



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, January 24, 2022
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting of January 10, 2022

IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

None		
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VII. OLD BUSINESS

A. BILLS FOR SECOND READING

9752	Ordinance authorizing an amendment to B-5 ordinance no. 6439 to allow for the addition of an accessory structure for a restaurant located at 5 N. Hwy 67	2 nd Reading Eagan
9753	Ordinance to approve a Special Use Permit to Café De LaSha for the operation of a sit-down, carry-out restaurant for the property located at 119 Florissant Oaks Shopping Center.	2 nd Reading Manganelli

VIII. NEW BUSINESS

A. BOARD APPOINTMENTS

B. REQUESTS

Liquor (Ward 8) Application	Request for a Full Liquor by the Drink license for Plush Lounge located at 12667 New Halls Ferry Road. (Postponed to this date on 1/10/2022)	Prince Koroma
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C. RESOLUTIONS

1035 Memo	Resolution of the City of Florissant supporting a grant application from the Land and Water Conservation Fund through the State of Missouri	Council as a whole
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D. BILLS FOR FIRST READING

9754 Application	Ordinance authorizing a change in color for painted brick for the building located at 8457 N. Lindbergh. (Planning and Zoning Recommended approval on 1-18-2022)	Eagan
9755 Memo	Ordinance authorizing an amendment to Schedule III of the Florissant Traffic Code, Table III-D by adding a 4 way stop intersection at St. Joseph and Boone Street.	Mulcahy
9756 Memo	Ordinance Authorizing Re-Appropriations to roll over Fiscal Year 2021 outstanding encumbrances in various funds to Fiscal Year 2022.	Schildroth

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON JANUARY 21st, 2022 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, JANUARY 24TH, 2022.

CITY OF FLORISSANT



COUNCIL MINUTES

January 10, 2022

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, January 10, 2022 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Caputa, Schildroth, Mulcahy, Pagano, Parson, Siam, Harris, and Manganelli. Eagan was excused. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Harris moved to approve the City Council Minutes of December 13th, 2021, seconded by Caputa. Motion carried.

The next item on the Agenda was *Hearing from Citizens*.

Marilyn Edgar, 520 Falcon Dr, informed the council of dog attacks, one involving herself on October 16, 2021 at 9:15am while walking down St. Lafayette towards St. Anthony. She stated the dog was in the house barking at her when the wind fully opened the front door of the house. Ms. Edgar stated she sustained injuries to her hands and leg which she sought care for at Total Access and Missouri Baptist Hospital.

Linda Roggeveen, 780 N. Lafayette St., stated she was attacked by a dog on the afternoon of December 24, 2021 while walking down Clark St towards Harrison. She stated a young man was walking his dog down in the opposite direction and as they passed each other the dog turned and attacked her. Ms. Roggeveen stated both of her legs were bit and she was knocked down. She continued stating neighbors assisted her until an ambulance could arrive.

The next item on the Agenda was *Communications* of which there were none.

The next item on the Agenda was *Public Hearings*.

The City Clerk reported that Public Hearing 22-01-001 for the request to amend B-5 ordinance no. 6439 to allow for the addition of an accessory structure for a restaurant located at 5 N. Hwy 67. The Chair declared the Public Hearing to be open.

Haytham Aydi, 5 N. Hwy 67, stated he was wanting to have another storage area on his property to hold his to go items like boxes and containers. Mr. Aydi stated the shed should be installed and

32 completed within a day of delivery, but he is unsure what date the shed would be available for install.
33 Councilman Caputa confirmed the structure would be permanent and mounted to the ground. Councilman
34 Parson verified the shed would not be for the general public and storage only.

35 Being no further comments, Councilman Mulcahy made a motion to close the Public Hearing,
36 seconded by Parson. Motion carried.

37 The City Clerk reported that Public Hearing 22-01-002 for the request to approve Special Use
38 Permit to Café De LaSha for the operation of a sit-down, carry-out restaurant for the property located at
39 119 Florissant Oaks Shopping Center. The Chair declared the Public Hearing to be open.

40 Kenny and LaSha Truong, petitioners, stated they are working on turning the previous restaurant
41 into a New American Cajun Creole style restaurant with a small bar. Mr. Truong stated the hours will be
42 11am to 10pm, 7 days a week. He informed the council the renovations would take about 2 months since
43 it is an existing restaurant. Councilman Manganelli confirmed the restaurant would be seeking a full
44 liquor by the drink license and the bar would be located in the middle of the restaurant. Mr. Truong stated
45 the bar was previously located in the restaurant. He continued stating a television would be installed in
46 the restaurant for promotional and marketing purposes. Mr. Truong informed the council they were not
47 looking to have live music, only speakers with streamed music and the focus would be the restaurant use
48 He noted Café De LaSha has been in operation for four years and handling major events in the Florissant
49 area like the VIP Fair for 4th of July in downtown St. Louis, as well as Taste of St. Louis and Taste of
50 Ferguson which made them decide to find a brick and mortar location. Mr. Truong clarified the restaurant
51 has no association with LaShay Event Center in Florissant. Councilman Parson followed up and clarified
52 the events would be birthday parties, bridal showers, and other kinds of private parties using a portion of
53 the restaurant. Councilman Schildroth thanked the petitioners for staying in Florissant and continuing to
54 build their businesses.

