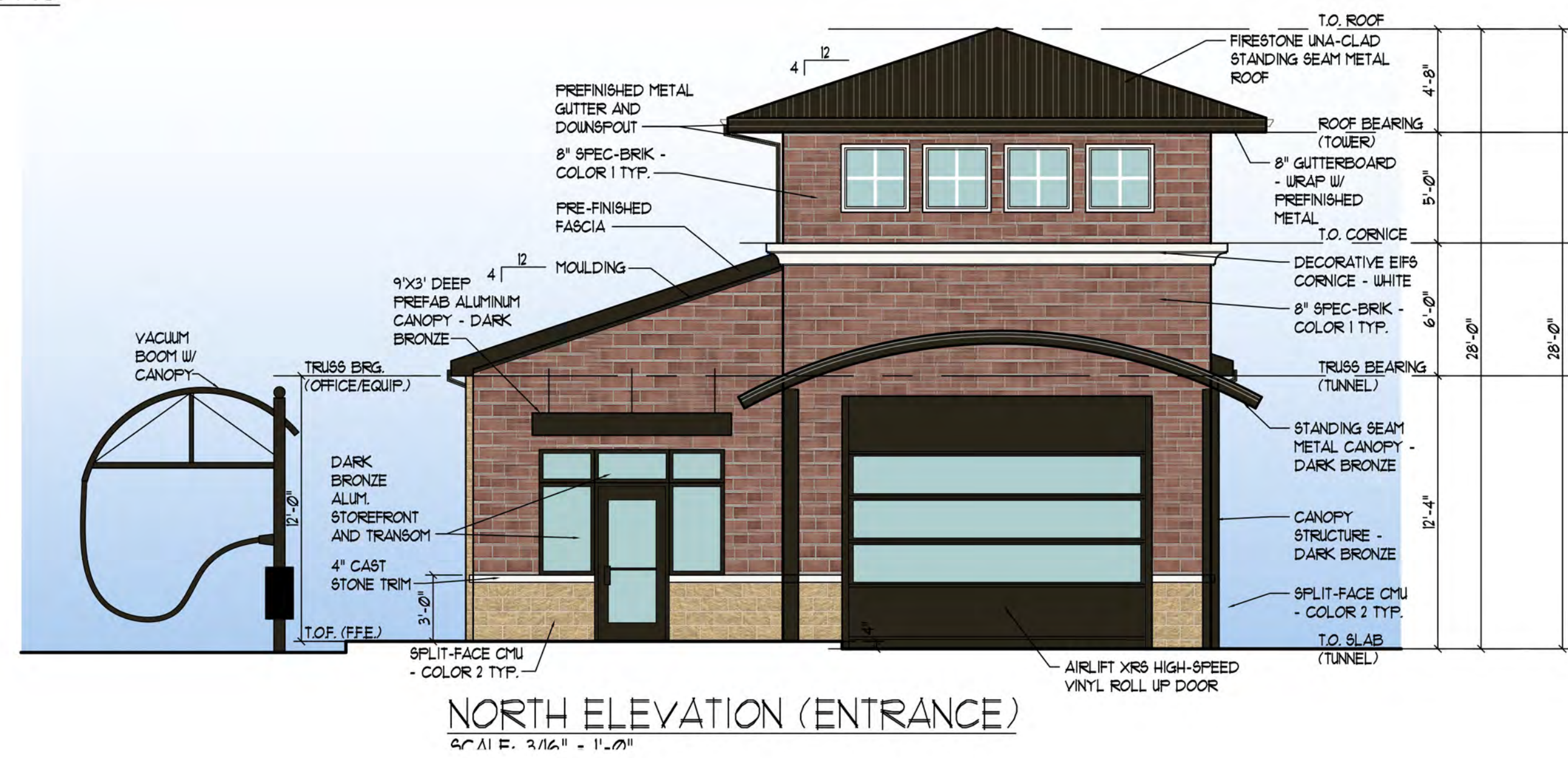
Dark Bronze Roofs and accents



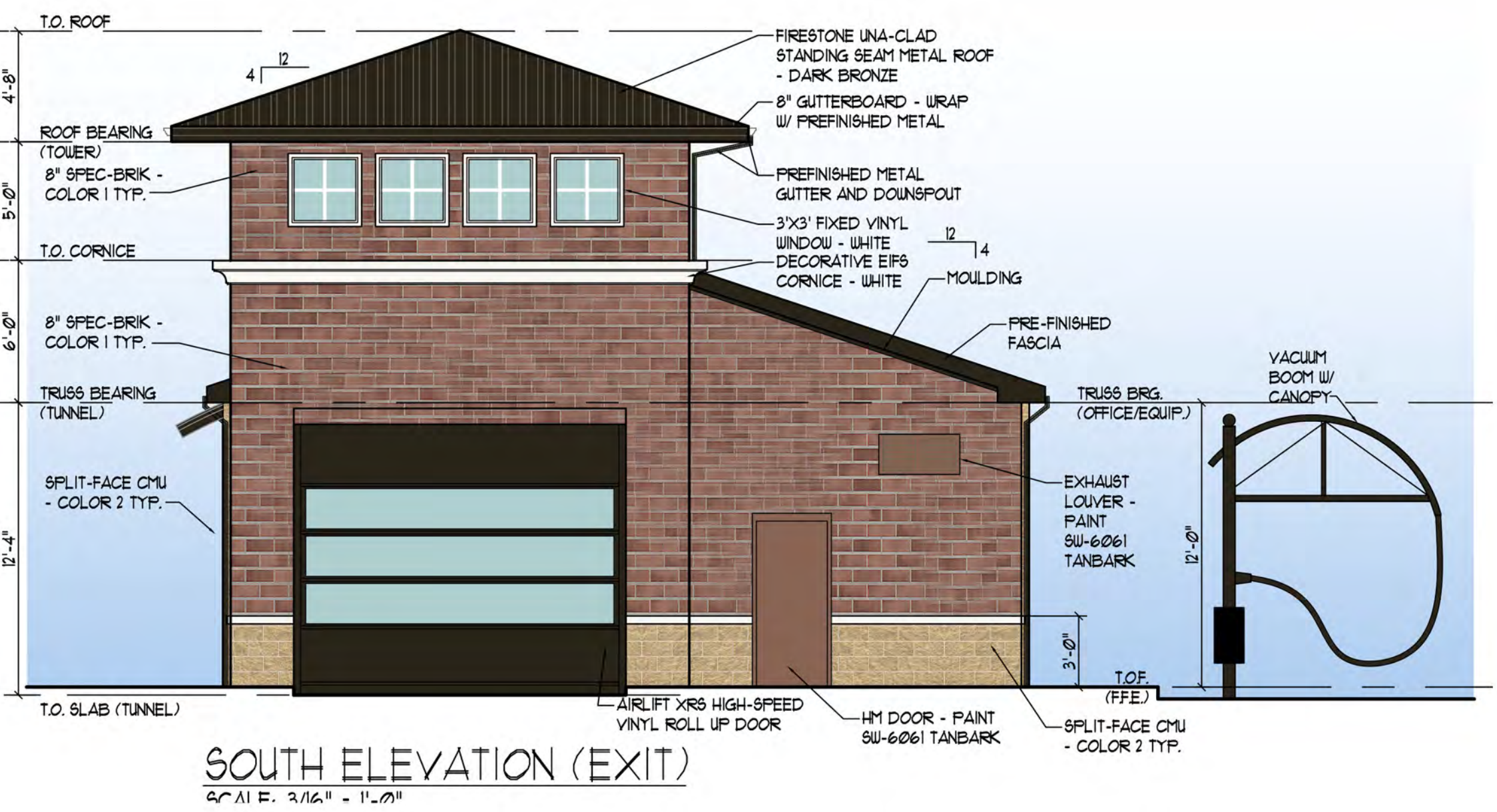
Best Brick Savannah Blend Field Brick



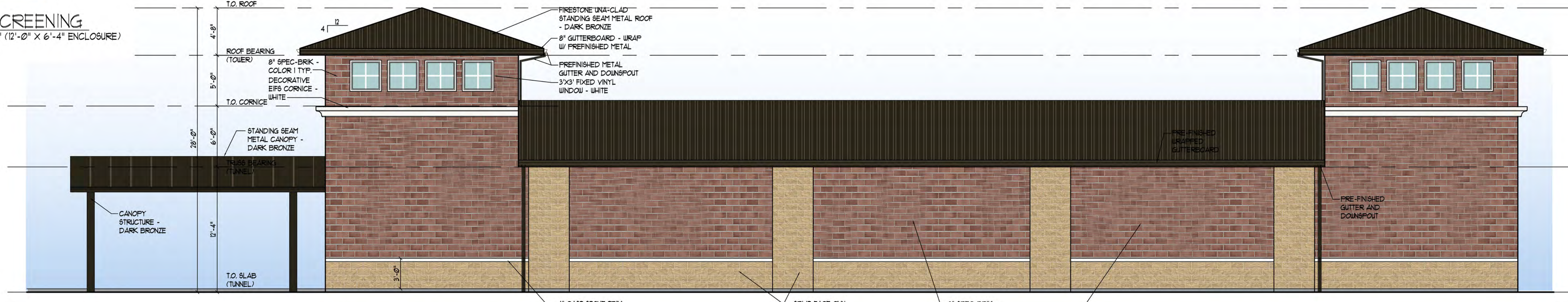
Midwest Block Soft Gold Split-face CMU Piers and Wainscott



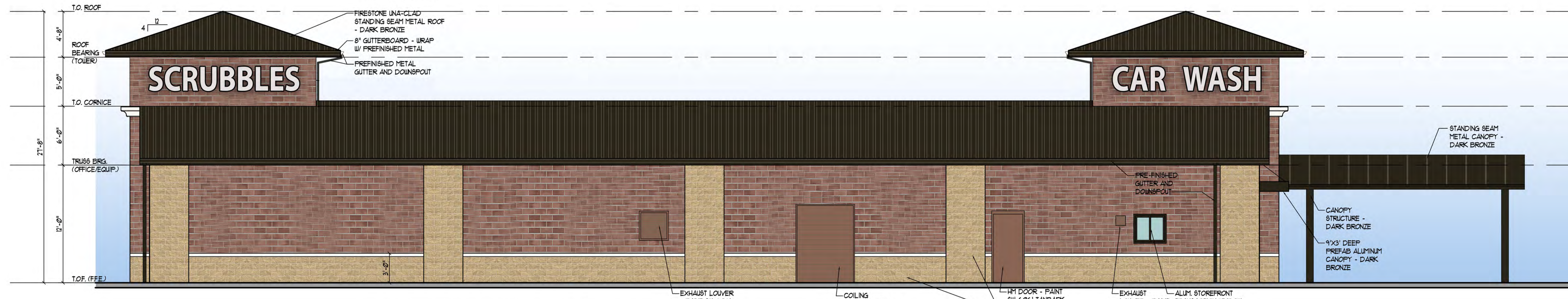
NORTH ELEVATION (ENTRANCE)
SCALE: 3/16" = 1'-0"



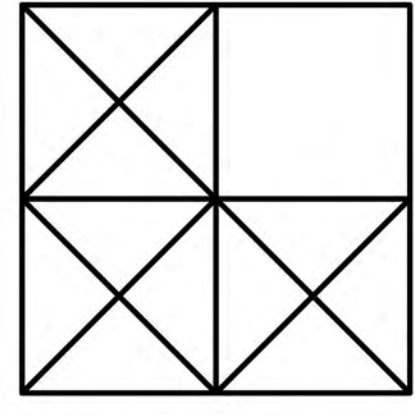
SOUTH ELEVATION (EXIT)
SCALE: 3/16" = 1'-0"



WEST ELEVATION (STORAGE SIDE)
SCALE: 3/16" = 1'-0"



EAST ELEVATION (VACUUM SIDE)
SCALE: 3/16" = 1'-0"



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associates
architecture · interiors · planning
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Phone: 314-991-9500

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MO LICENSE A-4246
ALVАН M. LEVINE, INC.
DBA LEVINE ASSOCIATES
CERTIFICATE OF AUTHORITY
LICENSE NUMBER A-209040325

elevations
NEW BUILDING FOR SCRUBBLES CAR WASH
495 HOWDERSHELL ROAD
FLORISSANT, MISSOURI 63031
CISSELL MUELLER CONSTRUCTION, INC., GENERAL CONTRACTOR

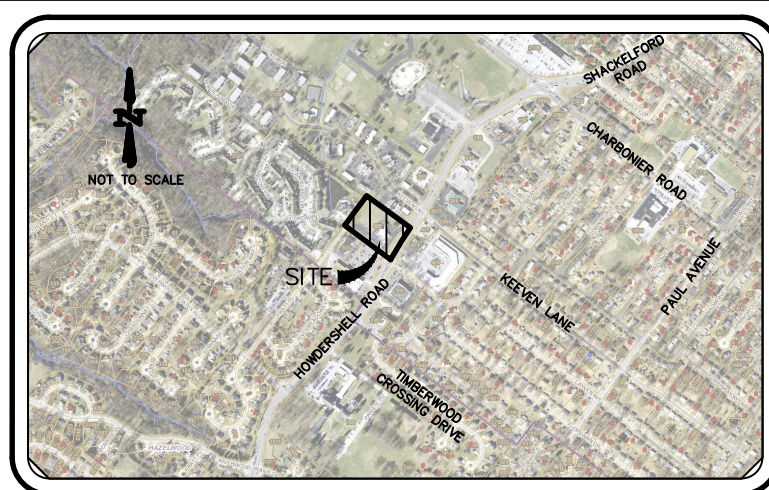
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SHEET NO.
A-3

ISSUE DATE: 2-17-23
PROJECT #: 229305
DRN. CMC CHK. AM

A SITE PLAN/PRELIMINARY PLAT FOR HOWERSHELL CAR WASH AND STORAGE BUILDING

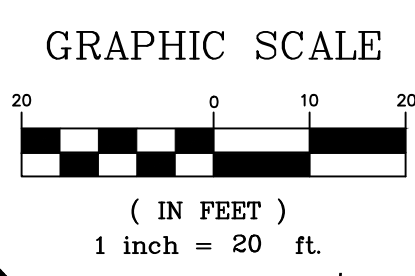
A TRACT OF LAND BEING
PART OF U.S. SURVEY 163 OF
ST. FERDINAND COMMON FIELDS
TOWNSHIP 47 NORTH, RANGE 6 EAST
CITY OF FLORISSANT,
ST. LOUIS COUNTY, MISSOURI



Location Map

LEGEND

| | | | | | |
|--|------------------------|--|--------------------------|--|--------------------|
| | FLARED END SECTION | | WATER METER | | BURIED ELECTRIC |
| | CURB/AREA INLET | | GAS VALVE | | OVERHEAD UTILITIES |
| | STORM SEWER MANHOLE | | WATER VALVE | | BURIED GAS |
| | SANITARY SEWER MANHOLE | | FIRE HYDRANT | | BURIED WATER |
| | PIPELINE MARKER | | TREE | | BURIED TELEPHONE |
| | AC UNIT | | BUSH | | SANITARY SEWER |
| | ELECTRIC BOX | | TREE STUMP | | FENCE LINE |
| | ELECTRIC TRANSFORMER | | CONCRETE WALKS/ENTRANCES | | BENCHMARK |
| | TRAFFIC CONTROL BOX | | CONCRETE DRIVES | | FOUND MONUMENT |
| | TELEPHONE BOX | | GRAVEL | | SET MONUMENT |
| | ELECTRIC METER | | L.A. LANDSCAPED AREA | | |
| | GAS METER | | | | |



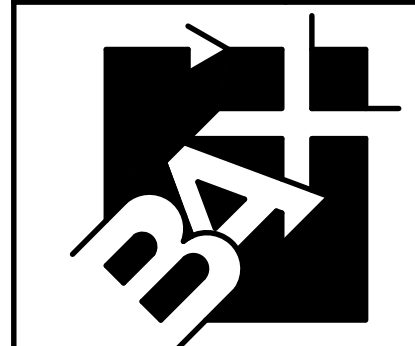
SHEET INDEX

- C-1 SITE PLAN
- C-2 EXISTING PLAN
- C-3 EXISTING SITE CONDITIONS/DEMO PLAN
- C-4 DETAILS
- C-5 LANDSCAPING PLAN
- C-6 SITE CROSS SECTIONS

DEVELOPMENT NOTES:

1. AREA OF TRACT: 2.475 ACRES (PROPOSED LOT 1 CAR WASH 1.302 ACRES) (PROPOSED LOT 2 STORAGE 1.173 ACRES)
2. EXISTING ZONING: "B-3" EXTENSIVE COMMERCIAL DISTRICT (CITY OF FLORISSANT)
3. PROPOSED ZONING: "B-5" PLANNED COMMERCIAL DISTRICT (CITY OF FLORISSANT)
4. SITE ADDRESS: 495 HOWERSHELL RD FLORISSANT, MO 63031
5. PROPOSED USE: CAR WASH AND CLIMATE CONTROLLED MULTI-STORY SELF STORAGE
6. OWNER: SCRUBBLES EXPRESS WASH HOWERSHELL, LLC P.O. BOX 7726 TIFTON, GA 31794
7. SITE IS SERVED BY: ST. LOUIS METROPOLITAN SEWER DISTRICT (314) 768-6200 MISSOURI AMERICAN WATER (866) 430-0820 AMEREN UE ELECTRIC COMPANY (866) 992-6619 SPIRE GAS COMPANY (314) 658-5417 AT&T DISTRIBUTION (636) 949-4230 CHARTER COMMUNICATIONS (636) 387-6632 FLORISSANT VALLEY FIRE PD (314) 837-4894
8. THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:
MINIMUM FRONT YARD: 40 FEET
MINIMUM SIDE YARD: 35 FEET, WHEN ADJACENT TO "R" RESIDENTIAL
MINIMUM REAR YARD: 35 FEET, WHEN ADJACENT TO "R" RESIDENTIAL
BUILDING HEIGHT: 3-STORY OR 45 FEET
9. PARKING REQUIREMENTS:
CAR WASH: STACKING EQUAL TO 5 TIMES THE CAPACITY OF THE CAR WASH, BEYOND CARS IN CAR WASH 3 CARS CAN BE INSIDE WASH AT ANY GIVEN TIME
TOTAL STACKING REQUIRED = 5 x 3 = 15 SPACES
TOTAL STACKING PROVIDED = 37 SPACES EXTERIOR TO WASH BAY
TOTAL EMPLOYEE PARKING = 6 (INCLUDING 1 ACCESSIBLE SPACE)
10. STORAGE BUILDING: 3.33 SPACES PER 1,000 GROSS FLOOR AREA OF OFFICE PLUS 1 PER CARETAKER NO OFFICE IS BEING PROVIDED AND NO CARETAKER WILL BE ONSITE.
5 UNCOVERED LOADING/UNLOADING SPACES PROVIDED
1 COVERED LOADING/UNLOADING SPACE PROVIDED
11. LANDSCAPE REQUIREMENTS: TREE PER EVERY 15 PARKING SPACES
1 PLANT PER 5 LINEAL FEET OF EXTERIOR BUILDING WALL AROUND PERIMETER
15 FOOT BUFFER ALONG RESIDENTIAL ZONED DISTRICTS TO INCLUDE EITHER/AND OR 6-FOOT TALL EVERGREENS AT 10 FOOT INTERVALS OR A 6-FOOT TALL SIGHT PROOF FENCE.
CAR WASH LOT: 30 CAR PARKING (6+24 VAC STALLS) = 2 TREES REQUIRED FOR PARKED AREAS
BLDG PERIMETER 301 FEET = 60 PLANTS REQUIRED
ADJACENT NORTH LOT RESIDENTIAL 210.26 FEET = 21 EVERGREEN TREES FOR BUFFERYARD OR 6-FOOT TALL SIGHT PROOF FENCE. A SIGHT PROOF FENCE WILL BE INSTALLED DUE TO LACK OF AREA FOR TREE PLANTINGS WITH UTILITY AND RETAINING WALL IN THE AREA.
STORAGE LOT: 6 CAR PARKING/LOADING ZONES = 1 TREE REQUIRED
BLDG PERIMETER 596 FEET = 120 PLANTS REQUIRED
ADJACENT NORTH LOT RESIDENTIAL 174.56 FEET = 17 EVERGREEN TREES FOR BUFFERYARD
ADJACENT WEST LOT RESIDENTIAL 275 FEET = 28 EVERGREEN TREES FOR BUFFERYARD OR 6-FOOT TALL SIGHT PROOF FENCE. A SIGHT PROOF FENCE WILL BE INSTALLED DUE TO LACK OF AREA FOR TREE PLANTINGS WITH UTILITY AND RETAINING WALL IN THE AREA.
*SITE IRRIGATION IS REQUIRED AS LOTS ARE OVER 1 ACRE EACH
12. TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29189C0061K, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015.
COMMUNITY: CITY OF FLORISSANT
NUMBER: 290352
PANEL: 0061
SUFFIX: K
BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAY ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."
13. DIFFERENTIAL RUN-OFF CALCULATIONS:
0.66 ACRES INCREASED IMPERVIOUS AREA
0.66 ACRE (3.54-1.70) = 1.21 C.F.S. (INCREASE IN RUN-OFF)
14. ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND PER ORDINANCE.
15. ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH OSHA STANDARDS.
16. ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF FLORISSANT STANDARDS.
17. THIS PLAN IS PRELIMINARY AND NOT FOR CONSTRUCTION.

A SITE PLAN FOR
HOWERSHELL CAR WASH AND STORAGE BUILDING
495 HOWERSHELL ROAD
FLORISSANT, MO 63031



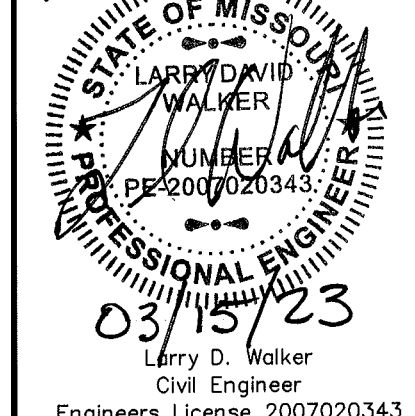
**ENGINEERING
PLANNING
SURVEYING**
221 Point West Blvd.
St. Charles, MO 63031
636-928-5552
FAX 928-1718

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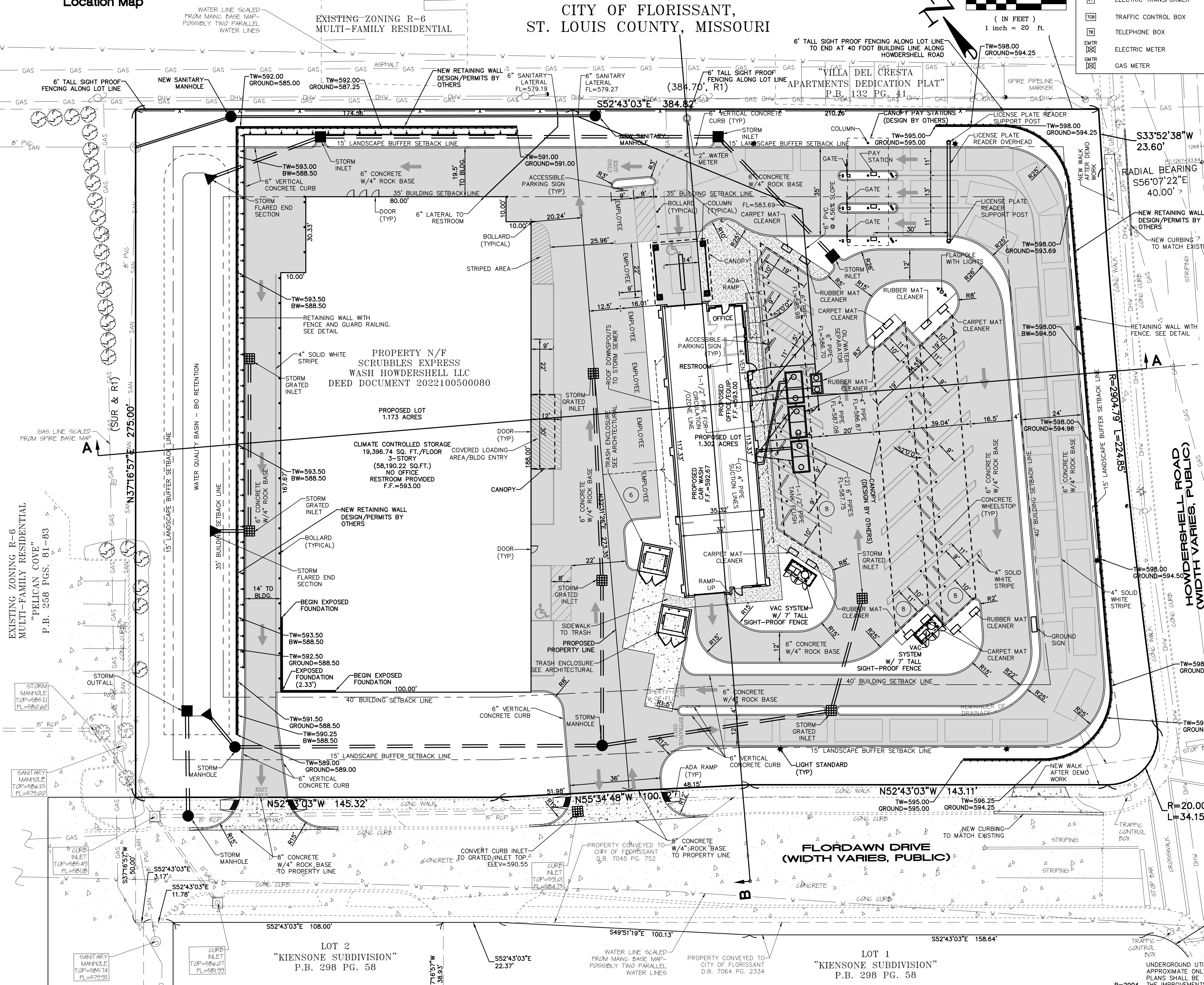
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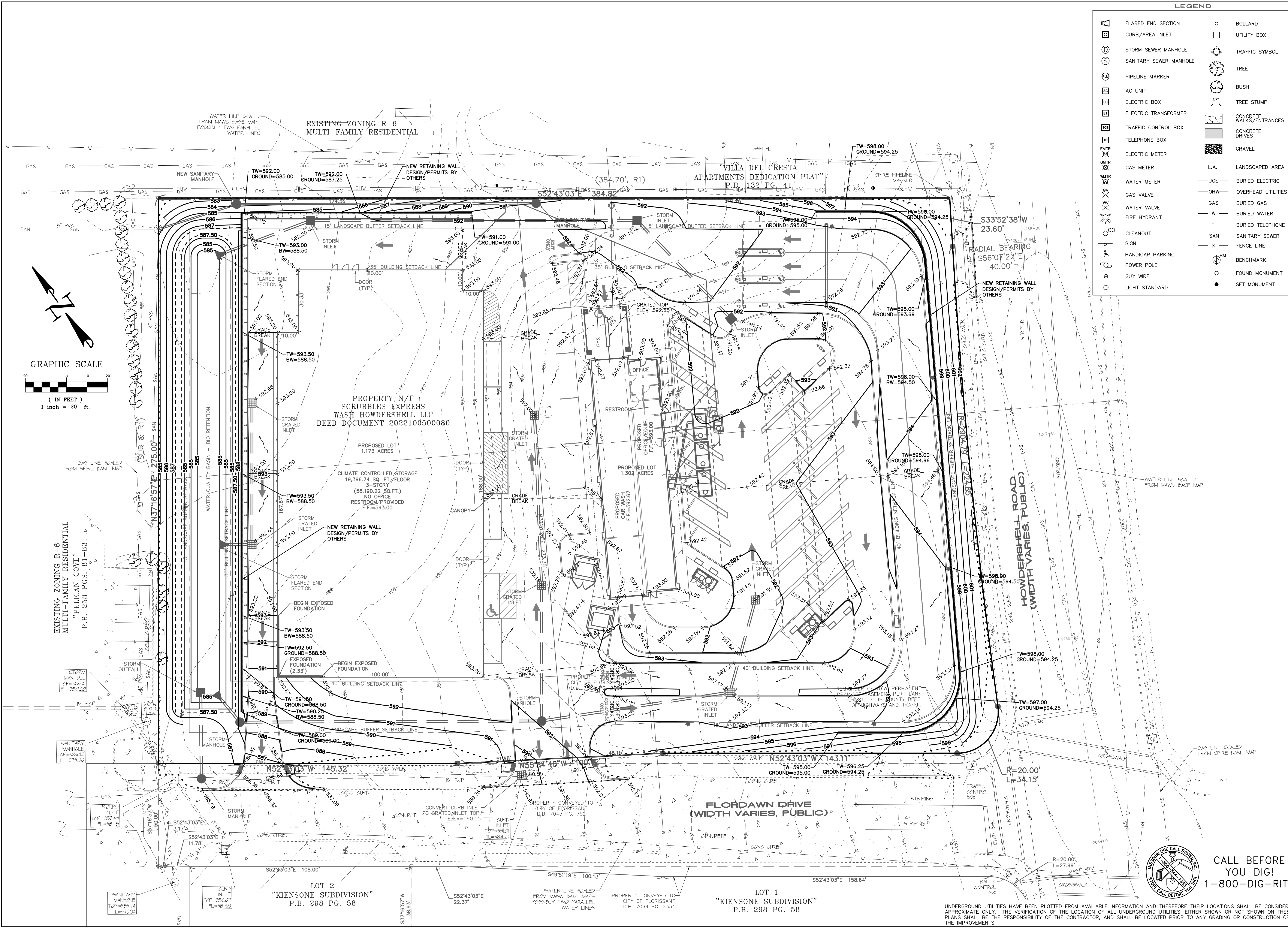
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C-1



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UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF THE UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



LEGEND

| | | | |
|----------|------------------------|----------|----------------------------|
| [Symbol] | FLARED END SECTION | [Symbol] | BOLLARD |
| [Symbol] | CURB/AREA INLET | [Symbol] | UTILITY BOX |
| [Symbol] | STORM SEWER MANHOLE | [Symbol] | TRAFFIC SYMBOL |
| [Symbol] | SANITARY SEWER MANHOLE | [Symbol] | TREE |
| [Symbol] | PIPELINE MARKER | [Symbol] | BUSH |
| [Symbol] | AC UNIT | [Symbol] | TREE STUMP |
| [Symbol] | ELECTRIC BOX | [Symbol] | CONCRETE WALKS/ENTRANCES |
| [Symbol] | ELECTRIC TRANSFORMER | [Symbol] | CONCRETE DRIVES |
| [Symbol] | TRAFFIC CONTROL BOX | [Symbol] | GRAVEL |
| [Symbol] | TELEPHONE BOX | [Symbol] | L.A. LANDSCAPED AREA |
| [Symbol] | ELECTRIC METER | [Symbol] | — UGE — BURIED ELECTRIC |
| [Symbol] | GAS METER | [Symbol] | — OHW — OVERHEAD UTILITIES |
| [Symbol] | WATER METER | [Symbol] | — GAS — BURIED GAS |
| [Symbol] | GAS VALVE | [Symbol] | — W — BURIED WATER |
| [Symbol] | WATER VALVE | [Symbol] | — T — BURIED TELEPHONE |
| [Symbol] | FIRE HYDRANT | [Symbol] | — SAN — SANITARY SEWER |
| [Symbol] | CLEANOUT | [Symbol] | — X — FENCE LINE |
| [Symbol] | HANDICAP PARKING | [Symbol] | BM BENCHMARK |
| [Symbol] | SIGN | [Symbol] | ○ FOUND MONUMENT |
| [Symbol] | POWER POLE | [Symbol] | ● SET MONUMENT |
| [Symbol] | GUY WIRE | | |
| [Symbol] | LIGHT STANDARD | | |

A SITE PLAN FOR
HOWDERSHELL CAR WASH AND STORAGE BUILDING
 495 HOWDERSHELL ROAD
 FLOIRISSANT, MO 63031

PREPARED FOR:
 TIFTON CAR WASH, LLC
 TIFTON, GEORGIA 31794
 229-520-2244

Engineering Planning Surveying

221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

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 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

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| | |
|----------|---------------|
| 03-15-23 | CITY COMMENTS |
| 03-15-23 | ADD ADA STALL |
| | |
| | |
| | |
| | |

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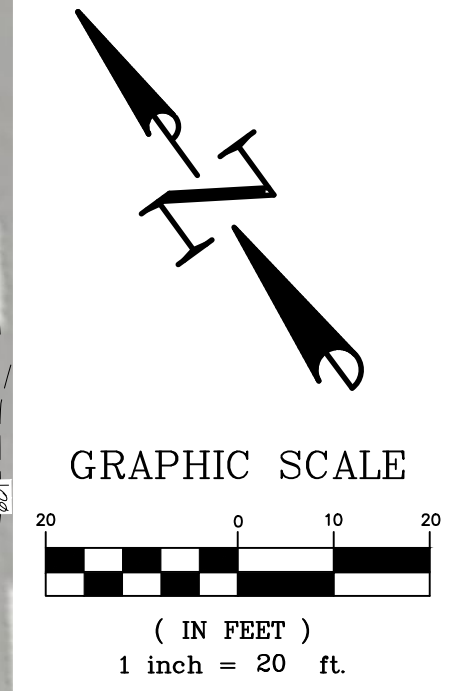
STATE OF MISSOURI
 LARRY D. WALKER
 PROFESSIONAL ENGINEER
 NUMBER: PE2007026343
 EXPIRES: 03/15/23
 Larry D. Walker
 Civil Engineer
 Engineers License 2007020343

