



**FLORISSANT CITY COUNCIL AGENDA**  
**City Hall**  
**955 Rue St. Francois**  
**MONDAY, APRIL 24, 2023**  
**7:00 PM**  
**Karen Goodwin, MMC/MRCC**



**I. PLEDGE OF ALLEGIANCE**

**II. ROLL CALL OF MEMBERS**

**III. APPROVAL OF MINUTES**

4-10-2023	City Council Regular Meeting Minutes	
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**IV. SPECIAL PRESENTATIONS**

	<p><b>Swearing in of the newly re-elected officials as follows:</b>          Mayor Timothy J. Lowery          Judge Mary Elizabeth Dorsey          Ward 2 Councilman Paul Manganelli          Ward 4 Councilman Jeff Caputa          Ward 6 Councilman Thomas O'Donnell          Ward 8 Councilman Robert Parson Jr.</p>	
	<b>PROCLAMATIONS</b>	
	Mayor Norm McCourt Retiring	
	<b>PRESENTATIONS</b>	
	UMSL Student presentation	

**IV. HEARING FROM CITIZENS**

**V. COMMUNICATIONS**

## VI. PUBLIC HEARINGS

23-04-010	Request to amend 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development). (Planning & Zoning recommended approval on 4/3/2023)	
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## VII. OLD BUSINESS

	<b>BILLS FOR SECOND READING</b>	
9877	Ordinance approving the Community Development Block Grant (CDBG) Fiscal Year 2023 Annual Action Plan for the City of Florissant, Missouri and authorizing and directing the Mayor to submit such plan to the United States Department of Housing and Urban Development.	Eagan

## VIII. NEW BUSINESS

	<b>BOARD APPOINTMENTS</b>	
Mayor	<p>Re-appoint Zach Schneider to Traffic Commission Term Expire April 8, 2026</p> <p>Re-appoint Kim Redden to Traffic Commission Term Expire May 11, 2026</p>	
	<b>BILLS FOR FIRST READING</b>	
9878	Ordinance to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building.	Eagan
9879	Ordinance to amend Title III "Traffic Code" Schedule III " Stop Intersections" subsection IIIB by adding a 2 way stop intersection at Daniel Boone and Florissant Park.	Manganelli
9880	Ordinance to approve Painting brick to new color at 2678 N. Highway 67 Dairy Queen	Siam

9881	An ordinance allowing the Mayor to enter into a supplemental agreement with the Missouri Highways and Transportation Commission for the the Mullanphy Road Project to include Patterson Road to Shackelford Road.	Eagan
9882	Ordinance authorizing an amendment to 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development).	Eagan

**IX. COUNCIL ANNOUNCEMENTS**

**X. MESSAGE FROM THE MAYOR**

**XI. ADJOURNMENT**

***THIS AGENDA WAS POSTED ON THE BULLETING BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON APRIL 24, 2033 BY 12:00 PM.***

***ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MONDAY, APRIL 24, 2023***

# CITY OF FLORISSANT



## COUNCIL MINUTES

Monday, April 10, 2023

The Florissant City Council met in regular session at Florissant City Hall, 955 Rue St. Francois on Monday, April 10, 2023 at 7:00 PM with Council President Eagan presiding.

### **I. PLEDGE OF ALLEGIANCE**

The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

### **II. ROLL CALL OF MEMBERS**

On Roll Call the following Councilmembers were present: Parson, Siam, Harris, Manganelli, Eagan, Caputa, Schildroth, O'Donnell, and Pagano. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

### **III. APPROVAL OF MINUTES**

- 3-27-2023. City Council Regular Meeting Minutes  
Councilman Managanelli made a motion to approve the City Council Minutes of March 27, 2023, seconded by Parson. Motion carried.
- 3-27-2023. Executive meeting minutes  
Councilman Manganelli made a motion to approve the Executive Minutes of March 27, 2023, seconded by Parson. Motion carried.

### **IV. HEARING FROM CITIZENS**

Lucia Greer, 2360 Love Lane, stated the American Legion Post on Old Jamestown Rd is doing much better and the Lenten Fish Fry brought in almost \$10,000 in profit and they plan to keep it going as a monthly fish fry. The Legion Post is holding a benefit concert on April 22<sup>nd</sup> with four bands performing to benefit Veterans Suicide Awareness and PTSD Treatment with tickets available online. Ms. Greer stated the National American Legion has designated the last Saturday in April as Legion Family Day and the Post will be open to the public with local businesses, non-profits, and various participants from the community. The doors will be open from 2pm to 6pm on Saturday, April 29<sup>th</sup>, 2023.

### **V. COMMUNICATIONS**

There were none.

### **VI. PUBLIC HEARINGS**

- 23-04-009. Request to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building. (Planning and Zoning recommended denial on 3/27/2023).  
The Clerk reported that Public Hearing 23-04-009 for the Request to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5'



Planned Commercial District to allow for a car wash and storage building. The Chair declared the Public Hearing open.

Elizabeth Lum, attorney for petitioner, noted the location is a heavily trafficked area as the former Bank of America. She noted uses on the property include gas and service stations which are currently surrounding the property. Ms. Lum stated the only car washes in the area are hand washing stations and no self-service stations are in the vicinity of the proposed business. The business hours are 8am to 8pm, 7 days a week with peak hours from 11am to 4pm and peak days on Thursday and Sunday. Ms. Lum noted there would be no impact on traffic during peak hours since the traffic will only enter and exit on Flordawn. The elevations note the buildings are not completely matching, but are complimentary. The Site Plan shows the vacuum turbines surrounded by a privacy fence to buffer noise as well as the privacy fence around the property and landscaping which will also help block light. Ms. Lum stated the storage unit is climate controlled which is much more in demand and the photometric plan shows lighting cast downward and the lighting being minimal at the property line. The landscaping plan does show 248 plants including flowering bushes and trees as well as evergreen trees. Ms. Lum stated the applicant does not have loud speakers out to play music and customers are not allowed to play music over the sound of the vacuums. The blower housing bottoms are located in the ceiling which will mitigate the sound of the blower, decibels tests were shown 50 feet from the tunnel at 48.5 decibels and 36.4 decibels at 30 feet from the side of the tunnel exit.

Councilman Eagan noted when you exit Howdershell at McDonnell Blvd, two car washes are located in the vicinity and between McDonnell Blvd and Hwy 270 there are three car washes within 3 miles. Additionally, there are two storage facilities in the same area. Councilman Eagan noted concerns with the construction of the aquatic center taking place in the area soon as well as the noise of the car wash. He stated the storage building in the rear of the property seems out of character for the area.

Todd Buckner, owner of Scrubbles, noted at peak times the car wash will see between 50 to 75 vehicles since they hand-brush and prep each vehicle before they enter the tunnel. Mr. Buckner stated the hand brushing and prepping style of each car is completely different from any car wash available in the area. He noted the storage facility will be open from 6am to 11pm, 7 days a week. The doors were strategically pointed towards the road to mitigate noise from the apartment complexes. Mr. Buckner noted the raised ceilings and lowered doors allows the sound to become muffled and the exit of the tunnel is proposed at 80 feet from the property line. Mr. Buckner stated he is targeting the apartment buildings with the storage units to allow residents to be as close as possible to their items. He noted about 65% of the client base will be the apartment complexes.

Ms. Lum noted the storage facilities down the road from the proposed locations has a small percentage of units which are climate controlled and this proposed facility will be completely climate controlled.

Councilman Manganelli clarified no vehicles will be able to enter or exit from Howdershell and about 400 cars will be washed in a 12-hour day. He noted concerns of a constant hum of vacuum motors and the dryers from the tunnel. Councilman Manganelli stated the stacking of vehicles could back onto Flordawn and extend to Howdershell. He noted concerns with the storage facilities in the area not being at capacity.

Mr. Buckner did note the fencing will be a 6-foot privacy fence, not an aluminum fence as previously depicted which will strongly mitigate the sound and keep the decibel levels very low at the property line. Additionally, he stated the turbines are about 180 to 185 feet from the property line and are screened. Mr. Buckner denied the possibility of vehicles stacking onto Howdershell and Flordawn because of the amount of stacking available at the location and the business is designed to hold more cars on the property

than they can clean in an hour. The storage facility is key-card protected as well as a full sprinkler system, fire alarms, and call buttons on elevators, this storage facility is a completely different style than others in the area.

Cameron Coleman, car wash architect, noted the block integrally colored CMU block, not a stick-on veneer material.

Mr. Buckner noted he has proposed storage buildings on two other Scrubbles locations which are in the process of opening.

Councilman Harris noted he did not think the storage building is in the appropriate location for the area. He stated community concern with the project and many questions received from the residents.

Councilman Caputa noted concerns of silica dust which would be emitted into the air during the demolition of the current building and asked for that dust to be controlled. Mr. Buckner stated this will be the third complete masonry building demolition of the construction company for Scrubbles and they would control the silica dust during demolition of this building.

Councilman Eagan noted the Planning and Zoning Commission did not recommend approval of the rezoning.

Resident Lou Jearls, 1355 Swallow Lane, made a statement regarding the development. See attached letter.

Phil Lum, Building Commissioner, noted Commissioner Lou Jearls made a motion to have a decibel limit of 60 decibels at the property line added to the staff suggested motion. This amendment failed 2-4. He clarified the commission recommended against the rezoning of a 'B-5' and no conditions were added by the commission to be included to the ordinance. Mr. Lum noted he did not want anyone to confuse trade masonry with the masonry ordinance in section 500.040, the proposal is concrete masonry units colored to look like brick.

John Hessel clarified with Mr. Lum that the Planning and Zoning Commission did not make any recommendations to be included in the staff recommendations with the ordinance. He stated the City Council could, if approved, send the request back to the Planning and Zoning Commission to have recommended conditions added to the 'B-5' Ordinance.

Phil Lum noted the ground sign on the property should be relocated behind the 40-foot setback and the petitioner agreed to move the sign.

Lucia Greer, 2360 Love Lane, noted she does consider sales tax and employment when hearing about new businesses in Florissant. She stated she lives within the area of the proposed business and she can quickly find car washes and storage facilities while driving through town. Ms. Greer noted she has stored her belongings in storage units many times and she has never had a problem with non-climate-controlled facilities and she would be concerned with noise and music.

Ms. Lum stated the business does not have speakers for music or allow their customers to play music over their cars while vacuuming their vehicles and precautions have been taken to prevent a lot of noise at the property line which would affect the apartments.

Mr. Buckner noted he did not show the presentation to the Planning and Zoning Commission because he had confidence in staff recommendations to the Planning and Zoning Commission and City Council. He stated he does not have any business which are operational in the St. Louis area right now, but his first one would be opening in May in Cave Springs.

Being no further comments, Councilman Eagan moved to close the Public Hearing, seconded by Councilman Caputa. Motion carried.

**VII. OLD BUSINESS**

**BILLS FOR SECOND READING**

There were none.

**VIII. NEW BUSINESS**

**BOARD APPOINTMENTS**

Mayor. Re-appoint John Jaworski to the Senior Board Commission Ward 9

Councilman Schildroth moved to accept the mayor's reappointment of John Jaworski to the Senior Commission as a member from Ward 9 with a term expiring 2/24/2026. Seconded by Harris, motion carried.

Councilman Siam moved to appoint Kellyn Holliday to the Citizen’s Participation Commission as a member from Ward 9 with a term expiring 4/10/2026, seconded by Parson. Motion carried.

**REQUESTS**

Liquor. Request for a Beer and Wine by the Drink License for JACCK Art Studio located at 20 Patterson Plaza.

Councilman Caputa moved to approve the Request for a Beer and Wine by the Drink License for JACCK Art Studio located at 20 Patterson Plaza, seconded by Pagano. On roll call the Council voted as follows:

**VOTING**

Motion by: Councilman Caputa, Jeff

Second by: Councilwoman Pagano, Jackie

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE
Councilman Eagan, Joseph	X			
Councilman Harris, Andrew	X			
Councilman Manganelli, Paul	X			
Councilman Caputa, Jeff	X			
Councilman Schildroth, Keith	X			
Councilman O'Donnell, Thomas	X			
Councilwoman Pagano, Jackie	X			
Councilman Parson Jr., Robert	X			
Councilman Siam, Tommy	X			

Dance Hall. Request for a temporary Dance Hall License for Kingston 10

Councilman O'Donnell made a motion to approve the Request for a temporary Dance Hall License for Kingston 10, seconded by Eagan.

Councilman Eagan made a motion to suspend the rules to speak with the petitioner, seconded by Caputa.

Dean Treston, owner of Kingston 10, stated the event would be a comedy shows with 3-4 acts with some music between acts. Mr. Treston noted the event is on April 15 and would not change any other elements of the Special Use Permit.

**VOTING**

Motion by: Councilman O'Donnell, Thomas

Second by: Councilman Eagan, Joseph

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE
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Councilman Eagan, Joseph		X		
Councilman Harris, Andrew	X			
Councilman Manganelli, Paul	X			
Councilman Caputa, Jeff	X			
Councilman Schildroth, Keith	X			
Councilman O'Donnell, Thomas	X			
Councilwoman Pagano, Jackie	X			
Councilman Parson Jr., Robert	X			
Councilman Siam, Tommy	X			

**BILLS FOR FIRST READING**

E9876. Ordinance to amend the 2023 Budget by amending the Park Department Personnel Schedule.

Bill No. 9876 was read for the first time.

Councilman Schildroth moved that Bill No. 9876 be read for a second time, seconded by Eagan. Motion carried and Bill No. 9876 was read for a second time. Councilman Schildroth moved that Bill No. 9876 be read for a third time, seconded by Manganelli.

On roll call the Council voted: Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, O'Donnell yes, and Pagano yes.

Having received a unanimous vote of all members present Bill No. 9876 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard. Seeing none, on roll call the Council voted as follows:

**VOTING**

Motion by: Councilman Caputa, Jeff

Second by: Councilman Manganelli, Paul

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE
Councilman Eagan, Joseph	X			
Councilman Harris, Andrew	X			
Councilman Manganelli, Paul	X			
Councilman Caputa, Jeff	X			
Councilman Schildroth, Keith	X			
Councilman O'Donnell, Thomas	X			
Councilwoman Pagano, Jackie	X			
Councilman Parson Jr., Robert	X			
Councilman Siam, Tommy	X			

Whereupon the Chair declared Bill No. 9876 to have passed and become Ordinance No. 8883.

9877. Ordinance approving the Community Development Block Grant (CDBG) Fiscal Year 2023 Annual Action Plan for the City of Florissant, Missouri and authorizing and directing the Mayor to submit such plan to the United States Department of Housing and Urban Development.

Bill No. 9877 was read for the first time.

**VIII. COUNCIL ANNOUNCEMENTS**

Councilman Manganelli reminded residents of the Florissant Food Truck Knights Event on April 21<sup>st</sup> at 50 rue St. Francois with food truck and the band Wheelhouse playing. On June 3, the Florissant Italian Festival will be holding their bocce tournament with more information available on the Knights of Columbus website.

Councilman Harris stated he had a great time at the Confluence Trash Bash. He thanked all volunteers for their hard work with trash collection. He noted a litter pick up in Ward 1 on Saturday, April 22<sup>nd</sup>, 2023 starting at Northwest Middle School cleaning on Shackelford and hopefully Humes from 10am to noon. He stated his excitement with new residents joining Neighborhood Watch and encouraged more residents to join.

Councilman Caputa reminded residents of the benefit concert on April 22<sup>nd</sup> at the American Legion Post with four bands performing to benefit Veterans Suicide Awareness and PTSD Treatment with tickets available online as well as the Open House on April 29<sup>th</sup>. He reminded residents not to leave firearms unlocked and in their vehicles.

**IX. MESSAGE FROM THE MAYOR**

Mayor Lowery thanked the citizens who voted in the April Municipal Election and the passage of Proposition M. The City of Florissant has earned the Silver Shovel award from Spire Gas Company for their commitment to natural gas line awareness and safe digging. The Senior Resource Day is taking place at the Eagan Center on Tuesday, April 11<sup>th</sup>. On April 22<sup>nd</sup>, St. Ferdinand Park will host Free Document Shredding Day from 9am to noon.

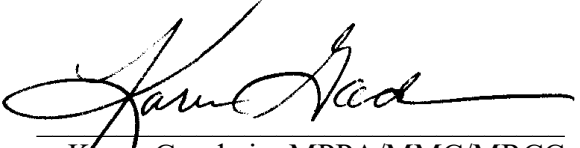
**X. ADJOURNMENT**

The Council President stated the next regular City Council Meeting will be Monday, April 24, 2023 at 7:00 pm.

Councilman Parson moved to adjourn the meeting, seconded by Pagano. Motion carried.

Adjourned at 8:25 PM

Respectfully submitted,



Karen Goodwin, MPPA/MMC/MRCC  
City Clerk



# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 4/24/2023

Open  Closed

Report No. 7/2023

**Date Submitted:**

**To:** City Council

**Title:** Request to amend 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development). (Planning & Zoning recommended approval on 4/3/2023)

**Prepared by:** Ms. Deputy City Clerk Savanna Burton

**Department:** Public Works

**Justification:**

Please see attachments

**Attachments:**

1. Mission Hills Public Hearing Notice
2. Mission Hills Development Application
3. Mission Hills Development Staff Report
4. Mission Hills Development Site Plan
5. Mission Hills Development Plan



# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, April 24, 2023 at 7:00 p.m. on the following proposition:**

**To amend 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development) to include 660 Charbonier. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**



**Application to the City of Florissant Planning & Zoning Commission (P&Z) to Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the Provisions of an Existing 'B-5' Ordinance**



**PLANNING & ZONING ACTION:**

Address of Property:

660 Charbonier Road

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

Council Ward 3 Zoning R-4

SIGN. [Signature] DATE: 4-3-2023

Initial Date Petitioner Filed \_\_\_\_\_  
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT ORDINANCE # \_\_\_\_\_

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Mission Hills Development

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Under Contract

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed +/- 5.3

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as Church/Pre-school, under R-4 Zoning

\_\_\_\_\_  
State current use of property, (or, state: vacant).


3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: To be consistent with the B-5 Property adjacent owned by Mission Hills known as GMT Auto

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Glenn Travers Glenn.Travers@traversag.com  
Print Name Email address

PETITIONER(S) SIGNATURE (S) 

FOR Mission Hills Development  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):  
(  ) I (we) have a legal interest in the herein above described property.  
(  ) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME Joe Dale  
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS 743 St. Mary's Road Villa Ridge, Missouri 63089  
STREET CITY STATE ZIP CODE

PHONE 314-517-5101 Missouri

I (we) the petitioner (s) do hereby appoint Joe Dale joed07864@gmail.com as  
BUSINESS Print name of agent. Email address

my (our) duly authorized agent to represent me (us) in regard to this petition.

  
Signature of Petitioner(s) or Authorized Agent

**NOTE:** Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual:  Partnership:  Corporation:

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Phone Number \_\_\_\_\_ Email \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Phone Number \_\_\_\_\_ Email \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners GLENN TRAVERS
- (2) Phone Number 314-960-4175 Email GMTAUTO@YAHOO.COM
- (3) Business address 225 N HWY 67 FLORISSANT, MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MISSOURI
- (5) Date of Incorporation January 28, 1998
- (6) Missouri Corporate Number 004513869
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated \_\_\_\_\_
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name FLORISSANT PRESYBERTIAN CHURCH  
Address 660 CHARBONIER RD  
Property Owner FLORISSANT PRESYBERTIAN CHURCH  
Location of property 660 Charbonier Road  
Dimensions of property +/- 580' X 401"  
Property is presently zoned B-5 per ordinance # NO, R-4  
Current & Proposed Use of Property Church & Pre-School  
Type of Sign N/A Height \_\_\_\_\_  
Type of Construction N/A Number Of Stories \_\_\_\_\_  
Square Footage of Building Existing Number of Curb Cuts Existing  
Number of Parking Spaces 128 Existing Sidewalk Length Existing  
Landscaping: No. of Trees Existing Diameter \_\_\_\_\_  
No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_  
Fence: Type Vinyl/Chain Link Length 784'/157' Height 8 Feet

**PLEASE SUBMIT (10) FOLDED COPIES OF THE FOLLOWING:**

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.



**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list the address and state that it is part of the shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

*Please See attached*

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection or include on plans.





Fidelity National Title Insurance Company

Escrow Officer: Kelly Cochran Escrow Officer Email: KCochran@STLTitle.com	File No: 20373STL Client File #: Revision #: Original, Print Date: March 20, 2023
Title Officer: Matt Struyk	

**ALTA COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A  
Issued by  
Fidelity National Title Insurance Company**

1. Commitment Date: **February 28, 2023, at 8:00 AM**
2. Policy to be issued:
  - (a) 2006 ALTA® Owner's Policy  
Proposed Insured: **Mission Hills Development Co. Inc.**  
  
Proposed Policy Amount: **\$1,000,000.00**
  - (b) 2006 ALTA® Loan Policy  
Proposed Insured: **Lender with contractual obligations under a loan agreement with the proposed insured for an Owner's Policy**  
Proposed Policy Amount: **\$5,000.00**
3. The estate or interest in the land described or referred to in this Commitment is **Fee Simple**.
4. Title to the said estate or interest in the Land is at the Commitment Date vested in:  
**Florissant Presbyterian Church Corporation**
5. The land is described as follows:  
**SEE ATTACHED EXHIBIT "A"**

Fidelity National Title Insurance Company  
Countersigned: St. Louis Title, a division of Fidelity National Title Insurance Company  
License No.

By:   
Authorized Signatory

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company.. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter signature by the Company or its issuing agent that may be in electronic form..*  
**27C165B72**

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## EXHIBIT "A"

## Parcel No. 1:

A tract of land of in Survey's 168, 169 and 170 of the St. Ferdinand Common Fields in Township 47 North, Range 6 East, in St. Louis County, Missouri, and bounded as follows: North by Charbonier Road, East by property conveyed to Edward Opeau and wife by deed recorded in Book 2413 page 37, South by the North line of property conveyed to Ben J. Theiamann and wife by deed recorded in Book 486 page 501, being also the South line of property conveyed to Bernard Klaas and wife by deed recorded in Book 821 page 76 and West by a line parallel with the distant Westwardly from the East line of said property of Edward Opeau and wife, a sufficient distant to contain the exact quantity of 3 acres.

Excepting therefrom that part conveyed to State of Missouri by deed recorded in Book 6282 page 103.

## Parcel No. 2:

A tract of land in Surveys 168, 169 and 170 of the st. Ferdinand Common Fields, Township 47 North, Range 6 East, in St. Louis County, Missouri, and being part of a tract of land heretofore conveyed to Bernard and Lillian Klaas, as recorded in book 921 page 76 of said St. Louis County Records and being more particularly described as follows: Beginning at a point in the Southwestern line of Charbonier Road, being distant North 52 degrees West, 225.28 feet from the most Northeastern corner of said Klaas tract, said beginning point being also the most Northern corner of a 3.00 acre tract heretofore conveyed to the Florissant Presbyterian Church Corporation, by instrument recorded in Book 3428 page 449 of the St. Louis County records, thence South 37 degrees 45 minutes West and along the Northeastern line of said Church property, 580.77 feet to a point in the Southwestern line of said Klaas property, thence North 52 degrees 20 minutes West along said line 50 feet to a point, thence North 37 degrees 45 minutes East, 581.07 feet to a point in the Southwestern line of Charbonier Road, thence South 52 degrees East along said Road 50 feet to the point of beginning, according to Survey executed by George W. Kroop and Associates on February 1., 1956.

## Parcel No. 3:

A tract of land in Surveys 168, 169 and 170 of the St. Ferdinand Common Fields in Township 47 North, Range 6 East, St. Louis County, Missouri, and described as: Beginning at a point in the Southwestern line of Charbonier Road, being also the most Northern corner of property conveyed to Florissant Presbyterian Church Corporation by deed recorded in Book 3710 page 88; thence South 37 degrees 45 minutes West along the Northwest line of said Church property a distance of 581.07 feet to the Southwestern line of property conveyed to Bernard Klaas and wife by deed recorded in Book 921 page 76; thence North 52 degrees 20 minutes West a distance of 124 feet more or less to a point; thence North 37 degrees 45 minutes East along a line parallel with and 124

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27C165B72

ALTA Commitment for Title Insurance 8-1-16 w-KS MO Mod  
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feet Northwest of the Northwest line of said Church property a distance of 582 feet more or less to a point in the Southwest line of said Charbonier Road; thence Southeastwardly along said Southwest line a distance of 124 feet more or less to the point of beginning.

Excepting therefrom that part conveyed to St. Louis County in Cause No. 557, 614 which Report of Commissioners recorded in Book 8199 page 556.

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company.. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter signature by the Company or its issuing agent that may be in electronic form..*

**27C165B72**

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ALTA Commitment for Title Insurance 8-1-16 w-KS MO Mod  
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**STAFF CHECK LIST / REVIEW SHEET**

ADDRESS OF PROPERTY \_\_\_\_\_ CURRENT ZONING \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_ PHONE NO. \_\_\_\_\_

AUTHORIZED AGENT \_\_\_\_\_ PHONE NO. \_\_\_\_\_

PROPOSAL \_\_\_\_\_

1) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: \_\_\_\_\_

c. Proposed uses for out lots: \_\_\_\_\_

2) Performance Standards:

a) Vibration: Are there any foreseen vibration problems at the property line? Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No

c) Odors: Is there any foreseen problem with odor? Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No

f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? Yes / No

g) Is there any dangerous amount of radiation produced from the operation? Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? Yes / No

j) Is building(s) screened from adjoining residential? Yes / No

3) Is the height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What are the exterior construction materials on the building(s)? \_\_\_\_\_

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No

b) Is a variance required in accordance with the ordinance? Yes / No

c) Ratio shown \_\_\_\_\_ to \_\_\_\_\_

d) Total Number \_\_\_\_\_

e) Will cross access and cross parking agreements be required? Yes / No

f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown \_\_\_\_\_

Type of Signs \_\_\_\_\_

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No  
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No  
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start \_\_\_\_\_ Finish \_\_\_\_\_
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient accessibility on the site plan shown? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No  
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

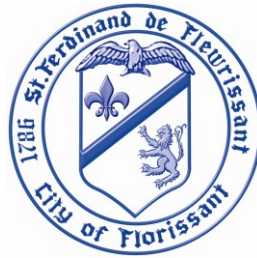
25) Staff Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
**Date Application reviewed**

\_\_\_\_\_  
**Building Commissioner or Staff Signature**

1

**MEMORANDUM**



2

**CITY OF FLORISSANT**

3

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To: Planning and Zoning Commissioners Date: March 29, 2023

7

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From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.  
Director of Public Works,  
Applicant,  
File

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Subject: Request **Recommended Approval to rezone** from ‘R-4’ to a ‘B-5’ **660 Charbonier (GMT)**- and to amend a ‘B-5’, Ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) and to allow for expansion of a car sales establishment for storage of cars and RV’s for sale. The existing business located at 225 N Highway 67, located in an existing ‘ B-5’ Planned Commercial District.

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**STAFF REPORT**  
**CASE NUMBER PZ-040323-1**

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22

23

**I. PROJECT DESCRIPTION:**

24

This is a request for **Recommended Approval to rezone** from ‘R-4’ to a ‘B-5’ **660 Charbonier (GMT)**- and to amend a ‘B-5’, Ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) and to allow for expansion of a car sales establishment, parking of vehicles and RV’s for sale, located at 225 N Highway 67, located in an existing ‘ B-5’ Planned Commercial District.

29

30

The result of this proposal will add to previously consolidates lots and expand the operations of GMT to allow for parking of vehicles for sale.

32

33

**II. EXISTING SITE CONDITIONS:**

34

The existing property at 225 N Highway 67 has been in operation as GMT Auto Sales since 1998. The site of the existing business is 100% paved and owned by Mission Hills Development Co., Inc. in which the petitioner is part owner. The site of 660 Charbonier is a lot purchased by the petitioner and was previously used as a church. There is a B-5 Ordinance #6166 issued. On 4/9/09 to Mission Hills Development to allow used auto sales which included a pole sign. Subsequent amendments to the ordinance were for

35

36

37

38

39

40 expansion of the existing building and the addition of digital signs, now under the  
41 restrictions of the sign code.

42  
43 The existing property at 660 Charbonier is an existing brick church structure in an R-4  
44 District. This Commission voted to recommend approval of a brick addition to GMT on  
45 February 22, 2002 and a frame addition with re-zoning in 2010. Subsequent to that was  
46 the addition of signs under Ord no 7941.

47  
48 **III. SURROUNDING PROPERTIES:**

49 The property to the Northeast of 660 Charbonier and across the street is Goodwill at 445  
50 N Highway 67 in a B-3 District. The property to the Southwest 115 N Highway 67 is a  
51 Pet Cemetery in an 'R-4' District and the properties to the Northwest are Multi-Family  
52 Units 614-634 Rosetta in an 'R-6' District.

53  
54 **IV. STAFF ANALYSIS:**

55 The application is accompanied by Site plan, Cross section and photometric for the  
56 proposed Use.

57  
58 Parking and Lighting: The parking requirements for uses within the "B-5" District of  
59 GMT are set out by ordinance no. 6166 is met by the number in the existing ordinance.  
60 The former Church property will be used as a sales office only and should therefore have  
61 parking spaces for employees and/or customers. Employee and accessible parking is  
62 located in the Southeast corner of the existing lot, 8 spaces. The balance of parking is to  
63 be for the display and sale of used autos and RV's behind the church building. The  
64 parking arrangement allows the business to expand to the new property contiguous with  
65 the adjacent business' lot.

66  
67 There is a 35 foot rear and West setback shown on the Site Plan and 40 foot front setback  
68 is shown. Existing landscaping is shown and landscape beds replanted.

69  
70 Fence: The petitioner proposes an 8' vinyl sight-proof fence along the West and South  
71 property lines adjacent to residential zoning districts.

72  
73 **Section drawings A-A and B-B**

74 Site Section A-A shows the relatively flat site and existing building configuration. An  
75 exception to the zoning code for churches is tower height, the existence of such would be  
76 otherwise acceptable under the amending ordinance, or shall be deemed legal non-  
77 conforming.

78  
79 Section B-B shows the Charbonier facing elevation, indicating office located in the  
80 classroom section of the building and proposed chain link fence facing the street.

81  
82 Photometric: new lighting photometric shows low perimeter lighting with the exception  
83 of west of the parking lot levels of 6.8 fc approx. next to a large tree that might shield  
84 light spillage onto adjacent property.

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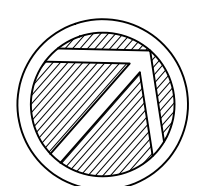
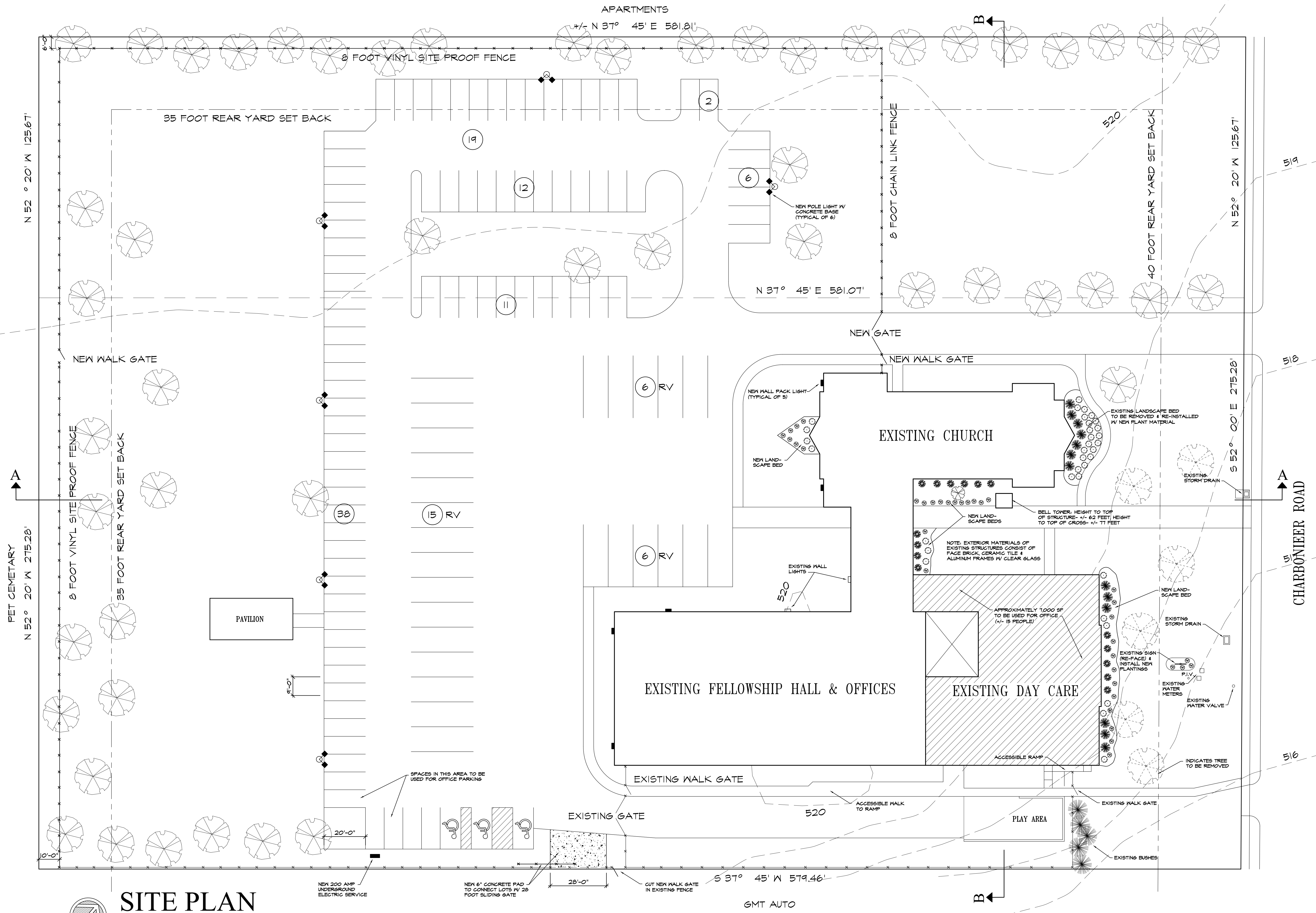
**VI. STAFF RECOMMENDATIONS:**

I move for recommended approval to rezone 660 Charbonier to the ‘B-5’ Zoning District and to amend a ‘B-5’, Ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) to allow for expansion, including parking of cars and RV’s car sales for the establishment at 225 N Highway 67, in accordance with the plans submitted: SP-1 and SP-2, dated 3/27/23, by Joe A. Dale NCARB, Architect and the following restrictions to be part of the record:

1. Chain link fence proposed shall be vinyl coated and all fence components same color as vinyl covered fence fabric.
2. Existing bell tower height is an accepted exception to height requirements of the district.
3. Change Ordinance 7941, paragraph 1. **PERMITTED USES to read as follows:**

Section 2, paragraph 1. a. The uses permitted in this ‘B-5’ Planned Commercial District shall be limited to auto sales facility housing offices, an area for minor mechanical repairs and detailing of cars to be performed exclusively in the building, *expansion with auto sales and RV sales where located on SP-1 and SP-2, dated 3/27/23* and uses permitted within the B-3 “Extensive Business District” without a Special Permit.