55 Being no further comments, Councilman Manganelli made a motion to close the Public Hearing,
56 seconded by Siam. Motion carried.

57 The Chair stated that the next item on the agenda was *Second Readings*.

58 Councilman Schildroth moved Bill No. 9747 an Ordinance of the city of Florissant, Missouri,
59 authorizing and directing the submission of a ballot proposition to the qualified voters of the city of
60 Florissant, Missouri, to consider imposing a local use tax at the same rate as the local sales tax of the city
61 of Florissant, Missouri, for purchases from out-of-state vendors that exceed two thousand dollars be read
62 for a second time, seconded by Harris. Motion carried and Bill No. 9747 was read for a second time.

63 Councilman Schildroth moved that Bill no. 9747 be read for a third time, seconded by Caputa.
64 Motion carried and Bill No. 9747 was read for a third time and placed upon its passage. Before the final
65 vote all interested persons were given an opportunity to be heard.

66 On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes,
67 Siam yes, Harris yes, and Manganelli yes.

68 Whereupon the Chair declared Bill No. 9747 to have passed and become Ordinance No. 8758.

69 Councilman Caputa moved that Bill No. 9748 an Ordinance calling an election for the City of
70 Florissant, Missouri on the question of issuing General Obligation Bonds for the purpose of constructing
71 an aquatic center be read for a second time, seconded by Pagano. Motion carried and Bill No. 9744 was
72 read for a second time.

73 Councilman Caputa moved that Bill no. 9748 be read for a third time, seconded by Siam. Motion
74 carried and Bill No. 9748 was read for a third time and placed upon its passage. Before the final vote all
75 interested persons were given an opportunity to be heard.

76 Robert Smith, 2823 Chapel View Dr, wanted clarification on how the number of \$9 million was
77 reached for the construction of the aquatic center. Mayor Lowery stated this was a recommendation by a
78 pool company and bond company based on research for other aquatic centers of similar size and
79 construction. Mayor Lowery clarified this was not a firm number since a bid would still need to be created
80 and posted, but it was a recommended number based on research.

81 On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes,
82 Siam yes, Harris yes, and Manganelli yes.

83 Whereupon the Chair declared Bill No. 9744 to have passed and become Ordinance No. 8759.

84 The Chair stated the next item on the agenda was *Board Appointments*.

85 Councilman Siam moved to appoint Monique Davenport, 3565 Parc Chateau, to the Redistricting
86 Commission as a member from Ward 9. Seconded by Caputa and the appointment was made.

87 The Chair stated the next item on the agenda was *Requests*.

88 Councilman Parson moved to postpone the Request for a Full Liquor by the Drink license for
89 Plush Lounge located at 12667 New Halls Ferry Road to the January 24, 2022 meeting, seconded by
90 Schildroth. Motion carried.

91 The Chair stated that the next item on the agenda was *Resolutions*.

92 The Council as a whole introduce Resolution 1034 “Resolution authorizing the Mayor of the City
93 of Florissant to make application under the Municipal Parks grant of St. Louis County for planning
94 services at St. Ferdinand Park for relocation and construction of a new restroom.” Councilman Siam

95 made a motion for a second reading, seconded by Mulcahy. Motion carried, Resolution 1034 was read
96 for a second time. Councilman Mulcahy made a motion for a third reading, seconded by Caputa.

97 On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes,
98 Siam yes, Harris yes, and Manganelli yes. Motion carried, Resolution 1034 was read for a third time.
99 Before the final vote all interested persons were given an opportunity to be heard.

100 Being no persons who wished to speak, on roll call the Council voted: Caputa yes, Schildroth yes,
101 Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, and Manganelli yes.

102 The Chair stated that the next item on the agenda was *Bills for First Reading*.

103 Councilman Eagan introduced Bill No. 9752 an Ordinance authorizing an amendment to ‘B-5’
104 ordinance no. 6439 to allow for the addition of an accessory structure for a restaurant located at 5 N. Hwy
105 67 was read for the first time.

106 Councilman Manganelli introduced Bill No. 9753 an Ordinance to approve a Special Use Permit
107 to Café De LaSha for the operation of a sit-down, carry-out restaurant for the property located at 119
108 Florissant Oaks Shopping Center was read for the first time.

109 The next item on the Agenda was *Council Announcements*.

110 Councilman Manganelli reminded residents if they see something happening in the neighborhood
111 which would require police presence, to call themselves and not to assume someone else will call instead.

112 Councilman Caputa reminded residents to lock away firearms in your home and not to leave them
113 in their vehicles. He stated porch lights can be some of the best deterrent for crime.

114 Councilman Mulcahy wanted to remind residents of the Ward 6 meeting on Wednesday, January
115 26 at 6:30pm in the Council Chambers at City Hall as well as a virtual option due to the rising Covid-19
116 cases in the area. He stated residents will be receiving the zoom information in the mail prior to the
117 meeting and the information can be located on his Facebook page.