02-20-23
 DATE
 22-18717
 PROJECT NUMBER
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 FILE NAME
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 DRAWN
 SWR LDW
 DESIGNED CHECKED

GRADING PLAN
C-2

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LEGEND

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| [Symbol] | FLARED END SECTION | [Symbol] | BOLLARD |
| [Symbol] | CURB/AREA INLET | [Symbol] | UTILITY BOX |
| [Symbol] | STORM SEWER MANHOLE | [Symbol] | TRAFFIC SYMBOL |
| [Symbol] | SANITARY SEWER MANHOLE | [Symbol] | TREE |
| [Symbol] | PIPELINE MARKER | [Symbol] | BUSH |
| [Symbol] | AC UNIT | [Symbol] | TREE STUMP |
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| [Symbol] | TRAFFIC CONTROL BOX | [Symbol] | GRAVEL |
| [Symbol] | TELEPHONE BOX | [Symbol] | L.A. LANDSCAPED AREA |
| [Symbol] | ELECTRIC METER | [Symbol] | — UGE — BURIED ELECTRIC |
| [Symbol] | GAS METER | [Symbol] | — OHW — OVERHEAD UTILITIES |
| [Symbol] | WATER METER | [Symbol] | — GAS — BURIED GAS |
| [Symbol] | GAS VALVE | [Symbol] | — W — BURIED WATER |
| [Symbol] | WATER VALVE | [Symbol] | — T — BURIED TELEPHONE |
| [Symbol] | FIRE HYDRANT | [Symbol] | — SAN — SANITARY SEWER |
| [Symbol] | CLEANOUT | [Symbol] | — X — FENCE LINE |
| [Symbol] | SIGN | [Symbol] | BM BENCHMARK |
| [Symbol] | HANDICAP PARKING | [Symbol] | ○ FOUND MONUMENT |
| [Symbol] | POWER POLE | [Symbol] | ● SET MONUMENT |
| [Symbol] | GUY WIRE | | |
| [Symbol] | LIGHT STANDARD | | |