(end report)



**SITE PLAN**  
SCALE: 1" = 20'-0"

no.	date	description

revisions

ARCHITECT  
JOE A. DALE, NCARB  
314-517-5101  
743 Saint Mary's Road  
Villa Ridge, Missouri 63089  
joed07864@gmail.com

PET CEMETARY  
N 52° 20' W 215.28'

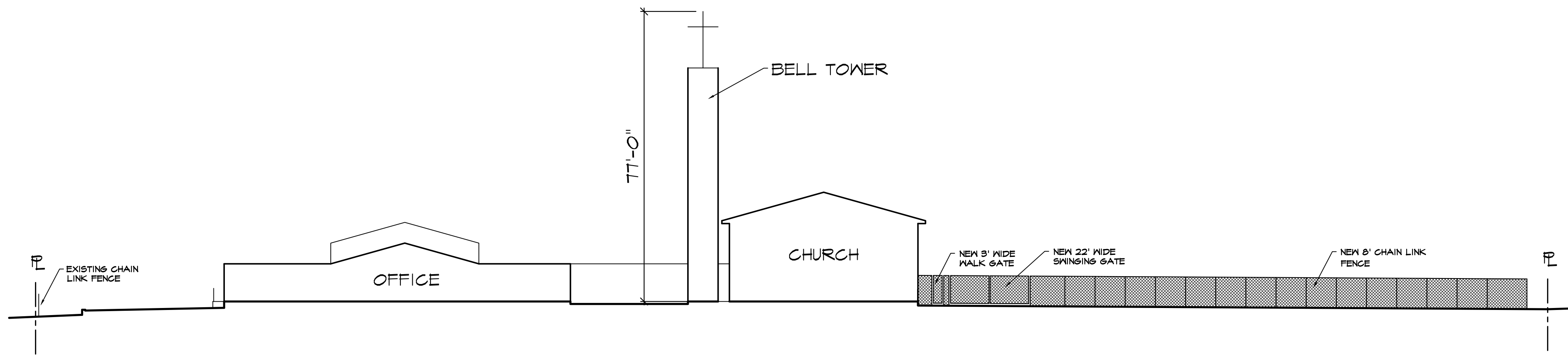
a proposed re-zoning site plan for:  
**GMT AUTO**  
660 CHARBONNIER ROAD  
FLORISSANT, MISSOURI 63031

project number	
file name	churchsp-1
date	03/27/23
sheet no.	of
<b>SP-1</b>	



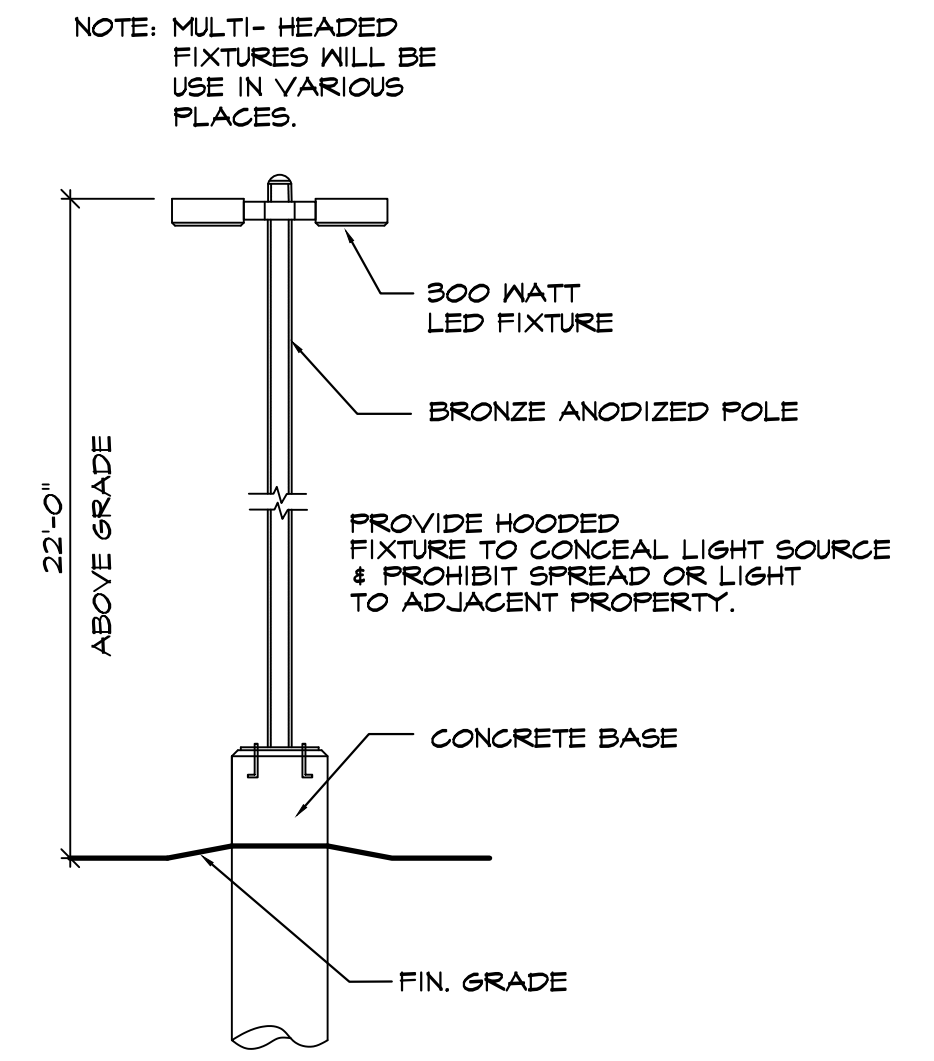
**SITE SECTION A-A**

SCALE: 1" = 20'-0"



**SITE SECTION B-B**

SCALE: 1" = 20'-0"



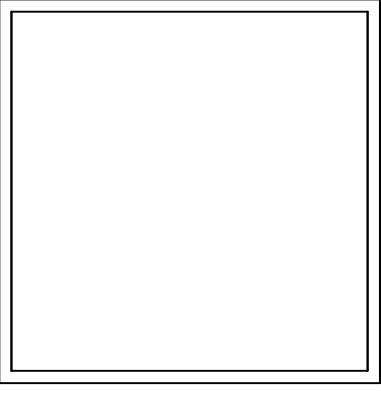
**LIGHT FIXTURE DETAIL**

NO SCALE

no.	date	description

revisions

ARCHITECT  
 JOE A. DALE, NCARB  
 743 Saint Mary's Road  
 Villa Ridge, Missouri 63089  
 314-517-5101  
 joed07864@gmail.com



a proposed re-zoning site plan for:  
**GMT AUTO**  
 660 CHARBONIER ROAD  
 FLOISSANT, MISSOURI 63031

project number	
file name	churchsp-1
date	03/27/23
sheet no.	SP-2
of	



# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 4/10/2023

Open  Closed

Report No. 20/2023

**Date Submitted:**

**To:** City Council

**Title:** Ordinance approving the Community Development Block Grant (CDBG) Fiscal Year 2023 Annual Action Plan for the City of Florissant, Missouri and authorizing and directing the Mayor to submit such plan to the United States Department of Housing and Urban Development.

**Prepared by:** Administrator

**Department:** Community Development

**Justification:**

Please see attached documents

**Attachments:**

1. Agenda memo
2. Public Hearing notice
3. Annual Action Plan



INTRODUCED BY COUNCIL AS A WHOLE  
APRIL 10, 2023

BILL NO. 9877

ORDINANCE NO.

**AN ORDINANCE APPROVING THE COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) FY2023 ANNUAL ACTION PLAN FOR THE CITY OF FLORISSANT, MISSOURI AND AUTHORIZING AND DIRECTING THE MAYOR TO SUBMIT SUCH PLAN TO THE UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT**

**WHEREAS**, the Mayor and City Council Members of the City of Florissant, Missouri being first duly assembled at a regular City Council meeting on the 13<sup>th</sup> day of March, 2023, and

**WHEREAS**, as a Metropolitan City and an Entitlement Community, and in accordance with 24 CFR 91, the City of Florissant, Missouri is required to prepare an Annual Action Plan for use of CDBG funds; and

**WHEREAS**, the City of Florissant must submit the CDBG Consolidated and Annual Action Plan to the United States Department of Housing and Urban Development (HUD) no later than January 1, 2024; and

**WHEREAS**, the City Council has reviewed the CDBG Consolidated and Annual Action Plan, a copy of which is marked Exhibit A and is attached hereto and incorporated herein by reference as if fully set forth.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

Section 1. The City Council of the City of Florissant, Missouri does hereby approve the CDBG Consolidated and Annual Action Plan marked Exhibit A, and does hereby authorize and direct the Mayor of the City of Florissant, Missouri, to execute the CDBG Consolidated and Annual Action Plan and to submit it to the United States Department of Housing and Urban Development.

PASSED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
President of the Council  
City of Florissant

Approved this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

2/24/2023

**Mayor's Approval:**

Agenda Date Requested: **10-Apr-23**

Description of request: 1st Reading for Fiscal Year 2023 Annual Plan for the Florissant Community Development Block Grant Program (CDBG)

Department: Community Development

Recommending Board or Commission: Citizens Participation Committee

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: **Yes / No**

**NO**

3 readings? : **Yes / No**

**NO**

**Back up materials attached:**

**Back up materials needed:**

Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: \_\_\_\_\_

PH Speaker: \_\_\_\_\_



## **PUBLIC NOTICE CITY OF FLORISSANT**

**Public Hearing for the Community Development Block Grant (CDBG)  
Annual Action Plan FY 2023**

**Florissant Government Building  
955 rue St. Francois  
Florissant, Missouri 63031  
March 13, 2023 at 7:00 p.m.**

**PUBLIC NOTICE IS HEREBY GIVEN that a Public Hearing will be held on Monday, March 13, 2023, at 7:00 p.m. at Florissant Government Building concerning the Fiscal Year 2023 Annual Action Plan for the Florissant Community Development Block Grant Program.**

A draft of the plan will be available for review on the City's website or the Florissant Community Development Office (314) 839-7680. A 30-day comment period will start on March 13<sup>th</sup> and will end at 5 p.m. on Wednesday, April 12, 2023. All written comments concerning this report during that time frame may be submitted to the Community Development Office at the above referenced address or to [comara@florissantmo.com](mailto:comara@florissantmo.com).

Anyone who needs assistance or auxiliary aids for the meeting should contact Carol O'Mara at (314) 839-7680 At least 24 hours before the meeting.

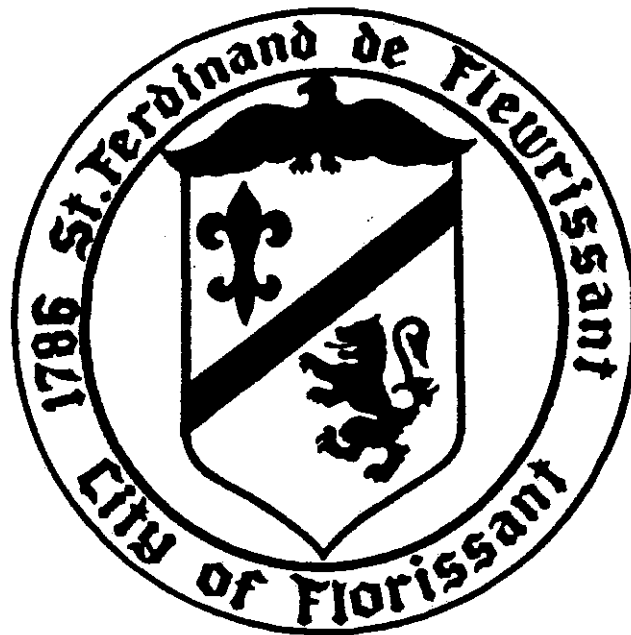
Posted this 24<sup>th</sup> day of February, 2023

---

**M. Carol O'Mara, Director  
Housing & Community Development  
314.839.7680**

# CDBG

## ANNUAL ACTION PLAN FY2023



# DRAFT

## Executive Summary

### AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

#### 1. Introduction

The Consolidated Plan is a strategic planning instrument required by the Department of Housing and Urban Development (HUD) as part of the Community Development Block Grant (CDBG) Program. The Consolidated Plan helps the City of Florissant identify key community issues and the resources to deal with those issues.

This Annual Plan outlines the use of Community Development Block Grant (CDBG) funds for FY2023.

The Annual Action Plan process requires that the grantee outline an action plan, which addresses the priority needs and local objectives of the community over a one-year period.

#### 2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis or the strategic plan.

As an entitlement community, the City of Florissant has determined, through a need's assessment, market analysis, and public participation process that it is in the best interest of the community to continue to concentrate limited CDBG funds in a few areas of primary concern over the next five years. Housing, Public Services, and the Removal of Architectural Barriers have been the focus in the past and will remain the focus over the next five years. There continues to be a need and concern regarding the preservation and maintenance of existing structures, homeownership, lead, and emergency repair throughout the City. The programs addressing these issues that the City currently funds have been very popular and have met a great need in the community. In addition, Public Services programs such as programs for emergency mortgage, rental, and utility assistance have been identified through the needs assessment and public participation process as important strategies for serving City residents.

### **3. Evaluation of past performance**

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

The City of Florissant has an excellent performance record and, as of the end of 2022, is on track to far exceed performance goals for the six CDBG funded activities from the last Consolidated Plan (covering FY2021-FY2025).

### **4. Summary of Citizen Participation Process and consultation process**

Summary from citizen participation section of plan.

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council.

In accordance with our Citizen Participation Plan, our 2023 Annual Action Plan process included a public hearing. The CPC committee met on November 9, 2022 and a public hearing was held on March 13, 2023 at 7:00 p.m. in the Florissant City Council Chamber. Public hearing notices were published in the Community News on March 1, 2023 and posted on the City's cable television channel and the City's website, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website and all of our other media outlets. The summary described the contents of the plan and the entire Annual Action Plan could be reviewed on line and at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 14, 2023. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-action plan is made available to persons with disabilities in a format that is readily accessible upon request.

**5. Summary of public comments**

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

There have been no public comments beyond the discussion at the March 13, 2023 Public Hearing and Citizen Participation Committee meeting. Discussion of the FY2023 Annual Action Plan and data at that meeting revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet.

**6. Summary of comments or views not accepted and the reasons for not accepting them**

N/A

**7. Summary**

**PR-05 Lead & Responsible Agencies – 91.200(b)**

**1. Agency/entity responsible for preparing/administering the Consolidated Plan**

Describe the agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	FLORISSANT	Community Development Department

**Table 1 – Responsible Agencies**

**Narrative (optional)**

The City of Florissant has always been proactive in its communications with residents and we have many mechanisms for public input in place. We publish and mail a quarterly newsletter directly to residents. We also produce our own cable television channel and update social media accounts with information about the City. We have had an active Citizens Participation Committee (CPC) for many years. It was developed as part of the City of Florissant's effort to include as many citizens as possible in the community development planning process. The CPC is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC is the major mechanism whereby the citizens of Florissant have an opportunity to express their needs as well as to be kept aware of the performance of the city's community development programs.

The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. The CPC:

- Conducts regular meetings on the second Thursday of each month, except June, July and August
- Evaluates and recommends priorities regarding community development needs
- Evaluates existing CDBG programs
- Evaluates and recommends programs for possible inclusion in future Annual Plans
- Evaluates any amendments to approved CDBG projects, except those for urgent need activities
- Evaluates suggested uses of any CDBG funds earmarked for contingency activities
- The CPC may recommend against such expenditures.

Annual Action Plan  
2023



- Reviews the draft Consolidated Plan prior to its being made available for public comment
- Recommends changes in the draft Consolidated Plan.
- Reviews the Citizen Participation Plan annually
- Provides assistance and information to interested individuals and/or groups within Florissant

As a Metropolitan City entitlement community, our goal is to educate the community on the Community Development Block Grant (CDBG) program and to encourage citizen participation in the local consolidated planning process. Our long-term goal is to keep the public involved in our community and to provide opportunities to participate in the consolidated planning process on an annual basis.

In accordance with our Citizen Participation Plan, our process included a public hearing. The CPC committee met and a public hearing for the FY2023 Annual Action Plan was held on March 13, 2023 at 7:00 p.m. in the Florissant City Council Chamber. Public hearing notices were posted on the City's cable television channel and the City's website, soliciting comments and participation in the process as well as published in the Community News on March 1, 2023. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.

A summary of the draft plan was posted on our website, cable TV channel and social media sites. The summary described the contents of the plan and the entire Annual Plan could be reviewed on line, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 14, 2023. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-consolidated plan is made available to persons with disabilities in a format that is readily accessible upon request.

**Consolidated Plan Public Contact Information**

Mrs. M. Carol O'Mara  
 Director of Housing and Community Development  
 Florissant Government Building  
 1055 rue St. Francois  
 Florissant, Missouri 63031  
 (314) 839-7680

## **AP-10 Consultation – 91.100, 91.200(b), 91.215(l)**

### **1. Introduction**

The City of Florissant collaborates with a vast network of area nonprofit organizations to utilize their experience and expertise in the areas of housing, homelessness, and identifying met and unmet needs in the city and St. Louis County community. Through the participation and partnerships with Nonprofits that serve the City’s aging community, residents with disabilities, as well as health, employment and wellness-based organizations serving the city’s LMI residents, city staff has learned and identified needs, service gaps and areas for improvement, while also identifying what organizations are already serving the community well. These aspects are important when it comes to identifying city and CDBG allocation goals and priorities.

#### **Provide a concise summary of the jurisdiction’s activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l))**

The City of Florissant’s Housing & Community Development Office works closely with area nonprofits that serve those in the community in need of housing. The City has a relationship with the Community Action Agency of St Louis County that delivers a variety of social service programs to low-income elderly, youth, individuals with disabilities and LMI individuals and families through grants and contractual agreements with federal, state, county and local governments, other not-for-profit organizations, and private businesses. They also administer the city’s Mortgage Rent and Utility Assistance Program.

There is currently no Public Housing Authority or Public Housing Developments in the City of Florissant. However, the St Louis County Housing Authority has and continues to administer the Housing Choice Voucher (formerly called Section 8) Program for all of St Louis County where Florissant is located. The waiting list for vouchers is seldom open, but communication is shared quickly and effectively when it is open for application.

Aging Ahead is the Area Agency on Aging that serves the city’s population aged sixty plus. The serve the community in several ways, including but not limited to operating senior centers, providing home delivered meals, in-home services, respite care, and information and assistance. The City of Florissant senior center staff are available by phone and email to assist Florissant senior residents in need of resources, guidance, reassurance, and support with the goal of keeping the aging resident living safely and independently in their own homes.

**Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.**

The City of Florissant relies on data provided by the COC to institute programs aimed at eradicating homelessness in the area and assisting those who are currently homeless in the community. The City consults with the COC regarding future plans, reporting, and identifying needs in the community, especially as it relates to homelessness. We attend regular monthly meetings where we discuss the needs of the community as well as provide them with the opportunity to have input on our services and programs during the consultation process of the annual plan. The City of Florissant does not directly offer any shelters or beds for individuals or families who have lost their homes, but the City does offer a Mortgage, Rent & Utility Assistance program to our residents, and plan to continue to do so through CDBG funding and CDBG- CV (CARES ACT) funding. This program will provide funds to one or more social service agencies to help people on the verge of homelessness.

**Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS**

The City of Florissant does not receive ESG funds from HUD

**2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdiction’s consultations with housing, social service agencies and other entities**

1	<b>Agency/Group/Organization</b>	Citizen Participation Committee
	<b>Agency/Group/Organization Type</b>	Civic Leaders
	<b>What section of the Plan was addressed by Consultation?</b>	Housing Need Assessment Market Analysis

<p><b>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</b></p>	<p>The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2023 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on March 13, 2023 at 7:00 p.m. in the Council Chambers. Public hearing notices were published on March 1, 2023 in the Community News and posted on the City website, cable television channel and social media sites, soliciting comments and participation in the process.</p>
<p><b>2 Agency/Group/Organization</b></p>	<p>Emergency Management Commission</p>
<p><b>Agency/Group/Organization Type</b></p>	<p>Agency-Emergency Management Other government-Local Regional Organization</p>
<p><b>What section of the Plan was addressed by Consultation?</b></p>	<p>Other-Resilience</p>

<p><b>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</b></p>	<p>The City of Florissant’s Emergency Management Organization is responsible for the Emergency Operations Plan that was drafted in conjunction with the Missouri Department of Public Safety State Emergency Management Agency. The plan is audited every two years by the Missouri Region C Emergency Management Coordinator. The plan outlines planned responses to natural hazards such as tornado, winter storms, floods, earthquake, drought, heat wave, and wildfire.</p> <p>As part of the preparedness planning, the Florissant Emergency Management Organization worked with the St. Louis Area Regional Response System (S.T.A.R.R.S) to have a trailer of supplies to address emergencies. They offer Community Emergency Response Team training for volunteers as a partnering effort between emergency services and the people that they serve. Over 250 residents have completed this training.</p> <p>The Florissant Office of Community Development has consulted with the Director of Emergency Management to update the plan to address the emergency preparedness of low to moderate housing.</p>
<p>3 <b>Agency/Group/Organization</b></p>	<p>Spectrum Enterprise</p>
<p><b>Agency/Group/Organization Type</b></p>	<p>Services-Broadband Internet Providers Services – Narrowing the Digital Divide</p>
<p><b>What section of the Plan was addressed by Consultation?</b></p>	<p>Other: Broadband Services</p>
<p><b>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</b></p>	<p>In consultation with Spectrum about broadband opportunities available to LMI residents’ discounts are available in conjunction with the Affordable Connectivity Program</p>

4	<b>Agency/Group/Organization</b>	AT&T
	<b>Agency/Group/Organization Type</b>	Services-Broadband Internet Providers Services – Narrowing the Digital Divide
	<b>What section of the Plan was addressed by Consultation?</b>	Other: Broadband Services
	<b>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</b>	The city consulted with AT&T regarding narrowing the digital divide. Broadband & fiber are available to Florissant residents. Service is widely available throughout the city and discounts are available.

**Table 2 – Agencies, groups, organizations who participated**

**Identify any Agency Types not consulted and provide rationale for not consulting**

The City of Florissant aims to consult with as many agencies as possible and did not exclude any agencies or agency types from consultation

**Other local/regional/state/federal planning efforts considered when preparing the Plan**

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	St Louis County Continuum of Care	The Continuum of Care (COC) provides networking opportunities for area agencies to gather to discuss the state of the community regarding their clients, programs, and assistance and leads the charge to end homelessness. Florissant networks with Continuum agencies to provide assistance in reaching their goals to assist those in need within the community.

**Table 3 – Other local / regional / federal planning efforts**

**Narrative (optional)**

The City of Florissant coordinates with various St. Louis County departments and is a member of the St. Louis County Housing Consortium.

## **AP-12 Participation – 91.105, 91.200(c)**

### **1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting**

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2023 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on March 13, 2023 at 7:00 p.m. in the Florissant City Council Chamber. Public hearing notices were published on March 1, 2023 in the Community News and posted on the City's cable television channel, the City's website, and social media sites soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website, cable TV channel and social media sites. The summary described the contents of the plan and the entire Annual Action Plan could be reviewed on line, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 14, 2023. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-annual plan is made available to persons with disabilities in a format that is readily accessible upon request.

At this point in time, there have been no public comments beyond the discussion at the March 13, 2023 Public Hearing and Citizen Participation Committee meeting. Discussion revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet. In response to this unmet need, the City of Florissant will continue to fund the Mortgage, Rental and Utility Assistance Program for FY2023. The funding of this program could assist in possibly opening up more opportunities for Florissant residents.



**Citizen Participation Outreach**

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
1	Public Meeting	Minorities Non-English Speaking - Specify other language: various Persons with disabilities Non-targeted/broad community Citizen Participation Committee				

			2
Public Hearing	<p>Minorities</p> <p>Non-English Speaking - Specify other language: various</p> <p>Persons with disabilities</p> <p>Non-targeted/broad community</p> <p>Residents of Public and Assisted Housing</p>	<p>In accordance with our Citizen Participation Plan, our 2023 Annual Action Plan process included a public hearing. The Citizen Participation Plan committee met and a public hearing was held on March 13, 2023 at 7:00 p.m. in the Council Chambers. Public hearing notices were published on March 1, 2023 in the Community News and posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community</p>	No comments received

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
			centers, City Hall, and in the Independent Newspaper.			

3.	News Release	Non-targeted/broad community	<p>In accordance with our Citizen Participation Plan, our 2023 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on March 13, 2023 at 7:00 p.m. Public hearing notices were published on March 13, 2023 in the Community News and posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.</p>	No comments received	
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
4	Internet Outreach	Non-targeted/broad community	Notice of CPC meeting and Public Hearing was put on the City's website, cable channel and social media for solicitation of comments, public hearing and draft plan availability	No comments received		
5	Mailing to Tribes re: Public Hearing	Minorities Indian Tribes				
6	Public Municipal Posting-Public Hearing	Non-targeted/broad community				

Table 4 – Citizen Participation Outreach

## Expected Resources

### AP-15 Expected Resources – 91.220(c) (1, 2)

#### Introduction

The City of Florissant expects an allocation of \$266,625 in CDBG funding for FY2023. During the FY2016-FY2020 Consolidated Plan period, CDBG allocations varied between \$212,059 (lowest allocation) and 257,640 (highest allocation) with an average allocation of \$296,579. The chart below assumes that same average allocation of \$296,579 for each of the five years FY2021, FY2022, FY2023, FY2024 and FY2025.

#### Priority Table

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 4				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	266,625	0	0	266,625	681,235	Funds various programs throughout the City of Florissant  The City of Florissant expects a CDBG allocation of \$266,625 for FY2023 and the average allocation of \$296,579 for following years.

Table 5 - Expected Resources – Priority Table

**Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied**

While the City of Florissant has a small CDBG allocation, it is very highly leveraged through the Project I.M.P.A.C.T. program in order to provide additional assistance to low to moderate income Florissant residents and city spaces to purchase tools, cleaning supplies, and dumpster rentals. Using these tools, volunteers provide the labor to complete projects to improve the lives of Florissant residents.

The Project I.M.P.A.C.T. program uses CDBG funding to purchase materials, supplies, dumpster rentals. The volunteer labor allows more households to be served with limited funding.

**If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan**

At the current time, no identified publicly owned land or property to be used to address the needs identified in the plan.

**Discussion**

Over the past decade The City of Florissant has become more effective at stretching CDBG dollars by creating new relationships with donors, volunteers, and other organizations to support the highly leveraged Project I.M.P.A.C.T. program.

## Annual Goals and Objectives

### AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e)

#### Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Home Improvement Program	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$95,300	Homeowner Housing Rehabilitated: 13 Household Housing Unit
2	Home Improvement Program - Mechanical	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$90,000	Homeowner Housing Rehabilitated: 18 Household Housing Unit
3	Project I.M.P.A.C.T.	2021	2025	Public Services	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$0	Public service activities other than Low/Moderate Income Housing Benefit: 15 Persons Assisted
4	Project IMPACT – Assist	2023	2025	ADA Modifications	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$0	Homeowner Housing Rehabilitated: 4 Household Housing Unit
5	Project IMPACT-ADA Modification for Public Facilities	2023	2024	ADA Modification	City of Florissant	Accessibility of Public Facilities	CDBG: \$30,000	Accessibility



Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
6	Mortgage, Rental & Utility Assistance	2021	2025	Public Services	City of Florissant	Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$0.00	Public service activities other than Low/Moderate Income Housing Benefit: 10 Persons Assisted
7	Administration	2021	2025	Administration	City of Florissant	Housing Repair and Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$53,325	Other: 1 Other

Table 6 – Goals Summary

### Goal Descriptions

1	<b>Goal Name</b>	Home Improvement Program
	<b>Goal Description</b>	<p>The Home Improvement Project will provide \$7,000 zero-percent interest, five-year forgivable loans to low to moderate level income households within the city limits of Florissant, MO. The loans will be provided to single-family owner-occupied residences to address code violations and perform much needed home repairs. All of the homes will be in sufficient condition to be safely occupied, but repairs are needed to ensure the continued health and safety of the residents. The program doesn't permit any additions to be made to the land or the structure.</p> <p>The project benefits the community by maintaining and increasing property values. It also helps low to moderate income residents to build equity in their home which is critical to building generational wealth. The scope of work excludes remodeling and may include the repair or replacement of existing items and/or health and safety issues.</p>
2	<b>Goal Name</b>	Home Improvement Program - Mechanical
	<b>Goal Description</b>	<p>The Home Improvement Program – Mechanical provides grants up to \$5,000 to households for the replacement of HVAC units and/or water heaters. Funds are available for single-family owner-occupied households within the city limits of Florissant. The purpose of the program is to reduce temperature-related illness and death by ensuring that low- to moderate income residents have working furnaces, air conditioners and/or water heaters.</p>
3	<b>Goal Name</b>	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	<b>Goal Description</b>	<p>Project IMPACT is the Initiative to Maintain Properties and Assist our Community Together. Program funds are used to purchase tools, cleaning supplies, and dumpster rentals. Using these tools, volunteers provide the labor to complete projects to improve the lives of Florissant residents. Funds up to \$3,000 for each project will be used for approximately 10 clientele.</p>

4	<b>Goal Name</b>	Project IMPACT - Assist
	<b>Goal Description</b>	Project IMPACT-Assist will provide grants up to \$3,000.00 per residential property for grants to provide accessibility home modifications to help persons with disabilities. A broad range of home modifications can be considered based on a recommendation from a medical professional. Modifications may include ramps, grab bars, bathroom modifications, etc. Funds are available to assist approximately 4 Florissant residents of rental or owner-occupied homes.
5	<b>Goal Name</b>	Project IMPACT – ADA Public Facilities
	<b>Goal Description</b>	Funds will be used to modify public facilities including streets, walkways and building entrances to allow wheelchair access that is in compliance with the Americans with Disabilities Act of 1990.
6	<b>Goal Name</b>	Mortgage, Rental & Utility Assistance
	<b>Goal Description</b>	MRU Assist will provide payments up to \$1,000.00 to approximately 10 low- to moderate-income Florissant residents who have experienced severe economic hardship and are behind on payments of mortgage, rent, and/or utilities. This program is designed to reduce homelessness by helping residents stay in their homes, whether they are homeowners or renters.
7	<b>Goal Name</b>	Administration
	<b>Goal Description</b>	Will provide salary and benefits for staff who are administering the CDBG-funded programs. Other program administrative costs include training, travel and mileage reimbursement

Table 7 – Goal Descriptions

**Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.215(b):**

The City of Florissant does not have a large enough allocation to provide new affordable housing units. However, The City of Florissant anticipates serving 265 households with programs to maintain affordability through home repair and mortgage and rental assistance over a five-year period.

## AP-35 Projects – 91.220(d)

### Introduction

The table below lists the six (6) projects that the City of Florissant will undertake in FY2023 in order to address the needs identified through this Consolidated Plan Process.

#	Project Name
1	Home Improvement Program
2	Home Improvement Program - Mechanical
3	Project IMPACT
4	Project IMPACT - Assist
5	Project IMPACT – ADA Public Facilities
6	Mortgage, Rental & Utility Assistance
7	Administration

Table 8 – Project Information

### Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

The most recent Analysis of Impediments to Fair Housing identified several impediments within the City of Florissant and surrounding community, as well as offered suggestions to tackle and ameliorate them. These projects and programs are the City's attempt to meet the identified needs in the community based on the A.I. feedback, consultation with area social service agencies, nonprofit organizations, elected officials, and housing Consolidated Plan organizations. Much of the city consists of single-family homes with a growing rate of rental housing. CDBG funds will be used to ensure the existing housing stock remains safe and accessible for its residents, while also providing services for residents to access essential living functions and providing financial assistance to agencies keeping residents in their homes and off the streets. Education will continue to be a priority for the City via CDBG funding to ensure better and more comprehensive understanding of fair and affordable housing. The CDBG funds will be used to work hard for the city's aging population, disabled and/or LMI, by helping Florissant's most vulnerable populations.

# Projects

## AP-38 Projects Summary

### Project Summary Information

Table 9 – Project Summary

<b>1</b>	<b>Project Name</b>	Home Improvement Program
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Home Improvement Program
	<b>Needs Addressed</b>	Housing Repair and Improvement
	<b>Funding</b>	CDBG: \$93,300
	<b>Description</b>	<p>The Home Improvement Project will provide \$7,000 zero-percent interest, five-year forgivable loans to low-to-moderate level income households within the city limits of Florissant, MO. The loans will be provided to single-family owner-occupied residences to address code violations and perform much needed home repairs. All of the homes will be in sufficient condition to be safely occupied, but repairs are needed to ensure the continued health and safety of the residents. The program doesn't permit any additions to be made to the land or the structure.</p> <p>The project benefits the community by maintaining and increasing property values. It also helps low to moderate income residents to build equity in their home which is critical to building generational wealth. The scope of work excludes remodeling and may include the repair or replacement of existing items and/or health and safety issues.</p>
	<b>Target Date</b>	8/30/2024
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	The City estimates assisting 13 households with the Home Improvement Loan Program
	<b>Location Description</b>	The City will accept households within the city limits
	<b>Planned Activities</b>	The Home Improvement Program provides up to \$7000 as a 0% interest forgivable loan to eligible City of Florissant residents to assist with home improvement projects.