118 Councilman Parson wished everyone a Happy New Year. He quoted Dr. Martin Luther King, Jr.
119 saying, “Injustice anywhere is a threat to justice everywhere. We are caught in an inescapable network
120 of mutuality, tied in a single garment of destiny. Whatever affects one directly, affects all directly.”
121 Councilman Parson reminded everyone of the Martin Luther King holiday on Monday and wants all
122 residents to remember what the holiday represents.

123 Councilman Schildroth thanked the Senior staff for a great New Years Eve Party. He stated
124 MaryAnn Halloman called on Christmas Day to express her thoughts and feelings. Councilman
125 Schildroth express his thanks to Ms. Halloman for bringing him cheer on the holiday.

126 The next item was *Mayor Announcements*.

127 Mayor Lowery informed residents of the last open house for the Comprehensive Plan on Saturday,
128 January 22nd, 2022 at the James J. Eagan Center from 10am to 12pm. He encouraged residents to visit
129 the website of the Comprehensive Plan (www.flocompplan.com) for more information regarding the plan
130 and to leave their opinions. Mayor Lowery stated Christmas light recycling would still be taking place at
131 the Health Department until January 14, 2022. He stated the Christmas tree disposal program is still
132 running on the same days yard waste is picked up for residents whether they have yard waste pick up or
133 not.

134 The Council President stated that the next regular City Council Meeting will be Monday, January
135 24, 2022 at 7:00 pm.

136 Councilwoman Pagano moved to adjourn the meeting, seconded by Caputa. Motion carried. The
137 meeting was adjourned at 7:29 p.m.

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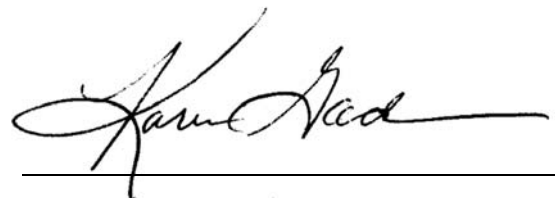
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Karen Goodwin, MPPA/MMC/MRCC
City Clerk

144 The following Bills were signed by the Mayor:

145 Bill No. 9747 Ord. No. 8758

146 Bill No. 9748 Ord. No. 8759

147

APPLICATION FOR LIQUOR LICENSE

Full Liquor by the Drink \$450

Malt Liquor & Wine by the Drink \$75.00

Full Package Liquor \$150

Malt Liquor & Wine Package \$75

Full Liquor by Drink (Non-Profit) \$300

Tasting \$37.50

To the City Clerk, City of Florissant, St. Louis County, Missouri:

The undersigned hereby makes application for the renewal of liquor license issued under Chapter 600 of the Florissant Code of Ordinances.

Type of License Requested:

Individual

Corporation (Attach list of Officers, Addresses, & Phone Numbers)

Limited Liability

Partnership (Attach list of partners)

Name of **Business**: Plush Lounge Phone: 217-556-6068

Business Address: 12667 New Halls ferry Email: PKoroma23@gmail.com

Names of **Applicant, Corp., or LLC**: Plush hookah LLC

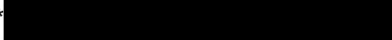
Address of Owner: 1675 Verlene Dr. Florissant, 63031 Phone: 217-556-6068
Street City State Zip

Name of **Managing Officer**: Princee Koroma

Home Address: 1675 Verlene Dr. Florissant 63031 Years at Address: 5 yrs
Street City State Zip

Managing Officer: Date of Birth: 01-01-1990 Cell Phone: 217-556-6068

Driver's License No. T059331003
(Provide photo copy)

Social Security No.* 
*for identification in running record check

Email: PKoroma23@gmail.com

Managing Officer: Personal Property Taxes 20__ Paid? Yes No (Attached recent)

Registered Voter of Missouri? Yes No **Attach Voter Registration Certificate

Have you ever been arrested? No What Charge? None

Where? _____ Disposition? _____

Citizen of U.S.A.? Yes No Naturalized? Yes Date _____ No

If Naturalized, Give Number: _____ Dist. _____
(Provide Documents)

Do you have an interest in any liquor license which is now in force? Yes No

Give details: _____

Have you prev. held a liquor license of this type? Yes No

If so, when & where? _____

Have you ever had a liquor license suspended or revoked? Yes No

Give details: _____

Have you ever been convicted of any violation of any federal or state law? Yes No

Give details: _____

Have you ever been convicted of any violation of a federal law, state statute, or local ordinance relating to intoxication? () Yes () No

Give details: _____

Has the location previously been occupied as a liquor establishment, liquor store, or tavern?
 Yes No

Provide name: Jay's ultra lounge

Is the location within 200 feet of property used for church, school, or public playground? Yes No

If Individual Applicant:

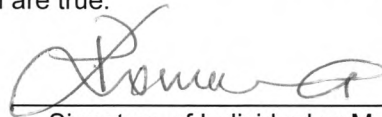
If Partnership, Corp., or LLC, complete below:
Plush Hookah LLC
Trade Name

[Signature]
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

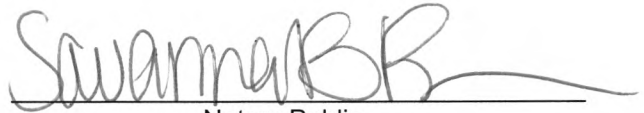
_____, of lawful age, being first duly sworn upon _____
(Individual or Managing Officer)

Deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeing the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations, and rules adopted by the City relation to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

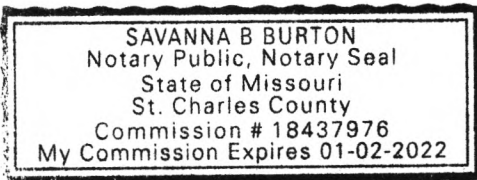


Signature of Individual or Managing Officer

Subscribed and sworn to before me this 18 day of Oct Nov., 2021.