A SITE PLAN FOR
HOWDERSHELL CAR WASH AND STORAGE BUILDING
 495 HOWDERSHELL ROAD
 FLORISSANT, MO 63031

**ENGINEERING
 PLANNING
 SURVEYING**

221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

| NO. | DATE | DESCRIPTION |
|----------|------|---------------|
| 03-15-23 | | CITY COMMENTS |
| 03-15-23 | | ADD ADA STALL |
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DISCLAIMER OF RESPONSIBILITY
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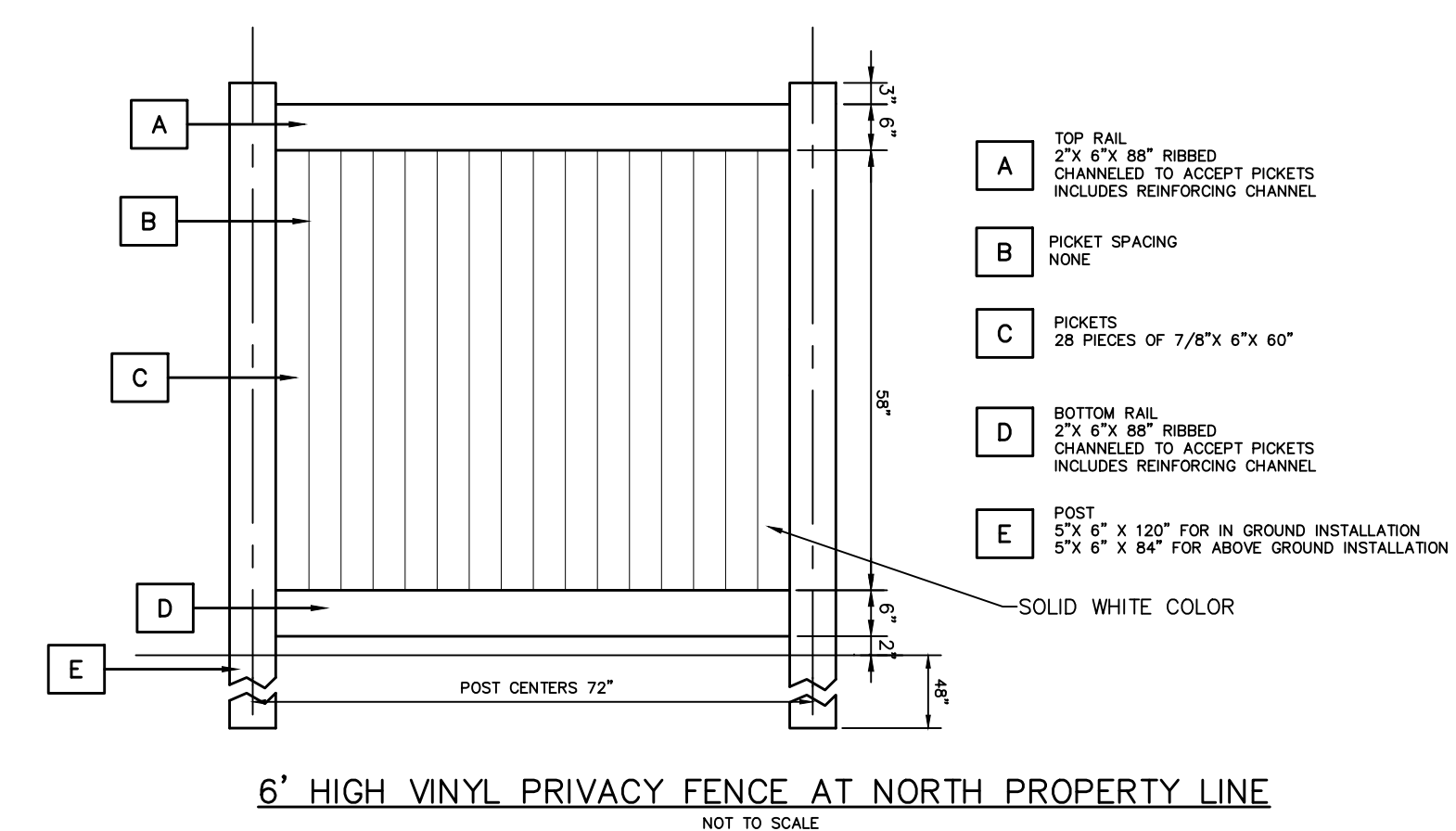
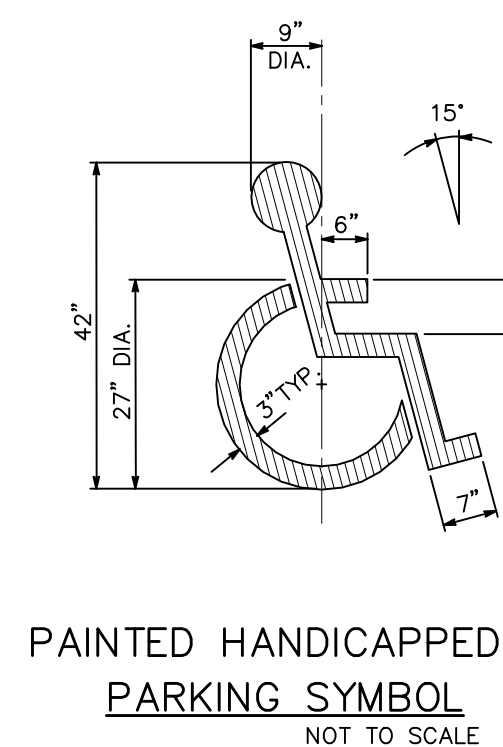
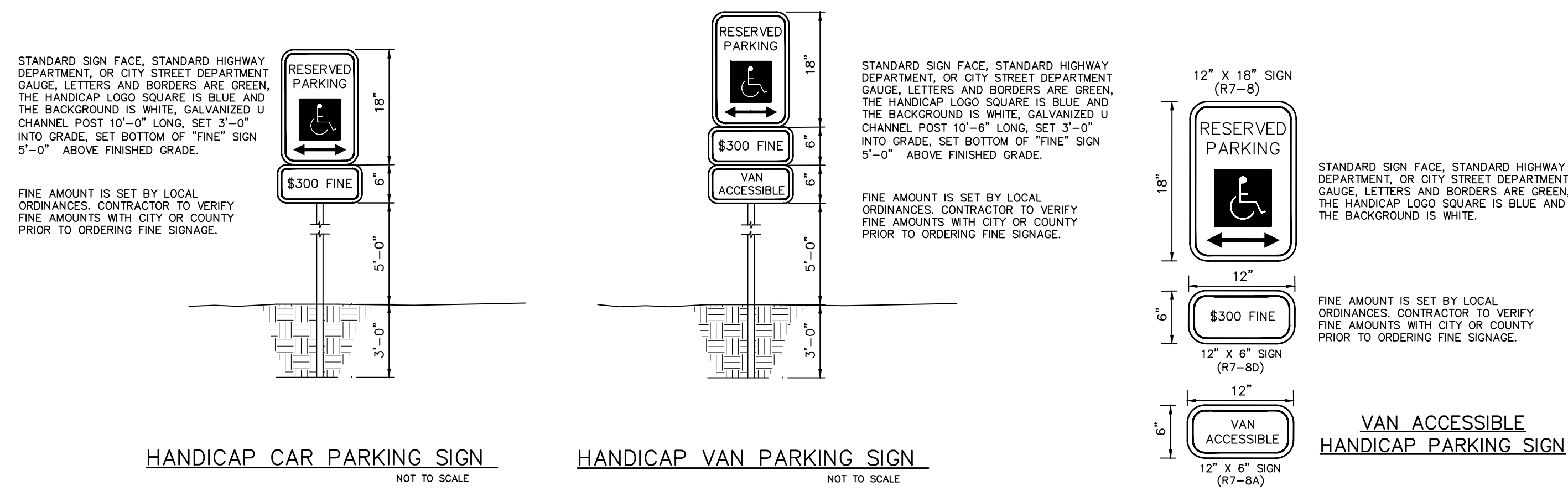
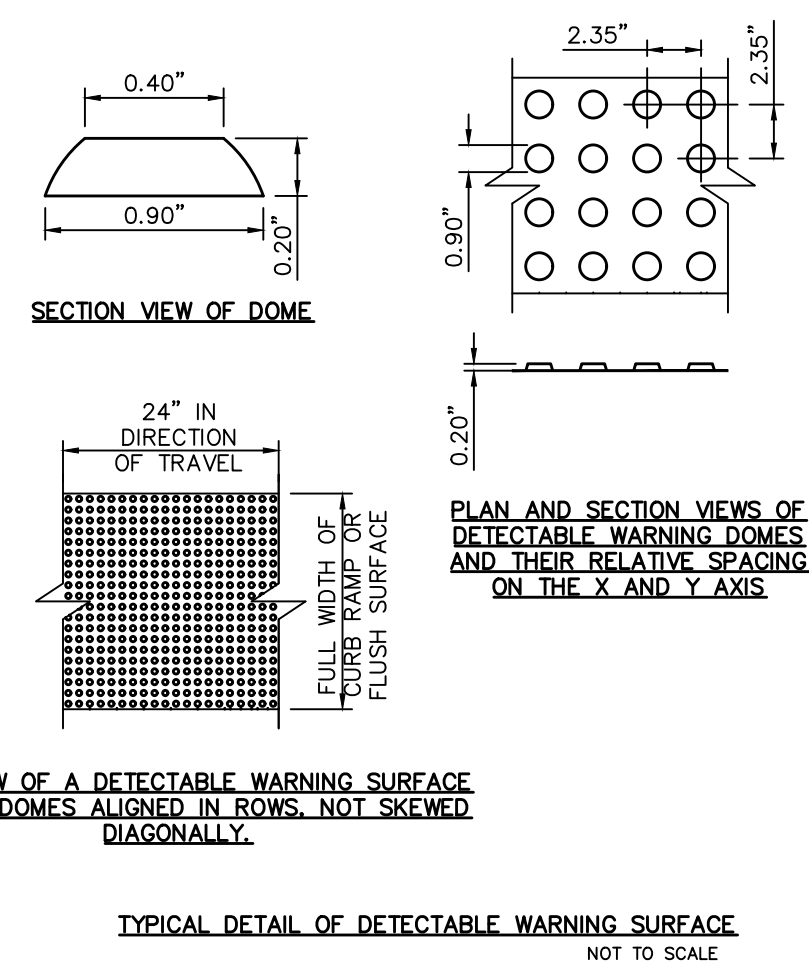
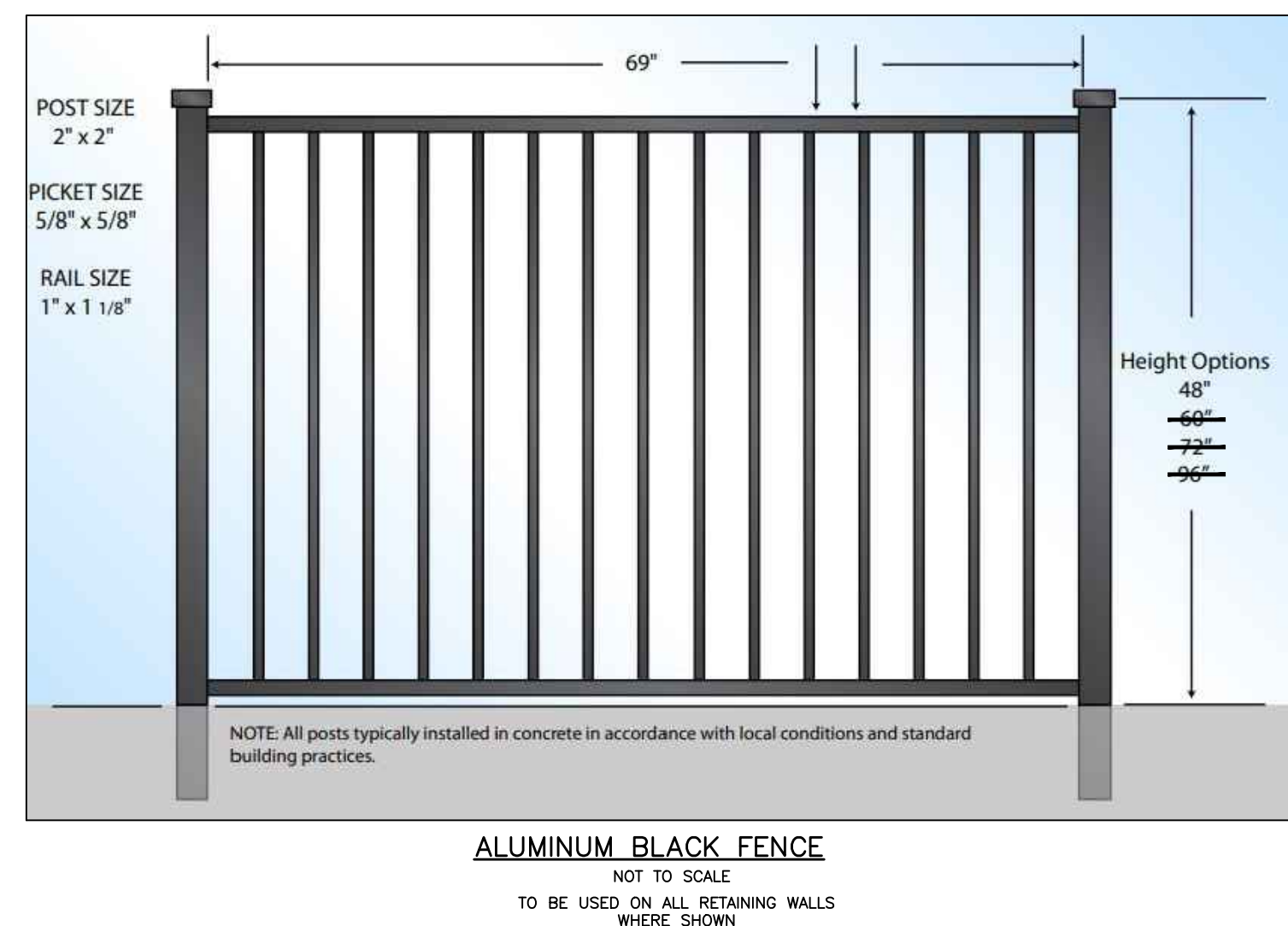
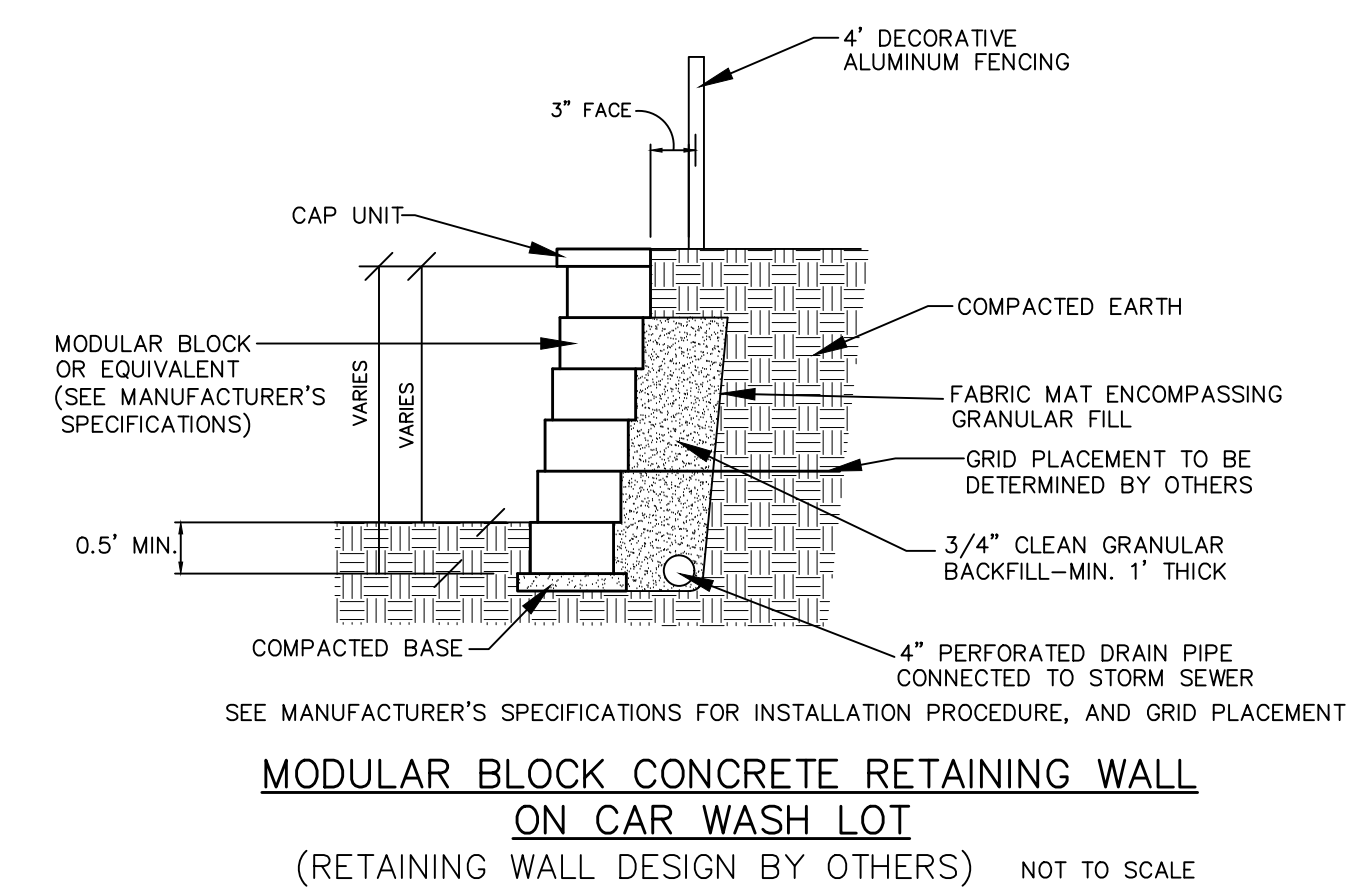
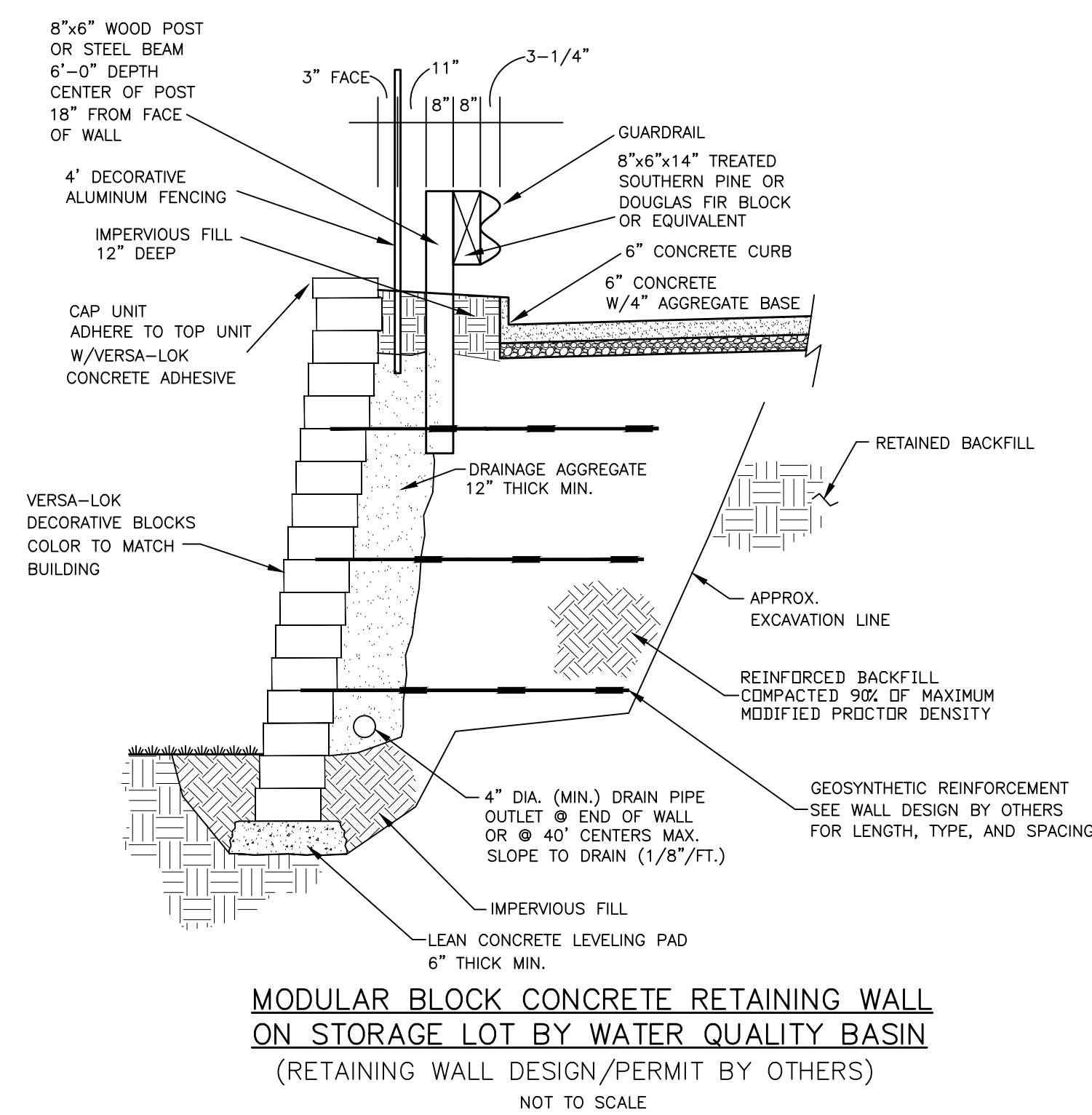
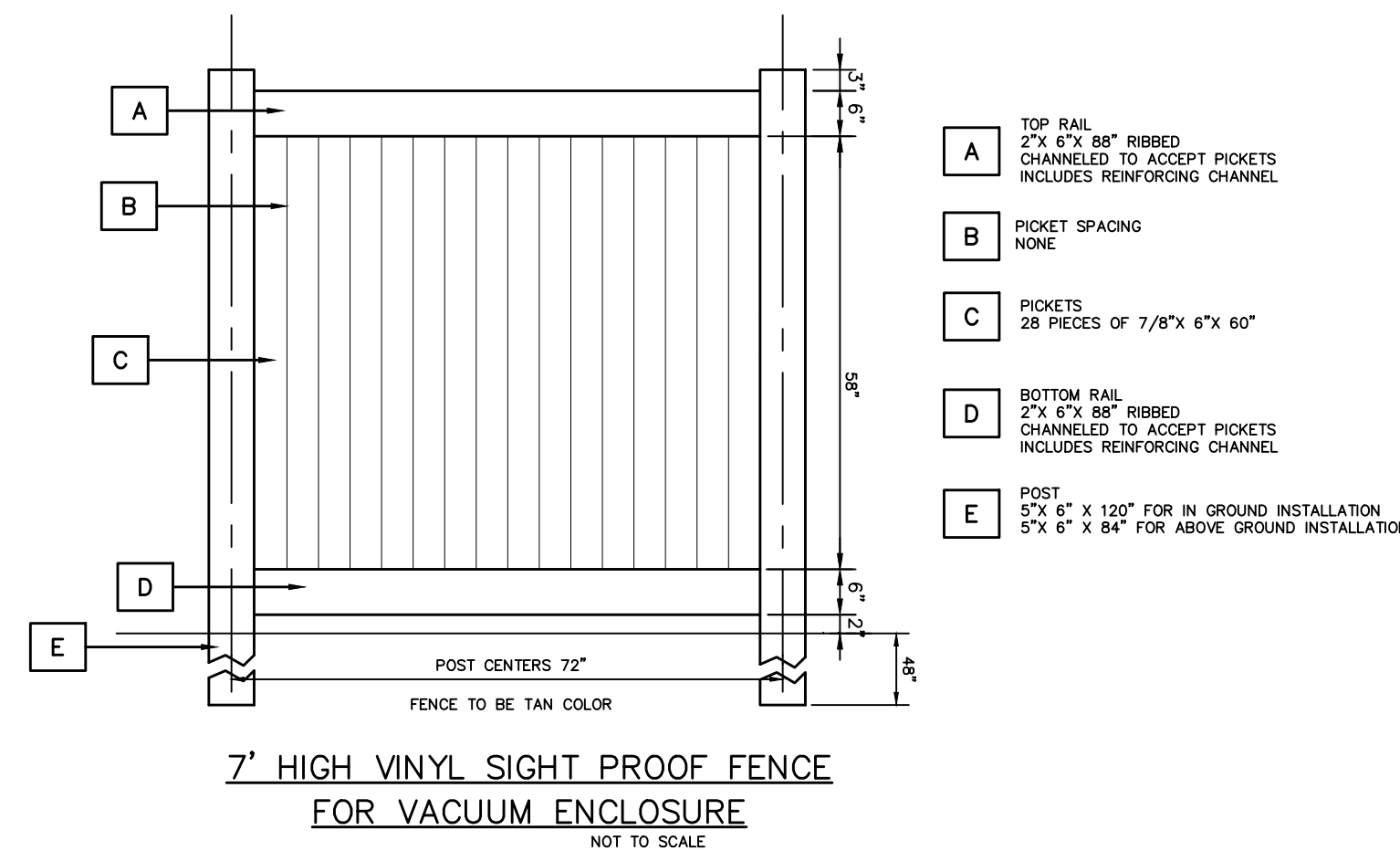
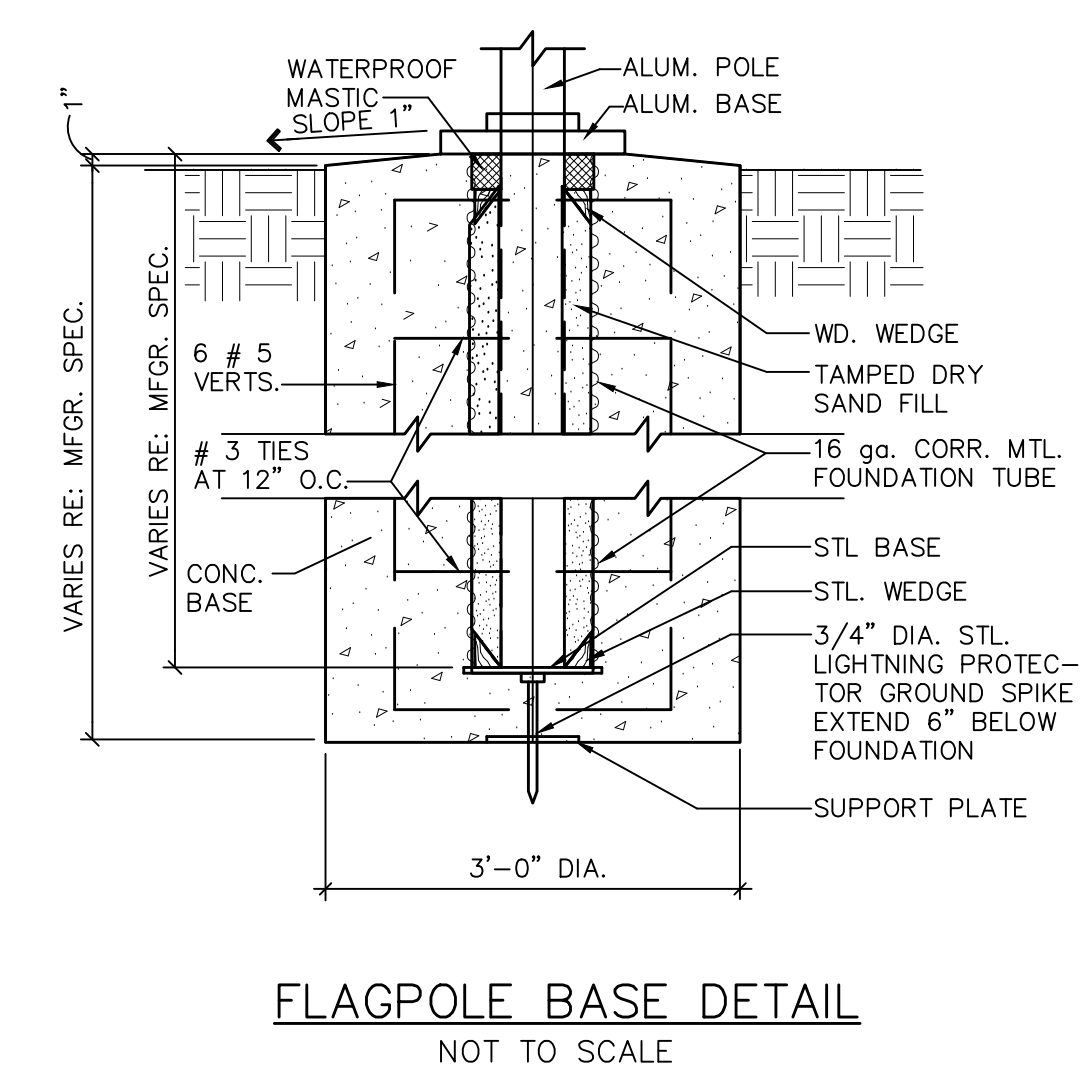
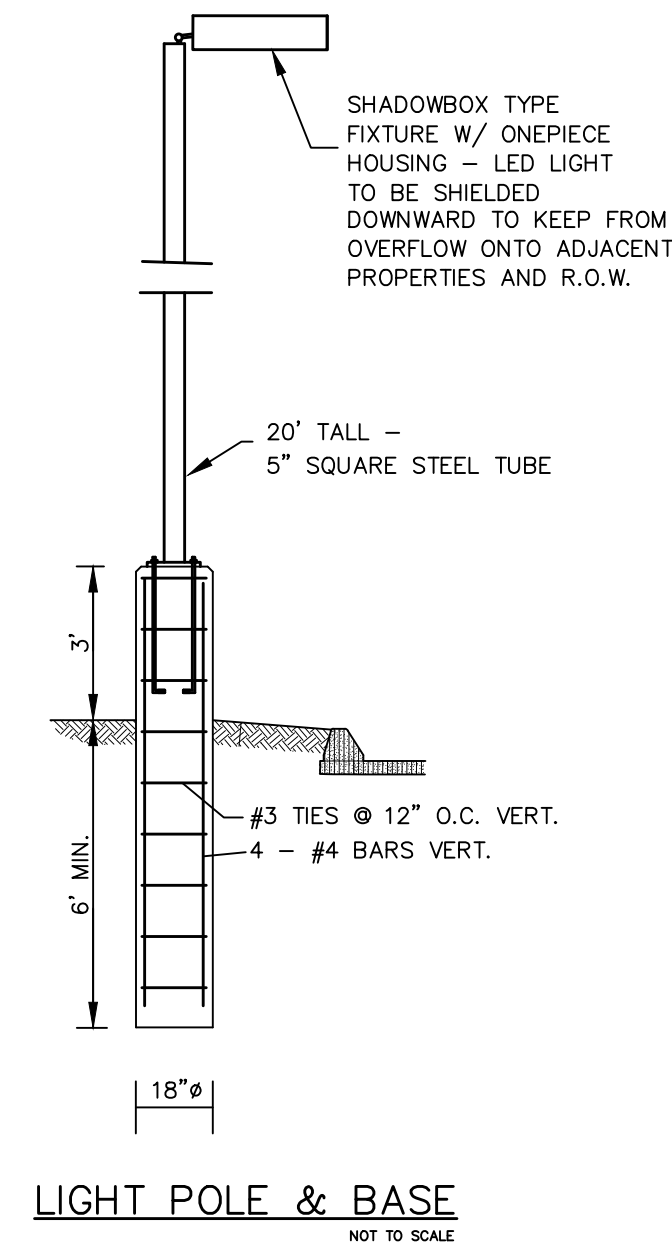
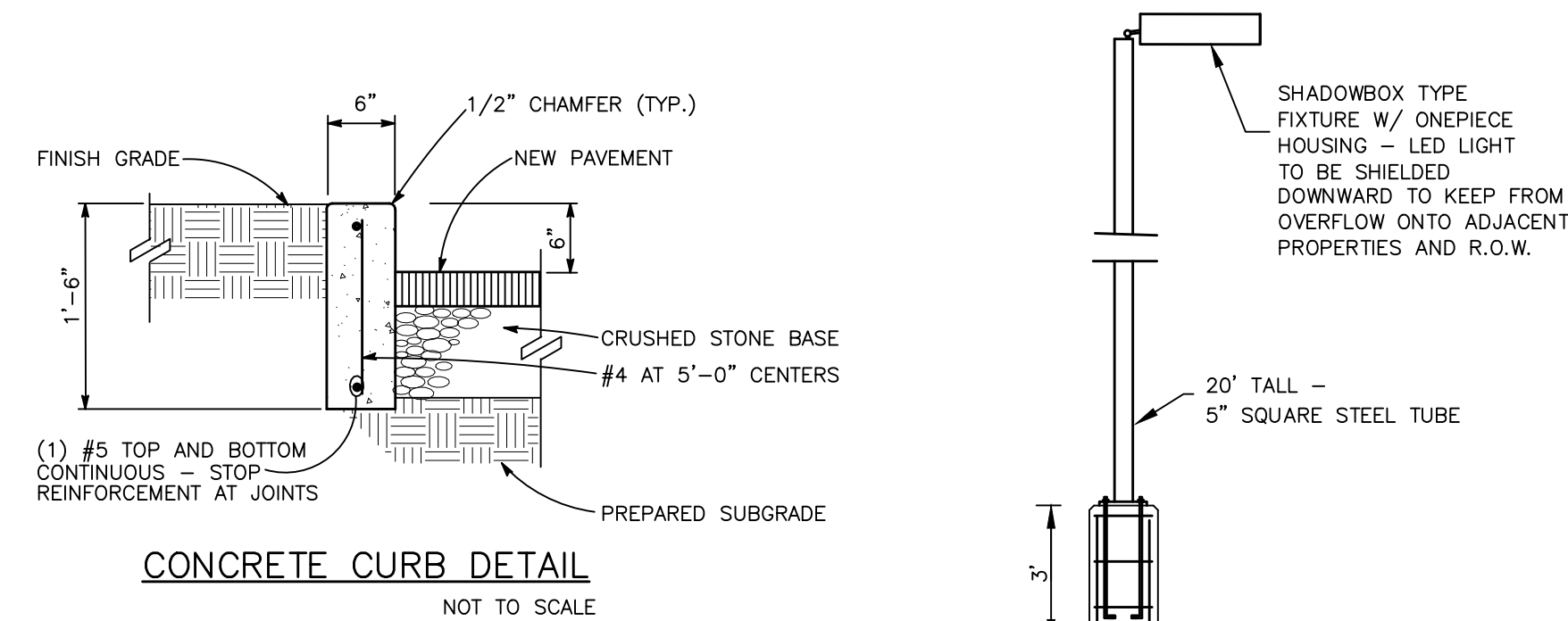
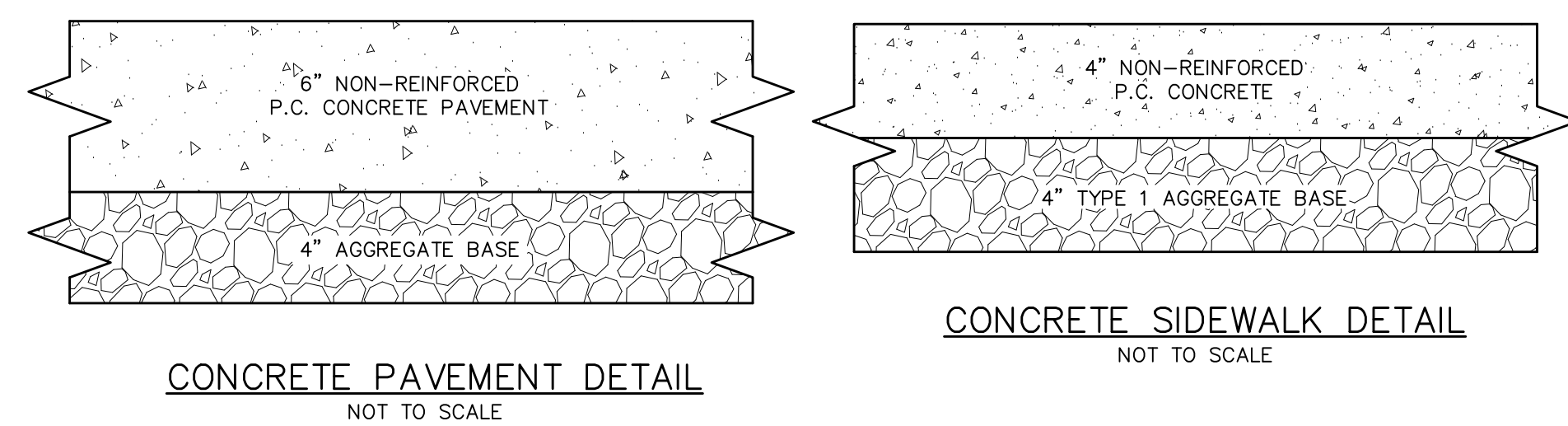
Lerry D. Walker
 Civil Engineer
 Engineers License 2007020343