<b>2</b>	<b>Project Name</b>	Home Improvement Program - Mechanical
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Home Improvement Program - Mechanical
	<b>Needs Addressed</b>	Housing Repair and Improvement
	<b>Funding</b>	CDBG: \$90,000
	<b>Description</b>	The Home Improvement Program – Mechanical provides grants up to \$5,000 to low-to moderate income households for the replacement of HVAC units and/or water heaters. Funds are available for single-family owner-occupied households within the city limits of Florissant. The purpose of the program is to reduce temperature-related illness and death by ensuring that low- to moderate income residents have working furnaces, air conditioners and/or water heaters.
	<b>Target Date</b>	8/30/2024
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	The City estimates assisting 18 households with the HIP-M Program
	<b>Location Description</b>	The City will accept households within the city limits
	<b>Planned Activities</b>	The Home Improvement Program - Mechanical provides up to a \$5000 grant to low to moderate-income homeowners for the replacement of water heaters, heating and/or cooling units.
<b>3</b>	<b>Project Name</b>	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	<b>Needs Addressed</b>	Housing Accessibility / Services for Persons with Disabilities
	<b>Funding</b>	CDBG: \$0

	<b>Description</b>	Project IMPACT is the Initiative to Maintain Properties and Assist our Community Together. Program funds are used to purchase tools, cleaning supplies, and dumpster rentals. Using these tools, volunteers provide the labor to complete projects to improve the lives of Florissant residents. Funds up to \$3,000 for each project will be used for approximately 10 clientele.
	<b>Target Date</b>	8/30/2024
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	The City estimates that 15 households will be assisted with Project IMPACT
	<b>Location Description</b>	Participants of this program will be City Wide
	<b>Planned Activities</b>	The program uses CDBG funding to purchase materials, supplies, and dumpster rentals. The volunteer labor allows more households to be served with limited funding.
4	<b>Project Name</b>	Project IMPACT - Assist
	<b>Target Area</b>	City of Florissant
	<b>Goal Supported</b>	Project IMPACT - Assist
	<b>Needs Addressed</b>	Housing Accessibility / Services for Persons with Disabilities
	<b>Funding</b>	CDBG: \$0
	<b>Description</b>	Funds up to \$3,000.00 per residential property for grants to provide accessibility home modifications to help persons with disabilities. A broad range of home modifications can be considered based on a recommendation from a medical professional. Modifications may include ramps, grab bars, bathroom modifications, etc. Funds are available to assist approximately 4 Florissant residents of rental or owner-occupied homes.
	<b>Target Date</b>	8/30/2024

	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	The City estimates that approximately 4 individuals will be assisted with this program.
	<b>Location Description</b>	City of Florissant
	<b>Planned Activities</b>	Project IMPACT – Assist provides grants up to \$3,000 to help disabled residents to make home modifications to continue to live independently.
5	<b>Project Name</b>	Project IMPACT – ADA Public Facilities
	<b>Target Area</b>	City of Florissant
	<b>Goal Supported</b>	Project IMPACT – ADA Public Facilities
	<b>Needs Addressed</b>	Accessibility / Removal of Architectural Barriers
	<b>Funding</b>	CDBG: \$30,000
	<b>Description</b>	Funds up to \$30,000 will be used to modify public facilities including streets, walkways and building entrances to allow wheelchair access that is in compliance with the Americans with Disabilities Act of 1990.
	<b>Target Date</b>	8/30/2024
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	Everyone accessing the area improved will benefit from this improvement.
	<b>Location Description</b>	City of Florissant
	<b>Planned Activities</b>	Funds will be used to modify approximately 10 curb cuts or other public facilities
6	<b>Project Name</b>	Mortgage, Rental & Utility Assistance
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Mortgage, Rental & Utility Assistance
	<b>Needs Addressed</b>	Emergency Mortgage, Rental, and Utility Assistance
	<b>Funding</b>	CDBG: \$0



	<b>Description</b>	MRU Assist will provide a one-time payment up to \$1,000.00 to low- to moderate-income Florissant residents who have experienced severe economic hardship and are behind on payments of mortgage, rent, and/or utilities. This program is designed to reduce homelessness by helping residents stay in their homes, whether they are home owners or renters.
	<b>Target Date</b>	8/30/2024
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	The City estimates that 10 individuals will be assisted with the MRU Assist Program
	<b>Location Description</b>	Participants will be accepted from within the City of Florissant limits
	<b>Planned Activities</b>	Mortgage, rental, and utility assistance will be provided to those who are in jeopardy of becoming homeless due to past due or late rent/mortgage and utility payments.
7	<b>Project Name</b>	Administration
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Administration
	<b>Needs Addressed</b>	Housing Repair & Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance
	<b>Funding</b>	CDBG: \$53,325
	<b>Description</b>	Salary and benefits for staff who are administering the CDBG-funded programs. Other program administrative costs include training, travel and mileage reimbursement.
	<b>Target Date</b>	8/30/2024
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	This activity is administration and will not benefit low income families directly.
	<b>Location Description</b>	City of Florissant

<b>Planned Activities</b>	Administration of the program
---------------------------	-------------------------------

## AP-50 Geographic Distribution – 91.220(f)

### Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide, since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, program funds will be distributed based on need and eligibility. Future Annual Action Plans will allow the City of Florissant to reevaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

### Geographic Distribution

Target Area	Percentage of Funds
City of Florissant	100

Table 10 - Geographic Distribution

### Rationale for the priorities for allocating investments geographically

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide, since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, programs funds will be distributed based on need and eligibility.

### Discussion

Future Annual Action Plans will allow the City of Florissant to re-evaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

It is important to note that other City of Florissant programs not covered by the Consolidated Plan are geographically targeted. For example, the City of Florissant applied for and received a grant from the Neighborhood Stabilization Program (NSP) through the Department of Housing and Urban Development (HUD) Recovery Act funds. The City was awarded \$1.5 million dollars for the purchase, rehabilitation, and resale of foreclosed homes in order to stabilize neighborhoods and stem the decline of house values of neighboring homes. The City continues to administer this program through the original award amount and additional Program Income. No other local, state, or federal funds will be utilized for these projects. These NSP projects are geographically targeted to NSP-eligible areas within the City of Florissant.

## AP-75 Barriers to affordable housing – 91.220(j)

### Introduction

The Analysis of Impediments to Fair Housing Choice (AI) is a comprehensive review of a jurisdiction's laws, regulations, and administrative policies, procedures and practices affecting the location, availability, and accessibility of housing, as well as an assessment of conditions, both public and private, affecting fair housing choice. Impediments to fair housing choice are any actions, omissions, or decisions taken because of race, color, religion, sex, disability, familial status, or national origin. Policies, practices, or procedures that appear neutral on their face, but which operate to deny or adversely the provision of housing to persons of a particular race, color, religion, sex, disability, familial status, or national origin may constitute such impediments.

The City of Florissant, along with the other members of the St. Louis HOME Consortium (St. Louis County, St. Charles County, Jefferson County and the City of O'Fallon) and the Housing Authority of St. Louis County during 2020 retained Mosaic Community Planning, LLC to conduct and prepare a Regional Analysis of Impediments to Fair Housing Choice study. This study, while regional, has specific recommendations for each of the consortium members. The City of Florissant will address any and all barriers identified within its jurisdiction and act accordingly.

**Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment**

Many of the Impediments to Fair Housing that have been identified in the 2020 Analysis of Impediments to Fair Housing report are also Barriers to Affordable Housing. These barriers are largely systemic & will require effort from both private & public sectors across the entire regional area to correct. Florissant will strive to undertake the stated strategies recommended in the report in collaboration with St. Louis County, other local jurisdictions, agencies, & private entities. The Impediments/Barriers that were identified as applicable to the City of Florissant include: **Barrier:** Low labor market engagement & limited incomes restrict housing choice & access to opportunity among protected classes **Strategies:** Increase access to workforce development & employment opportunities **Barrier:** Lack of access to transportation services in some areas of the region limits housing choices & resources **Strategies:** Expand transportation services & connections to other areas of the region **Barrier:** Insufficient housing for people with disabilities **Strategies:** Consider opportunities to encourage or incentivize the construction of new accessible housing units for people with disabilities. Continue to partner with organizations to identify areas where the city can improve accessibility. **Barrier:** Limited access to quality schools disproportionately impacts residents of color **Strategies:** Support development of workforce housing in areas with high-performing school districts to reduce affordability barriers to accessing these districts. Partner with school districts, youth- and community development-focused organizations, community institutions, businesses, & residents to identify youth education, mentoring, recreation, & family support needs. **Barrier:** Lack of affordable housing prevents members of protected classes from living in areas of opportunity **Strategies:** Develop

& deliver community education around the need for affordable housing & its cultural and economic value to the community. Consider & adopt zoning codes amendments that could increase possibilities for the development of affordable multifamily housing **Barrier:** Ongoing need for fair housing outreach, education, & enforcement **Strategies:** Continued education regarding fair housing rights, recognizing discrimination, & how & where to file a housing discrimination for the community and housing professionals. Continued funding commitment to fair housing enforcement measures **Barrier:** Continued need for neighborhood investment & expanding opportunity in North St Louis County **Strategies:** Expand community engagement efforts focused on community needs & priorities in low-moderate income census tracts, including working with residents & community groups to shape the approach to community engagement. Implement targeted outreach to engage with residents to identify areas for investment. **Barrier:** NIMBYism and prejudice reduce housing choice for protected classes **Strategies:** Develop-deliver community education around the need for affordable housing & its cultural & economic value to the community. Explore-promote community events & programming such as cultural celebrations & food fairs that celebrate the regions diversity & encourage interaction among diverse participants in neighborhoods throughout the region

While these barriers affect Florissant, many are regional issues that the City of Florissant cannot address on its own. In the AI Study, none of the impediments listed were related to public policies that would or could hinder the development, maintenance or rehabilitation of affordable housing or add to the cost of existing affordable units within the city, so there is no need, at this point in time to develop a strategy to address such policies.

## Discussion

As a member of the St. Louis HOME Consortium, the City of Florissant is served by several local fair housing, affordable housing, and homeless service organizations (EHOC-Equal Housing Opportunity Council, Beyond Housing, Community Action Agency of St Louis County, Better Family Life, The Housing Partnership, and Catholic Charities). Activities include fair housing testing, complaint investigation, fair housing education, transitional housing, rent and mortgage assistance, and other housing-related assistance.

## **AP-85 Other Actions – 91.220(k)**

### **Introduction**

The City of Florissant has a record of strong performance in meeting underserved needs through the CDBG program.

### **Actions planned to address obstacles to meeting underserved needs**

The largest obstacle to meeting underserved needs is funding. City staff will investigate creative leveraging strategies, such as the leveraging of volunteers in the existing Project I.M.P.A.C.T. program, to continue to make a larger community impact with limited resources.

### **Actions planned to foster and maintain affordable housing**

The City of Florissant will strive to undertake the following strategies recommended in the Analysis of Impediments to Fair Housing to remove or ameliorate the barriers to fair/affordable housing. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, and private entities. Therefore, specific action items are dependent on further community engagement, planning, and coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers and proposed strategies can be found in the Analysis of Impediments to Fair Housing.

### **Actions planned to reduce lead-based paint hazards**

The City of Florissant continues to pursue an active role in eliminating the hazards of the lead-based paint in its housing stock. Staff successfully completed HUD's Office of Lead Hazard Control's Visual Assessment course pursuant to 24 CFR Part 35. All homeowners in the Home Improvement Program Loan Program with houses built before 1978 are given the "Protect Your Family from Lead In Your Home" Pamphlet and the Lead Renovation Guide and must sign a "Confirmation of Receipt" for documentation purposes. In addition, the homes must undergo Lead Based Paint Testing on the areas of the home where a visual inspection is made for flaking and peeling paint does not pass. Bid packages containing work specifications will be bid out to pre-approved licensed lead abatement contractors. Dust and soil clearance tests will be performed after the work has been completed.

The City will continue to work with the St. Louis County Lead Surveillance Program to screen and evaluate children for lead absorption, and initiate treatment when needed. The Community Development Office will continue to be responsible for networking with appropriate City and County departments and other service providers in this area. In addition, the Community Development Office will maintain its close contact with the St. Louis Office of Community Development's Home Improvement staff and the designated lead coordinator, in

order to comply with the lead-based paint regulations that went into effect in September 2000.

### **Actions planned to reduce the number of poverty-level families**

While poverty is a complex issue and not solvable with CDBG funding alone, the City of Florissant has designed existing CDBG programs and policies with the goal of contributing to the reduction of the number of poverty-level families in the jurisdiction. The City of Florissant housing rehabilitation programs (the Home Improvement Program, Home Improvement Program – Mechanical and the Project IMPACT Program) provides a way for low income persons to maintain their existing homes without investing their own resources into repairs and rehabilitation. The emergency mortgage, rental, and utility assistance program provides a similar safety net for both owner and renter households.

A great deal of national research has been done on the importance of “housing as a platform” to improve quality of life. Access to safe, stable, and affordable housing has been linked to higher educational achievement for children, better economic prospects for parents, and improved health and well-being. Given that the City of Florissant’s Analysis of Impediments to Fair Housing identifies Florissant as an area of high opportunity (low poverty, high school proficiency, and high labor market engagement) relative to many areas in north St. Louis County, safe, stable, and affordable housing options within the City of Florissant are especially likely to contribute to positive outcomes for individuals and families and ultimately reduce poverty. Therefore, City of Florissant CDBG programs around housing repair and assistance are important tools for long term poverty reduction.

### **Actions planned to develop institutional structure**

The institutional structure to carry out the programs referenced in this Annual Action Plan is already strong. The City of Florissant Department of Housing and Community Development administer the programs funded by the Community Development Block Grant. Private contractors do the actual work of rehabilitation services. The City staff is able to adequately monitor these contractors to assure that services are provided as promised.

### **Actions planned to enhance coordination between public and private housing and social service agencies**

City staff will continue to attend meetings involving a wide spectrum of agencies and groups involved in issues such as housing, homelessness, foreclosures, community services, AIDS, persons with disabilities, and environmental concerns. City staff will also continue to attend regular meetings to coordinate with the St. Louis County Continuum of Care.

### **Discussion**

## Program Specific Requirements

### AP-90 Program Specific Requirements – 91.220(l)(1,2,4)

#### Introduction

#### Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(l)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
<b>Total Program Income:</b>	<b>0</b>

#### Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	100%

#### Discussion

Annual Action Plan 2023	36
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**PROPOSED USE OF CDBG FUNDS**

**2023 ACTUAL Financial Summary**

FY2023 CDBG Program

**Community Development Block Grant Resources**

Entitlement Amount Estimate	\$266,625.00
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<b>Total FY2023 Funding</b>	<b>\$268,625.00</b>
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Proposed Uses of CDBG Funds

**Housing Programs**

Home Improvement Program	\$ 93,300.00
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Home Improvement Program – Mechanical	\$ 90,000.00
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Project IMPACT – Assist	\$ 0.00
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**Public Services**

Mortgage, Rental & Utility Assistance	\$ 0.00
---------------------------------------	---------

Project IMPACT – ADA Public Facilities	\$ 30,000.00
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Project IMPACT	\$ 0.00
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Grant Administration	\$ 53,753.00
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<b>Total</b>	<b>\$266,625.00</b>
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# **CITY OF FLORISSANT**

## **Public Hearing**



**In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, April 10, 2023 at 7:00 p.m. on the following proposition:**

**To rezone the property located at 495 Howdershell from ‘B-3’ Extensive Business District to a ‘B-5’ Planned Commercial District to allow for a car wash and storage building. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT**



PLANNING & ZONING ACTION:

Address of Property:

495 Howdershell Road

**RECOMMEND DENIAL  
PLANNING & ZONING  
CHAIRMAN**

Council Ward 2 Zoning 'B-3'

Initial Date Petitioner Filed 2/21/23

SIGN Allen G. Mink DATE: 3-20-23

Building Commissioner to complete ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Todd Buckner Scrubbles Express Wash Howdershell, LLC  
(Individual's name, corporation, partnership, etc.)  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Owner  
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 2.475

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant Bank Building

**State current use of property, (or, state: vacant).**

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construct a car wash building on one lot and a climate controlled

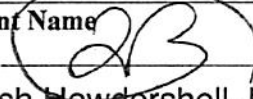
multi-story self storage building on another created lot within the 2.475 acre lot size

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Todd Buekner

Print Name 

PETITIONER(S) SIGNATURE (S) \_\_\_\_\_

FOR Scrubbles Express Wash Howdershell, LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

( ) I (we) have a legal interest in the herein above described property.

(X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE \_\_\_\_\_

ADDRESS 221 Point West Blvd St. Charles MO 63301  
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 636-928-5552

I (we) the petitioner (s) do hereby appoint Larry Walker - Bax Engineering as  
BUSINESS Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

\_\_\_\_\_  
Signature of Petitioner(s) or Authorized Agent

**NOTE:** Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual:  Partnership:  Corporation/LLC:

(a) If an Individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Todd Buckner P.O. Box 7726 Tifton GA 31793
- (2) Telephone numbers 229-520-2244
- (3) Business address 8182 Maryland Ave. Suite 1500 St. Louis, MO 63105-3916
- (4) State of corporation & a photocopy of incorporation papers Missouri
- (5) Date of corporation August 8, 2022
- (6) Missouri Corporate Number LC014397335
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated Scrubbles Express Wash Howdershell, LLC
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Todd Buckner

Address P.O. Box 7726 Tifton GA 31793

Property Owner Scrubbles Express Wash Howdershell, LLC

Location of property 495 Howdershell Road

Dimensions of property Approximately 389' X 275'

Current Use of Property Vacant Bank to be demolished

Proposed Use of Property Car Wash and Climate controlled multi-story self storage

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories 3 story storage/ +/- 27' car wash

Square Footage of Building 19,396.74 s.f./floor storage  
3,867 s.f. car wash Number of Curb Cuts 2

Number of Parking Spaces 6 employee car wash  
6 storage bldg loading Sidewalk Length n/a existing along right-of-ways

Landscaping: No. of Trees 31 Diameter 2-1/2" caliper

No. of Shrubs 180 Size 18" diameter

Fence: Type Decorative Aluminum Length 700 Feet Height 4 Feet

**PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:**

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.**

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection or include on plans.**



**STAFF CHECK LIST / REVIEW SHEET**

ADDRESS OF PROPERTY 495 Howdeshell CURRENT ZONING B-3

PROPERTY OWNER OF RECORD \_\_\_\_\_ PHONE NO. \_\_\_\_\_

AUTHORIZED AGENT Bar Engig PHONE NO. \_\_\_\_\_

PROPOSAL \_\_\_\_\_

1) a. Uses - Are uses stipulated

Yes /  No

b. What current District would this proposal be a permitted use: none

c. Proposed uses for out lots: u/a

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line?  Yes /  No
- b) Noises: Will the operation or proposed equipment exceed 70 decibels?  Yes /  No
- c) Odor is there any foreseen problem with odor?  Yes /  No
- d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart?  Yes /  No
- e) Toxic gases: Is there any foreseen emission of toxic gases from the operation?  Yes /  No
- f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter?  Yes /  No
- g) Is there any dangerous amount of radiation produced from the operation?  Yes /  No
- h) Is there any glare or heat which would be produced outside of an enclosure?  Yes /  No
- i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown?  Yes /  No
- j) Is buildings screened from adjoining residential?  Yes /  No

3) Are height of structures shown?  Yes /  No

4) Are all setbacks shown?  Yes /  No

5) Are building square footages shown?  Yes /  No

6) What is the exterior construction of the buildings? brick/block (cmu)

7) Is off street loading shown?  Yes /  No

8) Parking:

- a) Does parking shown meet the ordinance?  Yes /  No
- b) Is a variance required in accordance with the ordinance?  Yes /  No
- c) Ratio shown \_\_\_\_\_ to \_\_\_\_\_ see report
- d) Total Number \_\_\_\_\_
- e) Will cross access and cross parking agreements be required?  Yes /  No
- f) Is the parking lot adequately landscaped?  Yes /  No

9) Are there any signs?  Yes /  No

Number of signs shown not submitted

Type of Signs ground sign on plan only

Are sizes, heights, details, and setbacks shown?  Yes /  No

10) Are existing and proposed contours shown at not more than five (5) feet intervals?  Yes /  No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown?  Yes /  No



- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes  No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes  No
- 14) Was a traffic study submitted? Yes  No   
Does the City Staff recommend a traffic study? Yes  No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes  No
- 16) Is a legal description of the property shown? Yes  No   
Does legal description appear to be proper? Yes  No
- 17) Is an out-boundary plat of the property submitted? Yes  No
- 18) Suggested time limitations of construction: Start \_\_\_\_\_ Finish 12 mos?
- 19) Is parking lot lighting shown? Yes  No
- 20) Are new walkways required? Yes  No
- 21) Is there sufficient handicapped access? Yes  No
- 22) a) Are there proposed curb-cuts? Yes  No   
b) Do the curb-cuts meet the City ordinances? Yes  No
- 23) Will this project require any street improvements? Yes  No
- 24) Staff recommendations for site development plans: see staff report

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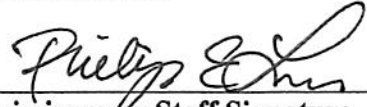
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25) Staff Comments: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

2/28/23  
 Date Application reviewed  
  
 Building Commissioner or Staff Signature

Received by: \_\_\_\_\_ Date: \_\_\_\_\_

### ZONING AUTHORIZATION APPLICATION



### CITY OF FLORISSANT- BUILDING DIVISION

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

I, as the owner or authorized agent for the property described below, do hereby certify that I have the authority to make this application for zoning authorization for the activity described below and as shown on any attached plans, documents or descriptions, that the information provided is correct and that any use or construction will conform to the regulations of the Florissant Zoning Code, Chapter 405, as applicable:  
<https://www.ecode360.com/28082280?highlight=405&searchId=13635529016766742#28082280>

New Tenant/Occupant       Existing Tenant/Occupant

Property Address: 495 Howdershell Road      Zoning District: B-3

Applicant's Name: Todd Buckner      Applicant's Email: thomas.tbuckpivots@gmail.com

Applicant's Address: P.O. Box 7726 Tifton GA 31793      Phone #: 229-520-2244

Property Owner's Name: Scrubbles Express Wash Howdershell LLC      Owner's Email: thomas.tbuckpivots@gmail.com

Property Owner's Address: P.O. Box 7726 Tifton GA 31793      Phone #: (229) 520-2244

Property Use(s): Vacant

Detailed description of Use(s) proposed, or "No Change":

Proposed car wash on one lot and a multi-story climate controlled storage building on the other lot. Rezone the parcels to B-5.

(Provide attachments to adequately describe the proposed Property Use(s), refer to Land Use terms in the City Code, Chapter 405.)

This application authorizes the Building Commissioner or designee to perform reasonable site inspections as required to determine compliance with the conditions applicable to this application. Further, I understand that any deviation from the application as requested shall require the express written approval of the Zoning Administrator.

Todd Buckner

1/24/23

Applicant Signature

Applicant Printed Name

Date

#### OFFICE USE ONLY BELOW

Zoning Approved       Not Approved      Authorization Conditions: \_\_\_\_\_

Signature of Building Commissioner or Designee: \_\_\_\_\_ Date: \_\_\_\_\_

1

**MEMORANDUM**



2

3

**CITY OF FLORISSANT- BUILDING DEPARTMENT**

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*  
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6

7

8 To: Planning and Zoning Commissioners Date: March 16, 2023

9

10 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.  
11 Director Public Works  
12 Deputy City Clerk  
13 Applicant  
14 File

15

16 Subject: Request **Recommended Approval** of a **'B-5' Rezoning at 495 Howdershell**  
17 **(Scrubbles Car Wash)** to allow for a new car wash and storage building in an existing 'B-  
18 3' Zoning District.

19

20 **STAFF REPORT**

21 **CASE NUMBER PZ-032023-2**

22

23 **I. PROJECT DESCRIPTION:**

24 This is a request recommended approval to Re-zone to a B-5 Zoning district to allow for  
25 a new car wash and storage building in existing B-3 District.

26

27 **II. EXISTING SITE CONDITIONS:**

28 The existing property at **495 Howdershell** is a vacant credit union.

29

30 The existing building on the property is proposed to be removed. The property consists  
31 of existing parking areas to be removed.

32

33

34 **III. SURROUNDING PROPERTIES:**

35 The adjacent property to the Northwest is Pelican Cove in an R-6 Multi-Family District.  
36 There is another property to the Northeast in an R-6 Multi-Family District at 2105  
37 Keeven, Villa De Cresta Apartments.

38

39

40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: C-1, C-2, C-3, C-4, C-  
42 5 all dated 2/20/23 by Bax Engineering, Planning, Surveying, A-3 Color Elevations  
43 (carwash) dated 2/17/23 by Levine and Associates and AD100.0, AD100.1, AD100.2  
44 AD200.0 AD200.0.1, AD200.1, AD200.2, AD200.2.1 (storage building) dated 2/16/23  
45 by MSS I Design, LLC., Photometric plan 1 of 1 dated 3/15/23 by St Louis Lighting  
46 Group. The Petitioner has proposed a tunnel-style car wash of brick, concrete  
47 architectural block and metal canopy. The following are Staff comments on the plans:  
48

- 49 • C-1: Development Notes highlights many requirements-
  - 50 ○ Area of Property is 2.45 acres.
  - 51 ○ Building area 23,263.74 s.f. of which application states
    - 52 ▪ Carwash 3867 s.f.
    - 53 ▪ Storage 19,396.74 s.f. footprint (x 3 stories)
  - 54 ○ Carwash Parking
    - 55 ▪ Stacking is 37 cars, 5 times the wash capacity and
    - 56 ▪ 6 staff parking including the accessible space.
    - 57 ▪ 30 total parking includes 24 vacuum stalls.
  - 58 ○ Storage building parking none proposed, 6 loading of which 1 is covered.
  - 59 ○ Sewer and Storm concepts adequately shown, bio retention in the rear
  - 60 ○ Greenspace 33.4%
  - 61 ○ Ground sign is located behind the 40' setback in a thin island that divides  
62 stacking from drying area.
  - 63 ○ Flagpole with lights near rubber mat cleaner island.
- 64 • C-2: Grading Plan: contours adequately shown.
- 65 • C-3: Photo of Existing Conditions on the site.
- 66 • C-4: Site Details include block retaining walls with guard rails and decorative  
67 fencing for fall protection, 6' vinyl privacy fence, 20 foot tall light poles on 3 foot  
68 base.
- 69 • C-5: Landscape Plan summary
  - 70 ○ Carwash Lot
    - 71 ▪ 2 trees, 60 perimeter shrubs required
    - 72 ▪ 210.26 feet of 6' vinyl fence north line provided
  - 73 ○ Storage Lot
    - 74 ▪ 1 trees, 120 perimeter shrubs required
    - 75 ▪ 174.56 feet 35 evergreens along north line provided
    - 76 ▪ 275 feet of 6' vinyl fence west line provided
  - 77 ○ 210 Shrubs provided total meets those required
  - 78 ○ Plantings along North line to help mitigate sound added.
- 79 • C-6: Site sections- A-A indicates sloping site from elevation of storage building  
80 relative to the smaller car wash. B-B shows neighboring apartment in relation to  
81 the car wash, whereas the much taller storage building not shown on B-B.
- 82 • 1 of 1: Photometric Plan indicates light levels down to 0.1 fc at perimeter.
- 83 • A-3 Comments:
  - 84 ○ Carwash colors provided include

- 85                   ▪ Bronze canopy, trash enclosure gates, vacuum screen roofing,
- 86                   gutters and trim.
- 87                   ▪ Split Face Block color: wainscot
- 88                   ▪ Field brick color
- 89       • AD100.0: First Floor color storage plan, total 427 storage units.
- 90       • AD100.1: Second Floor color storage plan
- 91       • AD100.2: Third Floor color storage plan
- 92       • AD100.3: Roof plan shows elevator through the roof.
- 93       • AD200.0 Comments: CMU1 and BRK1 are the same colors proposed for the
- 94       carwash, CMU-2 is a new block color and BRK-2 and BRK-3 are new brick
- 95       colors introduced into the design for the larger, 3 story building. MTL-2 slate
- 96       gray if for roof trim and doors, and MTL-3 if for clear anodized alum doors, SF-1
- 97       white is for downspouts and canopy.
- 98       • AD200.0.1: South and East elevations
- 99       • AD200.1: Axonometric views of 4 different angles.
- 100      • AD200.2: rear right and rear left views from the ground
- 101      • AD200.2.1 front right and rear left views from the ground

102

103 **VI. STAFF RECOMMENDATIONS:**

- 104
- 105       1. If recommended approval is granted, the attached suggested motion shall establish
- 106       regulations within this district.
- 107

108 **Suggested Motion for 495 Howdershell (Scrubbles Car Wash)**

109

110       I move to recommend approval of a ‘B-5’ Planned Commercial District, as

111       depicted by the attached drawings C-1, C-2, C-3, C-4, C-5 all dated 2/20/23 by

112       Bax Engineering, Planning, Surveying, A-3 Color Elevations (carwash) dated

113       2/17/23 by Levine and Associates and AD100.0, AD100.1, AD100.2 AD200.0

114       AD200.0.1, AD200.1, AD200.2, AD200.2.1 (storage building) dated 2/16/23 by

115       MSSI Design, LLC., Photometric plan 1 of 1 dated 3/15/23 by St Louis Lighting

116       Group, with permitted uses allowed being a car wash and storage building and the

117       following additional requirements:

118

119       1. **PERMITTED USES**

120           The uses permitted for this property shall be limited to car wash and storage

121           building as shown in detail on the attached drawings. Other uses than those

122           permitted shall require approval by amendment to this ‘B-5’ Ordinance.

123

124       2. **FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

125           The building space shall be limited to a single story 3867 SF car wash and 3

126           story 19,396.74 s.f. (footprint) storage building.

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128       3. **PERFORMANCE STANDARDS**



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In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
  - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
  - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

#### 4. TRASH ENCLOSURES

Trash container shall be kept within a gated sight-proof area as shown.

#### 5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

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3. **SITE DEVELOPMENT PLAN CRITERIA:**

a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District apply.

b. Internal Drives:

(1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

(1) Parking spaces provided on the property shall be **as depicted on drawing C-1 attached.**

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

(1) **Ground sign shall be as located on C-1.**

(2) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

(2) An automatic permanent irrigation system shall be designed and installed to cover all landscaped areas.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

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- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

**7. FINAL SITE DEVELOPMENT PLAN**

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

**8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner shall make a determination as to the extent of the changes per the following procedure:

- 1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
- 2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City



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Council.

3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

**9. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

**10. GENERAL DEVELOPMENT CONDITIONS.**

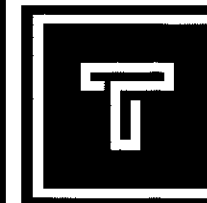
- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

**9. PROJECT COMPLETION.**

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

(end report and suggested motion)





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kernersville, nc 27285  
336.413.0601  
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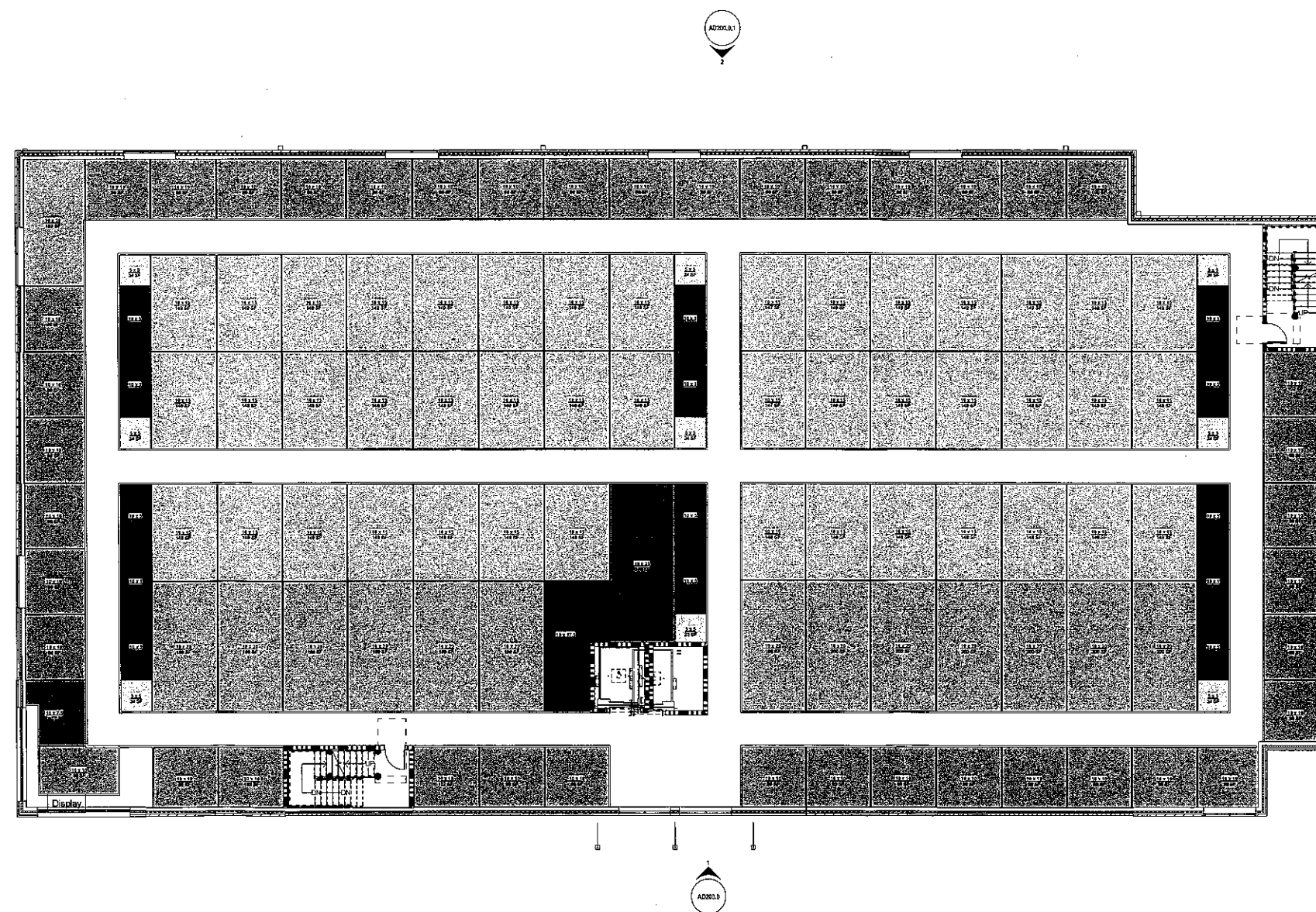
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Project Name: SCRUBBERS GARAGE  
Floor/Suit No.:

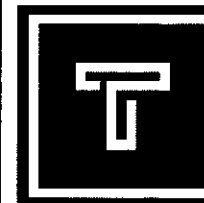
Commission Number: XXXXXX  
Issue Date: 2/28/23  
Revisions:

Architectural-  
Second Floor Plan

AD100.1  
Sheet No.