Notary Public



My Commission Expires: 01-02-2022

APPLICATION MUST BE SWORN TO BEFORE A PUBLIC NOTARY.

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certification of Incorporation/Registration &
Articles of Organization papers must be attached

To the Florissant City Council, Florissant, St. Louis County, Missouri _____

Date _____

TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:

1. FULL NAME: Prince Koroma
SOC. SEC. NO. [REDACTED] SEX: male
DATE OF BIRTH: 01-01-1990 PLACE OF BIRTH: Sierra Leone
PHONE NUMBER: 217-556-6068
ADDRESS: 1675 Verlene Dr. Florissant, MO 63031
LAST PREV. ADDRESS: 759 W. Cambridge Rd St. Louis MO
NO. OF YEARS AT ADDRESS: _____

2. FULL NAME: _____
SOC. SEC. NO. _____ SEX: _____
DATE OF BIRTH: _____ PLACE OF BIRTH: _____
PHONE NUMBER: _____
ADDRESS: _____
LAST PREV. ADDRESS: _____
NO. OF YEARS AT ADDRESS: _____

3. FULL NAME: _____
SOC. SEC. NO. _____ SEX: _____
DATE OF BIRTH: _____ PLACE OF BIRTH: _____
PHONE NUMBER: _____
ADDRESS: _____
LAST PREV. ADDRESS: _____
NO. OF YEARS AT ADDRESS: _____

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY CONTACT INFORMATION

OWNER OF PROPERTY _____ PHONE _____

ADDRESS _____

NAME OF BUSINESS _____ PHONE _____

ADDRESS _____

BUSINESS HOURS _____

OWNER/MANAGER _____ PHONE _____

HOME ADDRESS _____

PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE.

CONTACT #1 HAS KEY YES NO
NAME Prince Koroma ADDRESS 1675 Verlene Drive
CITY & STATE Florissant, MO PHONE 217-556-6868

CONTACT #2 HAS KEY YES NO
NAME _____ ADDRESS _____
CITY & STATE _____ PHONE _____

ARE THERE LIGHTS LEFT ON AFTER HOURS? YES NO
IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS? YES NO

IF YES, WHO? Cleaning staff & managing Officer
ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS? YES NO

DESCRIBE: 2005 Infiniti Gold
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES NO
WHERE IS IT LOCATED? Office

CAN IT BE SEEN FROM THE OUTSIDE? YES NO

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES NO

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 11/17/2021

Name (1): PRINCE KOROMA

Name (2):

Name (3):