02-20-23
 DATE
 22-18717
 PROJECT NUMBER
 18717PRE.DWG
 FILE NAME
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 DESIGNED CHECKED

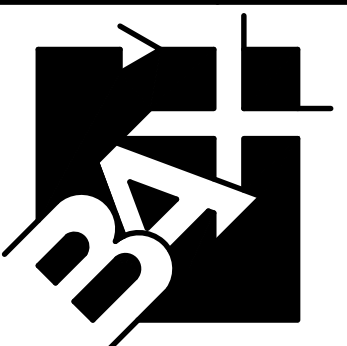
EXISTING
 CONDITIONS
C-3

CALL BEFORE YOU DIG!
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A SITE PLAN FOR
HOWDERSHELL CAR WASH AND STORAGE BUILDING
495 HOWDERSHELL ROAD
FLORISSANT, MO 63031



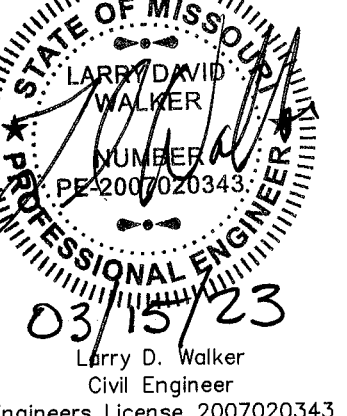
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Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
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Surveying #000144

REVISIONS

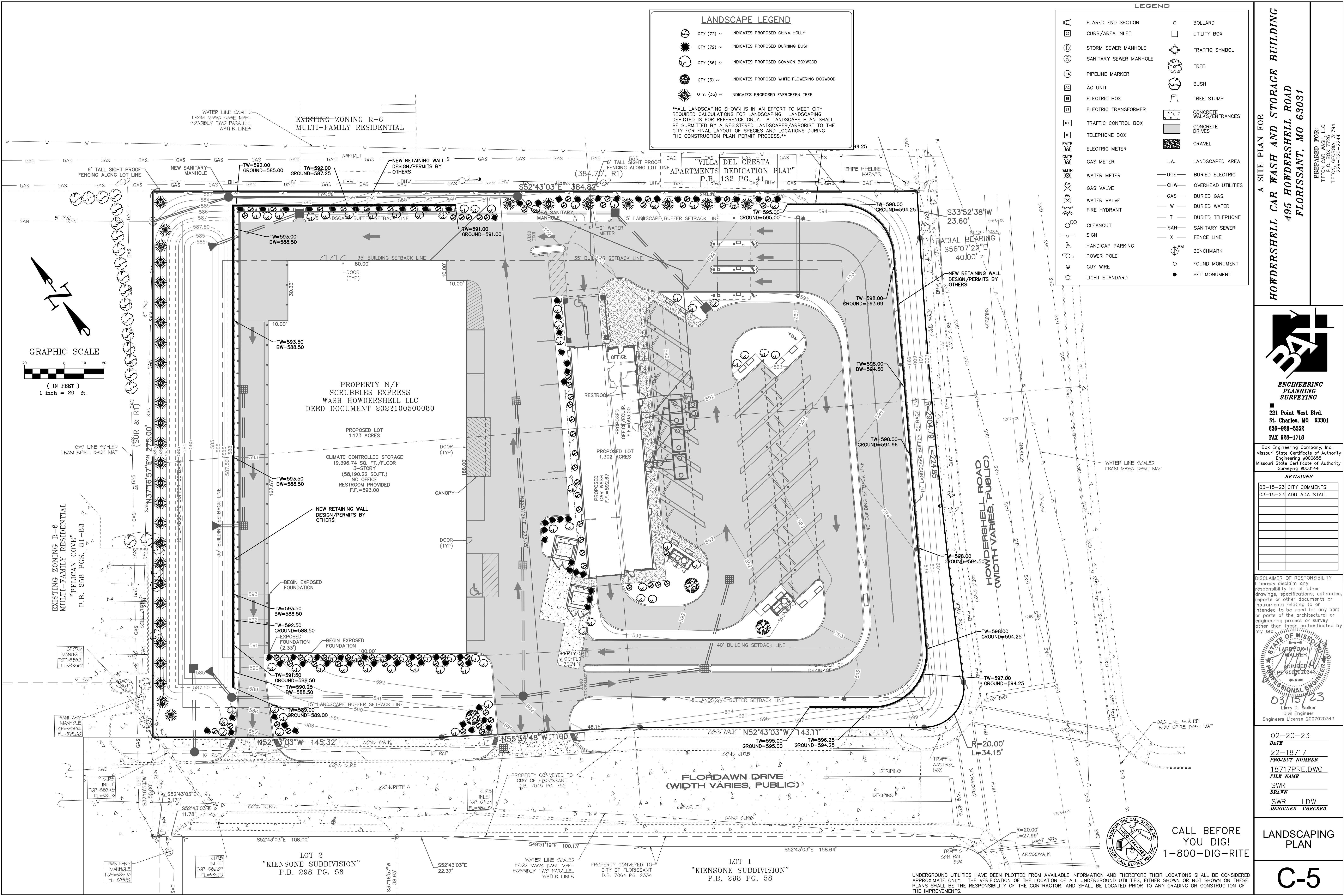
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02-20-23
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SWR LDW
DESIGNED CHECKED

DETAILS
C-4



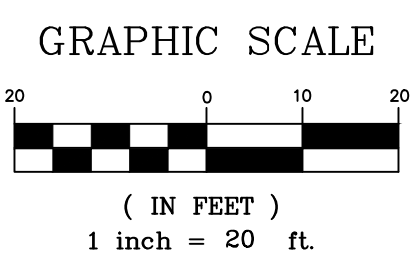
LANDSCAPE LEGEND

- QTY (72) ~ INDICATES PROPOSED CHINA HOLLY
- QTY (72) ~ INDICATES PROPOSED BURNING BUSH
- QTY (66) ~ INDICATES PROPOSED COMMON BOXWOOD
- QTY (3) ~ INDICATES PROPOSED WHITE FLOWERING DOGWOOD
- QTY. (35) ~ INDICATES PROPOSED EVERGREEN TREE

****ALL LANDSCAPING SHOWN IS IN AN EFFORT TO MEET CITY REQUIRED CALCULATIONS FOR LANDSCAPING. LANDSCAPING DEPICTED IS FOR REFERENCE ONLY. A LANDSCAPE PLAN SHALL BE SUBMITTED BY A REGISTERED LANDSCAPER/ARBORIST TO THE CITY FOR FINAL LAYOUT OF SPECIES AND LOCATIONS DURING THE CONSTRUCTION PLAN PERMIT PROCESS.****

LEGEND

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| [Symbol] | LIGHT STANDARD | | |



A SITE PLAN FOR
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 495 HOWDERSHELL ROAD
 FLOIRSSANT, MO 63031

PREPARED FOR:
 TIFTON CAR WASH, LLC
 TIFTON, MISSOURI 65759
 229-520-2244

**ENGINEERING
 PLANNING
 SURVEYING**

221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
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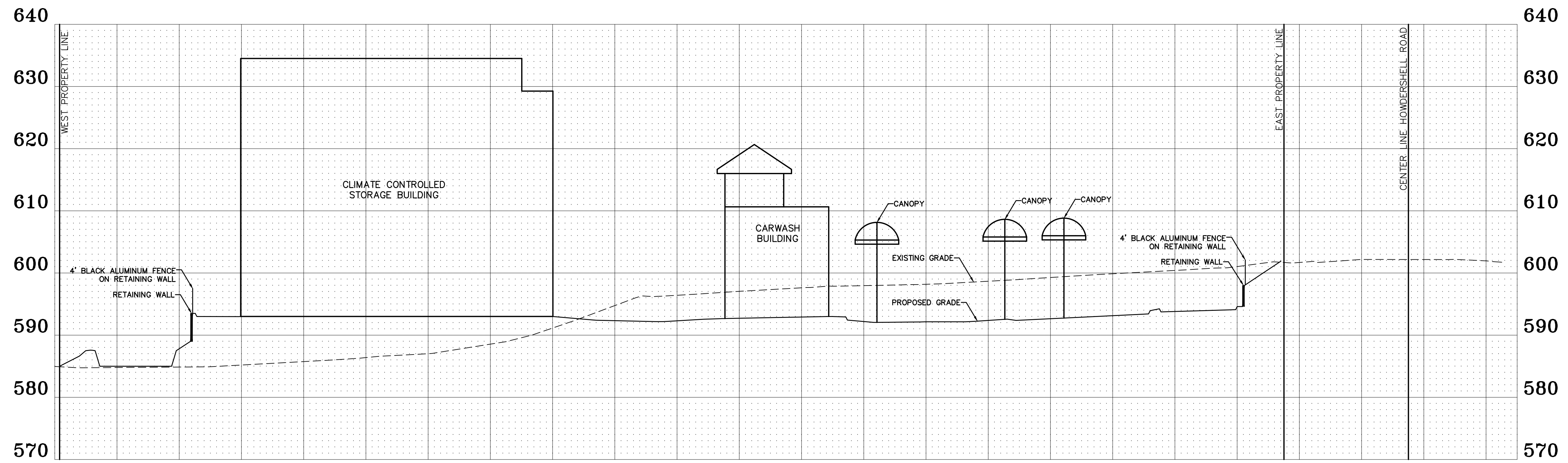
Larry D. Walker
 Civil Engineer
 Engineers License 2007020343

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LANDSCAPING PLAN
C-5

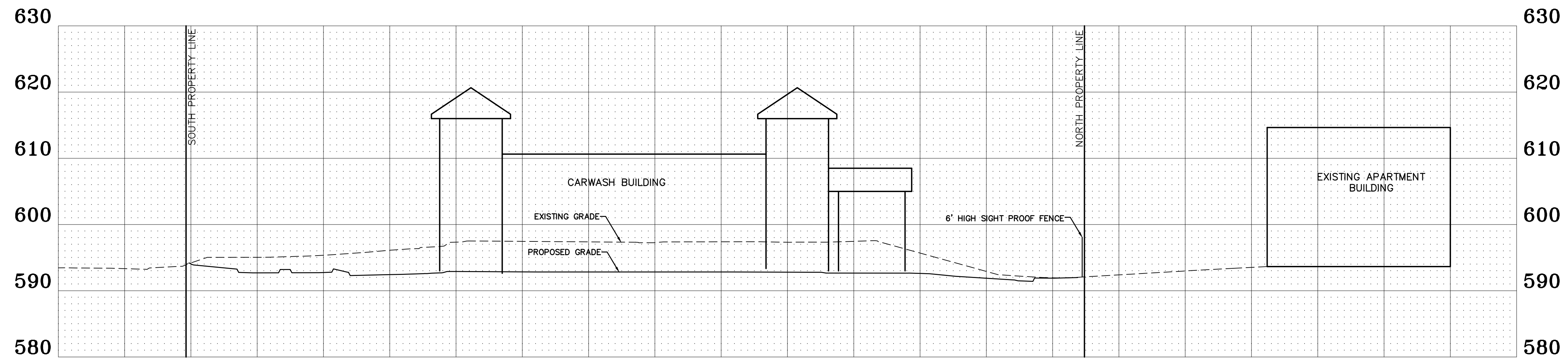
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Section A-A

HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 10'

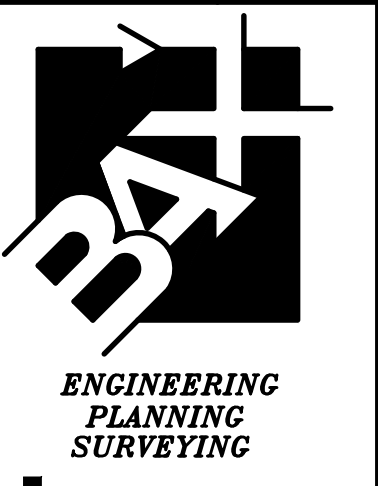


Section B-B

HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 10'

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PREPARED FOR:
 TIFTON CAR WASH, LLC
 TIFTON, GEORGIA 31794
 229-520-2244



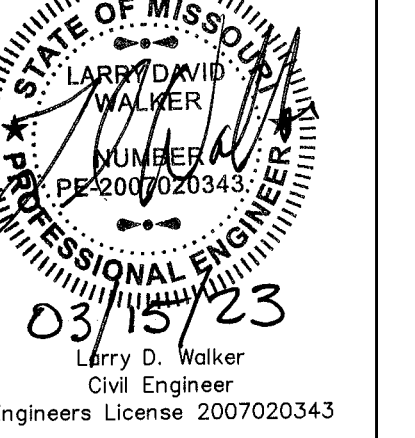
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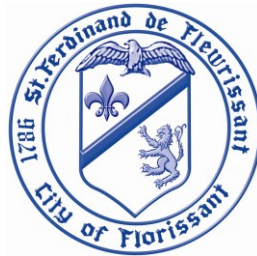
SITE CROSS SECTIONS

C-6

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1

MEMORANDUM



2

CITY OF FLORISSANT

3

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

4

5

6

7

To: Planning and Zoning Commissioners Date: April 13, 2023

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes- P.E.
Director of Public Works
Deputy City Clerk
Applicant, File

10

11

12

13

14

Subject: **2678 N. Highway 67 Dairy Queen:** Request Approval of exterior remodel including repainting of legally painted brick in a ‘B-3’ Extensive Business District.