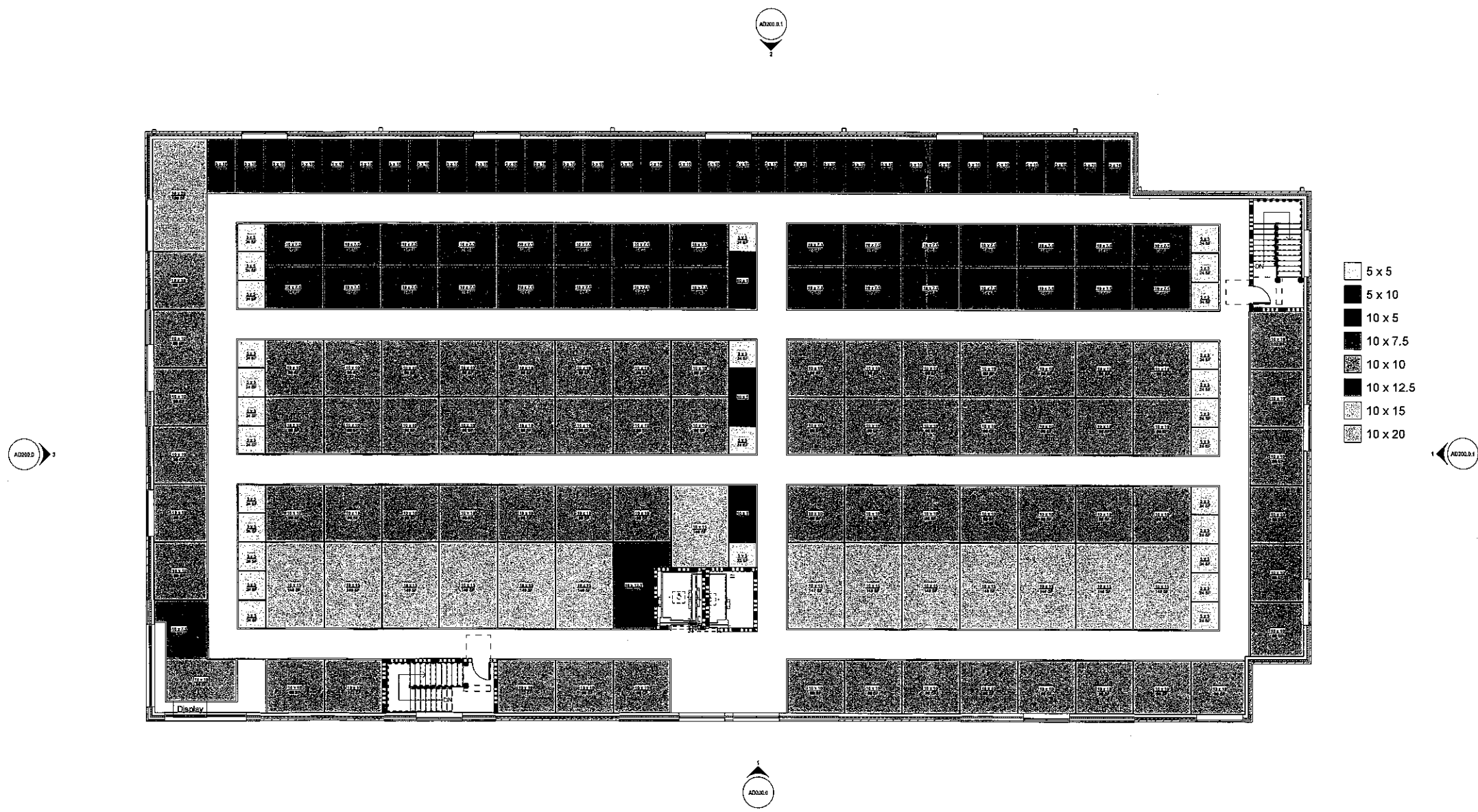


AD100.1.1 - Second Floor Plan  
1/8" = 1'-0"



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- 5 x 5
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- 10 x 5
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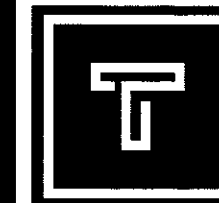
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**Commission:**  
  
  
**Commission Number:** \_\_\_\_\_  
**Issue Date:** \_\_\_\_\_  
**Revisions:** \_\_\_\_\_

AD100.2.1 - Third Floor Plan  
1/8" = 1'-0"

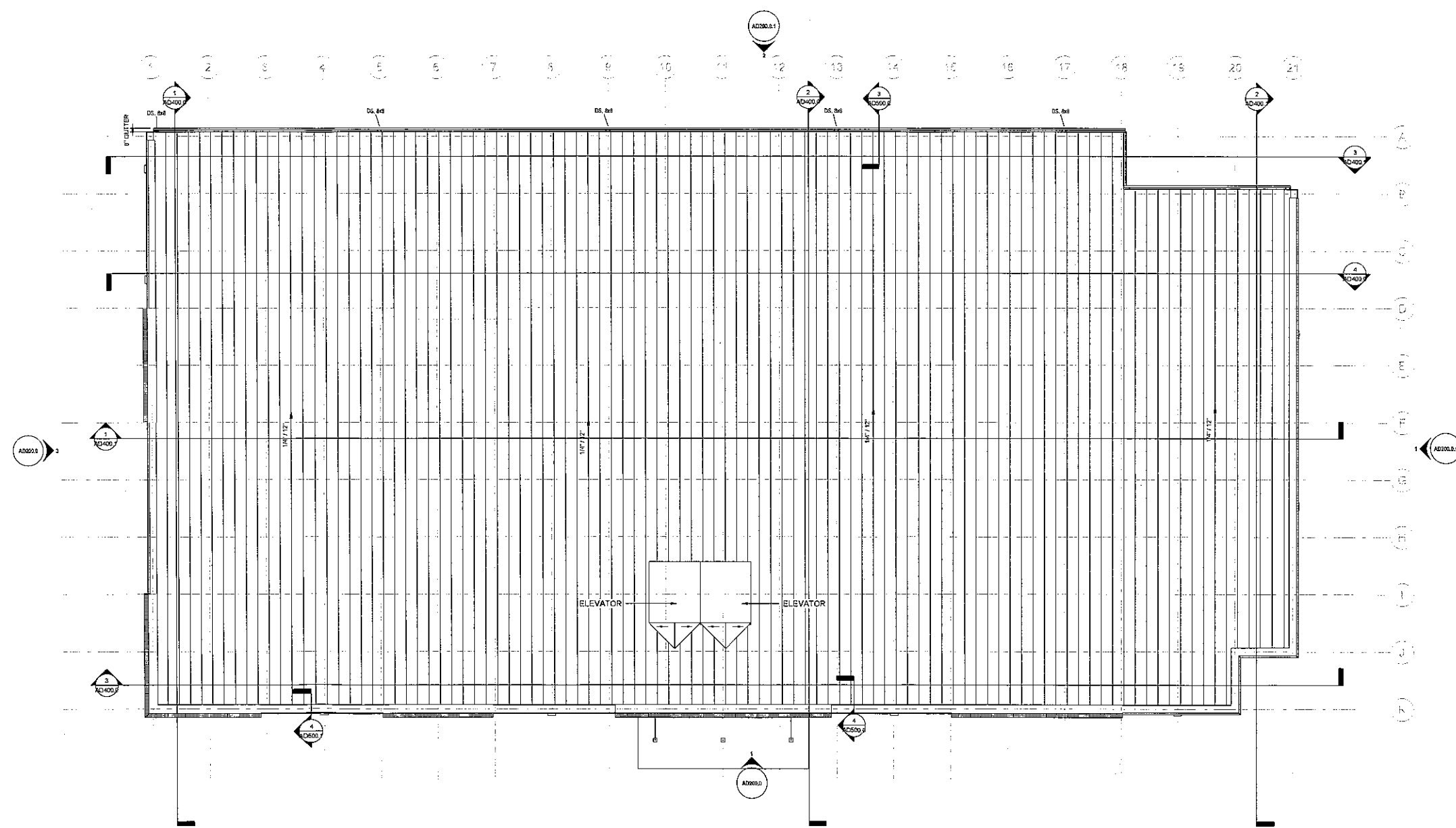
Architectural-  
Third Floor Plan

**AD100.2**  
Sheet No.



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**Commission:**  
SERRAVALLE CARRIWAY  
FLORISSANT, MO

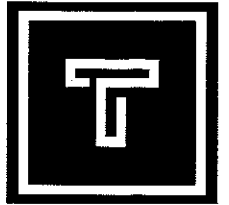
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XX-XXXX  
**Issue Date:**  
05/20/11  
**Revisions:**

Architectural-  
Roof Plan

**AD100.3**  
Sheet No.

**AD100.3.1 - Roof Plan**  
1/8" = 1'-0"

MECHANICAL UNITS TO BE LOCATED ON THE GROUND

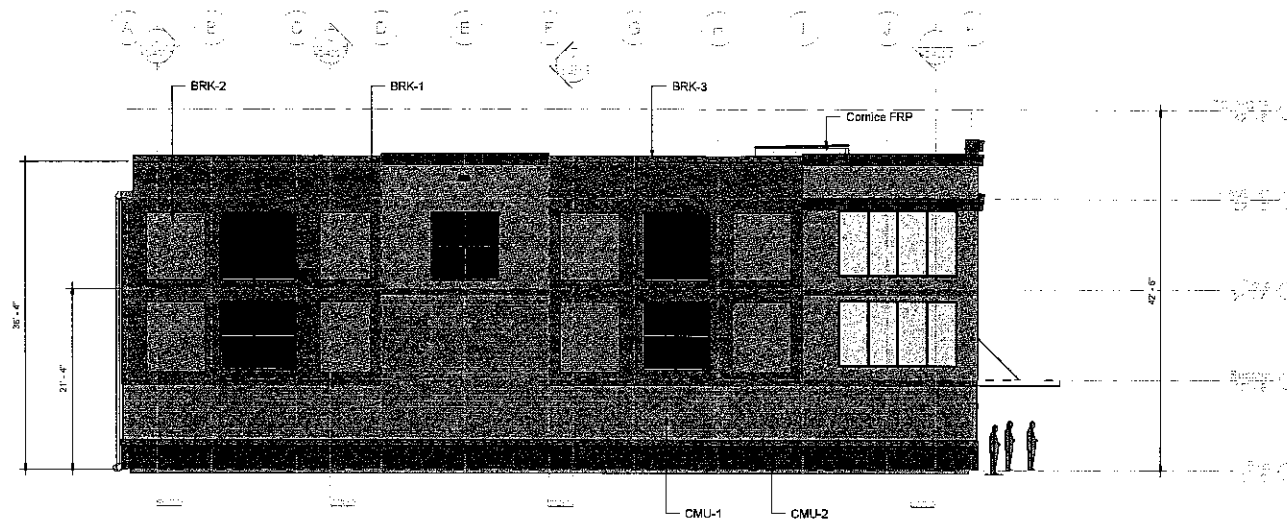


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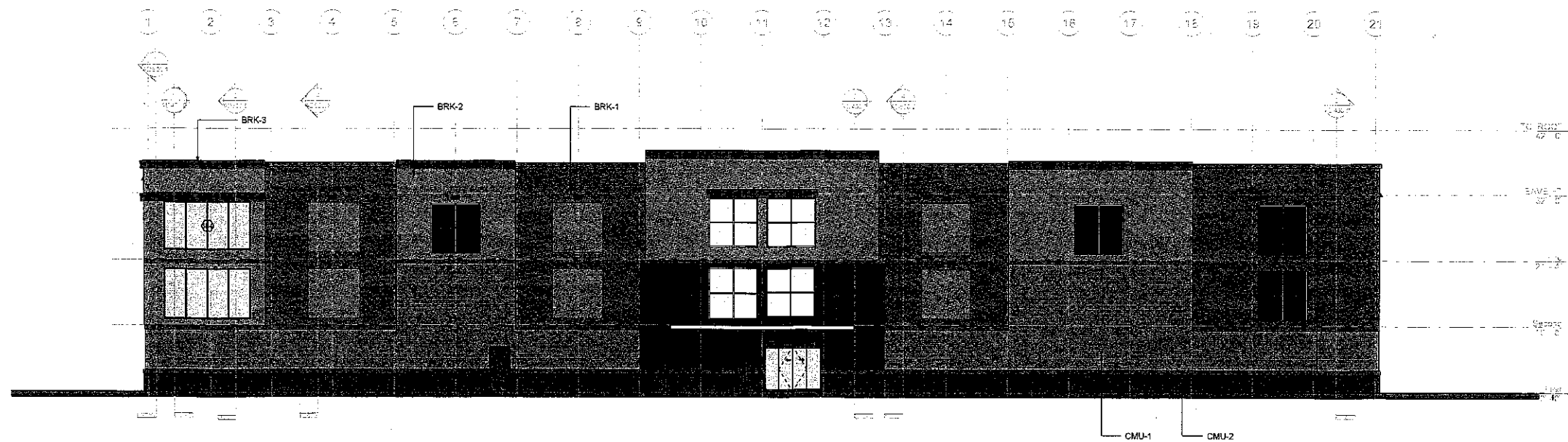
MATERIALS LEGEND			
	CMU-1 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: SOFT GOLD		BRK-1 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_SAVANNAH BLEND
	CMU-2 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: EARL GREY		BRK-2 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_GREY STONE
			BRK-3 ARCHITECTURAL BRICK VENEER ROWLOCK MFR: COUNTY MATERIALS COLOR: HERITAGE_AMBER ROSE
			MTL-2 MISCELLANEOUS METALS (PARAPET COPING, GUTTER / D.S. HM EXT. DOORS, ETC) COLOR: SLATE GRAY
			MTL-3 WINDOW/DOOR FRAMES, GLASS MFR: YKK COLOR: CLEAR
			SF-1 STORE-FRONT MFR: YKK GLASS: CLEAR

MATERIALS LEGEND Copy 1  
1/8" = 1'-0"



AD200.0.3 - NORTH ELEVATION

1/8" = 1'-0"



AD200.0.1 - WEST ELEVATION(FACING HWY 321)

1/8" = 1'-0"

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Commission: \_\_\_\_\_  
 SUBMITTER: CARWASH  
 FLORISSANT, MO  
 Commission Number: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Revisions: \_\_\_\_\_

Architectural-  
Exterior Elevations

AD200.0  
Sheet No.

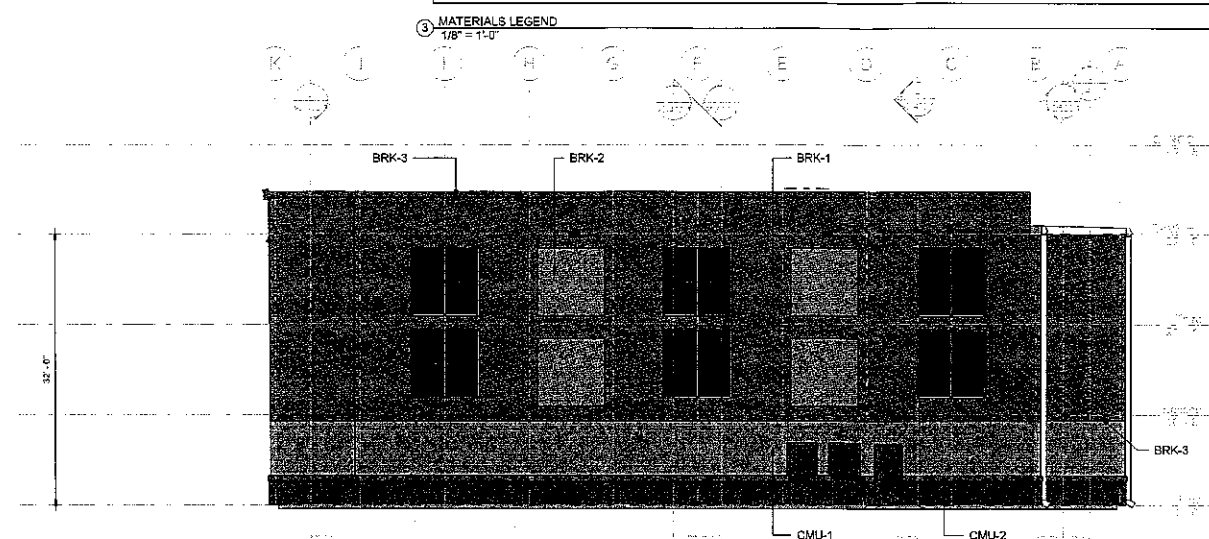




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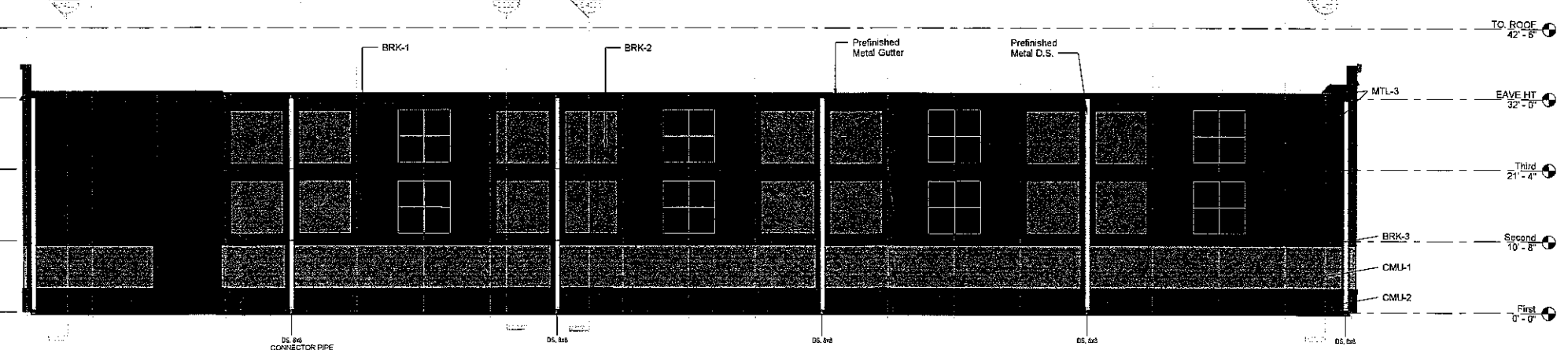
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MATERIALS LEGEND			
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	CMU-2 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: EARL GREY		BRK-2 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_GREY STONE
			BRK-3 ARCHITECTURAL BRICK VENEER ROWLOCK MFR: COUNTY MATERIALS COLOR: HERITAGE_AMBER ROSE
			MTL-2 MISCELLANEOUS METALS (PARAPET COPING, GUTTER / D.S., HM EXT. DOORS, ETC) COLOR: SLATE GRAY
			MTL-3 WINDOW/DOOR FRAMES, GLASS MFR: YKK COLOR: CLEAR
			SF-1 STORE-FRONT MFR: YKK GLASS: CLEAR



AD200.0.1.1 - SOUTH ELEVATION

1/8" = 1'-0"



AD200.0.1.2 - EAST ELEVATION

1/8" = 1'-0"

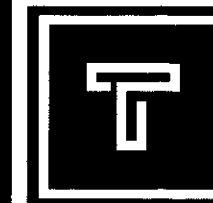
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CONTRACTOR:  
SCHAUBLES CARWASH  
FLORISSANT, MO

Commission Number: XXXXXXXX  
Issue Date: 10/2/23  
Revisions:

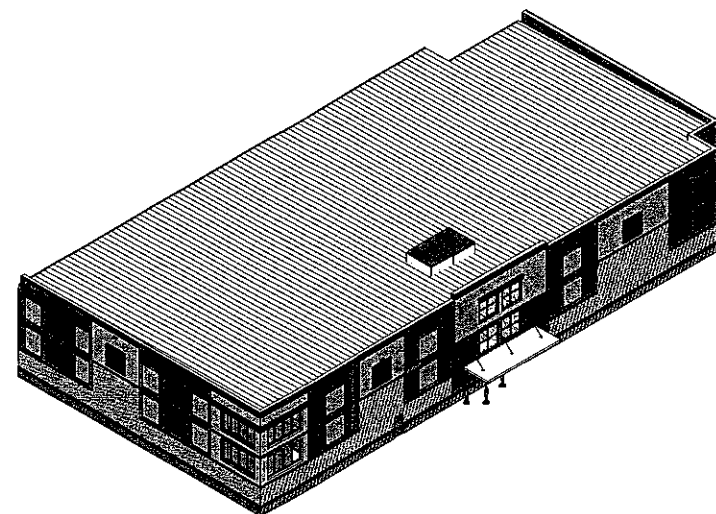
Architectural-  
Exterior Elevations

AD200.0.1  
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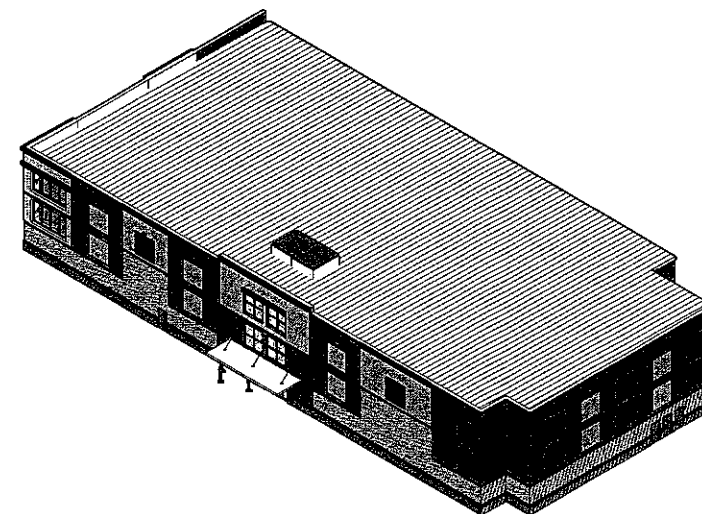


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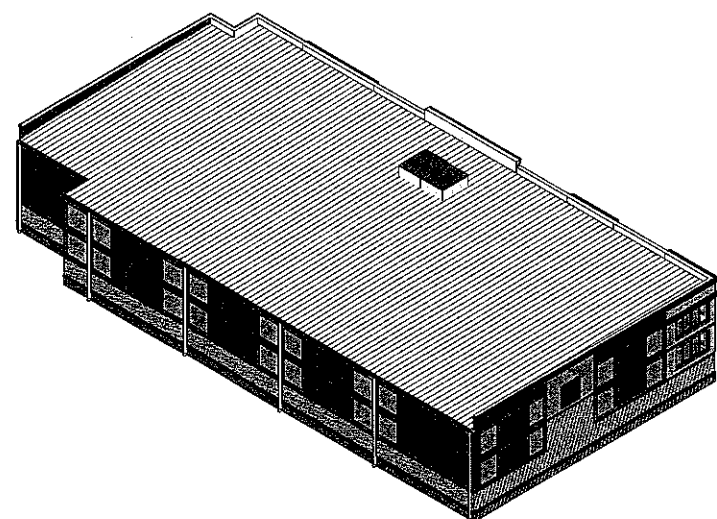
Owner Review Submission  
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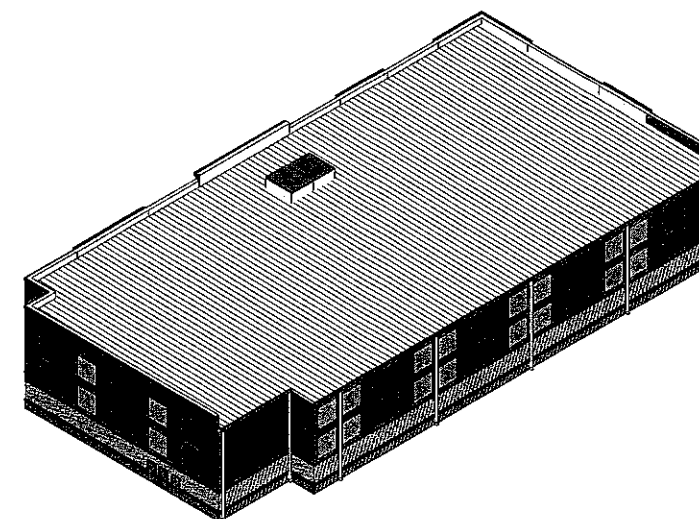
AD200.1.3 - Axon View



AD200.1.2 - Axon View



AD200.1.1 - Axon View



AD200.1.0 - Axon View

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Commission:  
SCHUBBLES GARVACH  
FLORENCE, NC

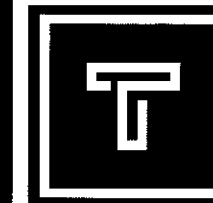
Commission Number:  
XXXXXX  
Issue Date:  
XXXXXX  
Revision:

Architectural-  
Axon Views

**AD200.1**  
Sheet No.

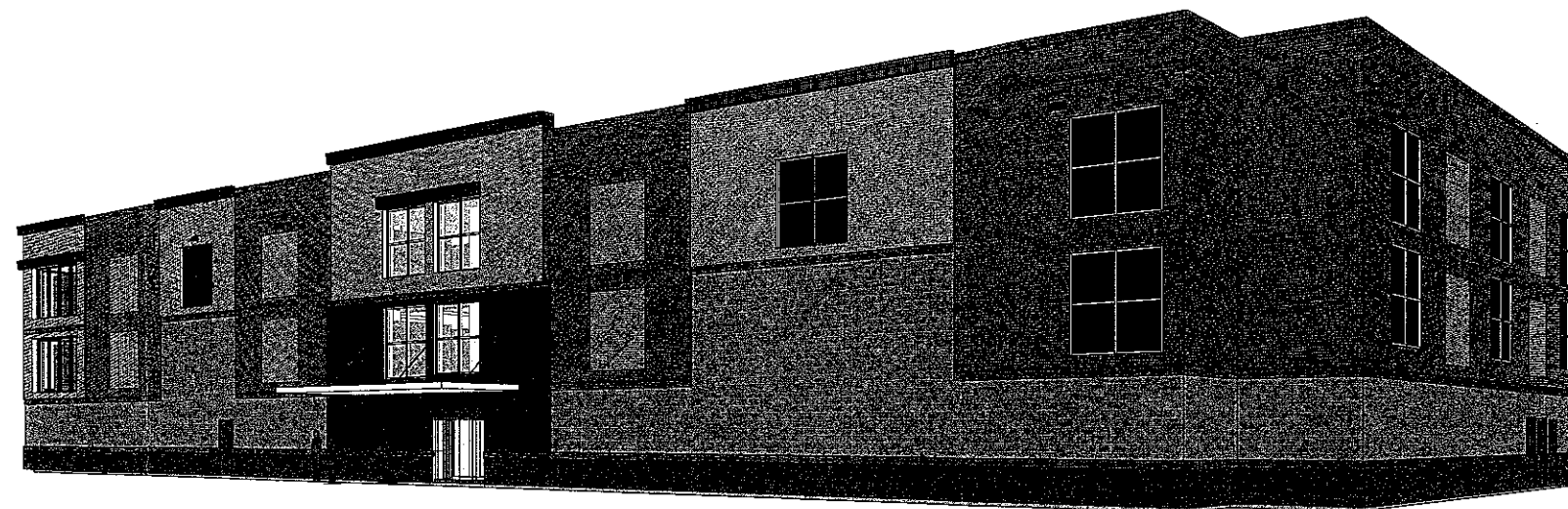




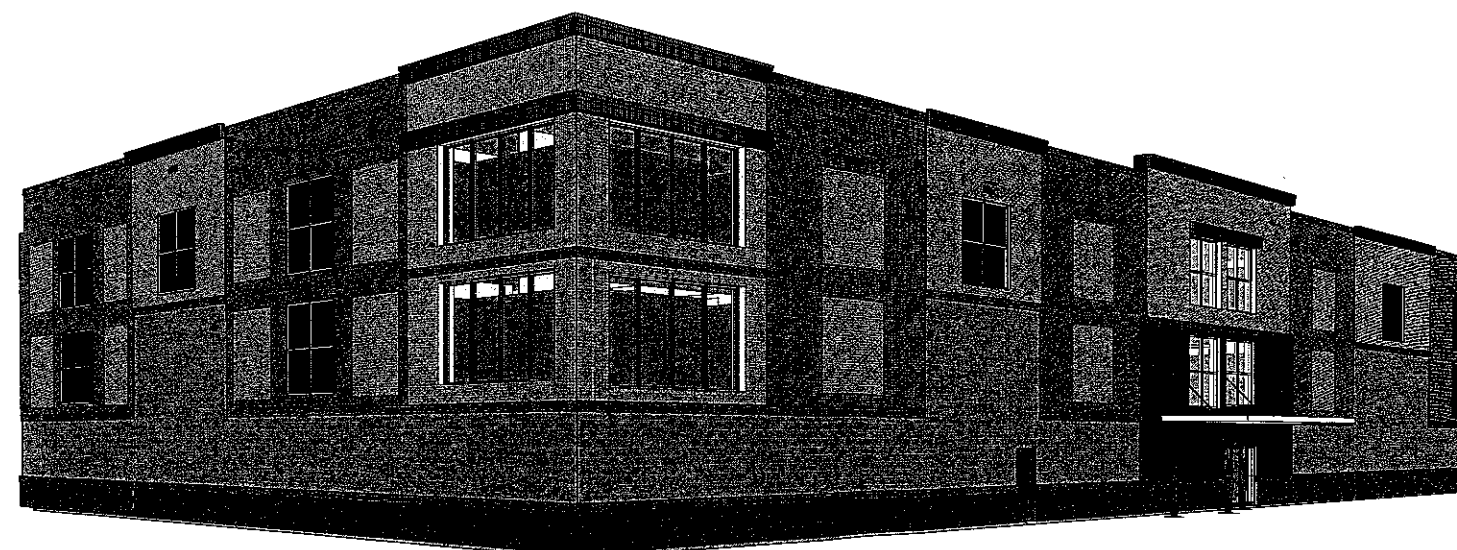


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kernersville, nc 27285  
336.413.0601  
www.tatearchitecture.com

Owner Review Submission  
Not for Permit or Construction



AD200.2.1.1 - 01 Front Right



AD200.2.1.2 - 02 Front Left

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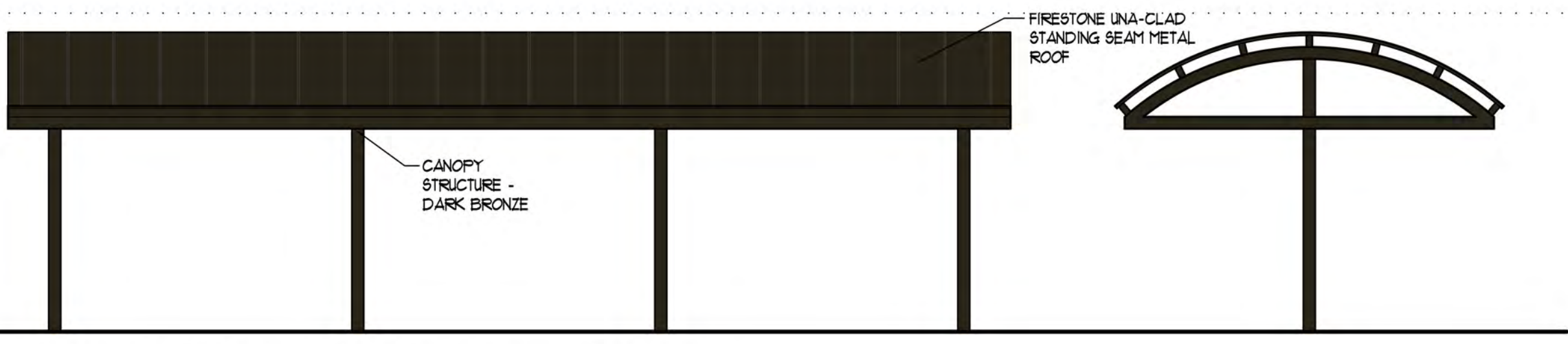
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SCHAUBLES CARRIAGE  
FLORRISSANT, MO

**Commission Number**  
XXXXXX  
**Issue Date**  
XXXXXX  
**Revisions**

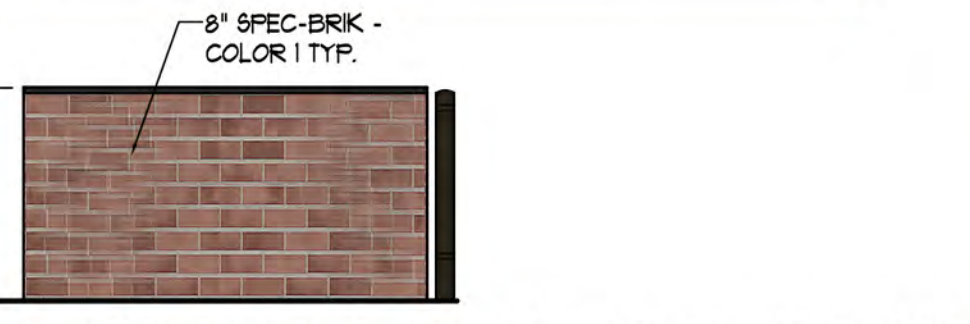
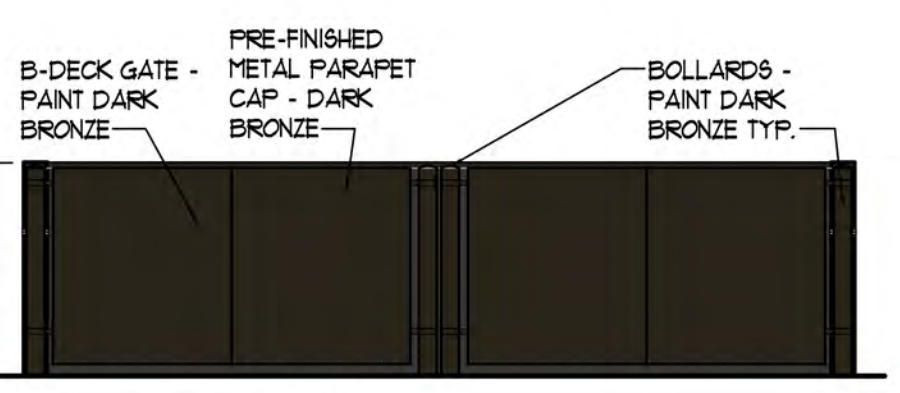
Architectural-  
3D Perspective Views

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Sheet No.