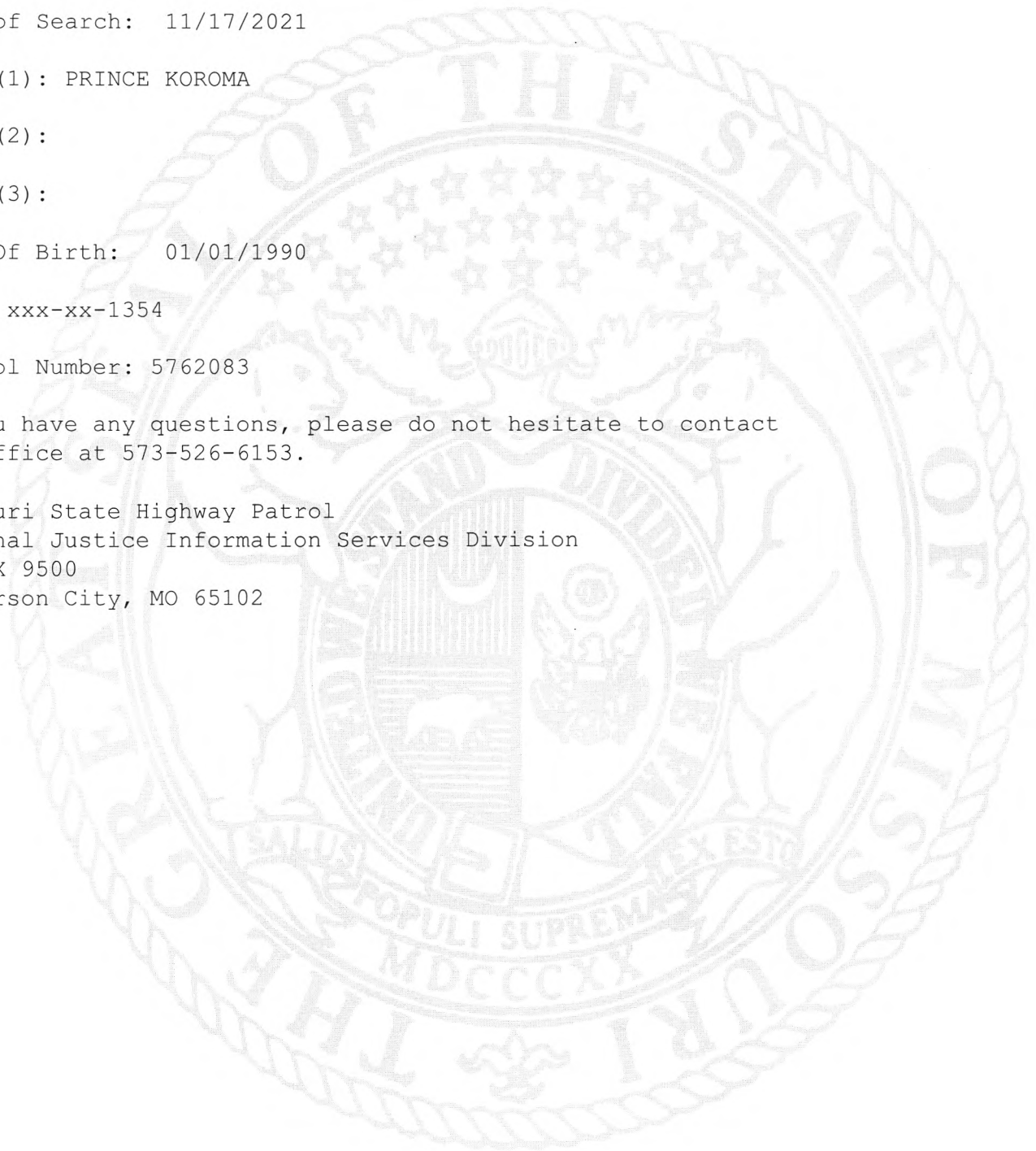
Date Of Birth: 01/01/1990

SSN: xxx-xx-1354

Control Number: 5762083

If you have any questions, please do not hesitate to contact our office at 573-526-6153.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102



CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, Prince M. Koroma, RESIDING AT

1675 Verlene Drive IN THE

CITY OF Florissant. STATE OF

MISSOURI

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

[Signature]

Witness

[Signature]

Signature

11-17-21

Date

01-01-1990

Date of Birth

[Redacted]

Social Security Number**

T059331003 & MO

Driver's License No. & State

**Social Security Number and Driver's License Numbers will be used for the purpose of identification in completing record check.

APPLICATION FOR SUNDAY LIQUOR LICENSE
TO THE CITY CLERK, CITY OF FLORISSANT, SAINT LOUIS COUNTY, MISSOURI

Authorizing the sale of retail liquor by the drink or package in the City of Florissant on **SUNDAY** from 9:00 am to midnight.

TYPE OF OPERATION:

Individual

Partnership

Corporation

Limited Liability Corp

NAME OF BUSINESS

Plush Lounge

LOCATION

12667 New halls ferry

PHONE

217 - 556 - 6068

EXACT TRADE NAME, LLC, OR CORP

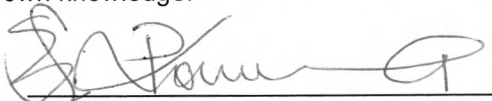
Plush Hookah LLC

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 am to midnight for the period beginning on _____ and expiring on June 30, 20____, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1. I/WE presently hold Florissant License Number _____ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

STATE OF MISSOURI)SS
COUNTY OF ST. LOUIS)

I _____ of lawful age, being first duly sworn upon my oath, depose and say that I (Print name of Managing Officer) have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.


Signature of Individual or Managing Officer

Subscribed and sworn to before me this 18/NOV day of 2021.

My Commission Expires: 01-02-2022


Notary Public

SAVANNA B BURTON
Notary Public, Notary Seal
State of Missouri
St. Charles County
Commission # 18437976
My Commission Expires 01-02-2022

1 INTRODUCED BY COUNCILMAN EAGAN
2 JANUARY 10, 2022

3
4 BILL NO. 9752

ORDINANCE NO.

5
6
7
8
9

**ORDINANCE AUTHORIZING AN AMENDMENT TO B-5 ORDINANCE
NO. 6439 TO ALLOW FOR THE ADDITION OF AN ACCESSORY
STRUCTURE FOR A RESTAURANT LOCATED AT 5 N. HWY 67.**

10 WHEREAS, ordinance no. 6439 was passed in September of 2000 approving the
11 rezoning of #5 N. Hwy 67 to a B-5 Planned Commercial District to allow for a restaurant; and

12 WHEREAS Tamara Mo, Inc. d/b/a IHOP has applied for an amendment to the
13 development plan authorized by ordinance 6439 to allow for the addition of an accessory
14 structure; and

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
16 recommended to the City Council at their meeting of December 6, 2021 that an amendment to B-
17 5 ordinance no. 6439, as to allow for the addition of an accessory building located at 5 N.
18 Highway 67.