15

16

17

STAFF REPORT

18

CASE NUMBER PZ-041723-1

19

20

I. PROJECT DESCRIPTION:

This is a request for Recommended Approval to repaint to new colors- re-painting of legally painted brick.

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24

II. EXISTING SITE CONDITIONS:

The existing property at 2678 N Highway 67 is owned by Woodson Development. The existing retail space is a Dairy Queen Restaurant with a size of 1876 s.f. The restaurant has been in operation since the late 1960’s and is currently both a Special Use and a legally painted masonry (brick) building.

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III. SURROUNDING PROPERTIES:

The adjacent to the tip of the property to the North is part of 2635 N Highway 67 Handyman Hardware in a B-4 District. The adjacent property to the West is 2520 N Highway 67 Surrey Plaza 1 in a B-4 District. The property to the East is Surrey Plaza II at 2700 N Highway 67.

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IV. STAFF ANALYSIS:

The current building was legally painted and under an amendment to Special Use, Ord. 7155, alterations to both the roofline and exterior of the building with remodeling were approved.

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41 In this case, a petition to change in color of masonry requires approval of both by P&Z
42 and approved by Council under the provisions of the masonry ordinance, section
43 560.060, para D, [Ord. No. 8748, 11-22-2021]

44 *“...D. Restrictions On Use Of Masonry.*

45 *1. Masonry shall not be painted, but clear sealers may be applied if approved by the Building*
46 *Commissioner.*

47 *2. Any masonry that was lawfully painted may only be repainted for maintenance purposes and*
48 *only with written permission from the Director of Public Works. In cases where there is a need to*
49 *perform maintenance on a painted area, the Director of Public Works or their designee may*
50 *review and approve any repainting for maintenance reasons, provided that there is no change in*
51 *color or texture.*

52 *3. Repainting for reasons other than for maintenance of current painted surfaces upon the*
53 *approval of the Director of Public Works and requests to change the color or texture of the*
54 *existing brick or masonry surface may not be done without the review and recommendation from*
55 *Planning and Zoning Commission and approval of City Council.*

56 *4. Nothing contained herein shall excuse or authorize the unlawful painting or repainting of brick*
57 *or masonry surfaces.*

58 *5. Exemption for Landmark and Historic Homes: All buildings listed on the National Register of*
59 *Historic Places, designated Florissant landmarks or structures eligible to be designated*
60 *Florissant landmarks which were painted prior to the adoption of this Section would be excluded*
61 *from its provisions.*

62
63 Plans indicate the painting other non-masonry materials on the building, the parapet and
64 top coping, sign area panels and some parapet panels. The front parapet panels and
65 returns remain the same colors red and blue. The giant spoon, previously approved as a
66 sign, remains.

67
68 Wall mounted valance lights replace the exterior light fixtures over the wall signs.
69 the installation of a red LED lighting onto the existing “eyebrow” replacing the blue LED
70 lights.

71
72 Staff has since recommended that the City Council approve an ordinance for each
73 instance of brick painting, without need of a public hearing or Special Use Amendment.
74 Failure of a petition to approve would mean that the Commission deems otherwise and
75 finds that the changes proposed warrant an amendment of the Special Use and a public
76 hearing.

77
78 **VI. STAFF RECOMMENDATIONS:**

79 The petitioner’s proposed repainting coincides with other cosmetic upgrades to new color
80 scheme. After discussion, staff recommended proposing approval to paint the legally
81 painted brick through P&Z and Council. Should the masonry color change be approved,
82 the petitioner will seek approval by Council on their 4/23/23 agenda. **Suggested Motion**
83 **for Approval** to change of color of legally painted masonry in a ‘B-3’ Zoning District:

84
85 I move for the Planning & Zoning’s **approval** of exterior remodel including repainting of
86 masonry with color change as presented.

87
88 (end report and suggested motion)

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 2678 North Highway 67

Property Owners Name: _____ Phone/email: _____

Property Owners Address: _____

Business Owners Name: David Greer Phone/email: mrmrsdq@aol.com

Business Owners Address: 2678 North Highway 67

DBA (Doing Business As) Dairy Queen

Authorized Agents Name: Don Torretta Co. Name: CCM Corporation
(Authorized Agent to Appear Before The Commission)

Agents Address: 140 Clarkson Executive Park Phone/email: dont@ccmcorp.com

Request Change of Paint Color on Exterior

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Don Torretta Pres
Applicant's Signature ccm corp

4-5-23
Date

Received by: SL Receipt # 28535 OFFICE USE ONLY Amount Paid: 100⁰⁰ Date: 4-6-23

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: 4/13/23

COMMISSION ACTION TAKEN:

Philip E. Sun
SIGNATURE OF STAFF WHO REVIEWED APPLICATION
Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

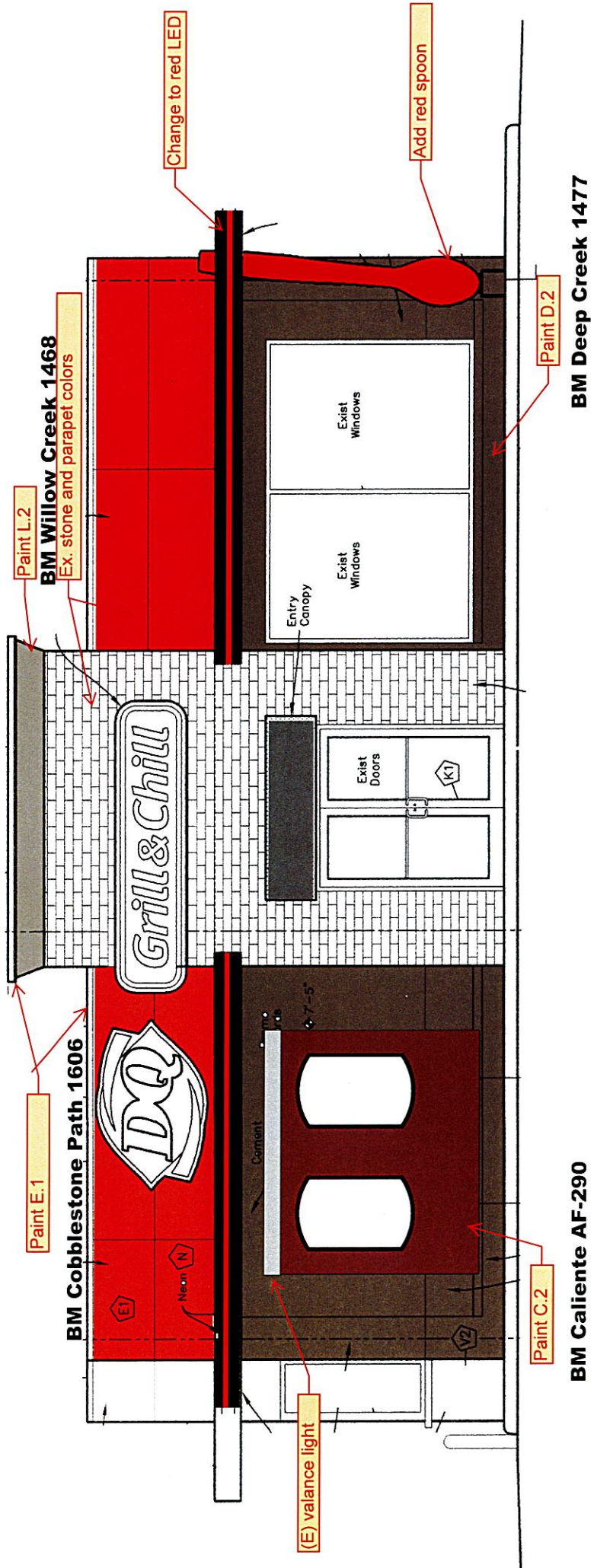
APPROVED
PLANNING & ZONING
CHAIRMAN

SIGN [Signature] DATE: 4-17-23 47

Florissant, MO #41817



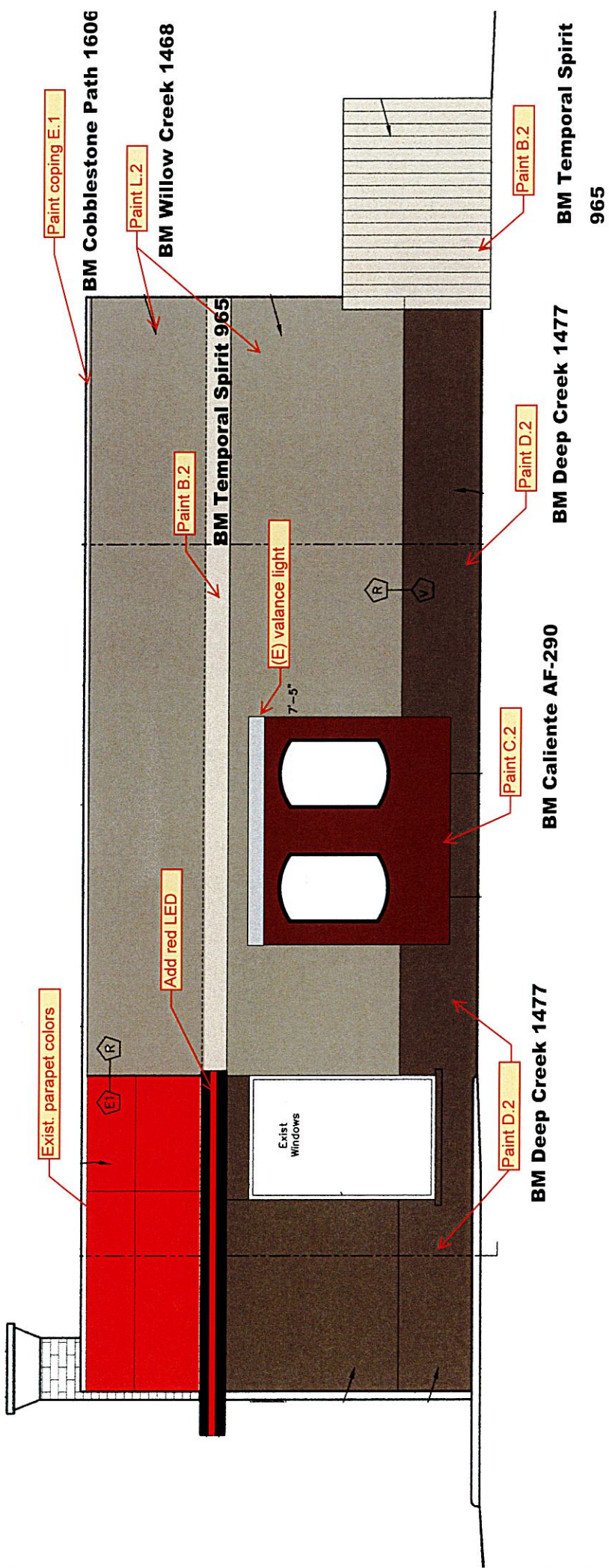
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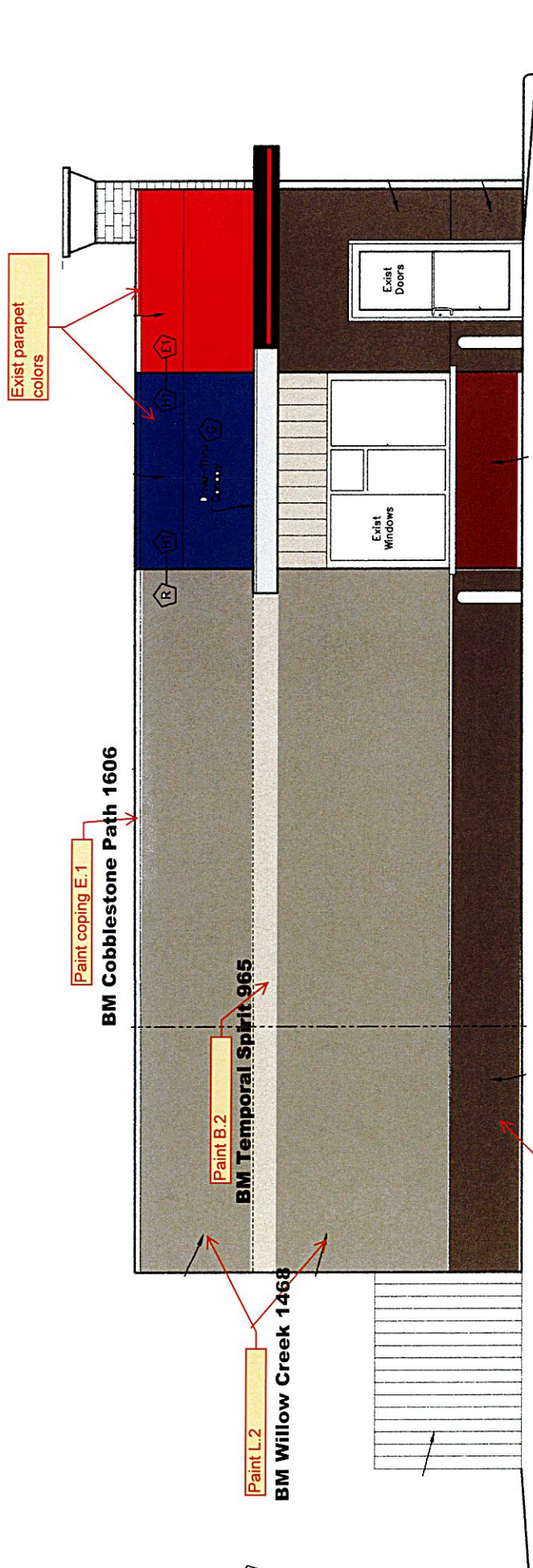
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| Main Entrance | DETAIL |
| Elevation | 1 |
| Scale: 1/4" = 1'-0" | |

APPROVED
PLANNING & ZONING
CHAIRMAN

SIGN. *[Signature]* DATE: 4-17-2023



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| Scale: 1/4" = 1'-0" | |
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| Scale: 1/4" = 1'-0" | |

CCO Form: FS27
Approved: 05/02 (BDG)
Revised: 10/22 (MWH)
Modified: 01/23 (MWH)

St. Louis County
City of Florissant
Project STP-4901(650)

CFDA Number: CFDA #20.205
CFDA Title: Highway Planning and Construction
Award name/number: STP-4901(650)
Award Year: 2023
Federal Agency: Federal Highway Administration, Department of Transportation

**MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION
STBG PROGRAM
SUPPLEMENTAL AGREEMENT**

THIS SUPPLEMENTAL AGREEMENT is entered into by the Missouri Highways and Transportation Commission (hereinafter, "Commission") and the City of Florissant (hereinafter, "City").

WITNESSETH:

WHEREAS, on September 20, 2022, the Commission and the City previously entered into a STBG Program Agreement as to public improvements designated as STP-4901(650), for the resurfacing, replacement of damaged or deteriorated curb and sidewalk, construction of accessible curb ramps and new sidewalk, (hereinafter, "Original Agreement"); and

WHEREAS, the Commission and the City now desire to revise the Original Agreement.