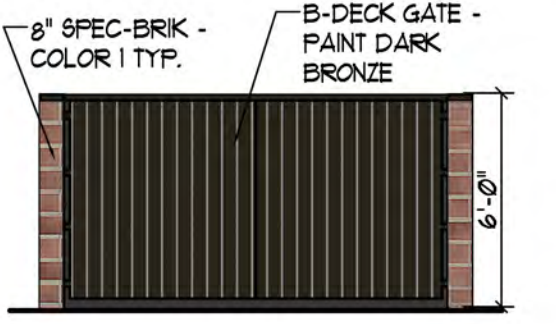




**PAY STATION CANOPY ELEVATIONS**  
SCALE: 3/16" = 1'-0"



**TRASH ENCLOSURE ELEVATIONS**  
SCALE: 3/16" = 1'-0" (23'-4" X 11'-4" ENCLOSURE)



**VACUUM SCREENING**  
SCALE: 3/16" = 1'-0" (12'-0" X 6'-4" ENCLOSURE)



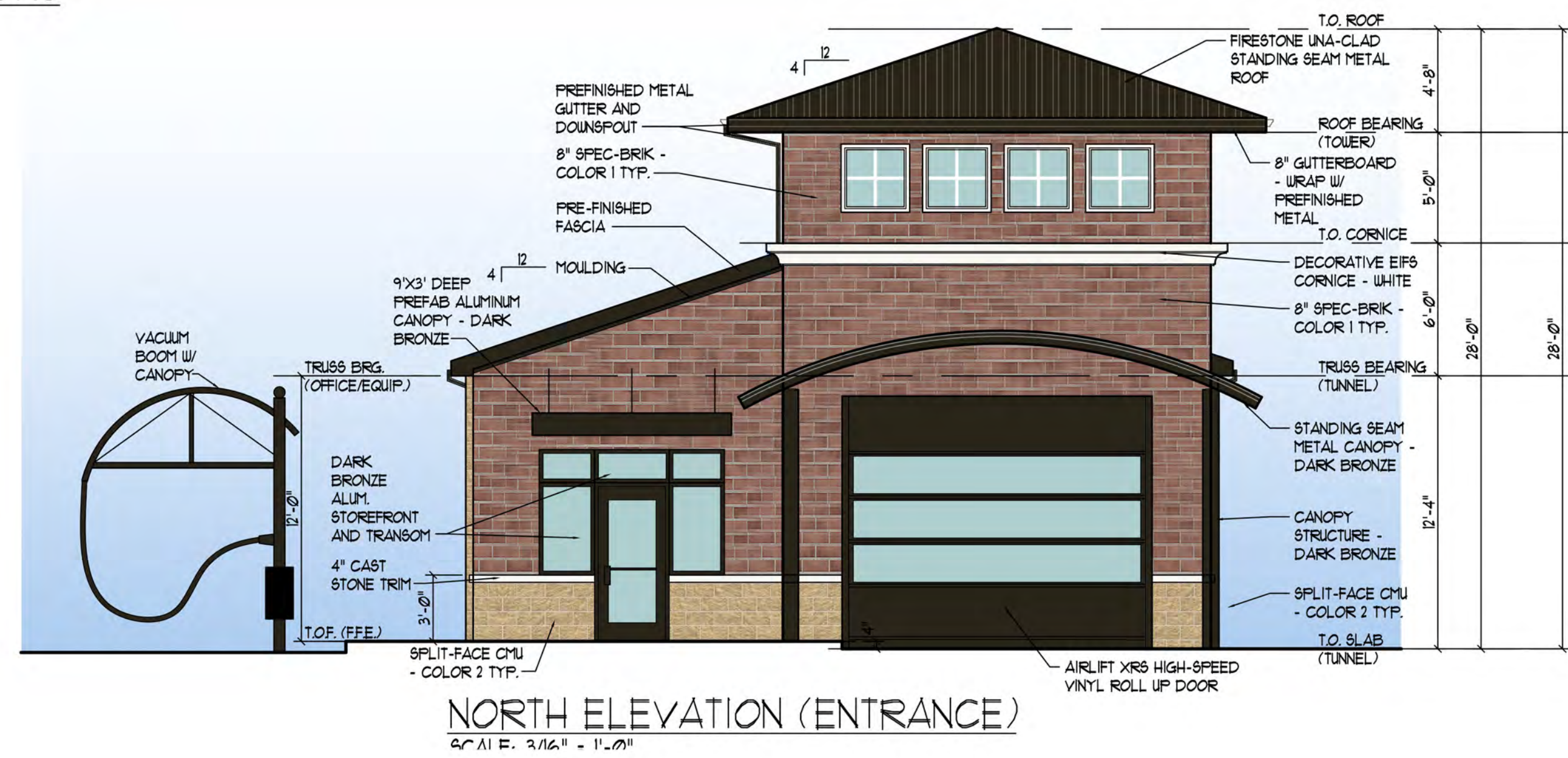
Dark Bronze Roofs and accents



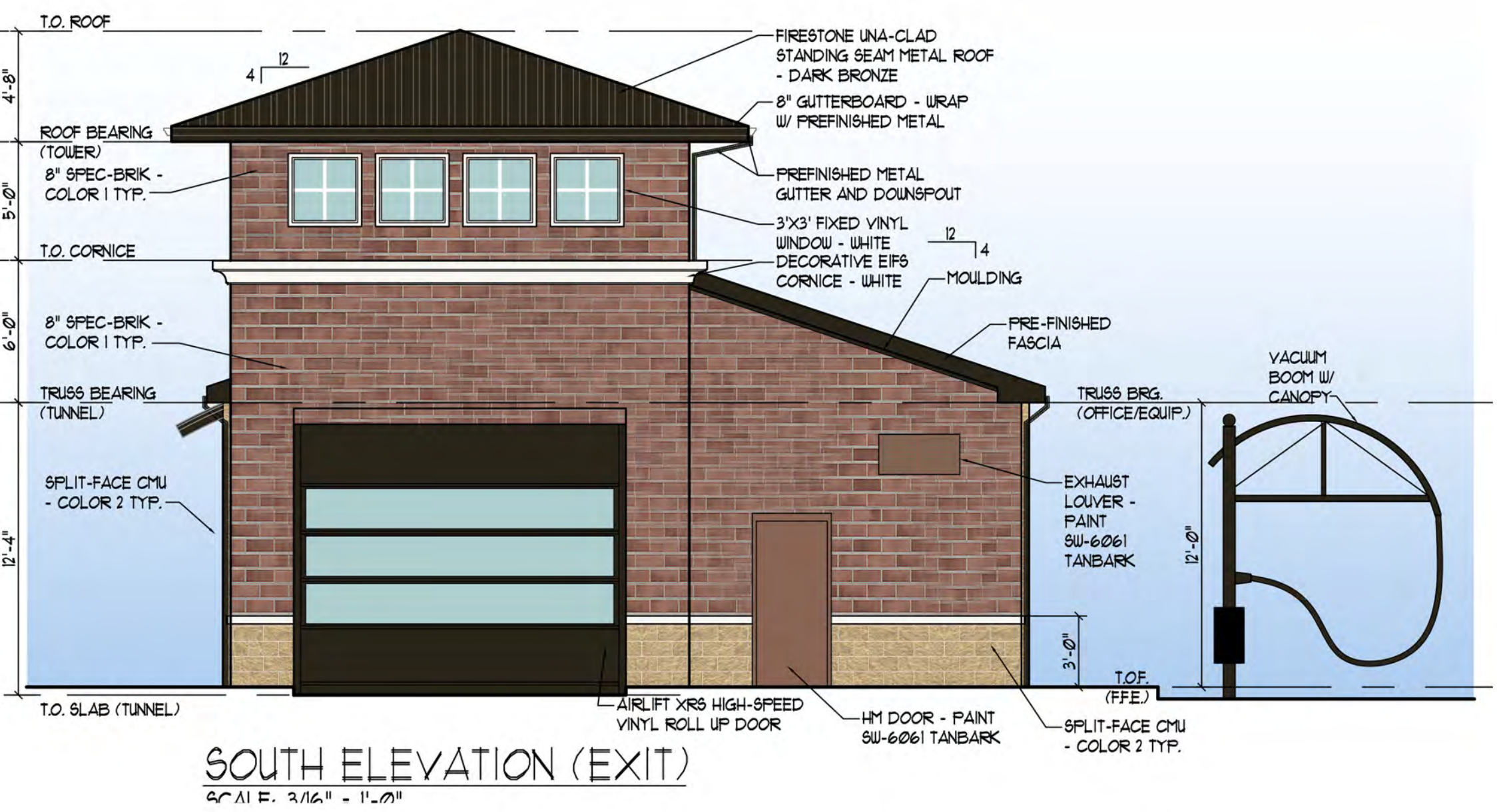
Best Brick Savannah Blend Field Brick



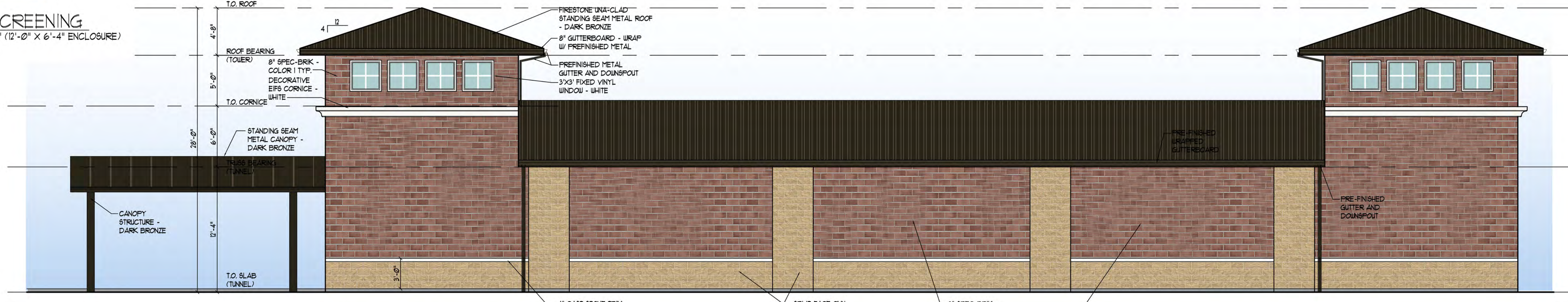
Midwest Block Soft Gold Split-face CMU Piers and Wainscott



**NORTH ELEVATION (ENTRANCE)**  
SCALE: 3/16" = 1'-0"



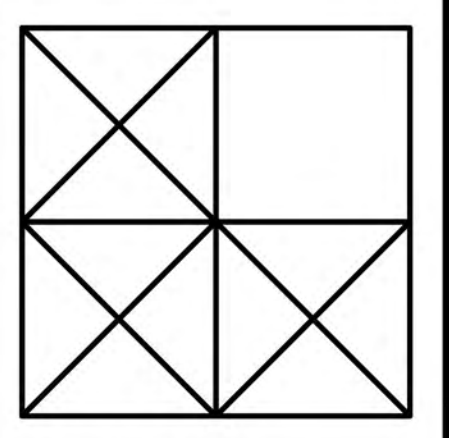
**SOUTH ELEVATION (EXIT)**  
SCALE: 3/16" = 1'-0"



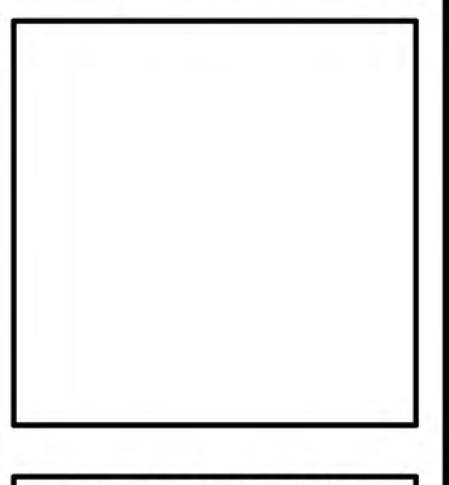
**WEST ELEVATION (STORAGE SIDE)**  
SCALE: 3/16" = 1'-0"



**EAST ELEVATION (VACUUM SIDE)**  
SCALE: 3/16" = 1'-0"



**LEVINE**  
*associates*  
architecture · interiors · planning  
2025 South Brentwood Boulevard, Suite 101  
Saint Louis, Missouri 63144  
Phone: 314-991-9500



ARCHITECT: ALVАН M. LEVINE  
MO LICENSE A-4246  
ALVАН M. LEVINE, INC.  
DBA LEVINE ASSOCIATES  
CERTIFICATE OF AUTHORITY  
LICENSE NUMBER A-2019040325

elevations  
NEW BUILDING FOR SCRUBBLES CAR WASH  
495 HOWDERSHELL ROAD  
FLORISSANT, MISSOURI 63031  
CISSELL MUELLER CONSTRUCTION, INC., GENERAL CONTRACTOR

REVISIONS		
NO.	DATE	ITEM

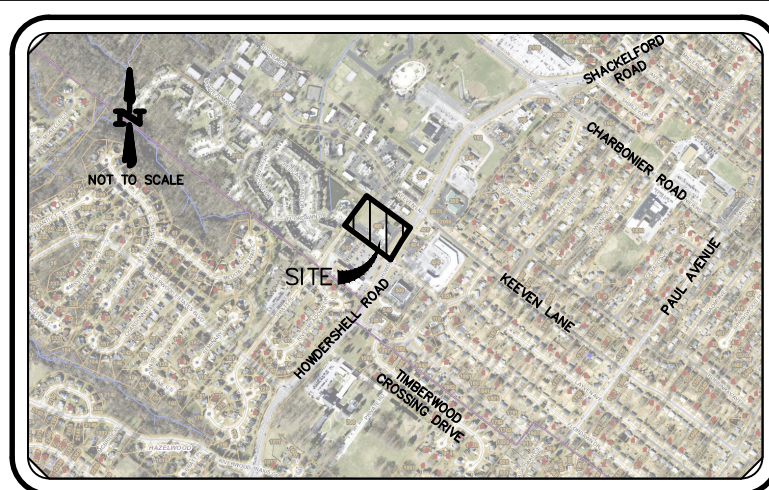
SHEET NO.  
**A-3**

ISSUE DATE: 2-17-23  
PROJECT #: 229305  
DRN. CMC CHK. AM



# A SITE PLAN/PRELIMINARY PLAT FOR HOWERSHELL CAR WASH AND STORAGE BUILDING

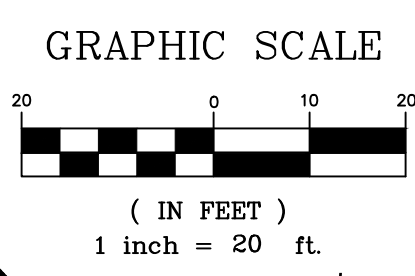
A TRACT OF LAND BEING  
PART OF U.S. SURVEY 163 OF  
ST. FERDINAND COMMON FIELDS  
TOWNSHIP 47 NORTH, RANGE 6 EAST  
CITY OF FLORISSANT,  
ST. LOUIS COUNTY, MISSOURI



Location Map

## LEGEND

	FLARED END SECTION		WATER METER		BURIED ELECTRIC
	CURB/AREA INLET		GAS VALVE		OVERHEAD UTILITIES
	STORM SEWER MANHOLE		WATER VALVE		BURIED GAS
	SANITARY SEWER MANHOLE		FIRE HYDRANT		BURIED WATER
	PIPELINE MARKER		TREE		BURIED TELEPHONE
	AC UNIT		BUSH		SANITARY SEWER
	ELECTRIC BOX		TREE STUMP		FENCE LINE
	ELECTRIC TRANSFORMER		CONCRETE WALKS/ENTRANCES		BENCHMARK
	TRAFFIC CONTROL BOX		CONCRETE DRIVES		FOUND MONUMENT
	TELEPHONE BOX		GRAVEL		SET MONUMENT
	ELECTRIC METER		L.A. LANDSCAPED AREA		
	GAS METER				



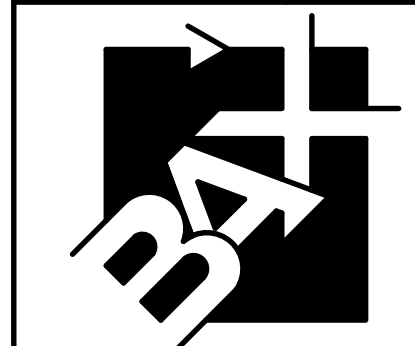
## SHEET INDEX

- C-1 SITE PLAN
- C-2 EXISTING PLAN
- C-3 EXISTING SITE CONDITIONS/DEMO PLAN
- C-4 DETAILS
- C-5 LANDSCAPING PLAN
- C-6 SITE CROSS SECTIONS

## DEVELOPMENT NOTES:

1. AREA OF TRACT: 2.475 ACRES (PROPOSED LOT 1 CAR WASH 1.302 ACRES) (PROPOSED LOT 2 STORAGE 1.173 ACRES)
2. EXISTING ZONING: "B-3" EXTENSIVE COMMERCIAL DISTRICT (CITY OF FLORISSANT)
3. PROPOSED ZONING: "B-5" PLANNED COMMERCIAL DISTRICT (CITY OF FLORISSANT)
4. SITE ADDRESS: 495 HOWERSHELL RD FLORISSANT, MO 63031
5. PROPOSED USE: CAR WASH AND CLIMATE CONTROLLED MULTI-STORY SELF STORAGE
6. OWNER: SCRUBBLES EXPRESS WASH HOWERSHELL, LLC P.O. BOX 7726 TIFTON, GA 31794
7. SITE IS SERVED BY: ST. LOUIS METROPOLITAN SEWER DISTRICT (314) 768-6200 MISSOURI AMERICAN WATER (866) 430-0820 AMEREN UE ELECTRIC COMPANY (866) 992-6619 SPIRE GAS COMPANY (314) 658-5417 AT&T DISTRIBUTION (636) 949-4230 CHARTER COMMUNICATIONS (636) 387-6632 FLORISSANT VALLEY FIRE PD (314) 837-4894
8. THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:  
MINIMUM FRONT YARD: 40 FEET  
MINIMUM SIDE YARD: 35 FEET, WHEN ADJACENT TO "R" RESIDENTIAL  
MINIMUM REAR YARD: 35 FEET, WHEN ADJACENT TO "R" RESIDENTIAL  
BUILDING HEIGHT: 3-STORY OR 45 FEET
9. PARKING REQUIREMENTS:  
CAR WASH: STACKING EQUAL TO 5 TIMES THE CAPACITY OF THE CAR WASH, BEYOND CARS IN CAR WASH 3 CARS CAN BE INSIDE WASH AT ANY GIVEN TIME  
TOTAL STACKING REQUIRED = 5 x 3 = 15 SPACES  
TOTAL STACKING PROVIDED = 37 SPACES EXTERIOR TO WASH BAY  
TOTAL EMPLOYEE PARKING = 6 (INCLUDING 1 ACCESSIBLE SPACE)
10. STORAGE BUILDING: 3.33 SPACES PER 1,000 GROSS FLOOR AREA OF OFFICE PLUS 1 PER CARETAKER NO OFFICE IS BEING PROVIDED AND NO CARETAKER WILL BE ONSITE. 5 UNCOVERED LOADING/UNLOADING SPACES PROVIDED 1 COVERED LOADING/UNLOADING SPACE PROVIDED
11. LANDSCAPE REQUIREMENTS: TREE PER EVERY 15 PARKING SPACES  
1 PLANT PER 5 LINEAL FEET OF EXTERIOR BUILDING WALL AROUND PERIMETER  
15 FOOT BUFFER ALONG RESIDENTIAL ZONED DISTRICTS TO INCLUDE EITHER/AND OR 6-FOOT TALL EVERGREENS AT 10 FOOT INTERVALS OR A 6-FOOT TALL SIGHT PROOF FENCE.  
CAR WASH LOT: 30 CAR PARKING (6+24 VAC STALLS) = 2 TREES REQUIRED FOR PARKED AREAS BLDG PERIMETER 301 FEET = 60 PLANTS REQUIRED ADJACENT NORTH LOT RESIDENTIAL 210.26 FEET = 21 EVERGREEN TREES FOR BUFFERYARD OR 6-FOOT TALL SIGHT PROOF FENCE. A SIGHT PROOF FENCE WILL BE INSTALLED DUE TO LACK OF AREA FOR TREE PLANTINGS WITH UTILITY AND RETAINING WALL IN THE AREA.  
STORAGE LOT: 6 CAR PARKING/LOADING ZONES = 1 TREE REQUIRED BLDG PERIMETER 596 FEET = 120 PLANTS REQUIRED ADJACENT NORTH LOT RESIDENTIAL 174.56 FEET = 17 EVERGREEN TREES FOR BUFFERYARD ADJACENT WEST LOT RESIDENTIAL 275 FEET = 27.5 ~ 28 EVERGREEN TREES FOR BUFFERYARD OR 6-FOOT TALL SIGHT PROOF FENCE. A SIGHT PROOF FENCE WILL BE INSTALLED DUE TO LACK OF AREA FOR TREE PLANTINGS WITH UTILITY AND RETAINING WALL IN THE AREA.
12. TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29189C0061K, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015.  
COMMUNITY: CITY OF FLORISSANT  
NUMBER: 290352  
PANEL: 0061  
SUFFIX: K  
BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."  
THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THE DATE THIS SURVEY WAS SIGNED AND SEALED.
13. DIFFERENTIAL RUN-OFF CALCULATIONS:  
0.66 ACRES INCREASED IMPERVIOUS AREA  
0.66 ACRE (3.54-1.70) = 1.21 C.F.S. (INCREASE IN RUN-OFF)
14. ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND PER ORDINANCE.
15. ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH OSHA STANDARDS.
16. ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF FLORISSANT STANDARDS.
17. THIS PLAN IS PRELIMINARY AND NOT FOR CONSTRUCTION.

A SITE PLAN FOR  
**HOWERSHELL CAR WASH AND STORAGE BUILDING**  
495 HOWERSHELL ROAD  
FLORISSANT, MO 63031

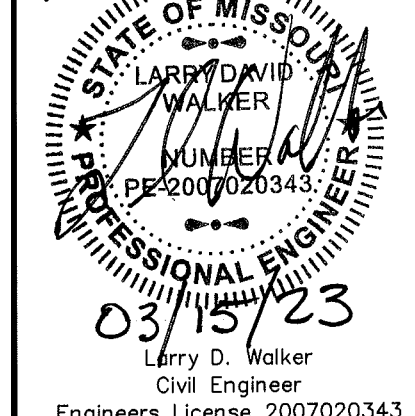


**ENGINEERING  
PLANNING  
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221 Point West Blvd.  
St. Charles, MO 63031  
636-928-5552  
FAX 928-1718

Box Engineering Company, Inc.  
Missouri State Certificate of Authority  
Engineering #000655  
Missouri State Certificate of Authority  
Surveying #000144

REVISIONS
03-15-23 CITY COMMENTS
03-15-23 ADD ADA STALL

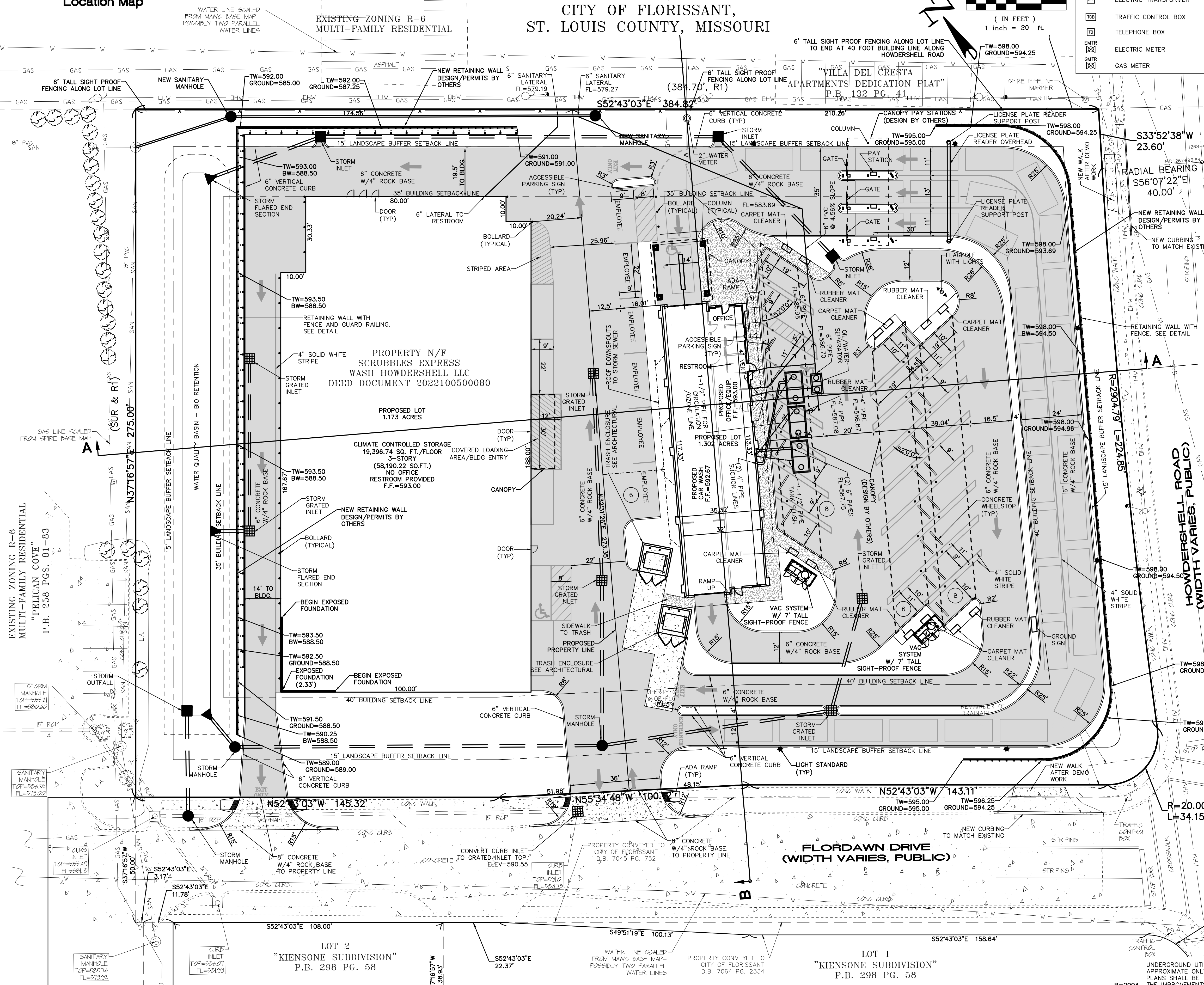
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DATE: 02-20-23  
22-18717  
PROJECT NUMBER: 18717PRE.DWG  
FILE NAME: SWR DRAWN: SWR DWG DESIGNED: LDW CHECKED:

COVER SHEET

C-1

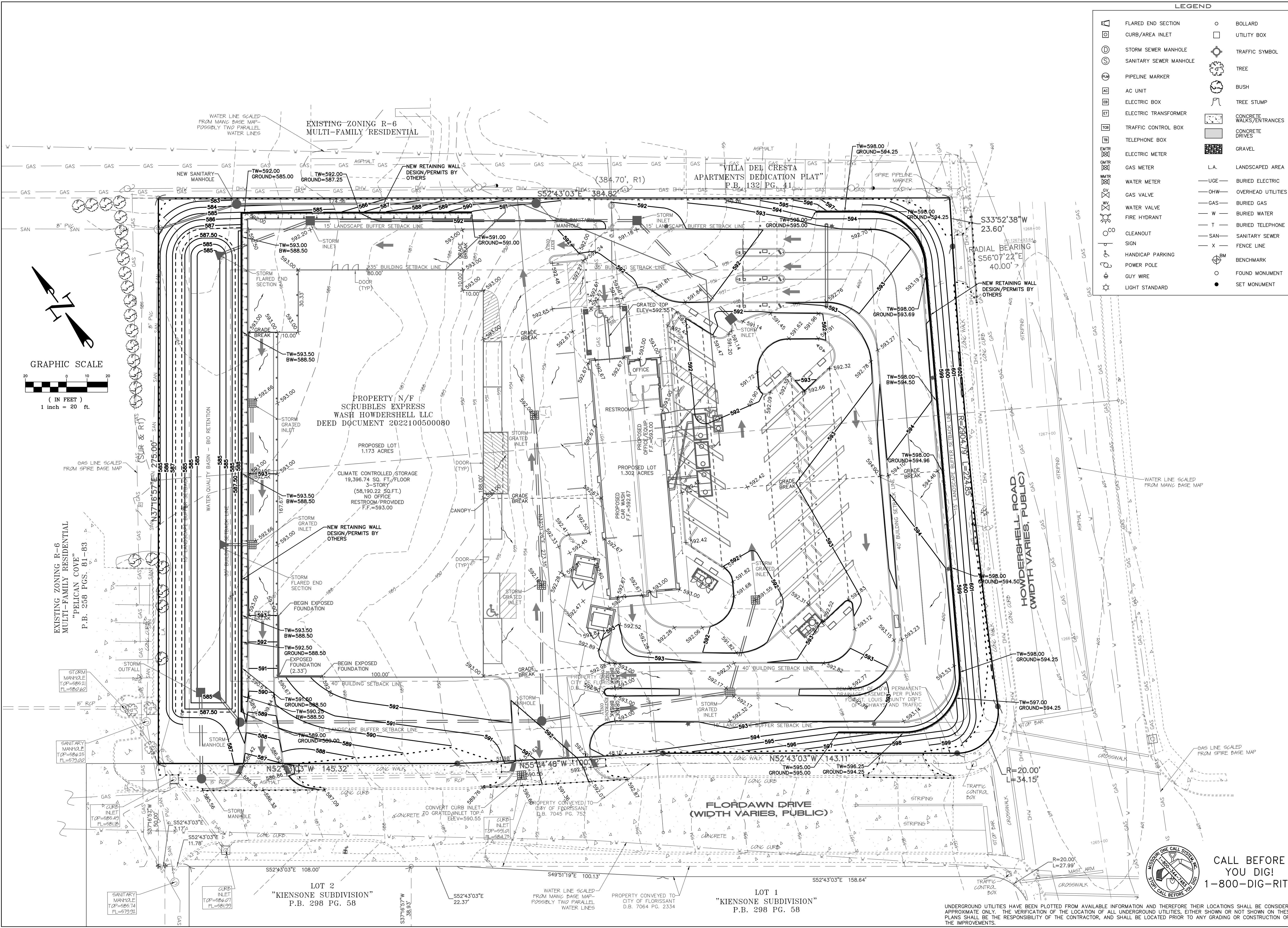


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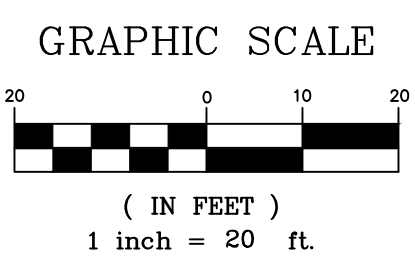
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF THE UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.





**LEGEND**

	FLARED END SECTION		BOLLARD
	CURB/AREA INLET		UTILITY BOX
	STORM SEWER MANHOLE		TRAFFIC SYMBOL
	SANITARY SEWER MANHOLE		TREE
	PIPELINE MARKER		BUSH
	AC UNIT		TREE STUMP
	ELECTRIC BOX		CONCRETE WALKS/ENTRANCES
	ELECTRIC TRANSFORMER		CONCRETE DRIVES
	TRAFFIC CONTROL BOX		GRAVEL
	TELEPHONE BOX		L.A. LANDSCAPED AREA
	ELECTRIC METER		— UGE — BURIED ELECTRIC
	GAS METER		— OHW — OVERHEAD UTILITIES
	WATER METER		— GAS — BURIED GAS
	GAS VALVE		— W — BURIED WATER
	WATER VALVE		— T — BURIED TELEPHONE
	FIRE HYDRANT		— SAN — SANITARY SEWER
	CLEANOUT		— X — FENCE LINE
	SIGN		BM BENCHMARK
	HANDICAP PARKING		○ FOUND MONUMENT
	POWER POLE		● SET MONUMENT
	GUY WIRE		
	LIGHT STANDARD		



A SITE PLAN FOR  
**HOWDERSHELL CAR WASH AND STORAGE BUILDING**  
 495 HOWDERSHELL ROAD  
 FLOISSANT, MO 63031

**Engineering Planning Surveying**

221 Point West Blvd.  
 St. Charles, MO 63301  
 636-928-5552  
 FAX 928-1718

Box Engineering Company, Inc.  
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 Engineering #000655  
 Missouri State Certificate of Authority  
 Surveying #000144

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03-15-23	CITY COMMENTS
03-15-23	ADD ADA STALL

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STATE OF MISSOURI  
 LARRY D. WALKER  
 PROFESSIONAL ENGINEER  
 NUMBER: PE2007020343  
 EXPIRES: 03/15/23  
 Larry D. Walker  
 Civil Engineer  
 Engineers License 2007020343

02-20-23	DATE
22-18717	PROJECT NUMBER
18717PRE.DWG	FILE NAME
SWR	DRAWN
SWR LDW	DESIGNED CHECKED

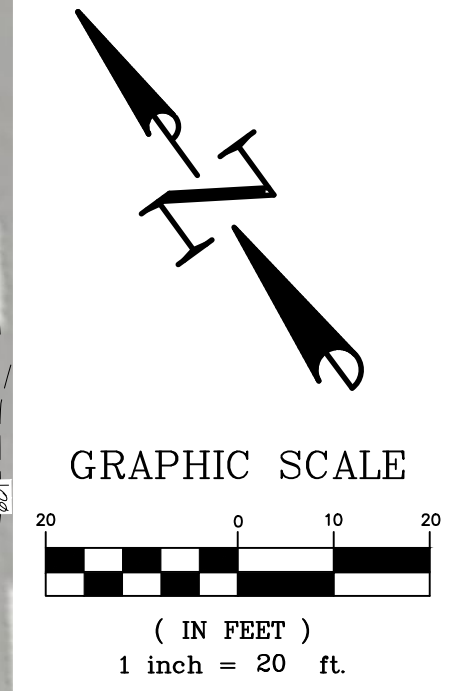
GRADING PLAN

**C-2**

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**LEGEND**

[Symbol]	FLARED END SECTION	[Symbol]	BOLLARD
[Symbol]	CURB/AREA INLET	[Symbol]	UTILITY BOX
[Symbol]	STORM SEWER MANHOLE	[Symbol]	TRAFFIC SYMBOL
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[Symbol]	HANDICAP PARKING	[Symbol]	○ FOUND MONUMENT
[Symbol]	POWER POLE	[Symbol]	● SET MONUMENT
[Symbol]	GUY WIRE		
[Symbol]	LIGHT STANDARD		

**A SITE PLAN FOR**  
**HOWDERSHELL CAR WASH AND STORAGE BUILDING**  
**495 HOWDERSHELL ROAD**  
**FLORISSANT, MO 63031**

PREPARED FOR:  
 TIFTON CAR WASH, LLC  
 TIFTON, MO 63074  
 229-520-2244

**ENGINEERING PLANNING SURVEYING**

221 Point West Blvd.  
 St. Charles, MO 63301  
 636-928-5552  
 FAX 928-1718

Box Engineering Company, Inc.  
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 Surveying #000144

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NO.	DATE	DESCRIPTION
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Lerry D. Walker  
 Civil Engineer  
 Engineers License 2007020343

