



## **CITY OF FLORISSANT - REQUEST FOR BIDS**

### **LEAD BASED PAINT HAZARD CONTROL PROGRAM**

The City of Florissant is soliciting bids from qualified individuals or companies to perform lead abatement work for Florissant homes that tested positive for lead based paint.

#### **INSTRUCTIONS TO BIDDERS**

1. All bids shall be submitted on the attached bid form.
2. Bids shall be on an individual unit providing all of the services listed on the RESPEC bid sheet.
3. Bidder's must provide copies of current state certifications and include them with bid.
  - ⚡ Proof of training in "Lead Safe Work Practices"
  - ⚡ Proof of Certification in Lead Abatement
  - ⚡ Valid State General Contractor's License
  - ⚡ Proof of insurance, includes General (must show \$150,000 or more of coverage), Worker's Compensation, and Applicable Auto Coverage
4. Bids will be evaluated using the following criteria:
  - a. Cost per unit
  - b. Capacity to start and complete work in a timely manner.
  - c. Number of days to complete project
    - The number of days shall be used by The City of Florissant to help determine the low bid for each package, since costs are incurred by the City of Florissant to cover relocation and monitoring.

#### **GENERAL INFORMATION**

All bids should be placed in a sealed envelope clearly marked "**Lead Based Paint Abatement Work.**" Bids will be emailed on **Wednesday, November 16, 2022** all bids should be submitted no later than **Thursday, December 1, 2022 at 5:00pm. The bid opening will be at 10:00 a.m. Friday December 2, 2022:**

**The City of Florissant  
Community Development Office  
1055 Rue St. Francois Florissant, MO 63031**

If you have any questions regarding the process, please contact Bryan Podkul, A.T.C. 314-504-5724 or Carol O'Mara, Community Development Director, 314-839-7680.

**CITY OF FLORISSANT  
1055 ST. FRANCOIS, FLORISSANT, MO 63031  
OFFICE OF COMMUNITY DEVELOPMENT**

## **BID OPENING MEETING**

A bid opening will be held at the:

Florissant Government Building  
1055 Rue St. Francois  
Florissant MO 63031

Friday, December 2, 2022 @ 10:00am

City of Florissant  
Community Development & Housing Resource Center  
2022

**BID FORM – 4 Houses**

<u>Property</u>	<u>Cost</u>	<u>Scheduled Abatement and Replacement</u>
175 West St. Anthony Lane	\$ _____	_____ days
185 West St. Anthony Lane	\$ _____	_____ days
1740 Bobbinray Avenue	\$ _____	_____ days
1440 Verlene Drive	\$ _____	_____ days
<hr/>		
<b>Total</b>	<b>\$ _____</b>	<b>_____ days</b>

\_\_\_\_\_  
**Company Name**

\_\_\_\_\_  
**Authorized Representative (Sign)**

\_\_\_\_\_  
**Address**

\_\_\_\_\_  
**Authorized Representative (Print)**

\_\_\_\_\_  
**City, State, Zip +4**

\_\_\_\_\_  
**Title**

\_\_\_\_\_  
**Telephone/Fax**

\_\_\_\_\_  
**Date**

**ATLAS**

14 Sunnen Drive, Suite 143, St. Louis, MO 63143

Phone: 314-410-6007; Fax: 314-644-4838

Cell: 314-504-5724

bryan.podkul@oneatlas.com



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**REHABSPEC  
Work Write-up**

Case Number: **FLOR22001**

BID TOTAL \$: \_\_\_\_\_

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Property Information:

**175 West St. Anthony Lane  
FLORISSANT, Missouri,**

BID CLOSING DATE: \_\_\_\_\_

Jurisdiction:

Target Area:

Census:

**CONTRACTOR INFORMATION**

Owner Information:

**Lawrence & Patricia Barbaglia  
175 West St. Anthony Lane  
FLORISSANT, Missouri, 63031**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Voice: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

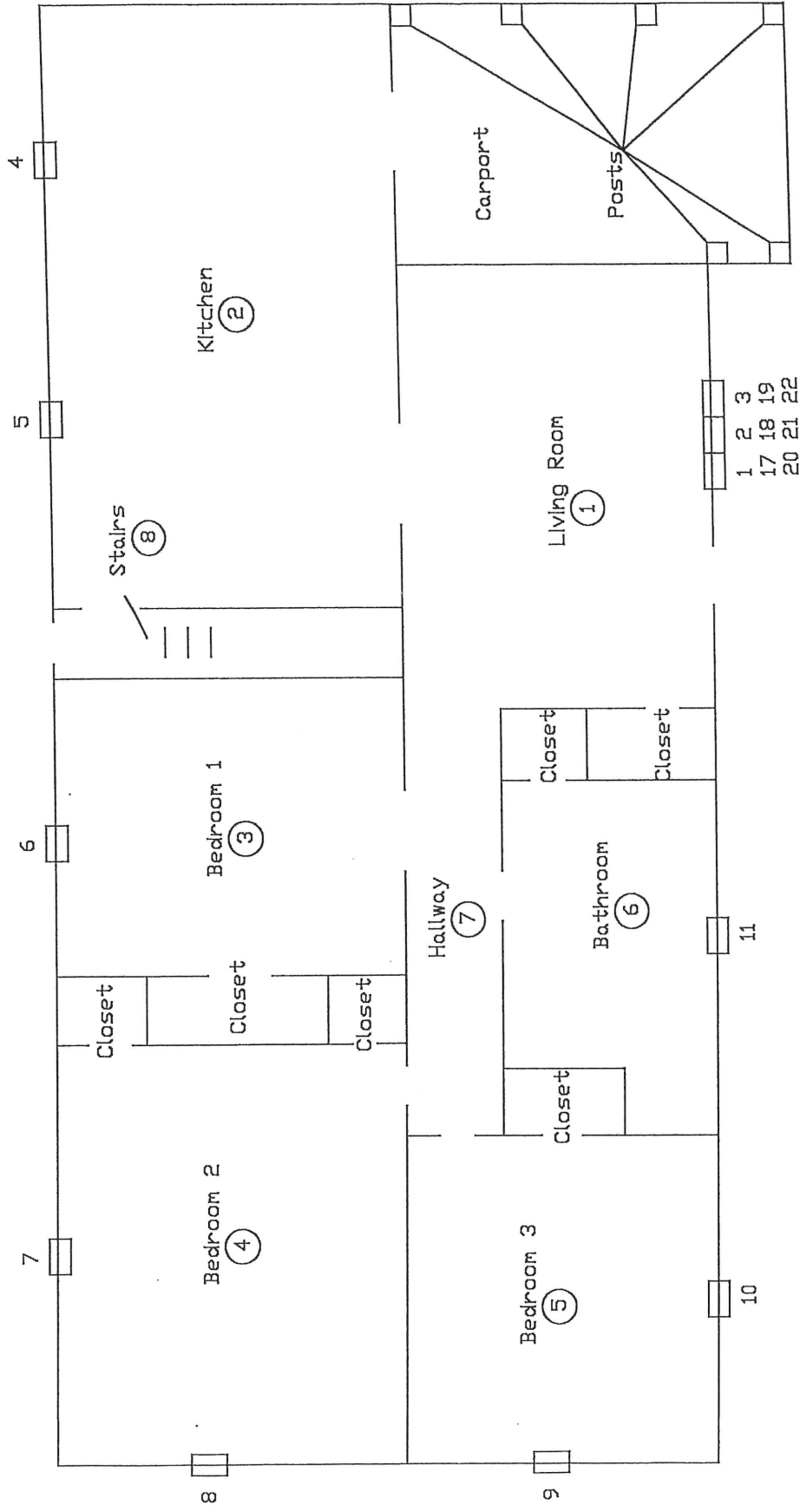
Phone: (314)750-1030

Mobile:





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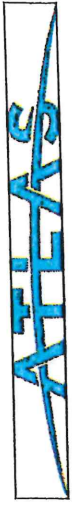
1st Floor

West St. Anthony Lane

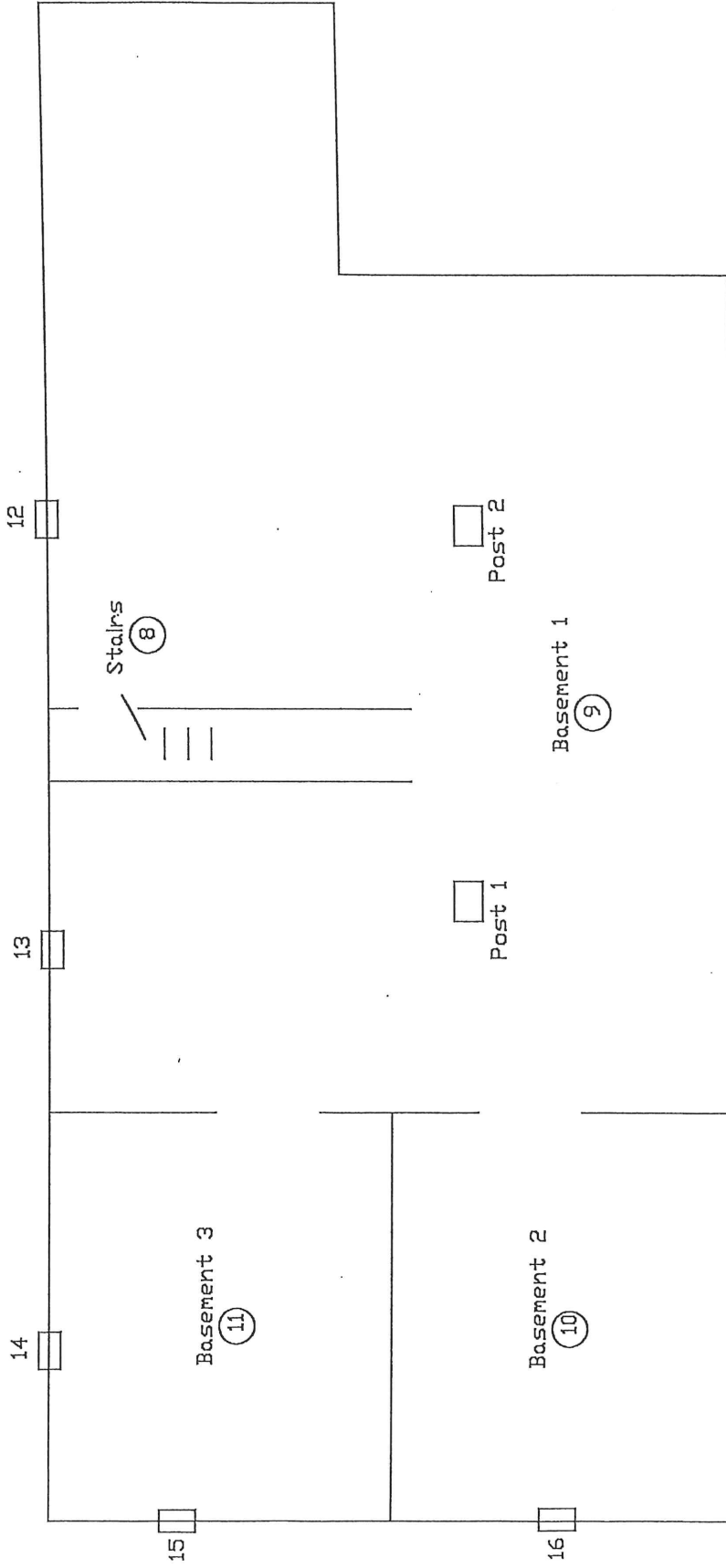
SITE MAP

Single-Family Residence  
 175 West St. Anthony Lane  
 Florissant, Missouri 63031

PROJECT NUMBER: FLOR22001	FIGURE 1	SCALE: Not To Scale
DRAWING FILE: N/A		DRAWN BY: BP 9/19/22
		REVISED BY:



C



Basement

West St. Anthony Lane

**SITE MAP**

Single-Family Residence  
175 West St. Anthony Lane  
Florissant, Missouri 63031

PROJECT NUMBER: FLOR22001	FIGURE 2	SCALE: Not To Scale
DRAWING FILE: N/A		DRAWN BY: BP 9/19/22
		REVISED BY:





Single-Family Residence  
175 West St. Anthony Lane  
Florissant, Missouri



Photo 1: 175 West St. Anthony Lane, Florissant, Missouri



Photo 2: Window System (#1-3, #17-19, and #20-22)



Photo 3: Carport Posts

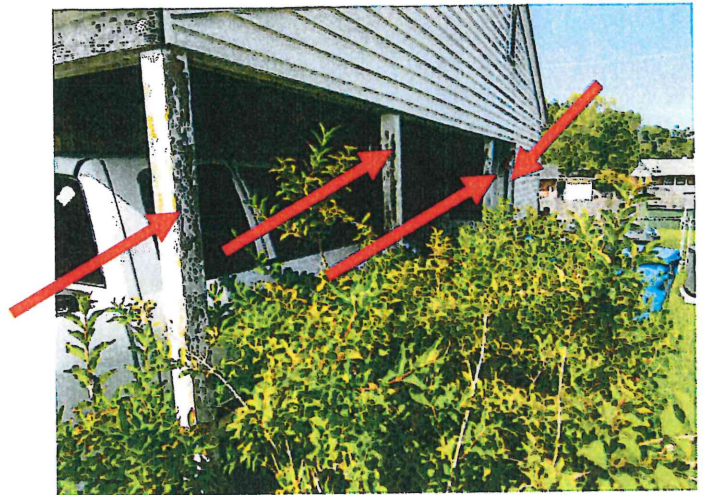


Photo 4: Carport Posts



Photo 5: Carport Header



Photo 6: Carport Upper Ceiling



Single-Family Residence  
175 West St. Anthony Lane  
Florissant, Missouri



Photo 1: Carport Lower Ceiling



Photo 2: Carport Upper Wall (D-wall)

**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | Windows**

1            0321050001            3 ea            2 LEAD HAZARD            \$ \_\_\_\_\_

**Remove and Replace Window Unit**

Per HUD Lead Safe Housing requirements, remove the existing (type,wood metal etc.) window and dispose of all debris.

Provide and install new vinyl insulated replacement window (double-hung or slider) with screens, **NECESSARY JOIN FRAMING**, hardware, and caulking as necessary.

Remove the existing lead painted windows from the outside to prevent interior trim damage and lead dust contamination. Exterior trim shall be wrapped with white aluminum coil stock.

**Windows must have Energy Star rating.** Central Zone Energy star ratings are u-factor < or equal to 0.30, and solar heat gain coefficient < or equal to 0.55 as of October 2013.

GRIDS - Replace with **like**, unless requested by homeowner and properly documented and approved by St. Clair County IGD.

Include any repair to interior walls to bring to original condition.  
Clean areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required.  
Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

Windows shall be installed as to create a proper seal.

NOTE: Windows include  
Windows #1/17/20 (convert to one double-hung);  
Windows #2/18/21 (convert to one double-hung); and  
Windows #3/19/22 (convert to one double-hung)

SEE SITE MAP FOR WINDOW LOCATIONS.