NOW, THEREFORE, in consideration of the mutual covenants, promises and representations contained herein, the parties agree as follows:

(1) REVISION: Paragraph (2) LOCATION of the Original Agreement is hereby removed and replaced with the following:

(2) LOCATION: The contemplated improvement designated as Project STP-4901(650) by the Commission is within the city limits of Florissant, Missouri. The general location of the improvement is shown on an attachment hereto marked "Exhibit A" and incorporated herein by reference. More specific descriptions are as follows:

Mullanphy Road from Patterson Road to Shackelford Road. Sidewalk will be extended from Loveland Drive to Vesper Drive.

(2) REVISION: Paragraph (12) REIMBURSEMENT of the Original Agreement is hereby removed and replaced with the following:

(12) REIMBURSEMENT: The cost of the contemplated improvements will be borne by the United States Government and by the City as follows:

(A) Any federal funds for project activities shall only be available for reimbursement of eligible costs which have been incurred by City. Any costs incurred by City prior to authorization from FHWA and notification to proceed from the Commission are **not** reimbursable costs. All federally funded projects are required to have a project end date. Any costs incurred after the project end date are not eligible for reimbursement. The federal share for this project will be 80 percent not to exceed \$1,447,494. The calculated federal share for seeking federal reimbursement of participating costs for the herein improvements will be determined by dividing the total federal funds applied to the project by the total participating costs. Any costs for the herein improvements which exceed any federal reimbursement or are not eligible for federal reimbursement shall be the sole responsibility of City. The Commission shall not be responsible for any costs associated with the herein improvement unless specifically identified in this Agreement or subsequent written amendments.

(B) The total reimbursement otherwise payable to the City under this Agreement is subject to reduction, offset, levy, judgment, collection or withholding, if there is a reduction in the available federal funding, or to satisfy other obligations of the City to the Commission, the State of Missouri, the United States, or another entity acting pursuant to a lawful court order, which City obligations or liability are created by law, judicial action, or by pledge, contract or other enforceable instrument. Any costs incurred by the City prior to authorization from FHWA and notification to proceed from the Commission are not reimbursable costs.

(3) ORIGINAL AGREEMENT: Except as otherwise modified, amended, or supplemented by this Supplemental Agreement, the Original Agreement between the parties shall remain in full force and effect and shall extend and apply to this Supplemental Agreement as if fully written in this Supplemental Agreement.

Remainder of Page Intentionally Left Blank

IN WITNESS WHEREOF, the parties have entered into this Agreement on the date last written below.

Executed by the City on _____(DATE).

Executed by the Commission on _____(DATE).

MISSOURI HIGHWAYS AND
TRANSPORTATION COMMISSION

CITY OF FLORISSANT

By _____

Title: _____

Title: _____

ATTEST:

ATTEST:

Secretary to the Commission

By _____

Title: _____

Approved as to Form:

Approved as to Form:

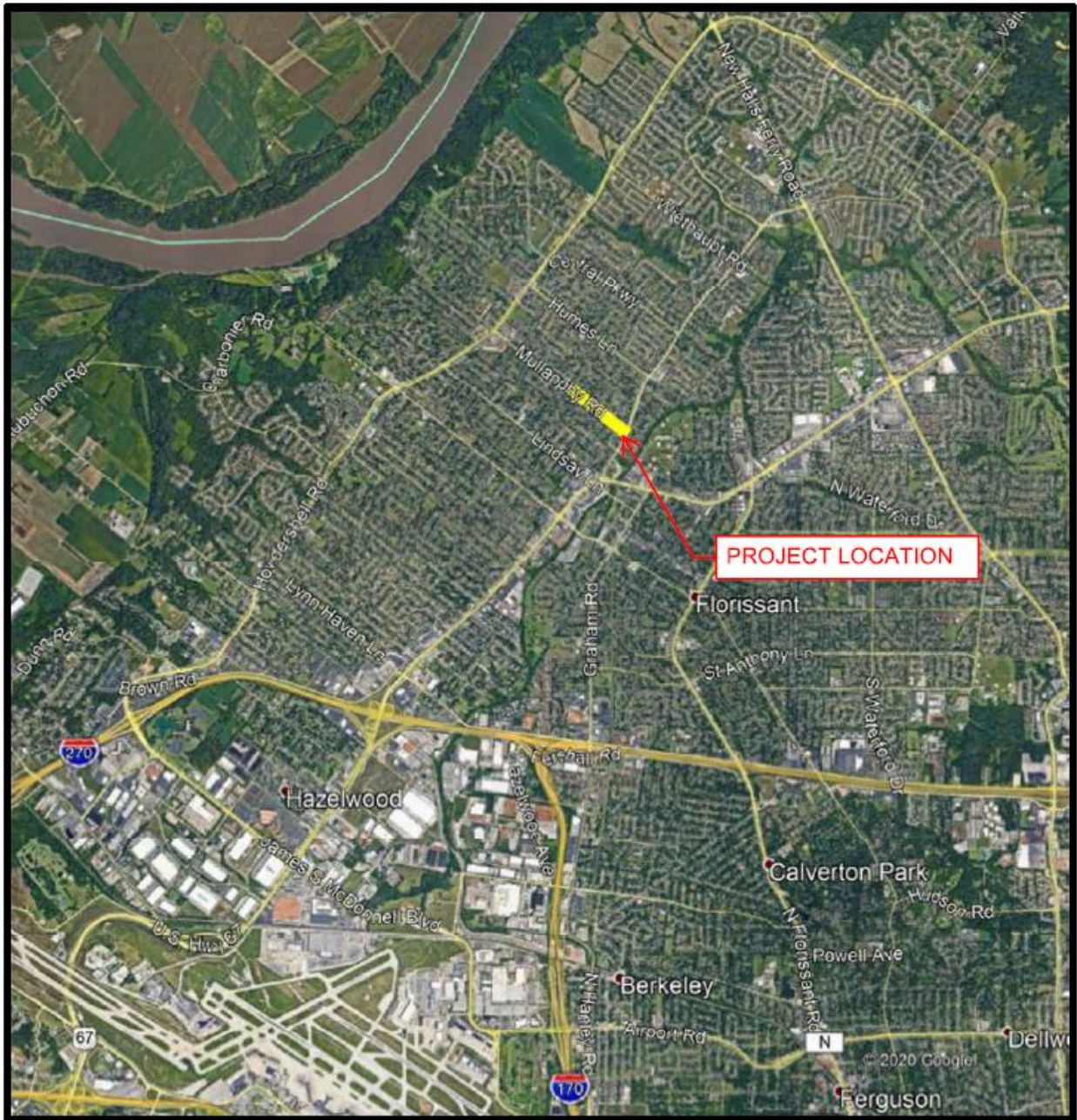
Commission Counsel

Title: _____

Ordinance No.: _____

Exhibit A - Location of Project

Mullanphy Road from Patterson Road to Fernbrook Drive



Mullanphy Road from Fernbrook Drive to Shackelford Road



January 23, 2023

Mr. Tom Goldkamp
City Engineer
City of Florissant
955 Rue St. Francois Street
Florissant, MO 63031

RE: City of Florissant
Mullanphy Road
Federal Project Number STP-4901(650)
TIP Number: 7236-23
Draft Program Agreement, Programming Comments, Environmental Requirements

Dear Mr. Goldkamp:

This federal aid project is shown in the regional Transportation Improvement Program (TIP) and has been assigned a federal project number of STP-4901(650). Please use this number on all future project correspondence. This project will be administered per the Federal Highway Administration (FHWA) direction given in the Local Public Agency (LPA) Policy Manual. The manual is located in Section 136 of MoDOT's Engineering Policy Guide (EPG) which can be found on MoDOT's website.

In order for the City to remain eligible for federal reimbursement for Design, Right of Way, or Construction activities, the City must first obtain MoDOT approval for each project stage.

Federal Aid Program Agreement

Enclosed is a draft copy of the program agreement for the above noted project. This agreement must be executed by the City and by the Missouri Highways and Transportation Commission (MHTC) prior to obligation of federal funds and authorization of reimbursable work. If this program agreement is acceptable to the City, then please process the agreement through the DocuSign process and attach one copy of the City's applicable enabling ordinance. Please note that the person authorized to sign the agreement per the enabling ordinance will be required to provide signatures on the executed program agreement. A fully executed program agreement will be returned to your office.

Form 1590 Sub-Recipient Information - FFATA

MoDOT is requesting information from project sponsors for compliance with the 2006 Federal Funding Accountability and Transparency Act (FFATA). Project sponsors should complete the attached MoDOT Form 1590 for each program agreement totaling \$25,000 or more. This form is required to be submitted for every project by LPA's participating in the fed-aid program. The required data includes information about the primary federal funding recipient (MoDOT), the federal grant (federal aid project), and sub-recipients (project sponsor). All Information regarding MoDOT sub-awards can be accessed by the public on the following site: www.usaspending.gov. This access helps to ensure transparency of federal project funding and is part of FFATA implementation.



Preliminary Engineering by Consultant

Federal funds for Preliminary Engineering (PE) have been programmed in FY 2023 for this project and are available to the City at this time. If the City is seeking federal funds for consultant PE services, the City must use a Qualification Based Selection (QBS) process for the procurement of engineering services. See EPG Section 136.4 for consultant selection details.

Each consultant services Request for Qualifications (RFQ) must be reviewed by MoDOT for Disadvantage Business Enterprise (DBE) opportunities. As the City is developing the RFQ, please submit a scope of work and a cost estimate for the anticipated consultant activities that will take place during the PE phase of the project. This information will be used to determine a DBE goal for the contract which must be included in the RFQ.

After the consultant selection process is completed, please submit a PDF copy of the Engineering Services Contract (ESC) using the ESC sample cover letter (EPG Fig. 136.4.9) for review and approval. Please include the ESC Submittal Checklist (EPG Fig. 136.4.11) and ESC Review Checklist (EPG Fig. 136.4.14). The standardized ESC contract format found in EPG Fig. 136.4.1 is required unless your agency receives prior approval from MoDOT to use an alternate contract form.

If the consultant contract is estimated to be less than \$100,000, the LPA may select a firm from the LPA On-Call Consultant List for consideration without advertisement. See EPG Section 136.4.2.4.3 for further information regarding using the LPA On-Call Consultant List.

No work shall begin until the PE funds have been obligated by FHWA and MoDOT has given the City notice to proceed. Any funds spent prior to PE obligation will not be reimbursable.

Construction Engineering/Inspection

If the City is seeking federal funds for consultant Construction Engineering/Inspection (CE) services, the City may elect to include those CE services with the consultant PE contract. Otherwise selection of the CE consultant must follow a separate Qualification Based Selection (QBS) process.

If the City plans on using in-house forces to perform reimbursable CE services, then a cost estimate for the in-house work shall be submitted along with the final project plans, specifications, and estimate. See EPG Section 136.3.12 for details on fed-aid participation in Work by Local Forces.

Environmental Requirements

In accordance with the National Environmental Policy Act (NEPA) all projects must be reviewed for environmental and cultural resource impacts. See EPG Section 136.6 for Environmental and Cultural Resources requirements.

The City will need to submit a Request for Environmental Review (RER) using MoDOT's RER database.

The City or your PE consultant must obtain NEPA approval from MoDOT's Environmental Department before the Preliminary Plans can be approved. (This means the City must obtain the Threatened & Endangered Species clearance, Section 4(f)/6(f) clearance, Noise clearance, and Section 106 clearance obtain the NEPA approval.) Please understand, the City must obtain the NEPA approval before MoDOT will review the Right-of-Way plans.) Please review EPG Section 136.6 for information on the electronic RER process.

MoDOT has updated the Section 106 review process by hiring a consultant to oversee the process. The City should submit their Request for Environmental Review (RER), MoDOT will review their RER and determine if the project is covered by a memorandum of understanding between MoDOT and the State

Historic Preservation Office (SHPO). Most LPA projects will be covered by the memorandum of understanding. If the project is not covered by the MOU, then the City will be notified to submit a Section 106 form to SHPO. (This information is included in Section 136.6.4.1.1 of the LPA Manual.)

Design Criteria

Missouri State Statute dictates that the plans, specifications, and estimates for public road work must be prepared by or under the immediate supervision of a registered professional engineer. Your agency's engineer of record is responsible for determining the appropriate design parameters for the project. If any improvements are to occur on MoDOT right of way, the project design criteria used must be approved by MoDOT's Area Team.

ADA Requirements

The Americans with Disabilities Act (ADA) requires that all pedestrian facilities impacted by the scope of the project must be designed to current accessibility standards. When plans for this project are submitted to MoDOT for review, they will need to include enough detail to show that sidewalks, curb ramps, detectable warning panels, and other impacted pedestrian facilities meet ADA requirements.

Utility Impacts

All utility companies that are affected by this project should be notified of the project scope and project schedule at this time. Since utility company comments may affect preliminary plan development, the City will need to provide a brief summary of utility impacts when submitting Preliminary Plans. A utility checklist and further information is available in EPG Section 136.7.2.6.

Public Involvement / Public Hearings

During the environmental review process, the City will need to provide information about the type of public involvement. Depending on the impacts to the public, the public involvement will vary. Examples of public involvement include adding project information to the City's website, using press releases to notify the public, contacting nearby property owners to inform them about the project, and having a public hearing.

If a public hearing is required for this project, please provide this office with a copy of the public hearing advertisement that is to be published. Please refer to EPG Section 136.7.6 for further information.

Preliminary Plan Submittal

Once preliminary plans have been completed, please submit an electronic copy of the plans with the entire plan set in one PDF file via email for review and approval.

If you have any questions, please contact your Local Programs Design Liaison.

Sincerely,



Cynthia Simmons, P.E.
District Planning Manager
MoDOT

Copy with attachment: Jason Lange – East West Gateway



Agenda Request Form

For Administration Use Only:

Meeting Date: 4/24/2023

Open Closed

Report No. 29/2023

Date Submitted:

To: City Council

Title: Ordinance authorizing an amendment to 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development).

Prepared by: Administrator

Department: Public Works

Justification:

Please see attachments

Attachments:

1. Mission Hills Public Hearing Notice
2. Mission Hills Development Application
3. Mission Hills Development Staff Report
4. Mission Hills Development Site Plan
5. Mission Hills Development Plan

INTRODUCED BY COUNCILMAN EAGAN
APRIL 24, 2023

BILL NO. 9882

ORDINANCE NO.

ORDINANCE AUTHORIZING AN AMENDMENT TO 'B-5' ORDINANCE NO. 6166 TO ALLOW FOR THE EXPANSION OF A CAR SALES ESTABLISHMENT (MISSION HILLS DEVELOPMENT).

WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district classifications for the purpose of regulating their construction and use of land, buildings and property within the said various districts, and said Ordinance provides the nature, kind and character of buildings that may be erected in each of the said districts and the use to which the land and buildings may be put; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of April 3, 2023 that Ordinance No. 1625 be amended to change the classification of the property at 660 Charbonier from R-4 “Residential Zoning District” to B-5 “Planned Commercial District”; and

WHEREAS ordinance no. 6166 established a B-5 “Planned Commercial District” for the adjacent property located at 225-227 N. Hwy 67 and Mission Hills now desires to include 660 Charbonier in the B-5 Development area; and

WHEREAS, due and lawful notice of a public hearing no. 23-04-010 on said proposed zoning change was duly published, opened on April 24, 2023 at 7:00 P.M. by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: 660 Charbonier is hereby rezoned to ‘B-5’ and included in the ‘B-5’ Zoning district created by ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) to allow for expansion, including parking of cars and RV’s car sales for the establishment at 225 N Highway 67, in accordance with the plans submitted: SP-1 and SP-2, dated 3/27/23, by Joe A. Dale NCARB, Architect and the following restrictions to be part of the record:

1. Chain link fence proposed shall be 8ft white vinyl fencing.
2. Existing bell tower height is an accepted exception to height requirements of the district.
3. Change Ordinance 7941, paragraph 1. PERMITTED USES to read as follows:
Section 2, paragraph 1. a. The uses permitted in this ‘B-5’ Planned Commercial District shall be limited to auto sales facility housing offices, an area for minor mechanical repairs and detailing of cars to be performed exclusively in the building, expansion with auto sales and RV sales where located on SP-1 and SP-2, dated 3/27/23 and uses permitted within the B-3 “Extensive Business District” without a Special Permit.
4. Meet the City of Florissant landscape ordinance.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2023.

Joseph Eagan, President of the Council

Approved this ____ day of _____, 2023.

Mayor Timothy J. Lowery

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

**Application to the City of Florissant Planning & Zoning Commission (P&Z) to
Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the
Provisions of an Existing 'B-5' Ordinance**



PLANNING & ZONING ACTION:

Address of Property:

660 Charbonier Road

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 3 Zoning R-4

SIGN. [Signature] DATE: 4-3-2023

Initial Date Petitioner Filed _____
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT
ORDINANCE # _____

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Mission Hills Development

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal
interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Under Contract

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of
authorization from owner to sponsor such a bill.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which
the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description
is found identical on requirements of "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street
intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and
distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed +/- 5.3

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in
a 'B-5' District and is presently being used as Church/Pre-school, under R-4 Zoning

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: To be consistent with the B-5 Property adjacent owned by Mission Hills known as GMT Auto

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Glenn Travers Glenn.Travers@traversag.com
Print Name Email address

PETITIONER(S) SIGNATURE (S) *Glenn Travers*

FOR Mission Hills Development
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
() I (we) have a legal interest in the herein above described property.
() I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME Joe Dale
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS 743 St. Mary's Road Villa Ridge, Missouri 63089
STREET CITY STATE ZIP CODE

PHONE 314-517-5101 Missouri

I (we) the petitioner (s) do hereby appoint Joe Dale joed07864@gmail.com as
BUSINESS Print name of agent. Email address

my (our) duly authorized agent to represent me (us) in regard to this petition.