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 FILE NAME  
 SWR  
 DRAWN  
 SWR LDW  
 DESIGNED CHECKED

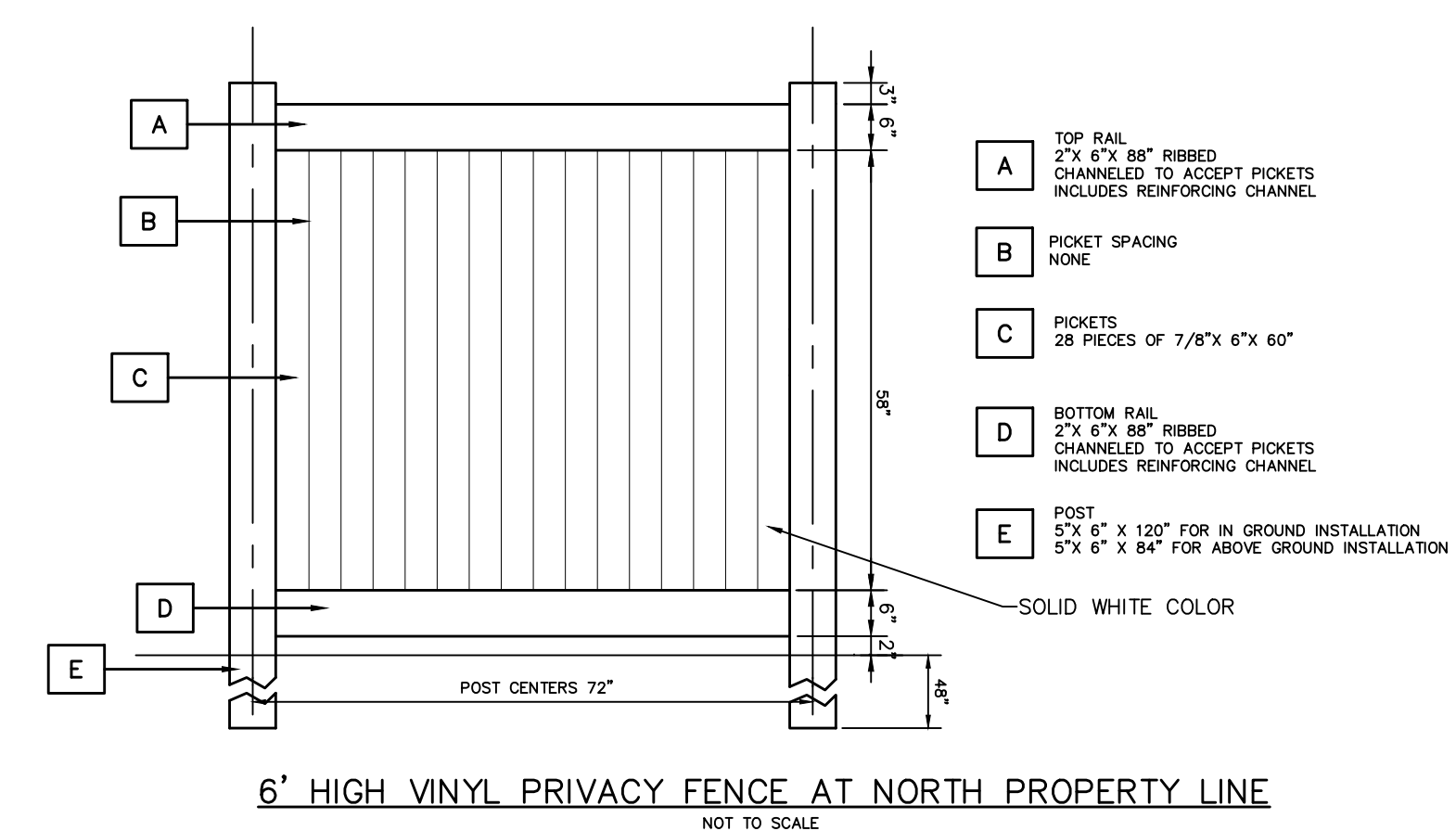
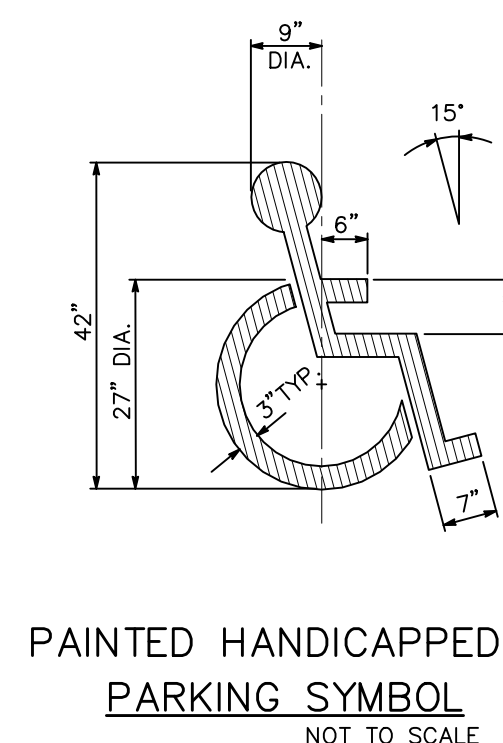
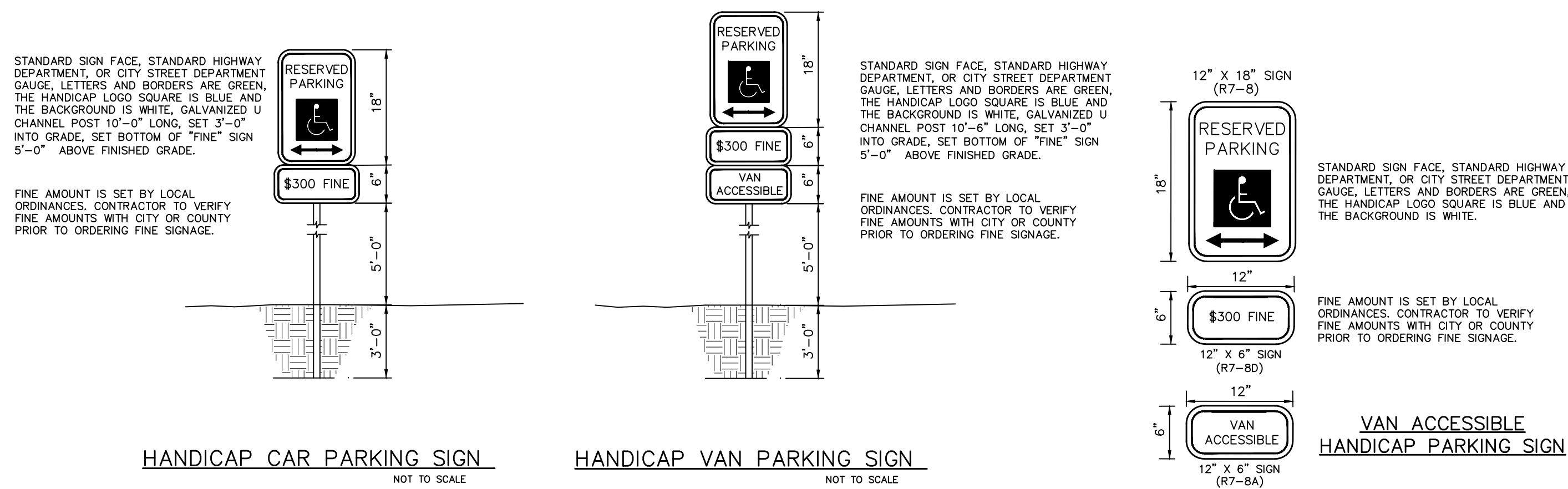
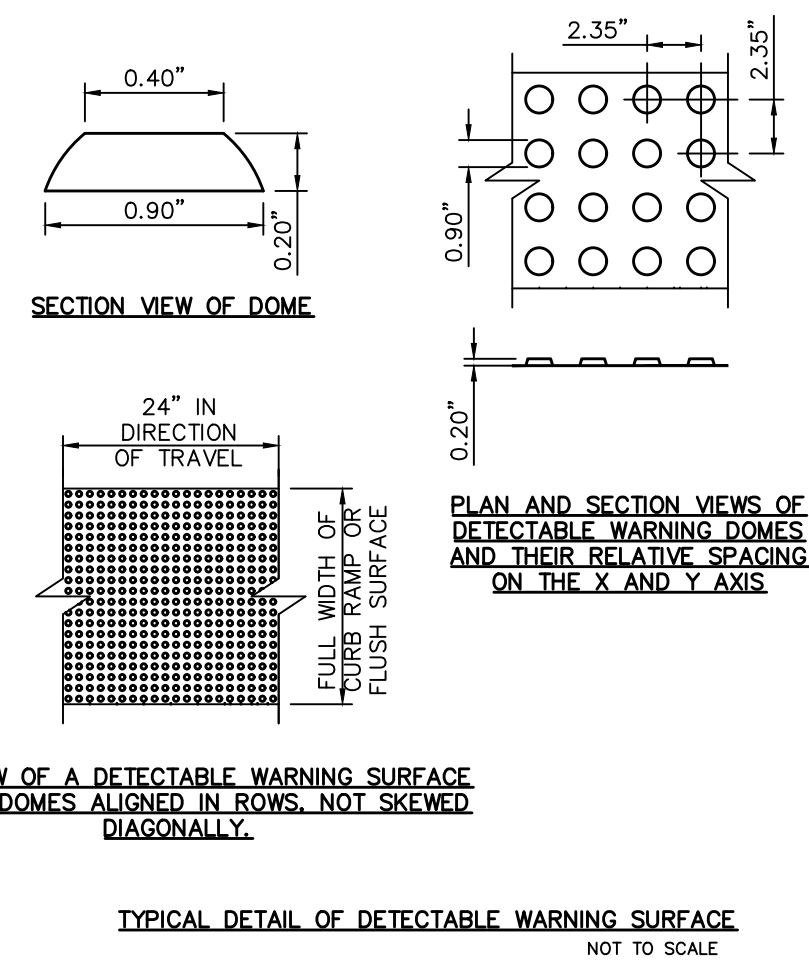
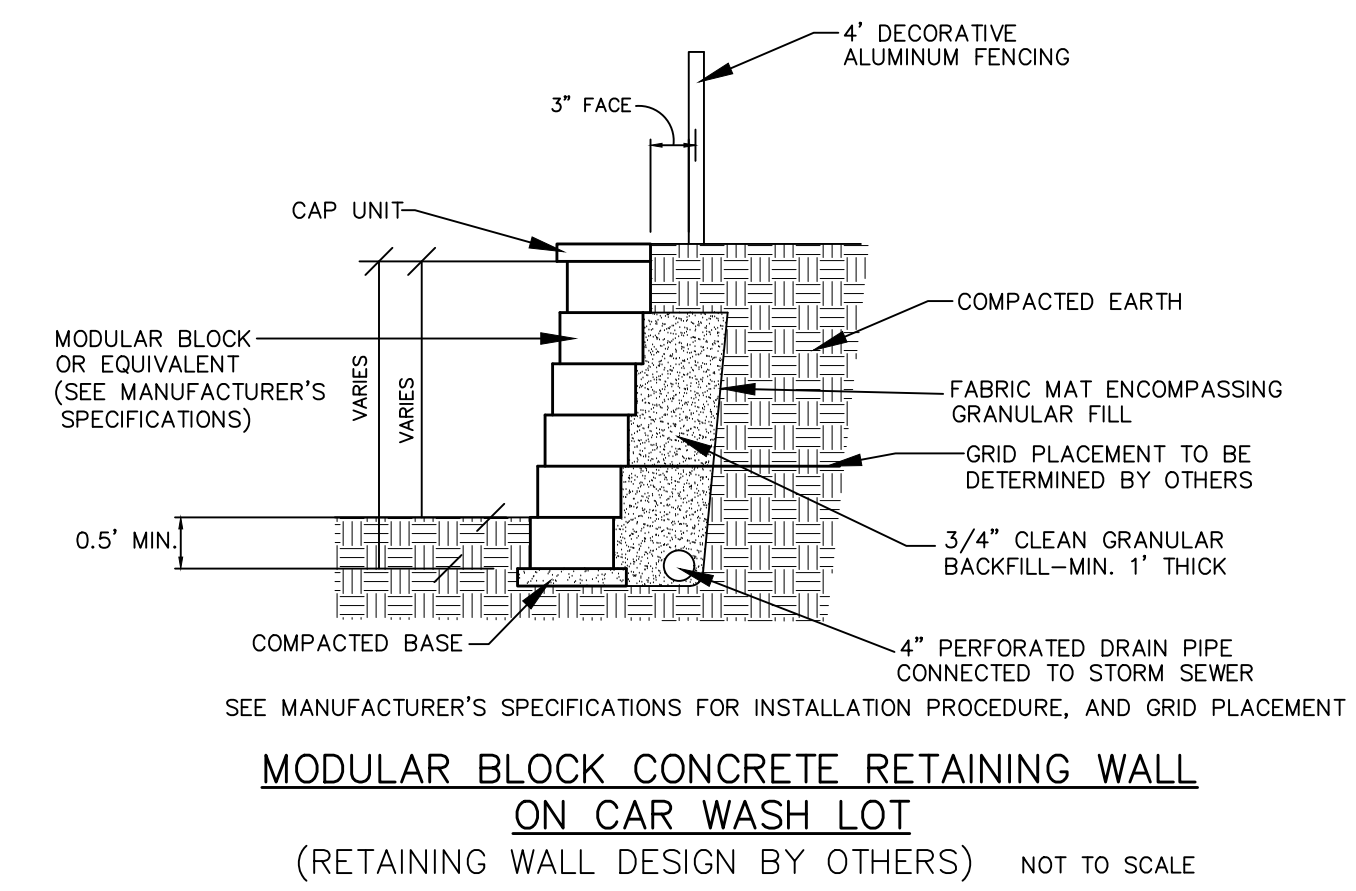
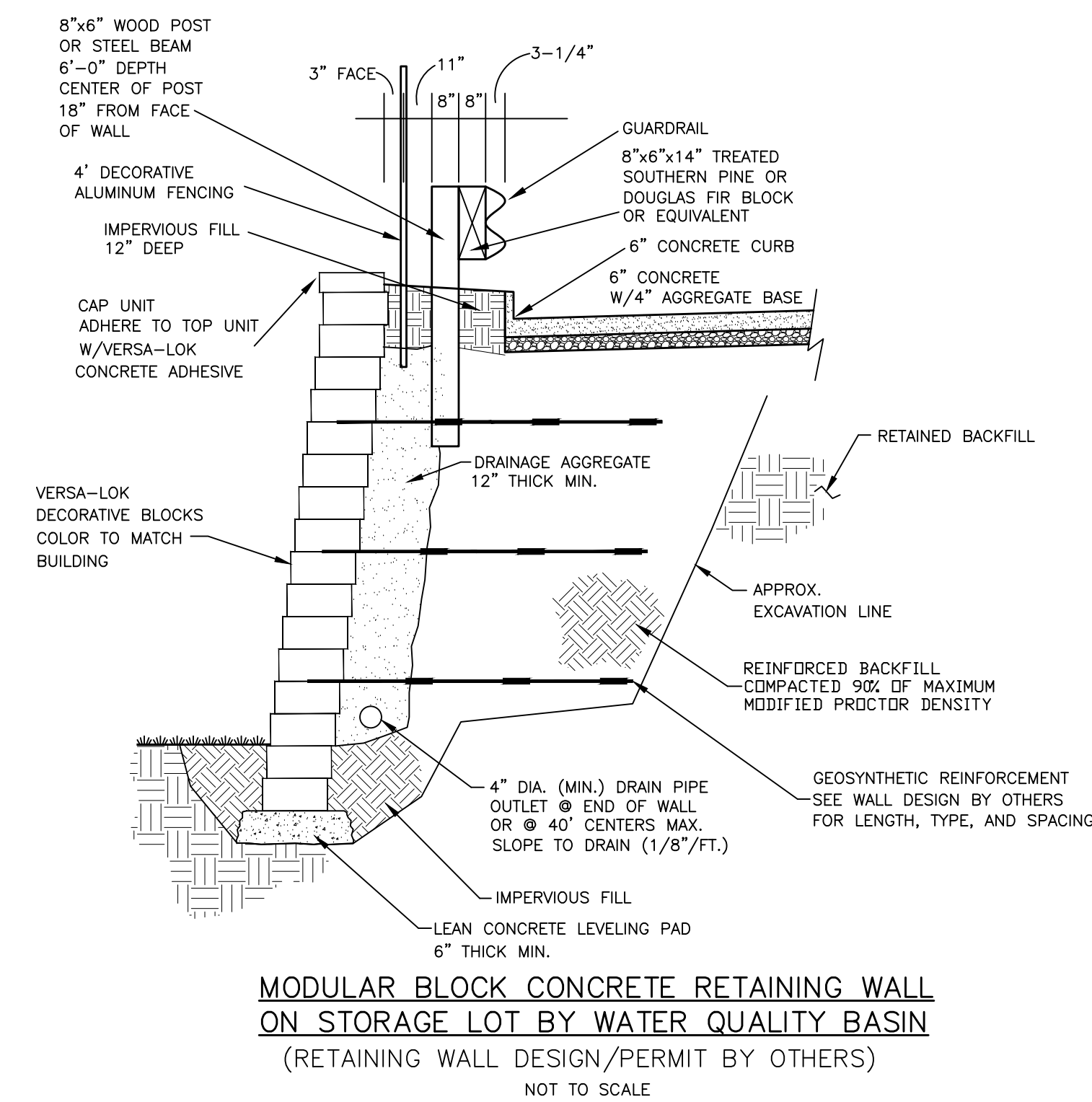
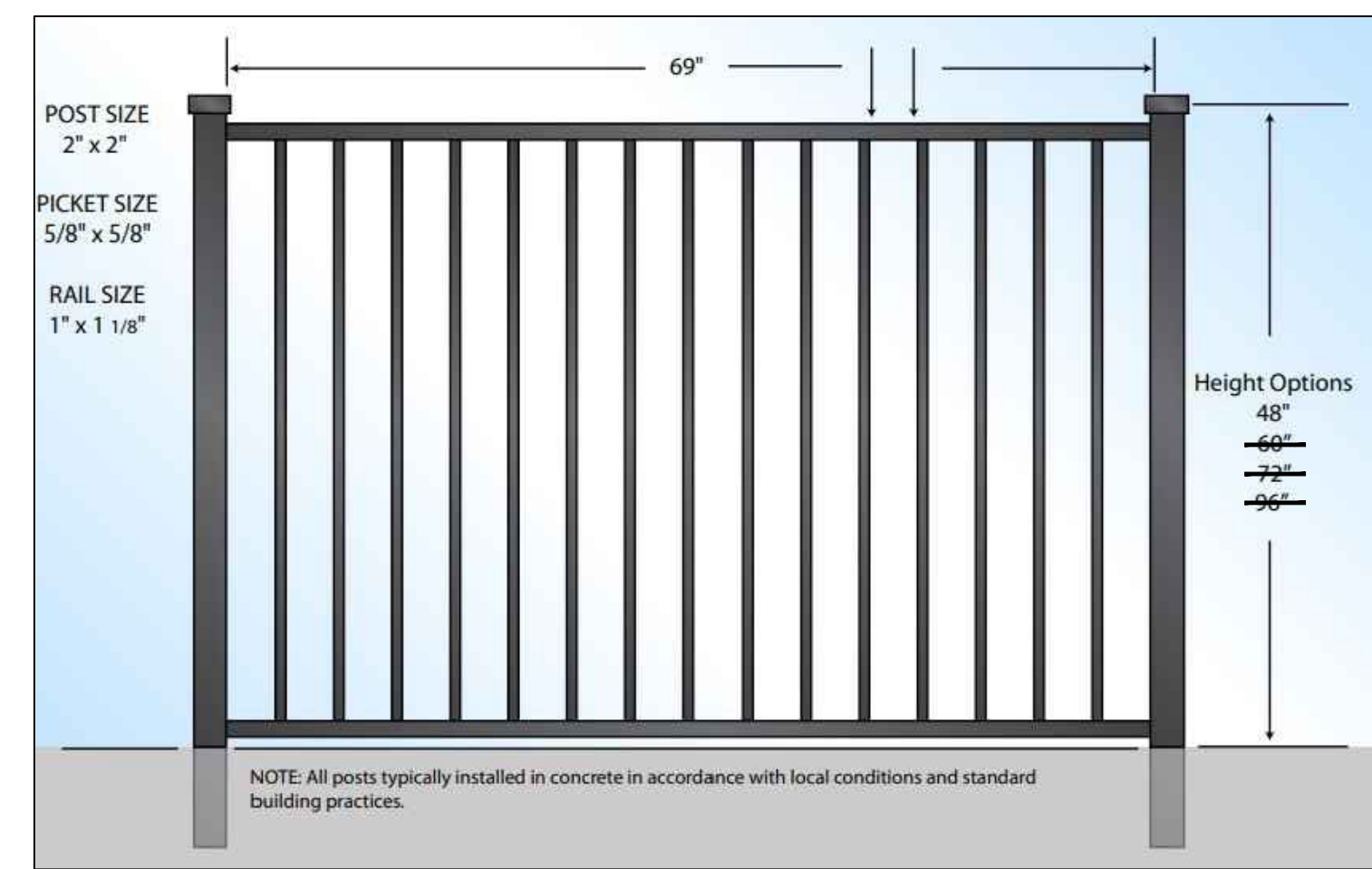
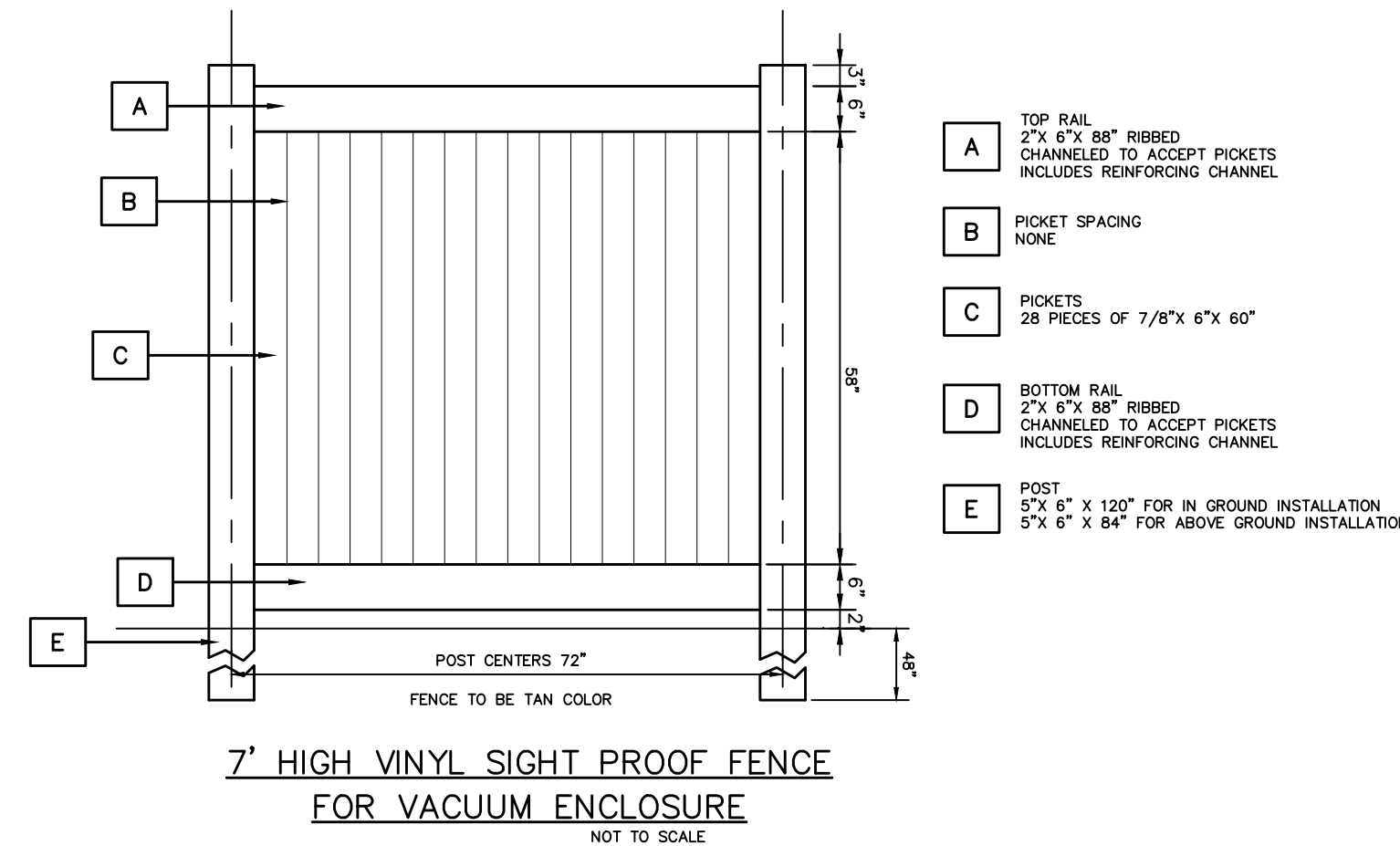
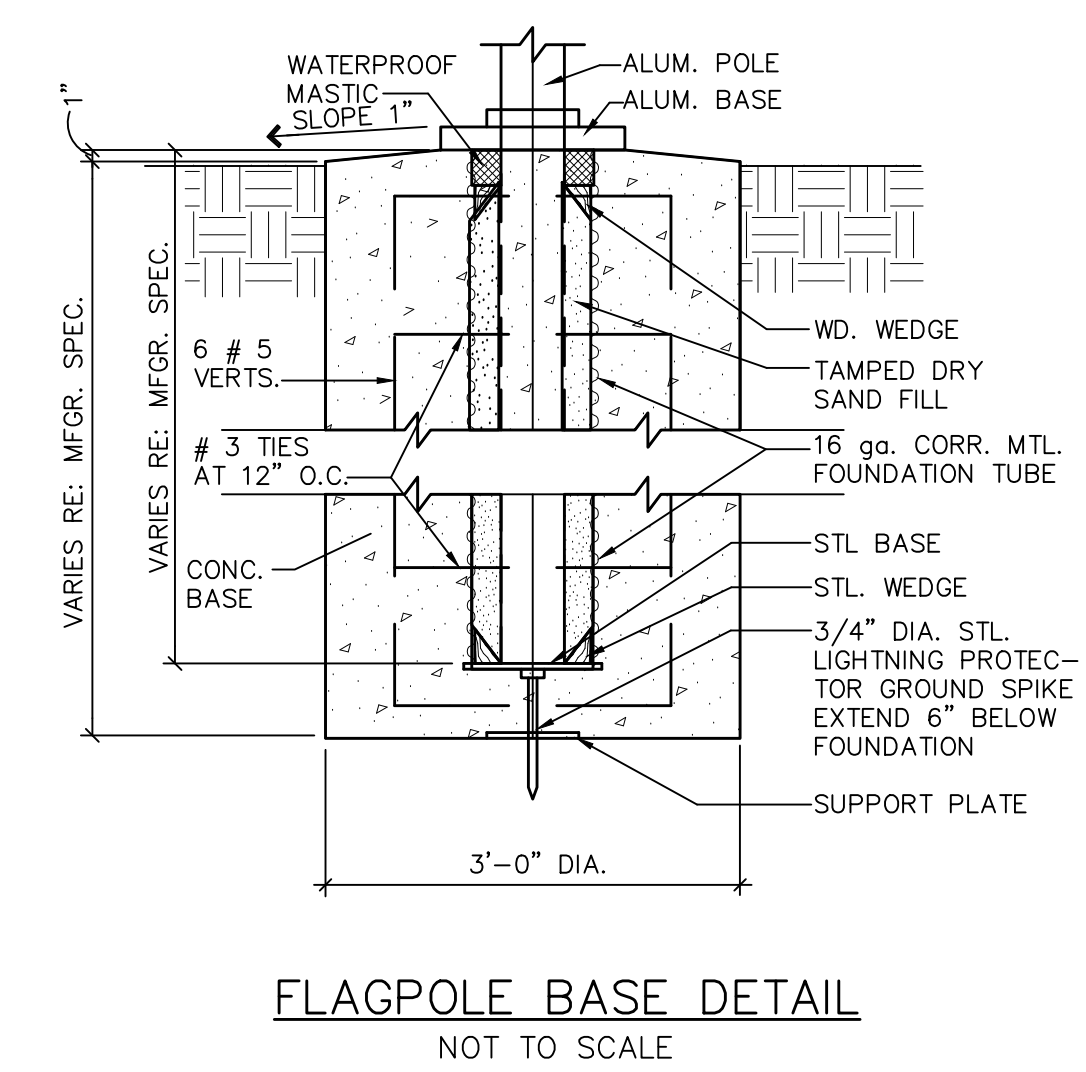
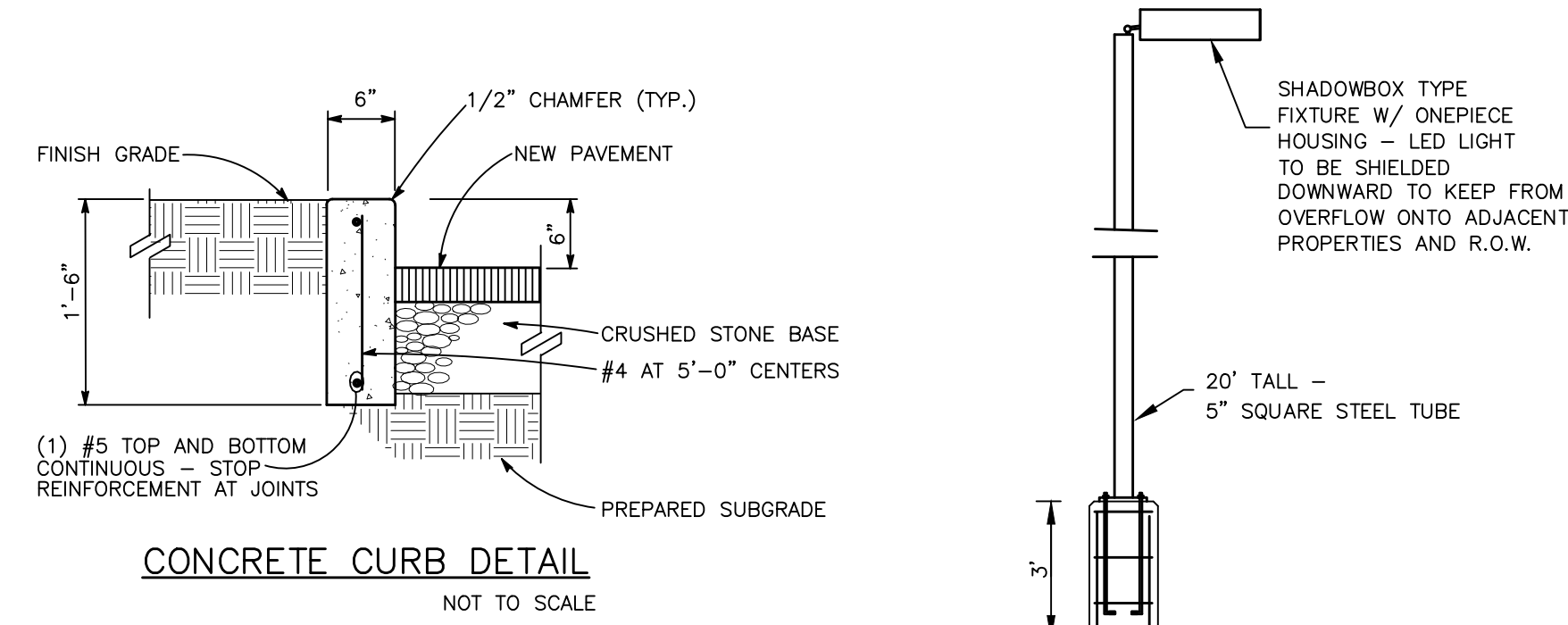
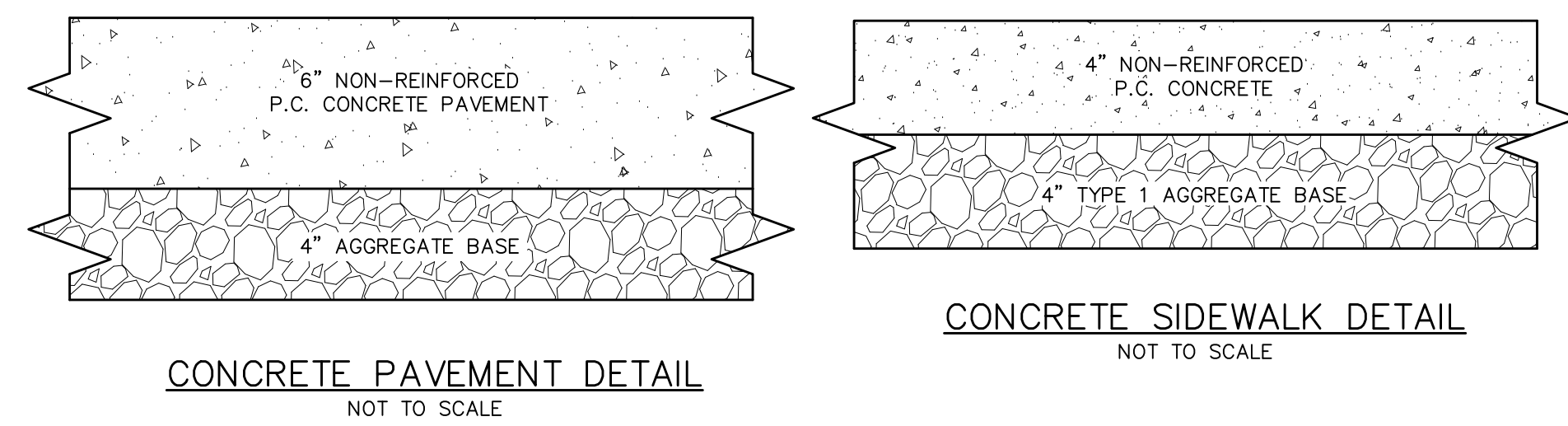
**EXISTING CONDITIONS**

**C-3**

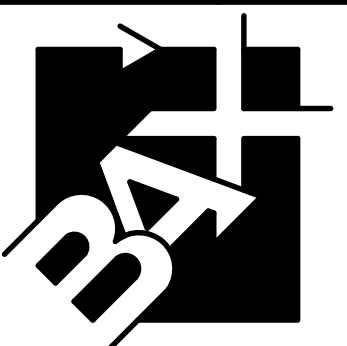
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UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.





A SITE PLAN FOR  
**HOWDERSHELL CAR WASH AND STORAGE BUILDING**  
495 HOWDERSHELL ROAD  
FLORISSANT, MO 63031



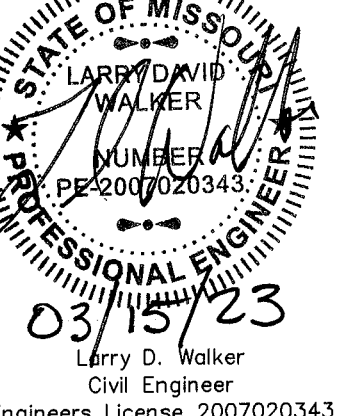
**ENGINEERING PLANNING SURVEYING**  
221 Point West Blvd.  
St. Charles, MO 63301  
636-928-5552  
FAX 928-1718

Box Engineering Company, Inc.  
Missouri State Certificate of Authority  
Engineering #000655  
Missouri State Certificate of Authority  
Surveying #000144

**REVISIONS**

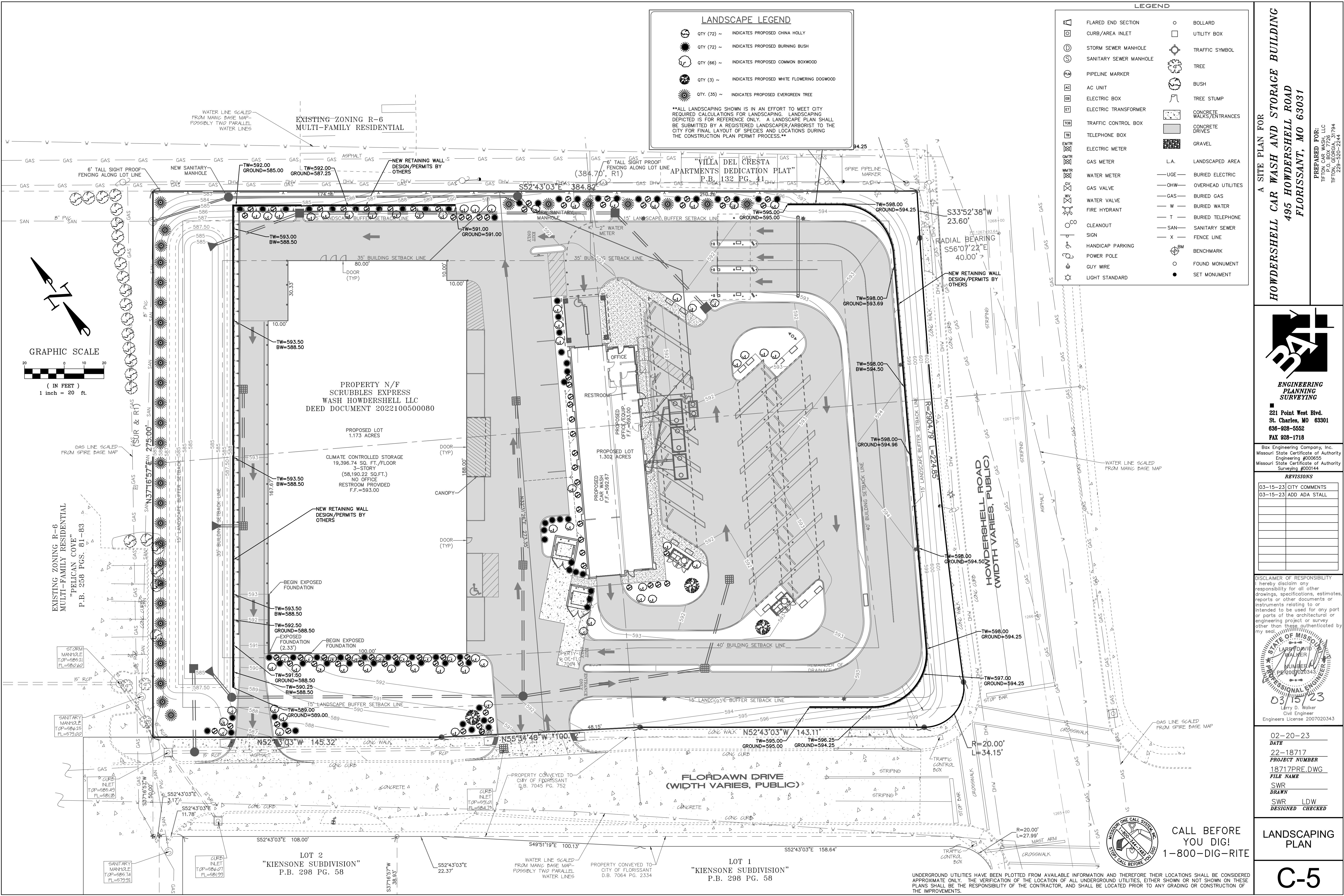
03-15-23	CITY COMMENTS
03-15-23	ADD ADA STALL

DISCLAIMER OF RESPONSIBILITY  
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authorized by my seal.