**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | Carport**

2	0321090122	6 ea	2 LEAD HAZARD	\$ _____
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**Remove and Replace Carport Posts**

Per HUD Lead Safe Housing requirements,  
 Remove the existing six (6) carport posts and dispose of all debris.  
 Install new treated 4x4 posts with approved metal base connectors.

Clean the areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: Six (6) total

3	0321090125	34 LF	2 LEAD HAZARD	\$ _____
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**Enclose Wood Carport Beams/Headers**

Per HUD Lead Safe Housing requirements,  
 Wet scrape all peeling and loose paint from exterior carport wood beams/headers, and encapsulate with Tyvek ( or approved equal) materials. Seal the perimeter with approved adhesive and fastners as required.

Install aluminum capping material (Alcoa, or approved equal). Install as per the manufactures specs.

Clean the areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: A/B/D-walls

4	0321090113	240 SF	2 LEAD HAZARD	\$ _____
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**Enclose Carport Ceiling/Inner Walls - Metal**

Per HUD Lead Safe Housing requirements,  
Wet scrape all peeling and loose paint from exterior carport ceiling and inner walls and encapsulate with Tyvek ( or approved equal) materials. Seal the perimeter with approved adhesive and fastners as required.

Install 1/2 inch J channel and vinyl or alum. soffit material (Alcoa, Mastic, Heartland or approved equal).  
Install as per the manufactures specs.

Clean the areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: Entire Ceiling (currently painted BLACK) and Inner D-wall (also painted BLACK)

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**Total For: Exterior -  
General (LEAD) \$ \_\_\_\_\_**

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**Total For: Exterior \$ \_\_\_\_\_**

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Job Total Cost: \$ \_\_\_\_\_



**ATLAS**

14 Sunnen Drive, Suite 143, St. Louis, MO 63143

Phone: 314-410-6007; Fax: 314-644-4838

Cell: 314-504-5724

bryan.podkul@oneatlas.com



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**REHABSPEC  
Work Write-up**

Case Number: **FLOR22002**

BID TOTAL \$: \_\_\_\_\_

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Property Information:

**185 West St. Anthony Lane  
FLORISSANT, Missouri,**

BID CLOSING DATE: \_\_\_\_\_

Jurisdiction:

Target Area:

Census:

**CONTRACTOR INFORMATION**

Owner Information:

**Michelle Elgin  
185 West St. Anthony Lane  
FLORISSANT, Missouri, 63031**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Voice: \_\_\_\_\_

Fax: \_\_\_\_\_

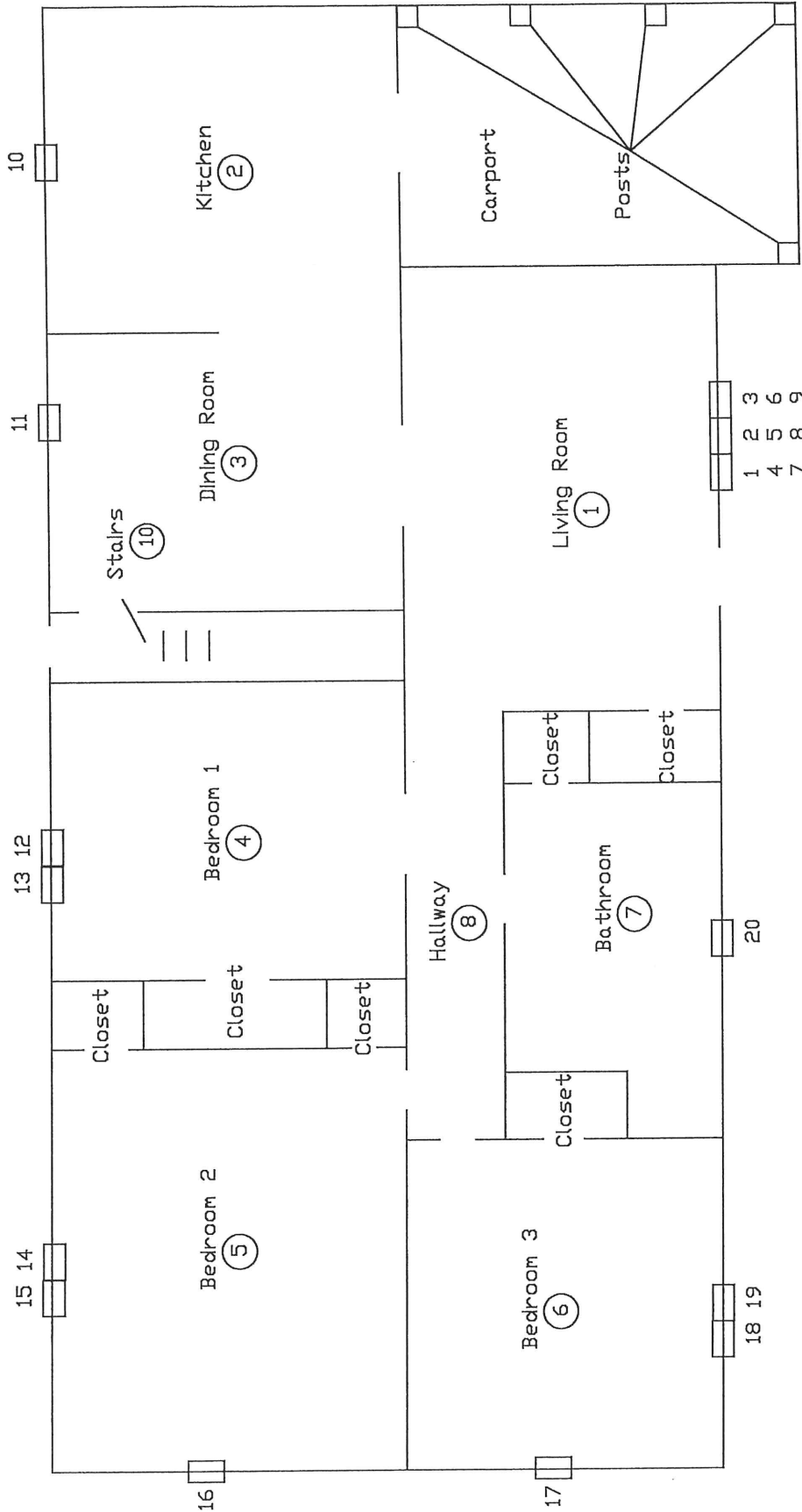
Email: \_\_\_\_\_

Phone: (314)452-1275

Mobile:



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B

1st Floor

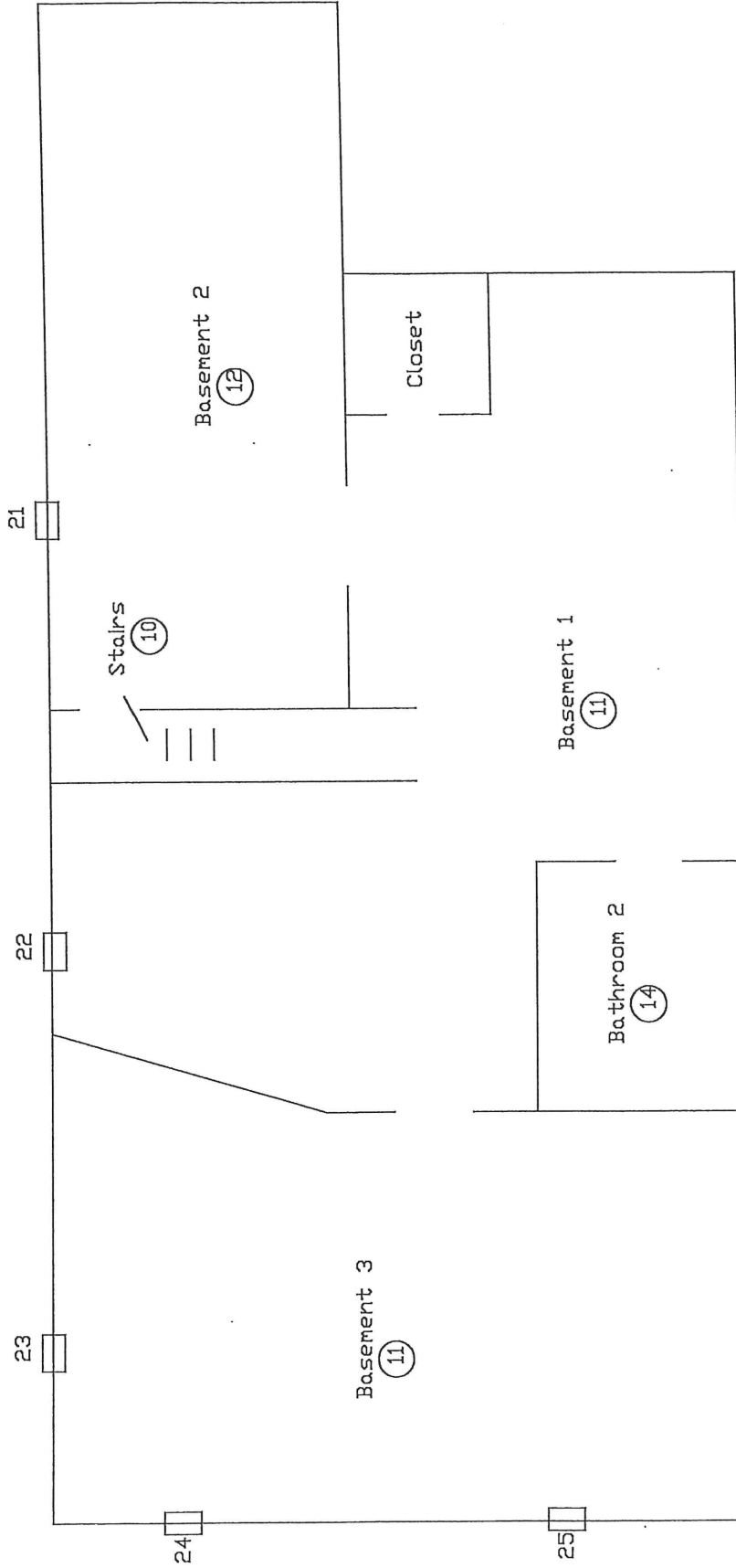
West St. Anthony Lane

**SITE MAP**  
 Single-Family Residence  
 185 West St. Anthony Lane  
 Florissant, Missouri 63031

PROJECT NUMBER: FLOOR2002	FIGURE 1	SCALE: Not To Scale
DRAWING FILE: N/A		DRAWN BY: BP 9/23/22
		REVISED BY:



C



D

B

Basement

West St. Anthony Lane

**SITE MAP**

Single-Family Residence  
 185 West St. Anthony Lane  
 Florissant, Missouri 63031

SCALE: Not To Scale	FIGURE 2	PROJECT NUMBER: FLOR22002
DRAWN BY: BP 9/23/22	DRAWING FILE: N/A	
REVISED BY:		







Photo 1: 185 West St. Anthony Lane, Florissant, Missouri

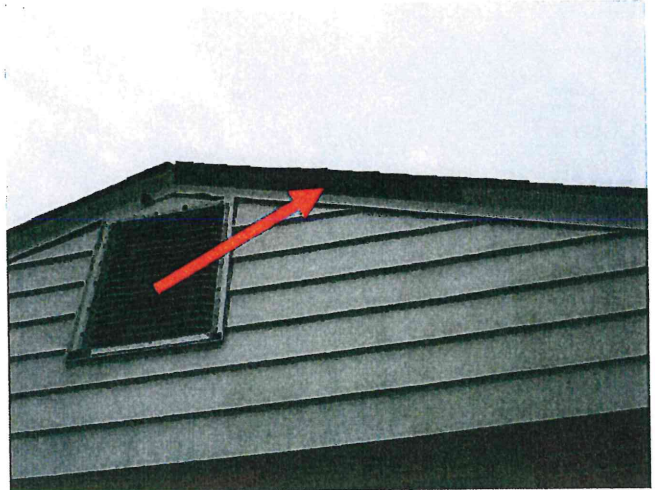


Photo 2: Exposed Fascia (B-wall)



Photo 3: Door System (A-wall; to Room 2)



Photo 4: Frieze Board



Photo 5: Window System (#1-3, #4-6, and #7-9)



Photo 6: Window #10





Photo 1: Window #11



Photo 2: Window #12-13



Photo 3: Window #14-15



Photo 4: Window #16



Photo 5: Window #17



Photo 6: Window #18-19



Photo 1: Window #20



**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | Doors**

1            032103102            1 ea            2 LEAD HAZARD            \$ \_\_\_\_\_

**Replace Door Unit and Rehang Storm Unit**

Per HUD Lead Safe Housing requirements, remove the existing storm door and entrance door, jamb, trim and sill, (**save the storm unit to be re-installed**) dispose of all other debris.

Provide and install, primed prehung steel insulated raised panel exterior 1-3/4" solid core door with trim.

Homeowner choice on style of door (6-panel w/peephole, fanlite or 9-lite)

Include keyed lockset, doorstop, deadbolt, and vinyl bubble weather-stripping.

Include any repair to interior walls to bring to original condition.

Clean the storm door per HUD three step process and re-install the existing storm door.

Clean the areas per HUD three step process for final clearance compliance.

It is the contractors responsibility to paint the primed door after construction is complete. Homeowner choice of color.

Doors and Storm Doors shall be installed as to create a proper seal.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required.

Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines.

Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: A-wall (to Room 2)

**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | Windows**

2            0321050001            1 ea            2 LEAD HAZARD            \$ \_\_\_\_\_

**Remove and Replace Window Unit**

Per HUD Lead Safe Housing requirements, remove the existing (type, wood metal etc.) window and dispose of all debris.

Provide and install new vinyl insulated replacement window (double-hung or slider) with screens, **NECESSARY JOIN FRAMING**, hardware, and caulking as necessary. Remove the existing lead painted windows from the outside to prevent interior trim damage and lead dust contamination. Exterior trim shall be wrapped with white aluminum coil stock.

**Windows must have Energy Star rating.** Central Zone Energy star ratings are u-factor < or equal to 0.30, and solar heat gain coefficient < or equal to 0.55 as of October 2013.

GRIDS - Replace with **like**, unless requested by homeowner and properly documented and approved by St. Clair County IGD.

Include any repair to interior walls to bring to original condition.  
Clean areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required.  
Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

Windows shall be installed as to create a proper seal.

NOTE: Windows include  
Windows #1/4/7 (convert to one double-hung);  
Windows #2/5/8 (convert to one double-hung); and  
Windows #3/6/9 (convert to one double-hung)

SEE SITE MAP FOR WINDOW LOCATIONS

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3	0321050001	11 ea	2 LEAD HAZARD	\$ _____
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**Remove and Replace Window Unit**

Per HUD Lead Safe Housing requirements, remove the existing (type, wood metal etc.) window and dispose of all debris.

Provide and install new vinyl insulated replacement window (double-hung or slider) with screens,



hardware, and caulking as necessary.

Remove the existing lead painted windows from the outside to prevent interior trim damage and lead dust contamination. Exterior trim shall be wrapped with white aluminum coil stock.

**Windows must have Energy Star rating.** Central Zone Energy star ratings are u-factor < or equal to 0.30, and solar heat gain coefficient < or equal to 0.55 as of October 2013.