19 WHEREAS, due and lawful notice of a public hearing no. 222-01-001 on said proposed
20 change was duly published, held and concluded on 10th of January, 2022 by the Council of the
21 City of Florissant; and

22 WHEREAS, the Council, following said public hearing, and after due and careful
23 deliberation, has concluded that that an amendment to B-5 ordinance no. 6439 to allow for an
24 accessory building located at 5 N. Highway 67 is in the best interest of the public health, safety
25 and welfare of the City of Florissant; and

26
27
28
29

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

30 Section 1: B-5 ord. no. 6439, is hereby amended to allow for an accessory structure as
31 depicted Preliminary Site Development Plans represented by drawings A-1 dated 11/19/21 by
32 Levine Associates, which indicate a change in the Development Plan, including an accessory
33 structure located in the parking lot, subject to the regulations of the B-5 Planned Commercial
34 District, and the following changes to the ordinance:

35 Section 6 FINAL SITE DEVELOPMENT PLAN CRITERIA, Paragraph c.
36 Minimum parking/Loading Requirements shall be changed to read:

37 1)Parking regulations shall be as required by the Florissant Zoning Ordinance,
38 except as otherwise varied herein. With a total of 78 parking spaces including 7
39 accessible spaces provided as shown on Exhibit "A" attached hereto and made a part
40 hereof.

41 2. Section 6 FINAL SITE DEVELOPMENT PLAN CRITERIA, Paragraph i.
42 Miscellaneous Design Criteria, Paragraph 3, shall be changed to read:

43 3)The building shall be constructed of brick masonry and EIFS

44 i.An accessory structure of 80 s.f. shall be included as depicted by the Preliminary
45 Site Development Plans represented by drawings A-1 dated 11/19/21 by Levine
46 Associates.

47 3. Dimension drawings or cutsheet for the manufacturer building be submitted for the
48 Public Hearing and Permitting process.

49

50 Section 2: This ordinance shall become in full force and effect immediately upon its
51 passage and approval.

52

53

54 Adopted this _____ day of _____, 2022.

55

56

57

Keith Schildroth
President of the Council

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59

60 Approved this _____ day of _____, 2022.

61

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Timothy J. Lowery
Mayor, City of Florissant

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66

67 ATTEST:

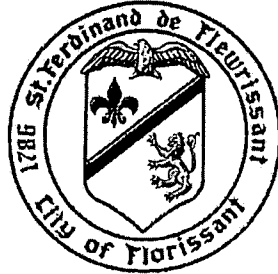
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69

70 Karen Goodwin, MPPA/MMC/MRCC
71 City Clerk

pd. 11/19/21
receipt, P-409

Application to the City of Florissant Planning & Zoning Commission (P&Z) to Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the Provisions of an Existing 'B-5' Ordinance



PLANNING & ZONING ACTION:

Address of Property:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

5 N. Highway 67

Council Ward 3 Zoning 'B-5'

SIGN. [Signature]

DATE: 12-6-2021

Initial Date Petitioner Filed _____
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT
ORDINANCE # 6438

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now TAMARA MO, INC DBA IHOP
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property TENANT
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".
 - B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
 - C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed 1.2
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as IHOP RESTAURANT

State current use of property, (or, state: vacant).

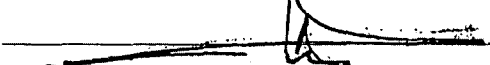
3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: TO ALLOW FOR A SHED TO BE PLACED ON PROPERTY

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE HAYTHAM AYDI HAYDI4011@CHARTER.NET
Print Name Email address

PETITIONER(S) SIGNATURE (S) 

FOR TAMARA MO, INC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
 I (we) have a legal interest in the herein above described property.
 I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME _____
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS _____
STREET CITY STATE ZIP CODE

PHONE _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
my (our) duly authorized agent to represent me (us) in regard to this petition.
Print name of agent. Email address

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Phone Number _____ Email _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Phone Number _____ Email _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners HAYTHAM AYDI, MOHAMMED HADI AHMAD ABDEL SALAM
- (2) Phone Number 636 448 8444 Email _____
- (3) Business address 5 N HWY 67
- (4) State of Incorporation & a photocopy of incorporation papers MO
- (5) Date of Incorporation 11/20/2001
- (6) Missouri Corporate Number 00502644
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated DTOP
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

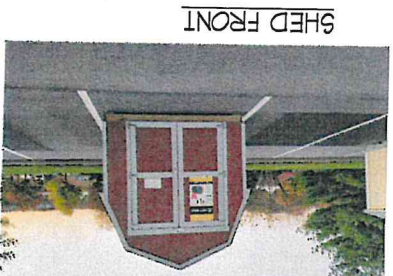
- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

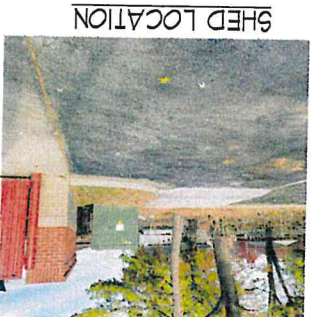
- (1) Names & addresses of all partners HAYTHAM AYDI, MOHAMMED AL AIDI, AHMAD ABDEL SALAM _____
- (2) Telephone numbers 6364488441
- (3) Business address 5 N HWY 67, FLORISSANT, MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MO
- (5) Date of Incorporation 11202001
- (6) Missouri Corporate Number 00502664
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated IHOP
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.