02-20-23  
DATE  
22-18717  
PROJECT NUMBER  
18717PRE.DWG  
FILE NAME  
SWR  
DRAWN  
SWR LDW  
DESIGNED CHECKED





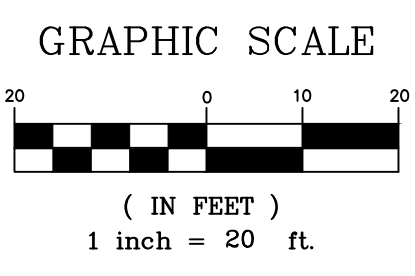
### LANDSCAPE LEGEND

- QTY (72) ~ INDICATES PROPOSED CHINA HOLLY
- QTY (72) ~ INDICATES PROPOSED BURNING BUSH
- QTY (66) ~ INDICATES PROPOSED COMMON BOXWOOD
- QTY (3) ~ INDICATES PROPOSED WHITE FLOWERING DOGWOOD
- QTY. (35) ~ INDICATES PROPOSED EVERGREEN TREE

**\*\*ALL LANDSCAPING SHOWN IS IN AN EFFORT TO MEET CITY REQUIRED CALCULATIONS FOR LANDSCAPING. LANDSCAPING DEPICTED IS FOR REFERENCE ONLY. A LANDSCAPE PLAN SHALL BE SUBMITTED BY A REGISTERED LANDSCAPER/ARBORIST TO THE CITY FOR FINAL LAYOUT OF SPECIES AND LOCATIONS DURING THE CONSTRUCTION PLAN PERMIT PROCESS.\*\***

### LEGEND

	FLARED END SECTION		BOLLARD
	CURB/AREA INLET		UTILITY BOX
	STORM SEWER MANHOLE		TRAFFIC SYMBOL
	SANITARY SEWER MANHOLE		TREE
	PIPELINE MARKER		BUSH
	AC UNIT		TREE STUMP
	ELECTRIC BOX		CONCRETE WALKS/ENTRANCES
	ELECTRIC TRANSFORMER		CONCRETE DRIVES
	TRAFFIC CONTROL BOX		GRAVEL
	TELEPHONE BOX		L.A. LANDSCAPED AREA
	ELECTRIC METER		— UGE — BURIED ELECTRIC
	GAS METER		— OHW — OVERHEAD UTILITIES
	WATER METER		— G — BURIED GAS
	GAS VALVE		— W — BURIED WATER
	WATER VALVE		— T — BURIED TELEPHONE
	FIRE HYDRANT		— SAN — SANITARY SEWER
	CLEANOUT		— X — FENCE LINE
	SIGN		BM BENCHMARK
	HANDICAP PARKING		○ FOUND MONUMENT
	POWER POLE		● SET MONUMENT
	GUY WIRE		
	LIGHT STANDARD		



**A SITE PLAN FOR**  
**HOWERSHELL CAR WASH AND STORAGE BUILDING**  
**495 HOWERSHELL ROAD**  
**FLOIRSSANT, MO 63031**

**ENGINEERING**  
**PLANNING**  
**SURVEYING**

221 Point West Blvd.  
 St. Charles, MO 63031  
 636-928-5552  
 FAX 928-1718

Box Engineering Company, Inc.  
 Missouri State Certificate of Authority  
 Engineering #000655  
 Missouri State Certificate of Authority  
 Surveying #000144

#### REVISIONS

NO.	DATE	DESCRIPTION
03-15-23		CITY COMMENTS
03-15-23		ADD ADA STALL

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Larry D. Walker  
 Civil Engineer  
 Engineers License 2007020343

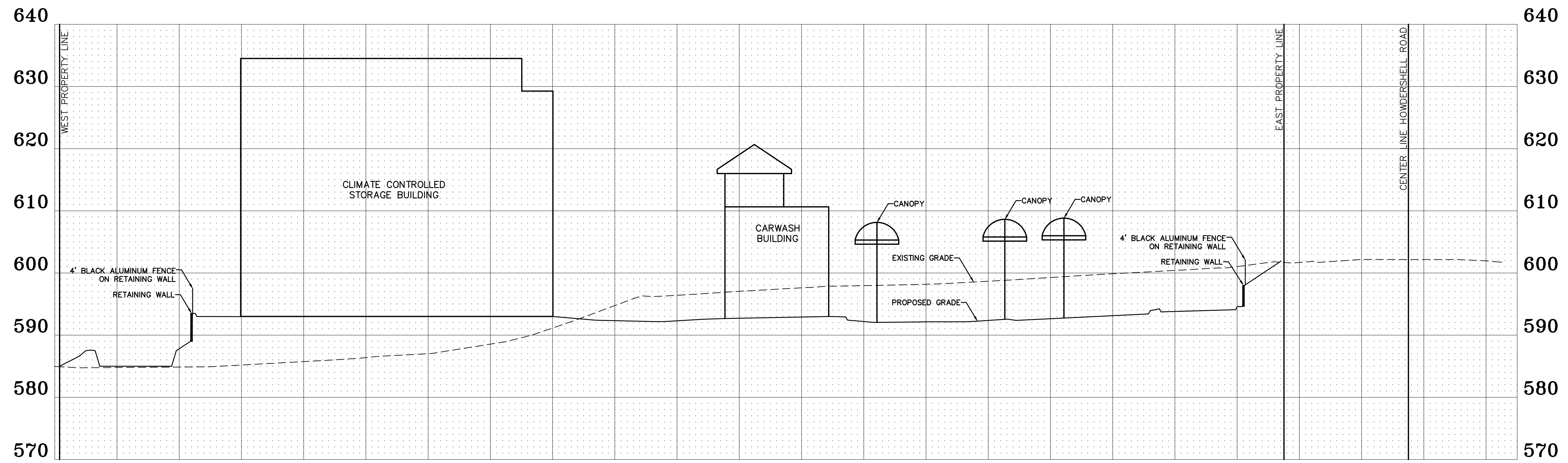
02-20-23  
 DATE  
 22-18717  
 PROJECT NUMBER  
 18717PRE.DWG  
 FILE NAME  
 SWR  
 DRAWN  
 SWR LDW  
 DESIGNED CHECKED

**LANDSCAPING PLAN**  
**C-5**

**CALL BEFORE YOU DIG!**  
**1-800-DIG-RITE**

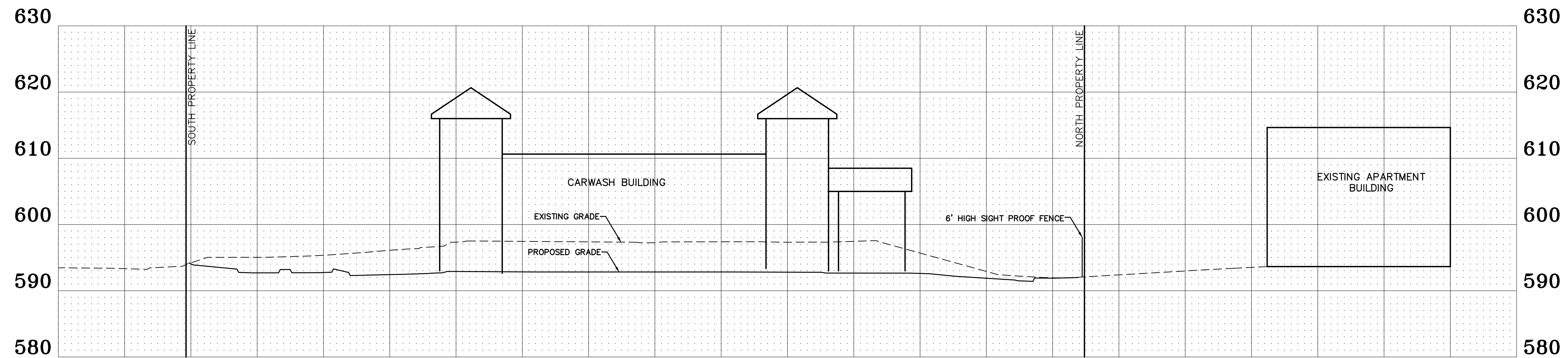
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**Section A-A**

HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 10'

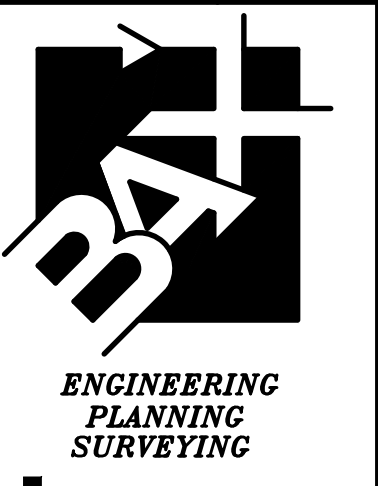


**Section B-B**

HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 10'

A SITE PLAN FOR  
**HOWERSHELL CAR WASH AND STORAGE BUILDING**  
495 HOWERSHELL ROAD  
FLORISSANT, MO 63031

PREPARED FOR:  
TIFTON CAR WASH, LLC  
TIFTON, GEORGIA 31794  
229-520-2244



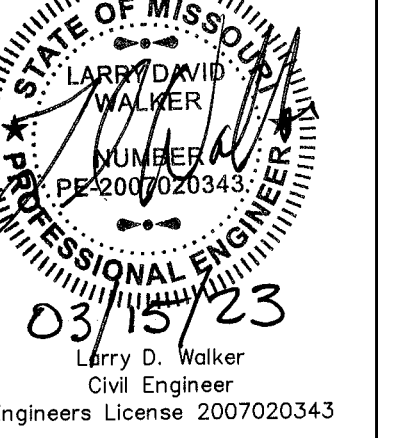
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**REVISIONS**

NO.	DATE	DESCRIPTION
03-15-23	03-15-23	CITY COMMENTS
03-15-23	03-15-23	ADD ADA STALL

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02-20-23  
DATE  
22-18717  
PROJECT NUMBER  
18717PRE.DWG  
FILE NAME  
SWR  
DRAWN  
SWR LDW  
DESIGNED CHECKED

**CALL BEFORE  
YOU DIG!**  
1-800-DIG-RITE

**SITE CROSS  
SECTIONS**

**C-6**

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 4/24/2023

Open  Closed

Report No. 26/2023

**Date Submitted:**

**To:** City Council

**Title:** Ordinance to amend Title III "Traffic Code" Schedule III " Stop Intersections" subsection IIIB by adding a 2 way stop intersection at Daniel Boone and Florissant Park.

**Prepared by:** Administrator

**Department:** Public Works

**Justification:**

Please see Attached Memo

**Attachments:**

1. Agenda request



# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

4/14/2022 \_\_\_\_\_

**Mayor's Approval:**

Agenda Date Requested: 4/24/23

Description of request: Request to add stop sign on Florissant Park at Daniel Boone to create a two-way stop intersection. There is already a stop sign on Daniel Boone.

Department: Street

Recommending Board or Commission: Traffic Commission

Type of request:

Ordinances	X	Other	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Public Hearing needed: Yes / No

Y/N

No

3 readings? : Yes / No

Y/N

Yes

**Back up materials attached:**

**Back up materials needed:**

Minutes	X	Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: \_\_\_\_\_

PH Speaker: \_\_\_\_\_

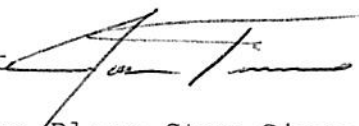
**CITY OF FLORISSANT**

**MEMO**

TO: Councilman Paul Manganelli                      DATE: April 14, 2023

THRU: Mayor Timothy Lowery

THRU: Todd Hughes  
Director of Public Works

FROM: Jason Timme  
Street Superintendent 

SUBJECT: Request was Made to Place Stop Signs on Florissant Park  
at Daniel Boone to Create of Four-way Stop Intersection

The Traffic Commission has reviewed the request to place stop signs on Florissant Park at Daniel Boone to create a four-way stop intersection at the April 11, 2023 meeting. The Traffic Commission has made a recommendation to put a stop sign on Florissant Park at Daniel Boone to create a two-way stop intersection. There is currently a stop sign on Daniel Boone (see attached Minutes, Item 02/23).

Motion was made by Kim Redden to make a recommendation not to restrict parking on Estates Drive since Ms. Clifton did not return with a petition stating her neighbors were in favor of the parking restrictions. If Ms. Clifton wants to re-request this she has to come back with a petition from all of her neighbors. Motion was second by Don Adams. On the roll call the commission voted: Donna Smith-Pupillo – yes, Don Adams – yes, Al Schneider – yes, Greg Keil – yes, Pete Fischer – yes, Zach Schneider – yes, and Kim Redden - yes. Motion carried. Item 01/23 was dropped from the Agenda.

**UNDER NEW BUSINESS:**

**02/23      REQUEST WAS MADE TO PLACE STOP SIGNS ON FLORISSANT PARK AT DANIEL BOONE TO CREATE A FOUR-WAY STOP INTERSECTION  
Amendment Approved  
Ward 2**

Request was made to place stop signs on Florissant Park at Daniel Boone to create a four-way stop intersection. Zach Schneider read the email from Councilman Manganeli. Kim Redden said when she was there she saw only one stop sign. Zach Schneider said currently there is only one. He said the request is to add a second on Florissant Park. He said there is already one on Daniel Boone. He said you see that when you are coming down Daniel Boone. He said it stops you right there. Kim Redden said she can understand that because you have that other street on the other side coming around. She said you want to be able to see who is coming down that street. But there are six houses in that loop, or you can count the seventh house because their driveway is on Daniel Boone. She said but that is just six houses. She said she saw more traffic from the kids getting off the bus. Zach Schneider said it is more of a cul-de-sac than anything else back there. He said he remembers this from the last time it was on one of



our agendas and we denied it at that point. He said he doesn't know if there is any reason for that. He asked the Officer if there have been any significant traffic issues there. Lt. Pfaff said he would have to pull numbers for it, but there is nothing specific that rings a bell to him. Kim Redden said the only thing that she saw was the kids getting off the school bus. That was the most traffic she saw. Zach Schneider asked Don Adams if he ever gets down that way since he lives near there. He said it's not a very common way to get out of there. Don Adams said he has been down there three times and he hasn't seen anything there. Kim Redden said it really doesn't meet any of the criteria for a stop sign. Don Adams said when he was over there recently, he did see someone just blow the stop sign altogether. Stop signs are just a suggestion anymore. He said it is so off the beaten path that he doesn't think there is that much traffic over there. He said it may get traffic from people coming in the back way off of Lindsay or Patterson, but you really can't get in there off of Lindsay, per se. He said he just doesn't see need for what they are asking.

Kim Redden said it is not a cut-through and Don Adams agreed. She said there are only six houses and one with a driveway there. She said it just doesn't make sense. Zach Schneider said he agrees but there is just not enough data here or any kind of reason for the request. Don Adams asked Jason Timme what he had to say about it. Jason Timme said from the Street Department standpoint, he said he can see putting a stop sign on Florissant Park. He said you would have to stop at Daniel Boone and you would have to stop at Florissant Park. He said the problem is the way it is shaped. He said there is nowhere to put a stop sign if you are coming from Estes. He said he can see where coming down Florissant Park you should probably have to stop. He said you could make it a two-way stop. It was stated that coming down Estes you can either make a left on Florissant Park or you can go straight and make a little loop right back up

Daniel Boone. Jason Timme said it is like a U-turn going back up and then Florissant Park you would make a left-hand turn and go straight out to Mullanphy. He said the island sits way back so you would have to stop that traffic way back. He said again, Estes goes back and doesn't go anywhere. He said no one is coming from there unless they live there. It's not like that's going to be a cut-through or anything. Anybody that lives on that block of Estes may go that way and out Florissant Park, but it would be silly to go that way and go up Daniel Boone. He said could see Florissant Park at the main intersection, those two streets stop. Jason Timme said he doesn't imagine that much traffic going through there on a daily basis. Kim Redden said she sat there for about 10 minutes and the only thing she saw was a school bus letting a bunch of kids off the bus. Donna Smith-Pupillo said her uncle lives over there and she goes there all the time and has never seen much traffic over there. Jason Timme said it is not a good way to cut through. He said if you are cutting through from Lindsay, you are going to go down Manor or Loveland. He said he could see Florissant Park coming from Mullanphy would not be a bad idea to have a stop sign. Don Adams asked if the sign could be put in a place where it would be visible. Jason Timme said it could go close to the corner. He said if the sign sits back a little further you could always put a stop bar a little further out. It was stated that no one stops for stop signs anyway. They are now just a suggestion, especially if there is little or no traffic. Zach Schneider said he personally agrees with what our Street Department representative would suggest. He asked if anyone else felt differently. Jason Timme said if you are pulling up to Florissant Park you would stop and the one for Daniel Boone would be like straight across. He said everything from the other direction would be free-flowing traffic. Greg Keil said there is no good way to put a four-way stop up there anyway. Donna Smith-Pupillo said there isn't because of the way the intersection is laid out.



Motion was made by Zach Schneider to make a recommendation to follow the recommendation of the Street Department and put a stop sign on Florissant Park at Daniel Boone to create a two-way stop intersection. Motion was second by Greg Keil. On the roll call the commission voted: Donna Smith-Pupillo – yes, Don Adams – yes, Al Schneider – yes, Greg Keil – yes, Pete Fischer – yes, Zach Schneider – yes, and Kim Redden - yes. Motion carried. Item 02/23 was dropped from the Agenda.

**MISCELLANEOUS:**

There were no miscellaneous items sent to the Traffic Commission for review.

Next Traffic Commission meeting is scheduled for May 9, 2023.

**ADJOURNMENT**

No other items were brought before the Commission this evening. The meeting was adjourned.

For the Chairman  
Mayor's Advisory Traffic Commission



MaryAnn Fitzpatrick  
Recording Clerk

**MaryAnn Fitzpatrick**

*Item 02/23*

**From:** Todd Hughes  
**Sent:** Wednesday, March 1, 2023 4:51 PM  
**To:** Jason Timme; MaryAnn Fitzpatrick  
**Subject:** Fwd: Ward 2 4 way stop request

Please put on traffic commission.  
Todd

---

**From:** Cheryl Entwistle <centwistle@florissantmo.com>  
**Sent:** Wednesday, March 1, 2023 4:47:35 PM  
**To:** Todd Hughes <THughes@florissantmo.com>  
**Subject:** FW: Ward 2 4 way stop request

Hi  
See email request below.  
Thanks  
Cheryl

-----Original Message-----  
**From:** Karen Goodwin <kgoodwin@florissantmo.com>  
**Sent:** Wednesday, March 1, 2023 4:43 PM  
**To:** Cheryl Entwistle <centwistle@florissantmo.com>  
**Subject:** FW: Ward 2 4 way stop request

-----Original Message-----  
**From:** Ward 2 Paul Manganelli <ward2@florissantmo.com>  
**Sent:** Wednesday, March 01, 2023 4:39 PM  
**To:** Karen Goodwin <kgoodwin@florissantmo.com>  
**Subject:** Ward 2 4 way stop request

Hi Karen,

I have been receiving requests for a stop sign on Florissant Park at Daniel Boone. There is a stop sign on Daniel Boone presently. I would like to submit a request to create a 4 way stop at this intersection. I believe it would be less confusing than just having stop signs for two directions of the intersection.

I look forward to receiving the traffic commission's opinion.

Thanks,  
Paul

Paul Manganelli  
Florissant Councilman  
Ward 2

1

**MEMORANDUM**



2

**CITY OF FLORISSANT**

3

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

4

5

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7

To: Planning and Zoning Commissioners Date: April 13, 2023

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes- P.E.  
Director of Public Works  
Deputy City Clerk  
Applicant, File

10

11

12

13

14

Subject: **2678 N. Highway 67 Dairy Queen:** Request Approval of exterior remodel including repainting of legally painted brick in a 'B-3' Extensive Business District.

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**STAFF REPORT**

18

**CASE NUMBER PZ-041723-1**

19

20

**I. PROJECT DESCRIPTION:**

This is a request for Recommended Approval to repaint to new colors- re-painting of legally painted brick.

21

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24

**II. EXISTING SITE CONDITIONS:**

The existing property at 2678 N Highway 67 is owned by Woodson Development. The existing retail space is a Dairy Queen Restaurant with a size of 1876 s.f. The restaurant has been in operation since the late 1960's and is currently both a Special Use and a legally painted masonry (brick) building.

25

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**III. SURROUNDING PROPERTIES:**

The adjacent to the tip of the property to the North is part of 2635 N Highway 67 Handyman Hardware in a B-4 District. The adjacent property to the West is 2520 N Highway 67 Surrey Plaza 1 in a B-4 District. The property to the East is Surrey Plaza II at 2700 N Highway 67.

31

32

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36

**IV. STAFF ANALYSIS:**

The current building was legally painted and under an amendment to Special Use, Ord. 7155, alterations to both the roofline and exterior of the building with remodeling were approved.

37

38

39

40

40

41 In this case, a petition to change in color of masonry requires approval of both by P&Z  
42 and approved by Council under the provisions of the masonry ordinance, section  
43 560.060, para D, [Ord. No. 8748, 11-22-2021]

44 *“...D. Restrictions On Use Of Masonry.*

45 *1. Masonry shall not be painted, but clear sealers may be applied if approved by the Building*  
46 *Commissioner.*

47 *2. Any masonry that was lawfully painted may only be repainted for maintenance purposes and*  
48 *only with written permission from the Director of Public Works. In cases where there is a need to*  
49 *perform maintenance on a painted area, the Director of Public Works or their designee may*  
50 *review and approve any repainting for maintenance reasons, provided that there is no change in*  
51 *color or texture.*

52 *3. Repainting for reasons other than for maintenance of current painted surfaces upon the*  
53 *approval of the Director of Public Works and requests to change the color or texture of the*  
54 *existing brick or masonry surface may not be done without the review and recommendation from*  
55 *Planning and Zoning Commission and approval of City Council.*

56 *4. Nothing contained herein shall excuse or authorize the unlawful painting or repainting of brick*  
57 *or masonry surfaces.*

58 *5. Exemption for Landmark and Historic Homes: All buildings listed on the National Register of*  
59 *Historic Places, designated Florissant landmarks or structures eligible to be designated*  
60 *Florissant landmarks which were painted prior to the adoption of this Section would be excluded*  
61 *from its provisions.*

62  
63 Plans indicate the painting other non-masonry materials on the building, the parapet and  
64 top coping, sign area panels and some parapet panels. The front parapet panels and  
65 returns remain the same colors red and blue. The giant spoon, previously approved as a  
66 sign, remains.

67  
68 Wall mounted valance lights replace the exterior light fixtures over the wall signs.  
69 the installation of a red LED lighting onto the existing “eyebrow” replacing the blue LED  
70 lights.

71  
72 Staff has since recommended that the City Council approve an ordinance for each  
73 instance of brick painting, without need of a public hearing or Special Use Amendment.  
74 Failure of a petition to approve would mean that the Commission deems otherwise and  
75 finds that the changes proposed warrant an amendment of the Special Use and a public  
76 hearing.

77  
78 **VI. STAFF RECOMMENDATIONS:**

79 The petitioner’s proposed repainting coincides with other cosmetic upgrades to new color  
80 scheme. After discussion, staff recommended proposing approval to paint the legally  
81 painted brick through P&Z and Council. Should the masonry color change be approved,  
82 the petitioner will seek approval by Council on their 4/23/23 agenda. **Suggested Motion**  
83 **for Approval** to change of color of legally painted masonry in a ‘B-3’ Zoning District:

84  
85 I move for the Planning & Zoning’s **approval** of exterior remodel including repainting of  
86 masonry with color change as presented.

87  
88 (end report and suggested motion)

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 2678 North Highway 67

Property Owners Name: \_\_\_\_\_ Phone/email: \_\_\_\_\_

Property Owners Address: \_\_\_\_\_

Business Owners Name: David Greer Phone/email: mrmrsdq@aol.com

Business Owners Address: 2678 North Highway 67

DBA (Doing Business As) Dairy Queen

Authorized Agents Name: Don Torretta Co. Name: CCM Corporation  
(Authorized Agent to Appear Before The Commission)

Agents Address: 140 Clarkson Executive Park Phone/email: dont@ccmcorp.com

Request Change of Paint Color on Exterior

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Don Torretta Pres  
Applicant's Signature ccm corp

4-5-23  
Date

Received by: SL Receipt # 28535 OFFICE USE ONLY Amount Paid: 100<sup>00</sup> Date: 4-6-23

STAFF REMARKS: \_\_\_\_\_

DATE APPLICATION REVIEWED: 4/13/23

COMMISSION ACTION TAKEN:

Philip E. Sun  
SIGNATURE OF STAFF WHO REVIEWED APPLICATION  
Planning & Zoning Application  
Page 1 of 1 – Revised 7/15/15

APPROVED  
PLANNING & ZONING  
CHAIRMAN

SIGN [Signature]

DATE: 4-17-23 113

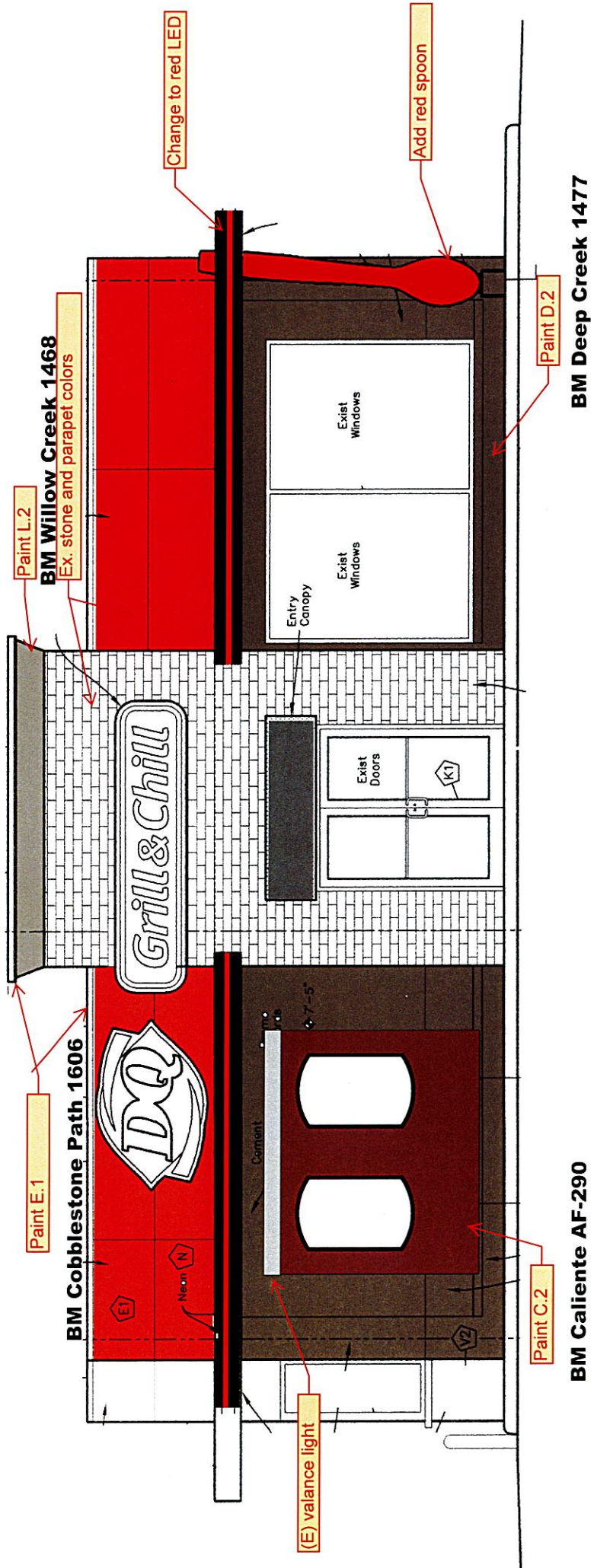


Florissant, MO #41817



Current Image Modernization

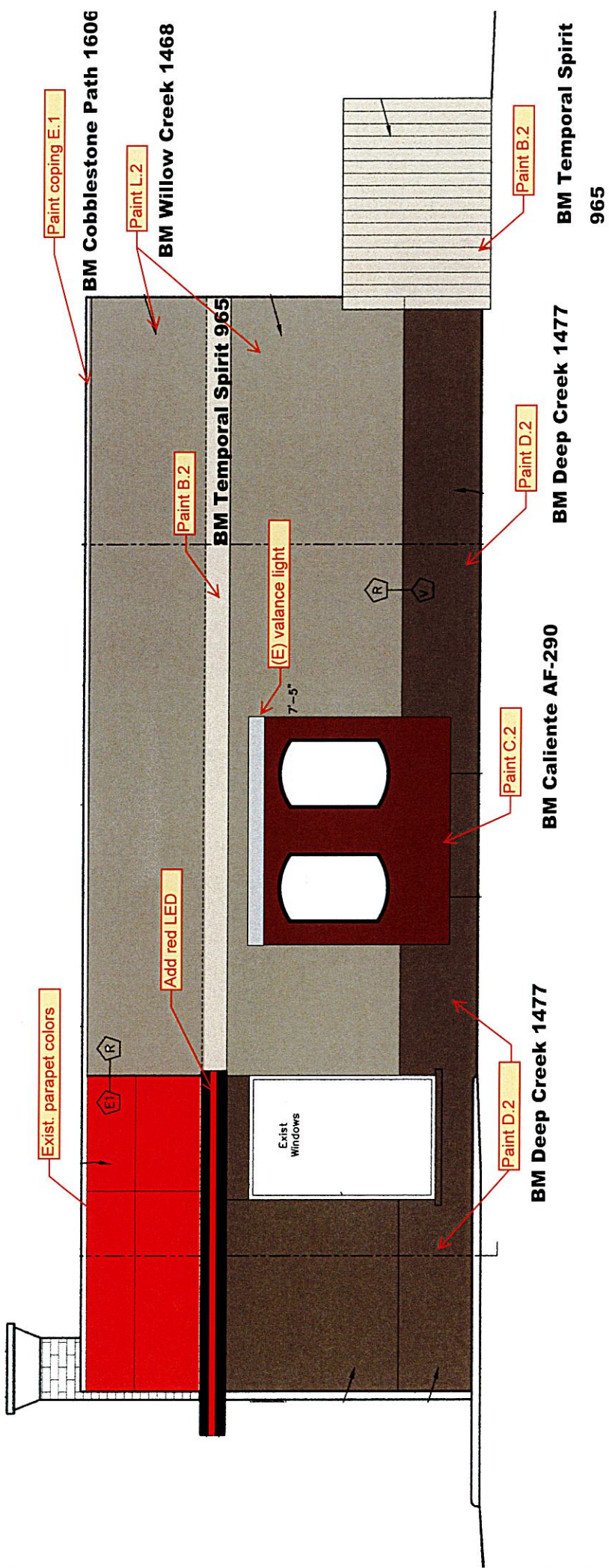




Main Entrance	DETAIL
<b>Elevation</b>	<b>1</b>
Scale: 1/4" = 1'-0"	

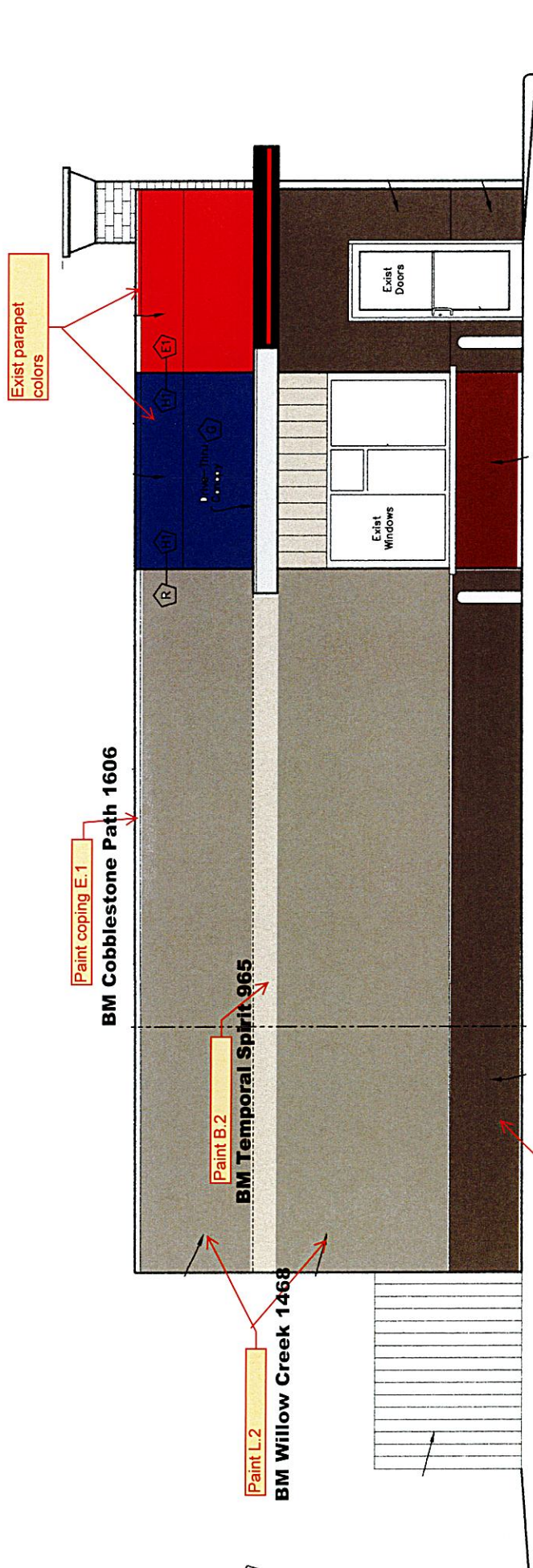
APPROVED  
PLANNING & ZONING  
CHAIRMAN

SIGN. *[Signature]* DATE: 4-17-2023



Side	DETAIL
<b>Elevation</b>	
Scale: 1/4" = 1'-0"	
<b>2</b>	





Side	DETAIL
<b>Elevation</b>	<b>3</b>
Scale: 1/4" = 1'-0"	

CCO Form: FS27  
Approved: 05/02 (BDG)  
Revised: 10/22 (MWH)  
Modified: 01/23 (MWH)

St. Louis County  
City of Florissant  
Project STP-4901(650)

CFDA Number: CFDA #20.205  
CFDA Title: Highway Planning and Construction  
Award name/number: STP-4901(650)  
Award Year: 2023  
Federal Agency: Federal Highway Administration, Department of Transportation

**MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION  
STBG PROGRAM  
SUPPLEMENTAL AGREEMENT**

THIS SUPPLEMENTAL AGREEMENT is entered into by the Missouri Highways and Transportation Commission (hereinafter, "Commission") and the City of Florissant (hereinafter, "City").

WITNESSETH:

WHEREAS, on September 20, 2022, the Commission and the City previously entered into a STBG Program Agreement as to public improvements designated as STP-4901(650), for the resurfacing, replacement of damaged or deteriorated curb and sidewalk, construction of accessible curb ramps and new sidewalk, (hereinafter, "Original Agreement"); and

WHEREAS, the Commission and the City now desire to revise the Original Agreement.