GRIDS - Replace with **like**, unless requested by homeowner and properly documented and approved by St. Clair County IGD.

Include any repair to interior walls to bring to original condition.  
Clean areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required.  
Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

Windows shall be installed as to create a proper seal.

NOTE: Windows include windows #10-20 (See Site Map).  
\* **Window #20 (LOWER SASH SHALL BE OBSCURED GLASS).**

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**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | Exterior Trim**

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4            0321090104            10 L.F.            2 LEAD HAZARD            \$ \_\_\_\_\_

**Enclose Fascia**

Per HUD Lead Safe Housing requirements

Wet scrape all peeling and loose paint from exterior fascia.

Cap Fascia trim with an aluminum enclosure system.

Clean all effected areas per HUD final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: B-wall (exposed wood portion ONLY)

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5	0321090104	90 L.F.	2 LEAD HAZARD	\$ _____
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**Enclose Frieze Board**

Per HUD Lead Safe Housing requirements,

Wet scrape all peeling and loose paint from exterior frieze board.

Cap frieze board trim with an aluminum enclosure system.

Clean all effected areas per HUD final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: A and C-walls

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**Total For: Exterior -  
General (LEAD) \$ \_\_\_\_\_**

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**Total For: Exterior \$ \_\_\_\_\_**

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**Interior | Main Structure | Interior | Interior - General (LEAD) | General (LEAD)**

6            030009129            1 LS            2 LEAD HAZARD            \$ \_\_\_\_\_

**HEPAWET CLEAN/HEPA CLEANING**

After completion of all abatement, removal of containment and repositioning of all furniture. HEPA vacuum all visible horizontal surfaces in the dwelling including floors, window sills and window troughs. Wet wipe all horizontal surfaces with a lead specific detergent or equivalent and rinse. After surface is dry, repeat HEPA vacuum all horizontal surfaces.

All work to be done per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

NOTE: All Floors (including Carpeting), Window Sills and Window Troughs.

\_\_\_\_\_  
**Total For: Interior - General  
(LEAD) \$ \_\_\_\_\_**

\_\_\_\_\_  
**Total For: Interior \$ \_\_\_\_\_**

\_\_\_\_\_  
**Job Total Cost: \$ \_\_\_\_\_**

**ATLAS**

14 Sunnen Drive, Suite 143, St. Louis, MO 63143

Phone: 314-410-6007; Fax: 314-644-4838

Cell: 314-504-5724

bryan.podkul@oneatlas.com



**REHABSPEC  
Work Write-up**

Case Number: **FLOR22003**

BID TOTAL \$: \_\_\_\_\_

Property Information:

**1740 Bobbinray Avenue  
FLORISSANT, Missouri,**

BID CLOSING DATE: \_\_\_\_\_

Jurisdiction:

Target Area:

Census:

**CONTRACTOR INFORMATION**

Owner Information:

**Gary & Nicole Garner**  
*1740 Bobbinray Ave*

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Voice: \_\_\_\_\_

Fax: \_\_\_\_\_

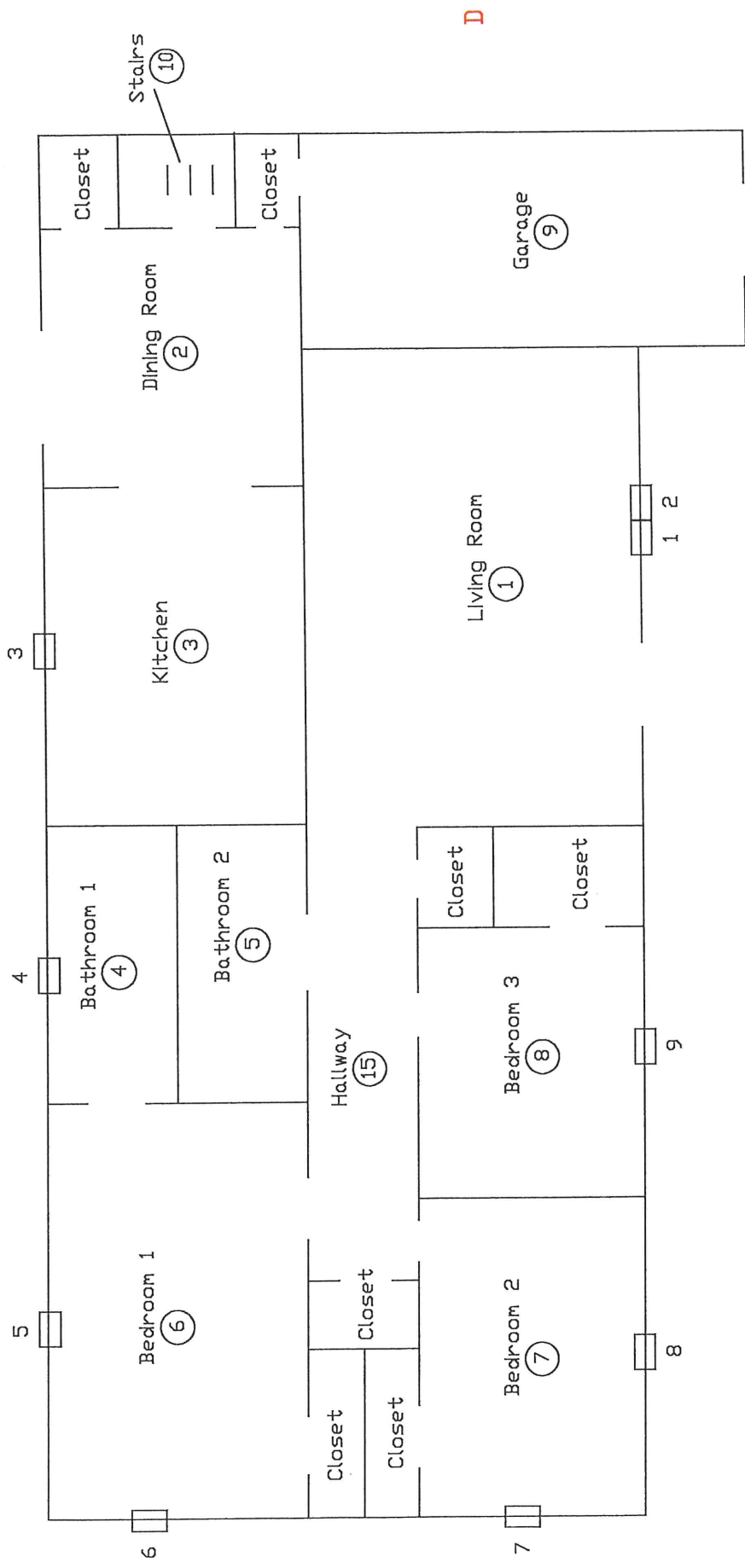
Email: \_\_\_\_\_

Phone: (314)837-3704

Mobile:



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1st Floor

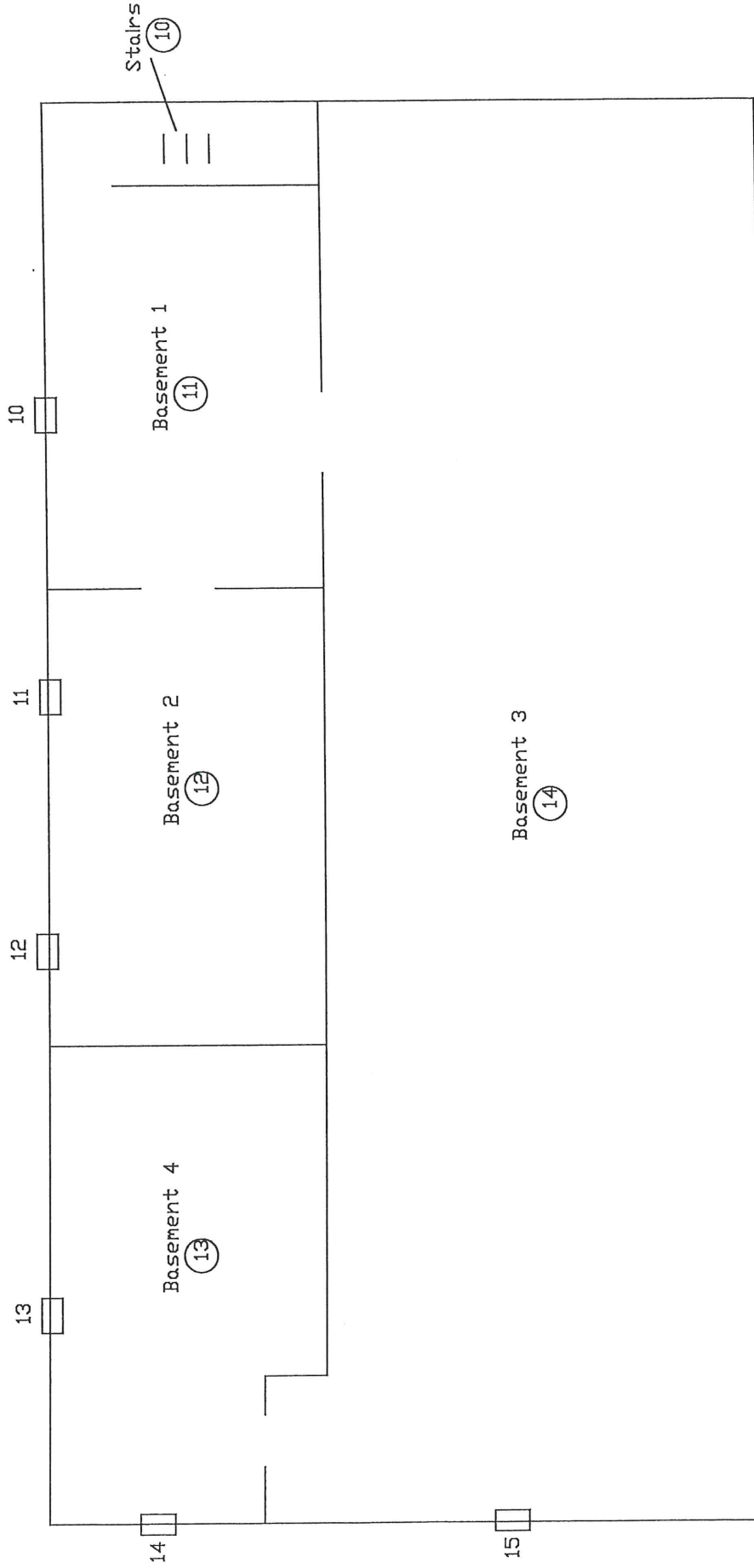
Bobbinray Avenue

**SITE MAP**  
 Single-Family Residence  
 1740 Bobbinray Avenue  
 Florissant, Missouri 63031

SCALE: Not To Scale	FIGURE 1	PROJECT NUMBER: FLOR22003
DRAWN BY: BP 9/23/22	DRAWING FILE: N/A	
REVISED BY:		



C



Basement

A  
Bobbinray Avenue

SITE MAP

Single-Family Residence  
1740 Bobbinray Avenue  
Florissant, Missouri 63031

SCALE:  
Not To Scale

DRAWN BY:  
BP 9/23/22

REVISED BY:

PROJECT NUMBER:  
FLOR22003

FIGURE  
2

DRAWING FILE: N/A





Photo 1: 1740 Bobbinray Avenue, Florissant, Missouri

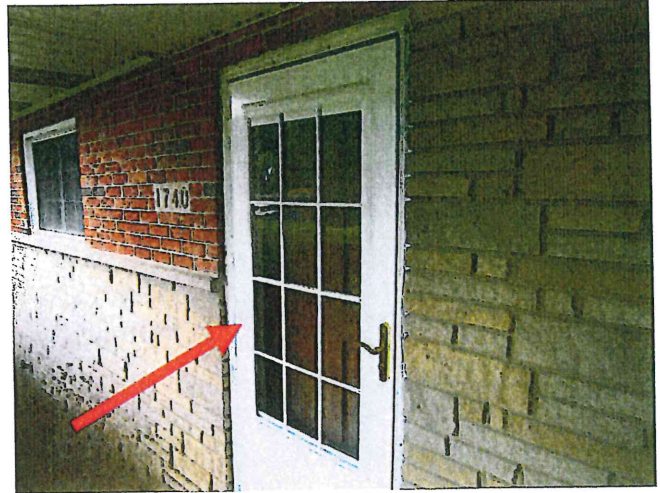


Photo 2: Door System (A-wall)

**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | Doors**

1      0321030001      1 EA      2 LEAD HAZARD      \$ \_\_\_\_\_

**Enclose Door Casing and Jamb - Aluminum**

**Remove existing storm door and save for re-installation.**

Per HUD Lead Safe Housing requirements, wet scrap and encapsulate door casing and jamb with a lead barrier compound (Elastomeric or equal materials) to a minimum dry thickness of 0.5mm, and wrap the existing door casing and jamb with white aluminum coil stock.  
Caulk all seams.

Re-install storm door.

Clean areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris desposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE: A-wall

**Total For: Exterior -  
General (LEAD) \$ \_\_\_\_\_**

**Total For: Exterior \$ \_\_\_\_\_**

**Job Total Cost: \$ \_\_\_\_\_**



**ATLAS**

14 Sunnen Drive, Suite 143, St. Louis, MO 63143

Phone: 314-410-6007; Fax: 314-644-4838

Cell: 314-504-5724

bryan.podkul@oneatlas.com



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**REHABSPEC  
Work Write-up**

Case Number: **FLOR22004**

BID TOTAL \$: \_\_\_\_\_

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Property Information:

**1440 Verlene Drive  
FLORISSANT, Missouri,**

BID CLOSING DATE: \_\_\_\_\_

Jurisdiction:

Target Area:

Census:

**CONTRACTOR INFORMATION**

Owner Information:

**Zanetta Chambers  
1440 Verlene Drive  
FLORISSANT, Missouri, 63031**

Phone: (314)255-6339

Mobile:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Voice: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_



Single-Family Residence  
1440 Verlene Drive  
Florissant, Missouri



Photo 1: 1440 Verlene Drive, Florissant, Missouri



Photo 2: Carport Post #5 & #6



Photo 3: Front Porch Posts #1-4



Photo 4: Front Porch Post (Side View)



Photo 5: Front Porch Post (Close-Up View)