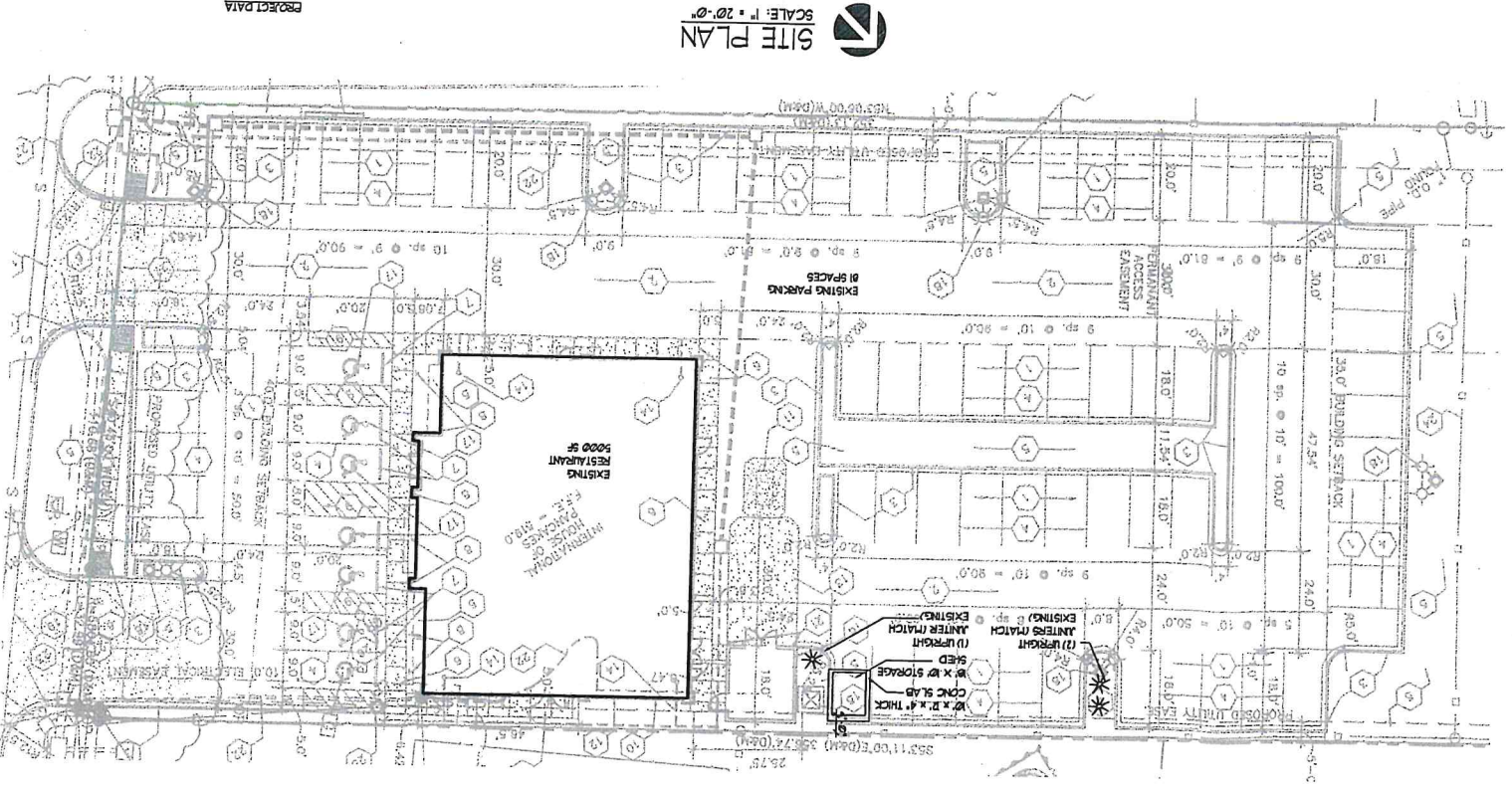
SHED FRONT



SHED SIDE



SHED LOCATION



SITE PLAN
SCALE: 1" = 20'-0"

PROJECT DATA
 ZONING DISTRICT: B-5 PLANNED COMMERCIAL
 BUILDING CODE: 2009 IBC/IEBC
 CONSTRUCTION TYPE: V-B UNPROTECTED FRAME CONSTRUCTION
 SITE AREA: 51,660 SF
 BUILDING AREA: 5,000 SF
 I-1 STORY
 NON-FRANKLINED
 OCCUPANCY TYPE: A-1 RESTAURANT
 NUMBER OF OCCUPANTS:
 100 SEATS
 12 STAFF
 PARKING REQUIRED:
 100 SEATS
 20 BICYCLES
 8
 TOTAL REQUIRED: 68
 TOTAL PROVIDED: 61

EXTERIOR STORAGE SHED
 HOP
 5 NORTH HIGHWAY 67
 FLORISSANT, MISSOURI 63031

NO.	DATE	ITEM

SHEET NO.