NOW, THEREFORE, in consideration of the mutual covenants, promises and representations contained herein, the parties agree as follows:

(1) REVISION: Paragraph (2) LOCATION of the Original Agreement is hereby removed and replaced with the following:

(2) LOCATION: The contemplated improvement designated as Project STP-4901(650) by the Commission is within the city limits of Florissant, Missouri. The general location of the improvement is shown on an attachment hereto marked "Exhibit A" and incorporated herein by reference. More specific descriptions are as follows:

Mullanphy Road from Patterson Road to Shackelford Road. Sidewalk will be extended from Loveland Drive to Vesper Drive.

(2) REVISION: Paragraph (12) REIMBURSEMENT of the Original Agreement is hereby removed and replaced with the following:

(12) REIMBURSEMENT: The cost of the contemplated improvements will be borne by the United States Government and by the City as follows:

(A) Any federal funds for project activities shall only be available for reimbursement of eligible costs which have been incurred by City. Any costs incurred by City prior to authorization from FHWA and notification to proceed from the Commission are **not** reimbursable costs. All federally funded projects are required to have a project end date. Any costs incurred after the project end date are not eligible for reimbursement. The federal share for this project will be 80 percent not to exceed \$1,447,494. The calculated federal share for seeking federal reimbursement of participating costs for the herein improvements will be determined by dividing the total federal funds applied to the project by the total participating costs. Any costs for the herein improvements which exceed any federal reimbursement or are not eligible for federal reimbursement shall be the sole responsibility of City. The Commission shall not be responsible for any costs associated with the herein improvement unless specifically identified in this Agreement or subsequent written amendments.

(B) The total reimbursement otherwise payable to the City under this Agreement is subject to reduction, offset, levy, judgment, collection or withholding, if there is a reduction in the available federal funding, or to satisfy other obligations of the City to the Commission, the State of Missouri, the United States, or another entity acting pursuant to a lawful court order, which City obligations or liability are created by law, judicial action, or by pledge, contract or other enforceable instrument. Any costs incurred by the City prior to authorization from FHWA and notification to proceed from the Commission are not reimbursable costs.

(3) ORIGINAL AGREEMENT: Except as otherwise modified, amended, or supplemented by this Supplemental Agreement, the Original Agreement between the parties shall remain in full force and effect and shall extend and apply to this Supplemental Agreement as if fully written in this Supplemental Agreement.

*Remainder of Page Intentionally Left Blank*

IN WITNESS WHEREOF, the parties have entered into this Agreement on the date last written below.

Executed by the City on \_\_\_\_\_(DATE).

Executed by the Commission on \_\_\_\_\_(DATE).

MISSOURI HIGHWAYS AND  
TRANSPORTATION COMMISSION

CITY OF FLORISSANT

\_\_\_\_\_

By \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

ATTEST:

ATTEST:

\_\_\_\_\_  
Secretary to the Commission

By \_\_\_\_\_

Title: \_\_\_\_\_

Approved as to Form:

Approved as to Form:

\_\_\_\_\_  
Commission Counsel

\_\_\_\_\_

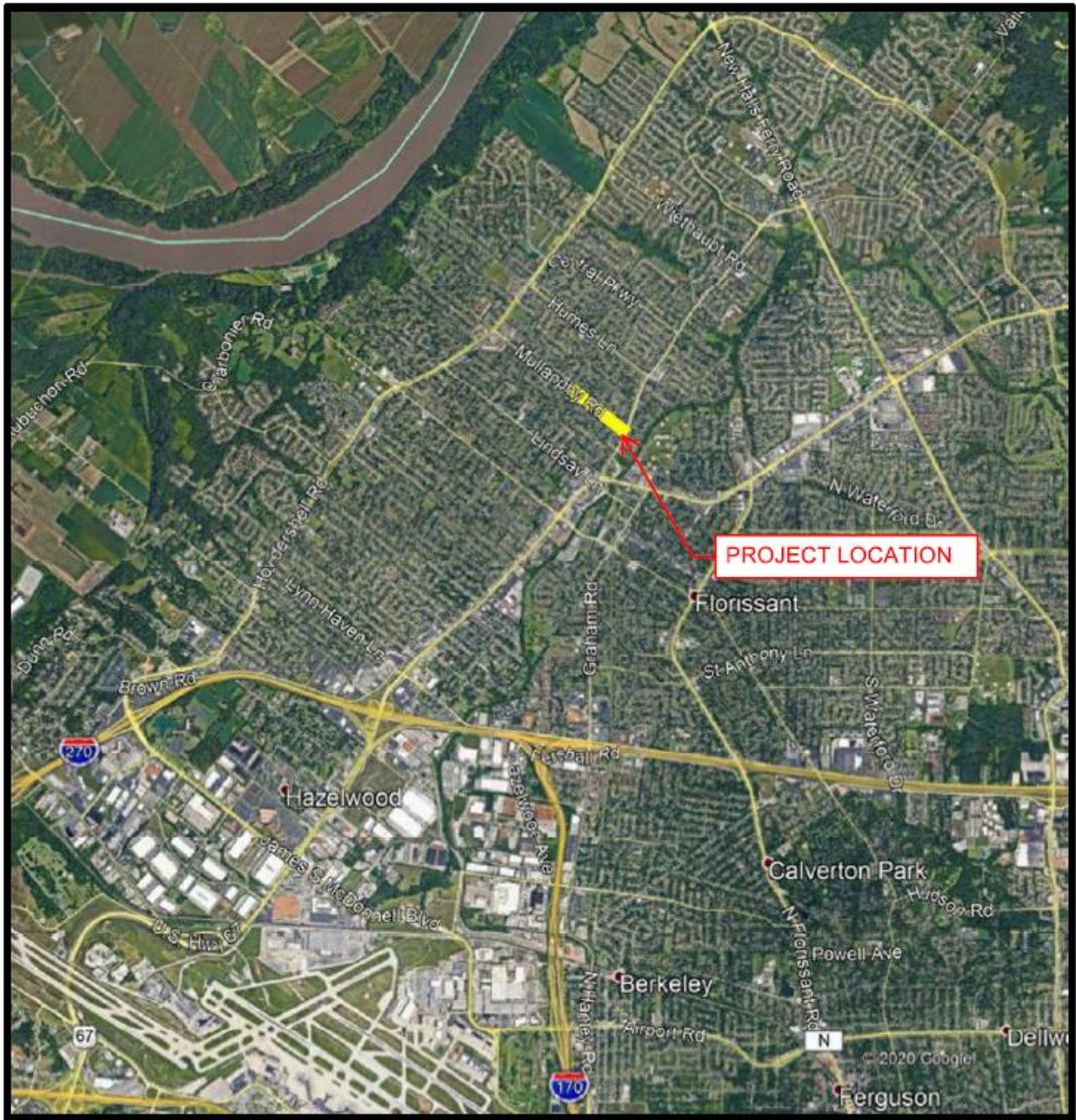
Title: \_\_\_\_\_

Ordinance No.: \_\_\_\_\_



Exhibit A - Location of Project

Mullanphy Road from Patterson Road to Fernbrook Drive





Mullanphy Road from Fernbrook Drive to Shackelford Road



Missouri Department of Transportation

1590 Woodlake Drive  
Chesterfield, Missouri 63017-5712  
314.275.1500  
Fax: 573.522.6475  
1.888.ASK MODOT (275.6636)

January 23, 2023

Mr. Tom Goldkamp  
City Engineer  
City of Florissant  
955 Rue St. Francois Street  
Florissant, MO 63031

RE: City of Florissant  
Mullanphy Road  
Federal Project Number STP-4901(650)  
TIP Number: 7236-23  
Draft Program Agreement, Programming Comments, Environmental Requirements

Dear Mr. Goldkamp:

This federal aid project is shown in the regional Transportation Improvement Program (TIP) and has been assigned a federal project number of STP-4901(650). Please use this number on all future project correspondence. This project will be administered per the Federal Highway Administration (FHWA) direction given in the Local Public Agency (LPA) Policy Manual. The manual is located in Section 136 of MoDOT's Engineering Policy Guide (EPG) which can be found on MoDOT's website.

**In order for the City to remain eligible for federal reimbursement for Design, Right of Way, or Construction activities, the City must first obtain MoDOT approval for each project stage.**

### **Federal Aid Program Agreement**

Enclosed is a draft copy of the program agreement for the above noted project. This agreement must be executed by the City and by the Missouri Highways and Transportation Commission (MHTC) prior to obligation of federal funds and authorization of reimbursable work. If this program agreement is acceptable to the City, then please process the agreement through the DocuSign process and attach one copy of the City's applicable enabling ordinance. Please note that the person authorized to sign the agreement per the enabling ordinance will be required to provide signatures on the executed program agreement. A fully executed program agreement will be returned to your office.

### **Form 1590 Sub-Recipient Information - FFATA**

MoDOT is requesting information from project sponsors for compliance with the 2006 Federal Funding Accountability and Transparency Act (FFATA). Project sponsors should complete the attached MoDOT Form 1590 for each program agreement totaling \$25,000 or more. This form is required to be submitted for every project by LPA's participating in the fed-aid program. The required data includes information about the primary federal funding recipient (MoDOT), the federal grant (federal aid project), and sub-recipients (project sponsor). All Information regarding MoDOT sub-awards can be accessed by the public on the following site: [www.usaspending.gov](http://www.usaspending.gov). This access helps to ensure transparency of federal project funding and is part of FFATA implementation.



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[www.modot.org](http://www.modot.org)

### **Preliminary Engineering by Consultant**

Federal funds for Preliminary Engineering (PE) have been programmed in FY 2023 for this project and are available to the City at this time. If the City is seeking federal funds for consultant PE services, the City must use a Qualification Based Selection (QBS) process for the procurement of engineering services. See EPG Section 136.4 for consultant selection details.

Each consultant services Request for Qualifications (RFQ) must be reviewed by MoDOT for Disadvantage Business Enterprise (DBE) opportunities. As the City is developing the RFQ, please submit a scope of work and a cost estimate for the anticipated consultant activities that will take place during the PE phase of the project. This information will be used to determine a DBE goal for the contract which must be included in the RFQ.

After the consultant selection process is completed, please submit a PDF copy of the Engineering Services Contract (ESC) using the ESC sample cover letter (EPG Fig. 136.4.9) for review and approval. Please include the ESC Submittal Checklist (EPG Fig. 136.4.11) and ESC Review Checklist (EPG Fig. 136.4.14). The standardized ESC contract format found in EPG Fig. 136.4.1 is required unless your agency receives prior approval from MoDOT to use an alternate contract form.

If the consultant contract is estimated to be less than \$100,000, the LPA may select a firm from the LPA On-Call Consultant List for consideration without advertisement. See EPG Section 136.4.2.4.3 for further information regarding using the LPA On-Call Consultant List.

**No work shall begin until the PE funds have been obligated by FHWA and MoDOT has given the City notice to proceed. Any funds spent prior to PE obligation will not be reimbursable.**

### **Construction Engineering/Inspection**

If the City is seeking federal funds for consultant Construction Engineering/Inspection (CE) services, the City may elect to include those CE services with the consultant PE contract. Otherwise selection of the CE consultant must follow a separate Qualification Based Selection (QBS) process.

If the City plans on using in-house forces to perform reimbursable CE services, then a cost estimate for the in-house work shall be submitted along with the final project plans, specifications, and estimate. See EPG Section 136.3.12 for details on fed-aid participation in Work by Local Forces.

### **Environmental Requirements**

In accordance with the National Environmental Policy Act (NEPA) all projects must be reviewed for environmental and cultural resource impacts. See EPG Section 136.6 for Environmental and Cultural Resources requirements.

The City will need to submit a Request for Environmental Review (RER) using MoDOT's RER database.

The City or your PE consultant must obtain NEPA approval from MoDOT's Environmental Department before the Preliminary Plans can be approved. (This means the City must obtain the Threatened & Endangered Species clearance, Section 4(f)/6(f) clearance, Noise clearance, and Section 106 clearance obtain the NEPA approval.) Please understand, the City must obtain the NEPA approval before MoDOT will review the Right-of-Way plans.) Please review EPG Section 136.6 for information on the electronic RER process.

MoDOT has updated the Section 106 review process by hiring a consultant to oversee the process. The City should submit their Request for Environmental Review (RER), MoDOT will review their RER and determine if the project is covered by a memorandum of understanding between MoDOT and the State



Historic Preservation Office (SHPO). Most LPA projects will be covered by the memorandum of understanding. If the project is not covered by the MOU, then the City will be notified to submit a Section 106 form to SHPO. (This information is included in Section 136.6.4.1.1 of the LPA Manual.)

### **Design Criteria**

Missouri State Statute dictates that the plans, specifications, and estimates for public road work must be prepared by or under the immediate supervision of a registered professional engineer. Your agency's engineer of record is responsible for determining the appropriate design parameters for the project. If any improvements are to occur on MoDOT right of way, the project design criteria used must be approved by MoDOT's Area Team.

### **ADA Requirements**

The Americans with Disabilities Act (ADA) requires that all pedestrian facilities impacted by the scope of the project must be designed to current accessibility standards. When plans for this project are submitted to MoDOT for review, they will need to include enough detail to show that sidewalks, curb ramps, detectable warning panels, and other impacted pedestrian facilities meet ADA requirements.

### **Utility Impacts**

All utility companies that are affected by this project should be notified of the project scope and project schedule at this time. Since utility company comments may affect preliminary plan development, the City will need to provide a brief summary of utility impacts when submitting Preliminary Plans. A utility checklist and further information is available in EPG Section 136.7.2.6.

### **Public Involvement / Public Hearings**

During the environmental review process, the City will need to provide information about the type of public involvement. Depending on the impacts to the public, the public involvement will vary. Examples of public involvement include adding project information to the City's website, using press releases to notify the public, contacting nearby property owners to inform them about the project, and having a public hearing.

If a public hearing is required for this project, please provide this office with a copy of the public hearing advertisement that is to be published. Please refer to EPG Section 136.7.6 for further information.

### **Preliminary Plan Submittal**

Once preliminary plans have been completed, please submit an electronic copy of the plans with the entire plan set in one PDF file via email for review and approval.

If you have any questions, please contact your Local Programs Design Liaison.

Sincerely,



Cynthia Simmons, P.E.  
District Planning Manager  
MoDOT

Copy with attachment: Jason Lange – East West Gateway



# Agenda Request Form

**For Administration Use Only:**

Meeting Date: 4/24/2023

Open  Closed

Report No. 29/2023

**Date Submitted:**

**To:** City Council

**Title:** Ordinance authorizing an amendment to 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development).

**Prepared by:** Administrator

**Department:** Public Works

**Justification:**

Please see attachments

**Attachments:**

1. Mission Hills Public Hearing Notice
2. Mission Hills Development Application
3. Mission Hills Development Staff Report
4. Mission Hills Development Site Plan
5. Mission Hills Development Plan

INTRODUCED BY COUNCILMAN EAGAN  
APRIL 24, 2023

BILL NO. 9882

ORDINANCE NO.

**ORDINANCE AUTHORIZING AN AMENDMENT TO 'B-5' ORDINANCE NO. 6166 TO ALLOW FOR THE EXPANSION OF A CAR SALES ESTABLISHMENT (MISSION HILLS DEVELOPMENT).**

WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district classifications for the purpose of regulating their construction and use of land, buildings and property within the said various districts, and said Ordinance provides the nature, kind and character of buildings that may be erected in each of the said districts and the use to which the land and buildings may be put; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of April 3, 2023 that Ordinance No. 1625 be amended to change the classification of the property at 660 Charbonier from R-4 “Residential Zoning District” to B-5 “Planned Commercial District”; and

WHEREAS ordinance no. 6166 established a B-5 “Planned Commercial District” for the adjacent property located at 225-227 N. Hwy 67 and Mission Hills now desires to include 660 Charbonier in the B-5 Development area; and

WHEREAS, due and lawful notice of a public hearing no. 23-04-010 on said proposed zoning change was duly published, opened on April 24, 2023 at 7:00 P.M. by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: 660 Charbonier is hereby rezoned to ‘B-5’ and included in the ‘B-5’ Zoning district created by ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) to allow for expansion, including parking of cars and RV’s car sales for the establishment at 225 N Highway 67, in accordance with the plans submitted: SP-1 and SP-2, dated 3/27/23, by Joe A. Dale NCARB, Architect and the following restrictions to be part of the record:

1. Chain link fence proposed shall be 8ft white vinyl fencing.
2. Existing bell tower height is an accepted exception to height requirements of the district.
3. Change Ordinance 7941, paragraph 1. PERMITTED USES to read as follows:  
Section 2, paragraph 1. a. The uses permitted in this ‘B-5’ Planned Commercial District shall be limited to auto sales facility housing offices, an area for minor mechanical repairs and detailing of cars to be performed exclusively in the building, expansion with auto sales and RV sales where located on SP-1 and SP-2, dated 3/27/23 and uses permitted within the B-3 “Extensive Business District” without a Special Permit.
4. Meet the City of Florissant landscape ordinance.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Joseph Eagan, President of the Council

Approved this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Mayor Timothy J. Lowery

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

**Application to the City of Florissant Planning & Zoning Commission (P&Z) to  
Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the  
Provisions of an Existing 'B-5' Ordinance**



**PLANNING & ZONING ACTION:**

Address of Property:

660 Charbonier Road

**RECOMMENDED APPROVAL**  
PLANNING & ZONING  
CHAIRMAN

Council Ward 3 Zoning R-4

SIGN. [Signature] DATE: 4-3-2023

Initial Date Petitioner Filed \_\_\_\_\_  
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT  
ORDINANCE # \_\_\_\_\_

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Mission Hills Development

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal  
interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Under Contract

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of  
authorization from owner to sponsor such a bill.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which  
the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description  
is found identical on requirements of "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn  
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street  
intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and  
distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed +/- 5.3

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in  
a 'B-5' District and is presently being used as Church/Pre-school, under R-4 Zoning

\_\_\_\_\_  
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: To be consistent with the B-5 Property adjacent owned by Mission Hills known as GMT Auto

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Glenn Travers Glenn.Travers@traversag.com  
Print Name Email address

PETITIONER(S) SIGNATURE (S) *Glenn Travers*

FOR Mission Hills Development  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):  
(  ) I (we) have a legal interest in the herein above described property.  
(  ) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME Joe Dale  
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS 743 St. Mary's Road Villa Ridge, Missouri 63089  
STREET CITY STATE ZIP CODE

PHONE 314-517-5101 Missouri

I (we) the petitioner (s) do hereby appoint Joe Dale joed07864@gmail.com as  
BUSINESS Print name of agent. Email address

my (our) duly authorized agent to represent me (us) in regard to this petition.

*Glenn Travers*  
Signature of Petitioner(s) or Authorized Agent

**NOTE:** Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual:  Partnership:  Corporation:

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Phone Number \_\_\_\_\_ Email \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Phone Number \_\_\_\_\_ Email \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners GLENN TRAVERS
- (2) Phone Number 314-960-4175 Email GMTAUTO@YAHOO.COM
- (3) Business address 225 N HWY 67 FLORISSANT, MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MISSOURI
- (5) Date of Incorporation January 28, 1998
- (6) Missouri Corporate Number 004513869
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated \_\_\_\_\_
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.



Please fill in applicable information requested.

Name FLORISSANT PRESYBERTIAN CHURCH  
Address 660 CHARBONIER RD  
Property Owner FLORISSANT PRESYBERTIAN CHURCH  
Location of property 660 Charbonier Road  
Dimensions of property +/- 580' X 401"  
Property is presently zoned B-5 per ordinance # NO, R-4  
Current & Proposed Use of Property Church & Pre-School  
Type of Sign N/A Height \_\_\_\_\_  
Type of Construction N/A Number Of Stories \_\_\_\_\_  
Square Footage of Building Existing Number of Curb Cuts Existing  
Number of Parking Spaces 128 Existing Sidewalk Length Existing  
Landscaping: No. of Trees Existing Diameter \_\_\_\_\_  
No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_  
Fence: Type Vinyl/Chain Link Length 784'/157' Height 8 Feet

**PLEASE SUBMIT (10) FOLDED COPIES OF THE FOLLOWING:**

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list the address and state that it is part of the shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

*Please See attached*

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection or include on plans.





Fidelity National Title Insurance Company

Escrow Officer: Kelly Cochran Escrow Officer Email: KCochran@STLTitle.com	<b>File No: 20373STL</b> Client File #: Revision #: Original, Print Date: March 20, 2023
Title Officer: Matt Struyk	

**ALTA COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A  
Issued by  
Fidelity National Title Insurance Company**

1. Commitment Date: **February 28, 2023, at 8:00 AM**
2. Policy to be issued:
  - (a) 2006 ALTA® Owner's Policy  
Proposed Insured: **Mission Hills Development Co. Inc.**  
  
Proposed Policy Amount: **\$1,000,000.00**
  - (b) 2006 ALTA® Loan Policy  
Proposed Insured: **Lender with contractual obligations under a loan agreement with the proposed insured for an Owner's Policy**  
Proposed Policy Amount: **\$5,000.00**
3. The estate or interest in the land described or referred to in this Commitment is **Fee Simple**.
4. Title to the said estate or interest in the Land is at the Commitment Date vested in:  
**Florissant Presbyterian Church Corporation**
5. The land is described as follows:  
**SEE ATTACHED EXHIBIT "A"**

Fidelity National Title Insurance Company  
Countersigned: St. Louis Title, a division of Fidelity National Title Insurance Company  
License No.

By:   
Authorized Signatory

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company.. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter signature by the Company or its issuing agent that may be in electronic form..*  
**27C165B72**

**ALTA Commitment for Title Insurance 8-1-16 w-KS MO Mod**  
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## EXHIBIT "A"

## Parcel No. 1:

A tract of land of in Survey's 168, 169 and 170 of the St. Ferdinand Common Fields in Township 47 North, Range 6 East, in St. Louis County, Missouri, and bounded as follows: North by Charbonier Road, East by property conveyed to Edward Opeau and wife by deed recorded in Book 2413 page 37, South by the North line of property conveyed to Ben J. Theiamann and wife by deed recorded in Book 486 page 501, being also the South line of property conveyed to Bernard Klaas and wife by deed recorded in Book 821 page 76 and West by a line parallel with the distant Westwardly from the East line of said property of Edward Opeau and wife, a sufficient distant to contain the exact quantity of 3 acres.

Excepting therefrom that part conveyed to State of Missouri by deed recorded in Book 6282 page 103.

## Parcel No. 2:

A tract of land in Surveys 168, 169 and 170 of the st. Ferdinand Common Fields, Township 47 North, Range 6 East, in St. Louis County, Missouri, and being part of a tract of land heretofore conveyed to Bernard and Lillian Klaas, as recorded in book 921 page 76 of said St. Louis County Records and being more particularly described as follows: Beginning at a point in the Southwestern line of Charbonier Road, being distant North 52 degrees West, 225.28 feet from the most Northeastern corner of said Klaas tract, said beginning point being also the most Northern corner of a 3.00 acre tract heretofore conveyed to the Florissant Presbyterian Church Corporation, by instrument recorded in Book 3428 page 449 of the St. Louis County records, thence South 37 degrees 45 minutes West and along the Northeastern line of said Church property, 580.77 feet to a point in the Southwestern line of said Klaas property, thence North 52 degrees 20 minutes West along said line 50 feet to a point, thence North 37 degrees 45 minutes East, 581.07 feet to a point in the Southwestern line of Charbonier Road, thence South 52 degrees East along said Road 50 feet to the point of beginning, according to Survey executed by George W. Kroop and Associates on February 1., 1956.

## Parcel No. 3:

A tract of land in Surveys 168, 169 and 170 of the St. Ferdinand Common Fields in Township 47 North, Range 6 East, St. Louis County, Missouri, and described as: Beginning at a point in the Southwestern line of Charbonier Road, being also the most Northern corner of property conveyed to Florissant Presbyterian Church Corporation by deed recorded in Book 3710 page 88; thence South 37 degrees 45 minutes West along the Northwest line of said Church property a distance of 581.07 feet to the Southwestern line of property conveyed to Bernard Klaas and wife by deed recorded in Book 921 page 76; thence North 52 degrees 20 minutes West a distance of 124 feet more or less to a point; thence North 37 degrees 45 minutes East along a line parallel with and 124

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27C165B72

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feet Northwest of the Northwest line of said Church property a distance of 582 feet more or less to a point in the Southwest line of said Charbonier Road; thence Southeastwardly along said Southwest line a distance of 124 feet more or less to the point of beginning.

Excepting therefrom that part conveyed to St. Louis County in Cause No. 557, 614 which Report of Commissioners recorded in Book 8199 page 556.

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**27C165B72**

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ALTA Commitment for Title Insurance 8-1-16 w-KS MO Mod  
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**STAFF CHECK LIST / REVIEW SHEET**

ADDRESS OF PROPERTY \_\_\_\_\_ CURRENT ZONING \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_ PHONE NO. \_\_\_\_\_

AUTHORIZED AGENT \_\_\_\_\_ PHONE NO. \_\_\_\_\_

PROPOSAL \_\_\_\_\_

1) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: \_\_\_\_\_

c. Proposed uses for out lots: \_\_\_\_\_

2) Performance Standards:

a) Vibration: Are there any foreseen vibration problems at the property line? Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No

c) Odors: Is there any foreseen problem with odor? Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No

f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? Yes / No

g) Is there any dangerous amount of radiation produced from the operation? Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? Yes / No

j) Is building(s) screened from adjoining residential? Yes / No

3) Is the height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What are the exterior construction materials on the building(s)? \_\_\_\_\_

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No

b) Is a variance required in accordance with the ordinance? Yes / No

c) Ratio shown \_\_\_\_\_ to \_\_\_\_\_

d) Total Number \_\_\_\_\_

e) Will cross access and cross parking agreements be required? Yes / No

f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown \_\_\_\_\_

Type of Signs \_\_\_\_\_

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

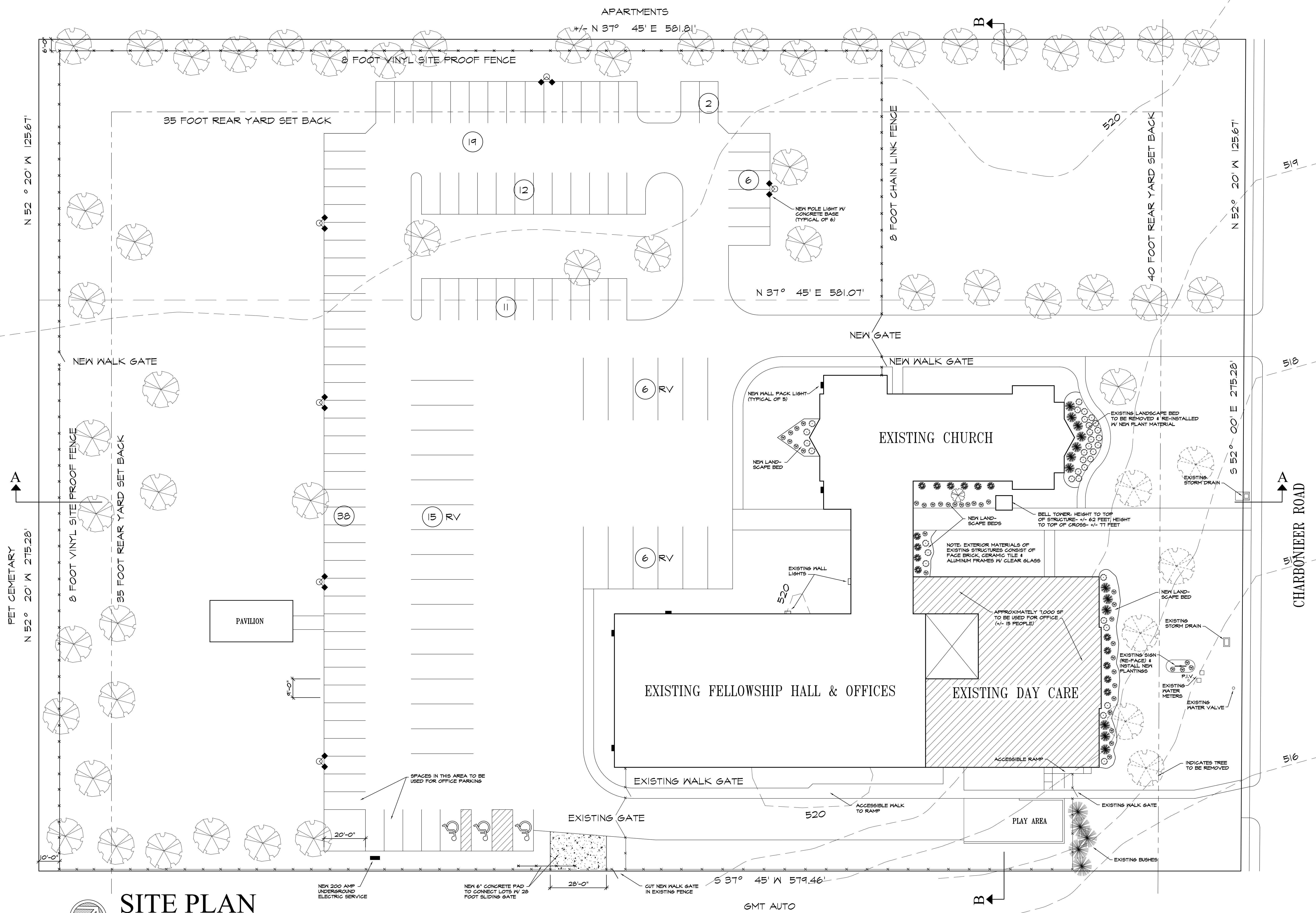
11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No  
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No  
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start \_\_\_\_\_ Finish \_\_\_\_\_
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient accessibility on the site plan shown? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No  
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

25) Staff Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
**Date Application reviewed**

\_\_\_\_\_  
**Building Commissioner or Staff Signature**



# SITE PLAN

SCALE: 1" = 20'-0"

project number	
file name	churchsp-1
date	03/27/23
sheet no.	of
<b>SP-1</b>	

no.	date	description
revisions		

ARCHITECT  
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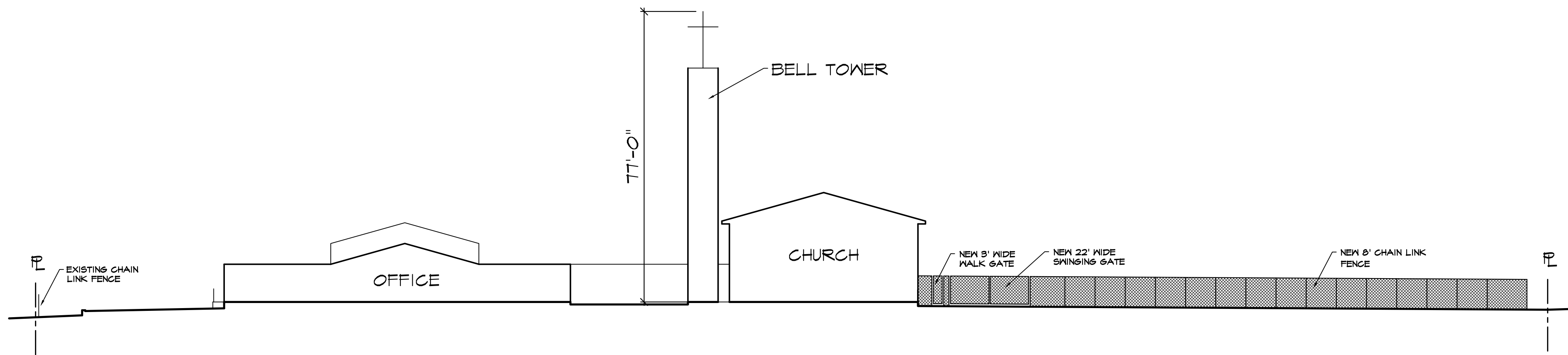
a proposed re-zoning site plan for:  
**GMT AUTO**  
 660 CHARBONNIER ROAD  
 FLOISSANT, MISSOURI 63031





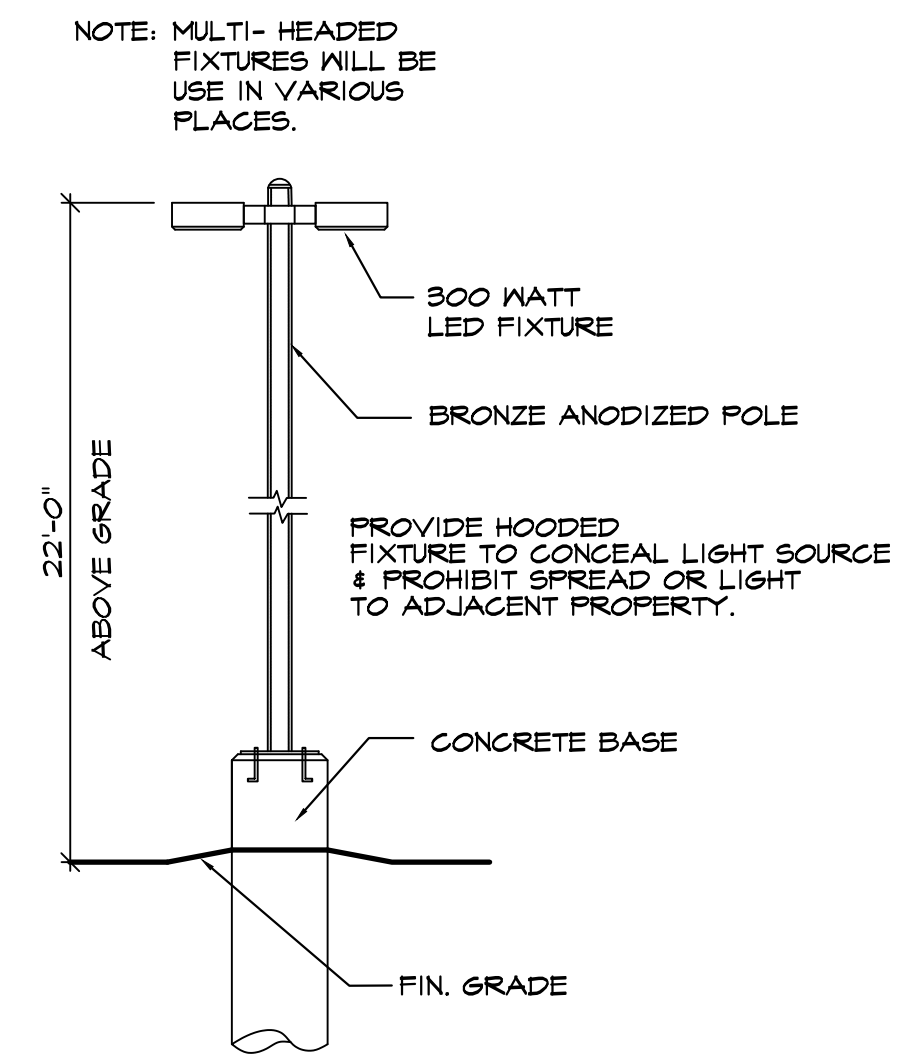
**SITE SECTION A-A**

SCALE: 1" = 20'-0"



**SITE SECTION B-B**

SCALE: 1" = 20'-0"



**LIGHT FIXTURE DETAIL**

NO SCALE

no.	date	description

revisions

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sheet no. SP-2 of