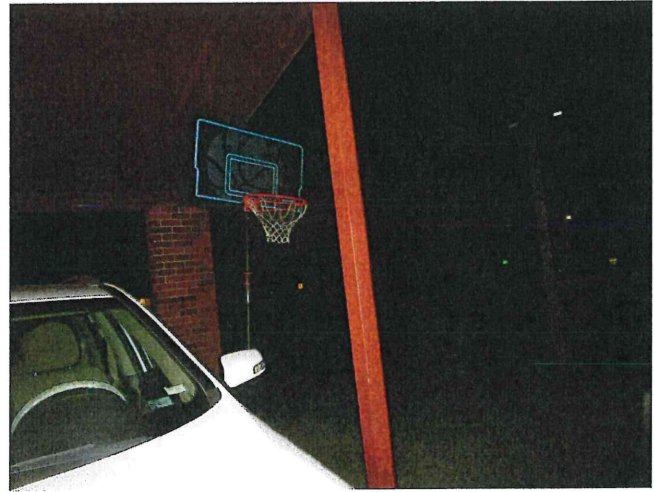
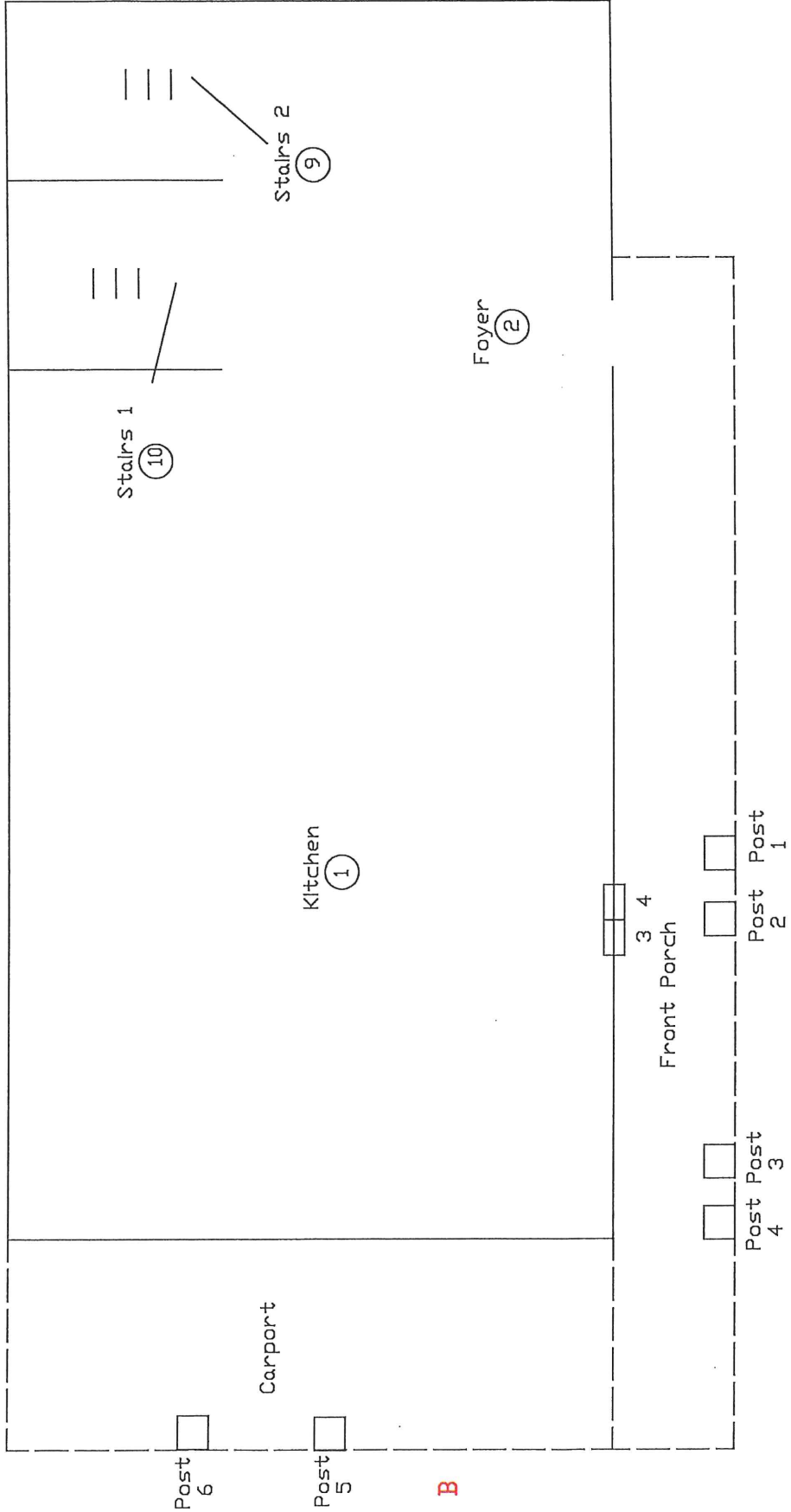


Photo 6: Carport Post (Close-Up View)

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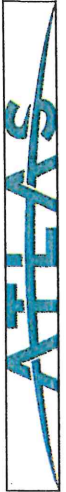
B

1st Floor

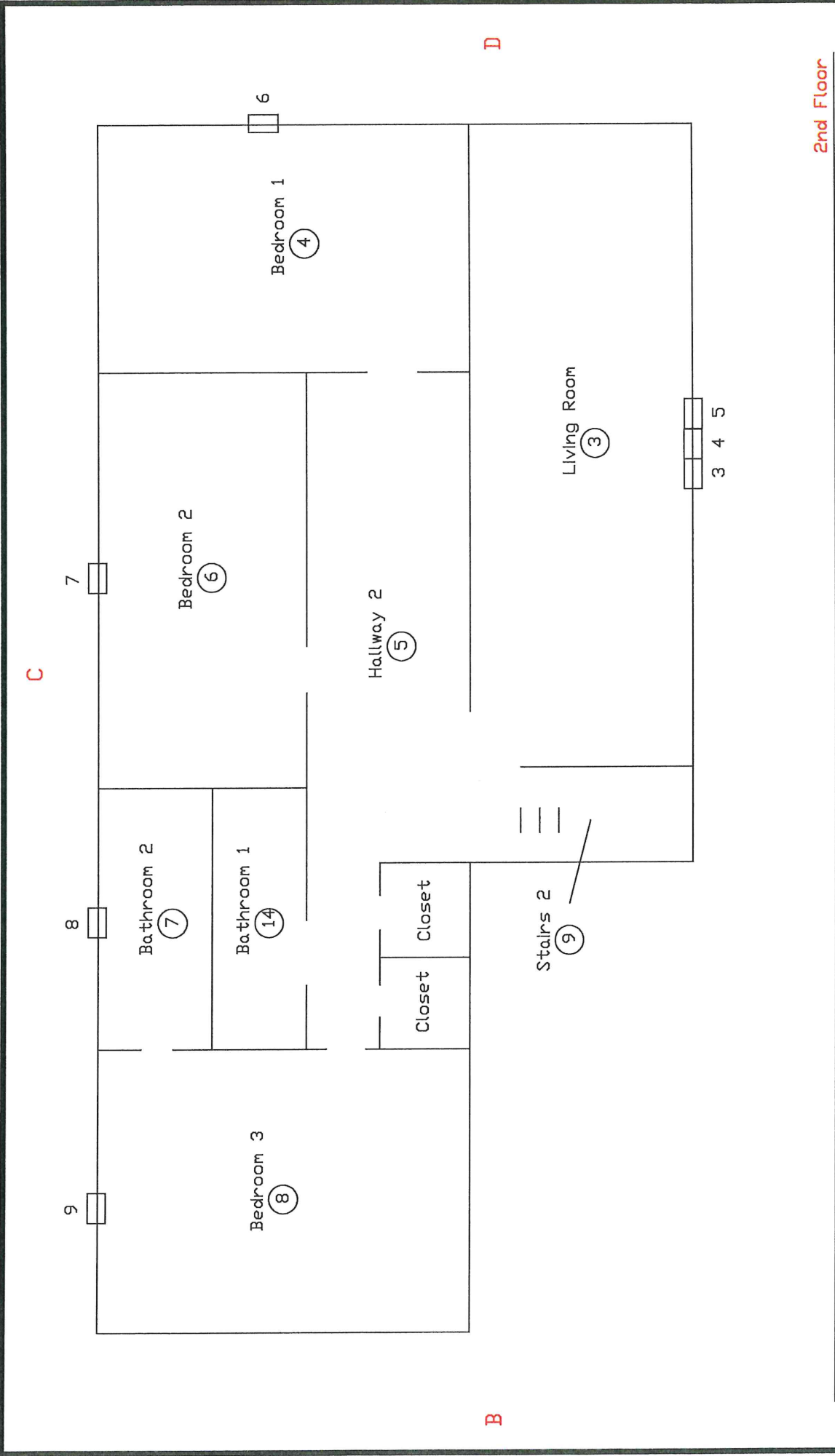
Verlene Lane

PROJECT NUMBER: FLOR22004	FIGURE 1	SCALE: Not To Scale
DRAWING FILE: N/A		DRAWN BY: BP 9/25/22
		REVISED BY:

**SITE MAP**  
 Single-Family Residence  
 1440 Verlene Drive  
 Florissant, Missouri 63031








2nd Floor

Verlene Lane

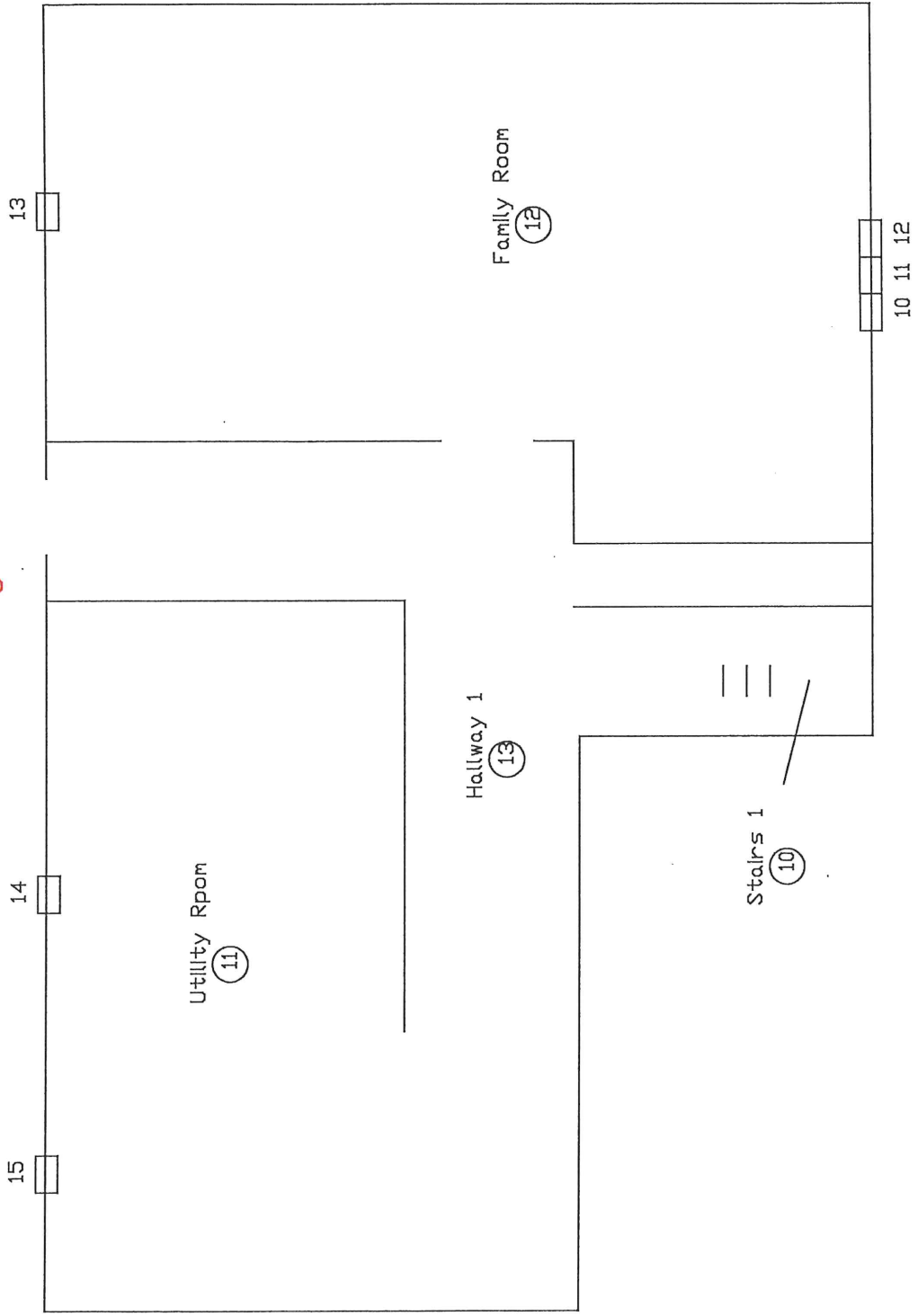
**SITE MAP**  
 Single-Family Residence  
 1440 Verlene Drive  
 Florissant, Missouri 63031

PROJECT NUMBER: FLOR22004	FIGURE 2	SCALE: Not To Scale
DRAWING FILE: N/A		DRAWN BY: BP 9/25/22
		REVISED BY:



C

D



Basement

Verlene Lane

**SITE MAP**  
 Single-Family Residence  
 1440 Verlene Drive  
 Florissant, Missouri 63031

PROJECT NUMBER: FLOR22004	FIGURE: 3	SCALE: Not To Scale
DRAWING FILE: N/A		DRAWN BY: BP 9/25/22
		REVISED BY:



**Exterior | Main Structure | Exterior | Exterior - General (LEAD) | General (LEAD)**

1            0321090124            6 EA            2 LEAD HAZARD            \$ \_\_\_\_\_

**Encapsulate Front Porch/Carport Posts**

Per HUD Lead Safe Housing requirements,  
Wet scrape all peeling and loose paint from exterior front porch/carport posts and encapsulate with a lead barrier compound ( Elastomeric or equal materials ) to a minimum dry thickness of 0.5mm.

**INCLUDE IN BID A TOP COAT OF EXTERIOR PAINT OVER ENCAPSULANT PAINT.**

Clean the areas per HUD three step process for final clearance compliance.

All repairs per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

All repairs are to comply with local codes and Performance Manual guidelines. Install new materials as per manufacturer's recommendations with inspections and permits when applicable.

NOTE:  
Front Porch - (4)  
Carport - (2)

**Total For: Exterior -  
General (LEAD) \$ \_\_\_\_\_**

**Total For: Exterior \$ \_\_\_\_\_**

**Interior | Main Structure | Interior | Interior - General (LEAD) | General (LEAD)**

2            030009129            1 LS            2 LEAD HAZARD            \$ \_\_\_\_\_

**HEPA/WET CLEAN/HEPA - CLEANING**

After completion of all abatement, removal of containment and repositioning of all furniture. HEPA vacuum all visible horizontal surfaces in the dwelling including floors, window sills and window troughs. Wet wipe all horizontal surfaces with a lead specific detergent or equivalent and rinse. After surface is dry, repeat HEPA vacuum all horizontal surfaces.

All work to be done per HUD Lead Safe Housing requirements with debris disposal per EPA requirements. Submit disposal manifest with final invoice as required. Please refer to the Lead Inspection report for further information on lead based paint test results and location.

NOTE: All Floors (including Carpeting), Window Sills and Window Troughs.

\_\_\_\_\_  
**Total For: Interior - General (LEAD) \$ \_\_\_\_\_**

\_\_\_\_\_  
**Total For: Interior \$ \_\_\_\_\_**

\_\_\_\_\_  
**Job Total Cost: \$ \_\_\_\_\_**