Glenn Travers
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c).
Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Phone Number _____ Email _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Phone Number _____ Email _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners GLENN TRAVERS
- (2) Phone Number 314-960-4175 Email GMTAUTO@YAHOO.COM
- (3) Business address 225 N HWY 67 FLORISSANT, MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MISSOURI
- (5) Date of Incorporation January 28, 1998
- (6) Missouri Corporate Number 004513869
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name FLORISSANT PRESYBERTIAN CHURCH
Address 660 CHARBONIER RD
Property Owner FLORISSANT PRESYBERTIAN CHURCH
Location of property 660 Charbonier Road
Dimensions of property +/- 580' X 401"
Property is presently zoned B-5 per ordinance # NO, R-4
Current & Proposed Use of Property Church & Pre-School
Type of Sign N/A Height _____
Type of Construction N/A Number Of Stories _____
Square Footage of Building Existing Number of Curb Cuts Existing
Number of Parking Spaces 128 Existing Sidewalk Length Existing
Landscaping: No. of Trees Existing Diameter _____
No. of Shrubs _____ Size _____
Fence: Type Vinyl/Chain Link Length 784'/157' Height 8 Feet

PLEASE SUBMIT (10) FOLDED COPIES OF THE FOLLOWING:

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list the address and state that it is part of the shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

Please See attached

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.





Fidelity National Title Insurance Company

| | |
|--|---|
| Escrow Officer: Kelly Cochran Escrow Officer Email: KCochran@STLTitle.com | File No: 20373STL Client File #: Revision #: Original, Print Date: March 20, 2023 |
| Title Officer: Matt Struyk | |

**ALTA COMMITMENT FOR TITLE INSURANCE
SCHEDULE A
Issued by
Fidelity National Title Insurance Company**

1. Commitment Date: **February 28, 2023, at 8:00 AM**
2. Policy to be issued:
 - (a) 2006 ALTA® Owner's Policy
Proposed Insured: **Mission Hills Development Co. Inc.**

Proposed Policy Amount: **\$1,000,000.00**
 - (b) 2006 ALTA® Loan Policy
Proposed Insured: **Lender with contractual obligations under a loan agreement with the proposed insured for an Owner's Policy**
Proposed Policy Amount: **\$5,000.00**
3. The estate or interest in the land described or referred to in this Commitment is **Fee Simple**.
4. Title to the said estate or interest in the Land is at the Commitment Date vested in:
Florissant Presbyterian Church Corporation
5. The land is described as follows:
SEE ATTACHED EXHIBIT "A"

Fidelity National Title Insurance Company
Countersigned: St. Louis Title, a division of Fidelity National Title Insurance Company
License No.

By: 
Authorized Signatory

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company.. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter signature by the Company or its issuing agent that may be in electronic form..

27C165B72

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EXHIBIT "A"

Parcel No. 1:

A tract of land of in Survey's 168, 169 and 170 of the St. Ferdinand Common Fields in Township 47 North, Range 6 East, in St. Louis County, Missouri, and bounded as follows: North by Charbonier Road, East by property conveyed to Edward Opeau and wife by deed recorded in Book 2413 page 37, South by the North line of property conveyed to Ben J. Theiamann and wife by deed recorded in Book 486 page 501, being also the South line of property conveyed to Bernard Klaas and wife by deed recorded in Book 821 page 76 and West by a line parallel with the distant Westwardly from the East line of said property of Edward Opeau and wife, a sufficient distant to contain the exact quantity of 3 acres.

Excepting therefrom that part conveyed to State of Missouri by deed recorded in Book 6282 page 103.

Parcel No. 2:

A tract of land in Surveys 168, 169 and 170 of the st. Ferdinand Common Fields, Township 47 North, Range 6 East, in St. Louis County, Missouri, and being part of a tract of land heretofore conveyed to Bernard and Lillian Klaas, as recorded in book 921 page 76 of said St. Louis County Records and being more particularly described as follows: Beginning at a point in the Southwestern line of Charbonier Road, being distant North 52 degrees West, 225.28 feet from the most Northeastern corner of said Klaas tract, said beginning point being also the most Northern corner of a 3.00 acre tract heretofore conveyed to the Florissant Presbyterian Church Corporation, by instrument recorded in Book 3428 page 449 of the St. Louis County records, thence South 37 degrees 45 minutes West and along the Northeastern line of said Church property, 580.77 feet to a point in the Southwestern line of said Klaas property, thence North 52 degrees 20 minutes West along said line 50 feet to a point, thence North 37 degrees 45 minutes East, 581.07 feet to a point in the Southwestern line of Charbonier Road, thence South 52 degrees East along said Road 50 feet to the point of beginning, according to Survey executed by George W. Kroop and Associates on February 1., 1956.

Parcel No. 3:

A tract of land in Surveys 168, 169 and 170 of the St. Ferdinand Common Fields in Township 47 North, Range 6 East, St. Louis County, Missouri, and described as: Beginning at a point in the Southwestern line of Charbonier Road, being also the most Northern corner of property conveyed to Florissant Presbyterian Church Corporation by deed recorded in Book 3710 page 88; thence South 37 degrees 45 minutes West along the Northwest line of said Church property a distance of 581.07 feet to the Southwestern line of property conveyed to Bernard Klaas and wife by deed recorded in Book 921 page 76; thence North 52 degrees 20 minutes West a distance of 124 feet more or less to a point; thence North 37 degrees 45 minutes East along a line parallel with and 124

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company.. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter signature by the Company or its issuing agent that may be in electronic form..

27C165B72

ALTA Commitment for Title Insurance 8-1-16 w-KS MO Mod
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feet Northwest of the Northwest line of said Church property a distance of 582 feet more or less to a point in the Southwest line of said Charbonier Road; thence Southeastwardly along said Southwest line a distance of 124 feet more or less to the point of beginning.

Excepting therefrom that part conveyed to St. Louis County in Cause No. 557, 614 which Report of Commissioners recorded in Book 8199 page 556.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company.. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter signature by the Company or its issuing agent that may be in electronic form..

27C165B72

ALTA Commitment for Title Insurance 8-1-16 w-KS MO Mod
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STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Are there any foreseen vibration problems at the property line? Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No

c) Odors: Is there any foreseen problem with odor? Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No

f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? Yes / No

g) Is there any dangerous amount of radiation produced from the operation? Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? Yes / No

j) Is building(s) screened from adjoining residential? Yes / No

3) Is the height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What are the exterior construction materials on the building(s)? _____

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No

b) Is a variance required in accordance with the ordinance? Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? Yes / No

f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

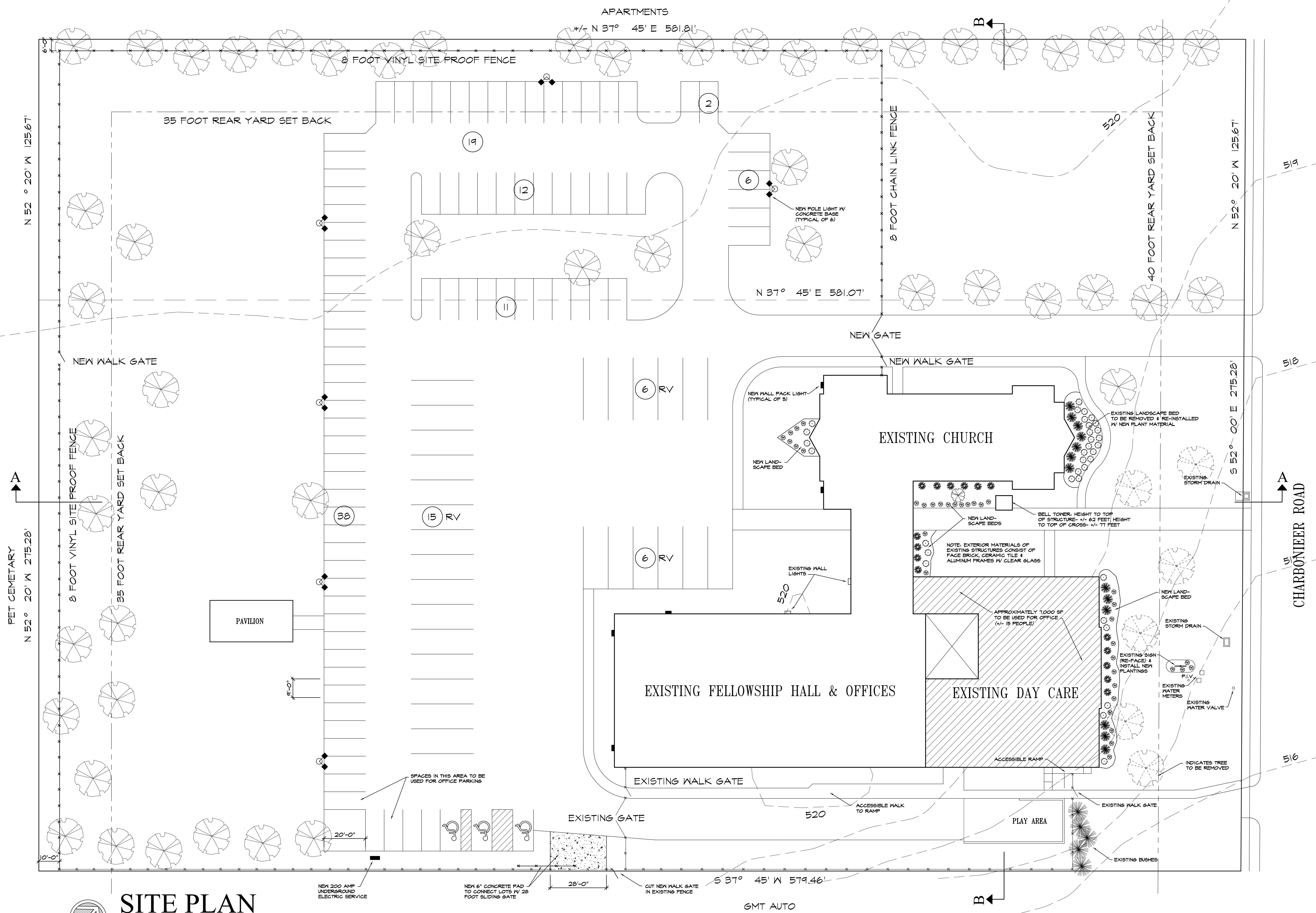
11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient accessibility on the site plan shown? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature



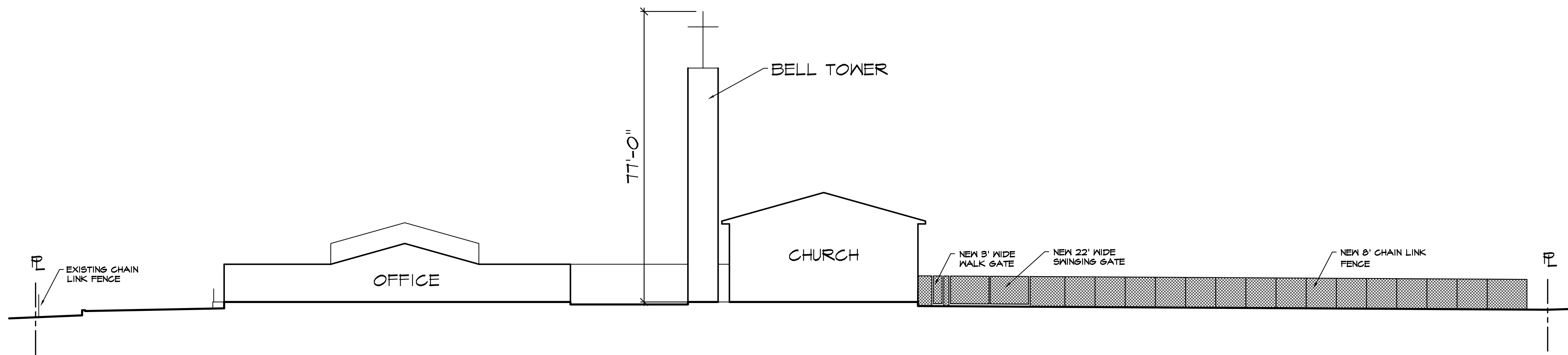
SITE PLAN
SCALE: 1" = 20'-0"

| no. | date | description |
|--|------------|-------------|
| | | |
| revisions | | |
| ARCHITECT JOE A. DALE, NCARB 314-517-5101 743 Saint Mary's Road Villa Ridge, Missouri 63089 joed07864@gmail.com | | |
| a proposed re-zoning site plan for: GMT AUTO 660 CHARBONNIER ROAD FLOISSANT, MISSOURI 63031 | | |
| project number | | |
| file name | churchsp-1 | |
| date | 03/27/23 | |
| sheet no. | of | |
| SP-1 | | |



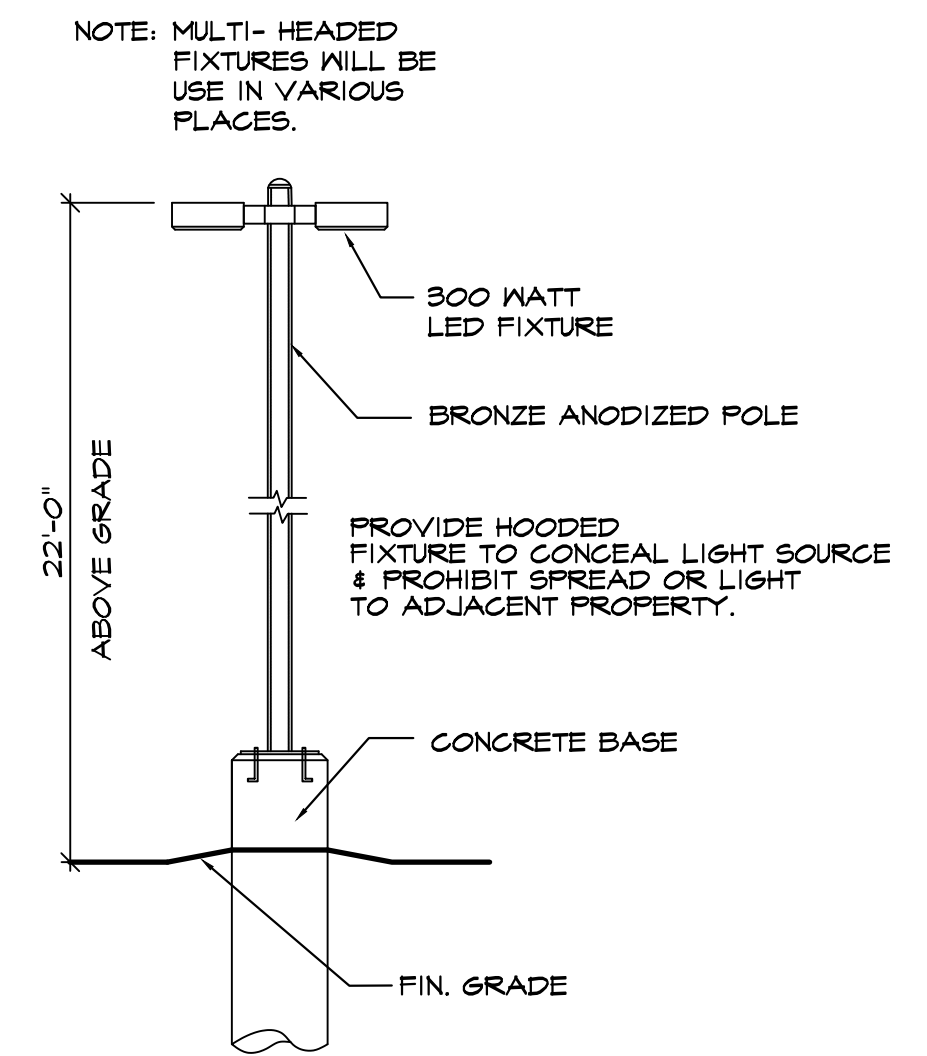
SITE SECTION A-A

SCALE: 1" = 20'-0"



SITE SECTION B-B

SCALE: 1" = 20'-0"



LIGHT FIXTURE DETAIL

NO SCALE

| n.o. | date | description |
|------|------|-------------|
| | | |

revisions

ARCHITECT

JOE A. DALE, NCARB

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743 Saint Mary's Road
Villa Ridge, Missouri 63089
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a proposed re-zoning site plan for:

GMT AUTO
660 CHARBONIER ROAD
FLORISSANT, MISSOURI 63031

project number

file name churchsp-1

date 03/27/23

sheet no. SP-2 of