ISSUE DATE: 11-19-21
 PROJECT #: 20322

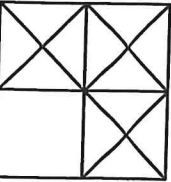
DRN, APL, CHK, APL

©2021 LEVINE ASSOCIATES ARCHITECTS

ARCHITECT: ALYAH M. LEVINE
 104 LEVINE ASSOCIATES
 LICENSE NUMBER: A-20304023



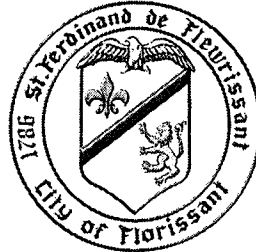
LEVINE
associates
 architecture • interiors • planning
 2025 South Brentwood Boulevard, Suite 101
 Saint Louis, Missouri 63144
 Phone: 314-991-5800



11-22-21

1

MEMORANDUM



2

CITY OF FLORISSANT- BUILDING DEPARTMENT

3

"The mission of the Building Department is to enforce building codes, zoning codes and property maintenance codes in order to protect life safety and enhance the quality of life for the residents of the City of Florissant."

4

5

6

To: Planning and Zoning Commissioners Date: December 1, 2021

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8

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.
Director of Public Works
Deputy City Clerk
Applicant
File

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Subject: Request Recommended Approval to amend a 'B-5', Ordinance No. 6439 at **5 N. Highway 67 (IHOP)**, to allow for the addition of an accessory structure for a sit-down, carry-out restaurant Use in an existing 'B-5' District.

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STAFF REPORT

CASE NUMBER PZ-120621-3

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I. PROJECT DESCRIPTION:

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This is a Request for Recommended Approval to amend a 'B-5', Ordinance No. 6439 located at **5 N. Highway 67 (IHOP)**, to allow for the addition of an accessory structure for a sit-down, carry-out restaurant Use in an existing 'B-5' District. The structure is a wooden storage building intended for storage which is an expansion of the business operation.

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II. SITE CONDITIONS:

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The existing property at **5 N. Highway 67** is an existing restaurant under Ordinance No. 6439. The approval of the 'B-5' Rezoning was on September 21, 2000.

The subject building on the property contains 5000 square feet constructed of red and gray brick masonry and beige EIFS. The building has white aluminum and glass storefront, with blue signage and blue canopies on parts of the façades.

39

40 Parking spaces required by the current ordinance indicates required parking to be per
41 "Attachment A" which shows 79 spaces, The number proposed is shown on the site plan
42 submitted states there are 81 and current parking requirements would require there to be
43 68 per the site plan submitted.

44
45 The "shed" is proposed to occupy one of the current parking spaces.
46
47

48 **III. SURROUNDING PROPERTIES:**

49 The property to the west is an R-6 Multiple Dwelling District, the IHOP to the North is in
50 a B-5 District and the property to the south is a 'B-3' Extensive Business District.
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53 **IV. STAFF ANALYSIS:**

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55 The application is accompanied by a site plan and architectural drawings of the proposed
56 location of the shed, technically an expansion of the operations. The existing 18x10 or
57 180 s.f. shed has a painted wood exterior. The building is currently 2 colors of masonry
58 and a complimentary color Exterior Insulation and Finish System (EIFS).
59

60 The City Code Exterior Design Regulations, section 405.250 ordinance requires
61 accessory buildings to be reviewed by the Commission:
62

63 *Section 405.250 Exterior Design Regulations.*

64 *[Ord. No. 7249 §1, 2-13-2006]*

65 *A. The plans for all proposed buildings shall be reviewed against the standards set out below. The Building*
66 *Commissioner shall review such plans in the case of an application for one (1) isolated single-family*
67 *dwelling or for minor renovations for structures. The plans for all other buildings shall be reviewed by the*
68 *Planning and Zoning Commission.*

69 *1. Every dwelling erected within the City of Florissant shall have a minimum ground floor area as follows:*

70 *a. Single-family dwellings: One thousand one hundred (1,100) square feet.*

71 *b. Two-family dwellings: Seventy hundred fifty (750) square feet.*

72 *c. Multiple-dwellings: Five hundred (500) square feet per unit.*

73 *2. With respect to single-family dwellings and structures, the subject matter of the application, if erected,*
74 *would not be detrimental, inharmonious or inconsistent with the property in the surrounding area. Specific*
75 *inconsistencies would be:*

76 *a. Varying significant design features such as material, construction of or quality of architectural design*
77 *that is of such nature as to be expected to provoke beyond reasonable doubt an adverse effect on the*
78 *stability and value of surrounding property and that the finding is not based on personal preference as to*
79 *taste or choice of architectural style.*

80 *3. With respect to the erection, improvement or alteration of commercial, industrial, institutional or*
81 *multiple-family dwelling buildings and structures, that same shall be harmonious and consistent with the*
82 *property in the surrounding area with respect to the following factors:*

83 *a. Use of space.*

84 *(1) Ratio of structure(s) to the building site.*

85 *(2) Position of structure(s) and other improvements to adjoining properties and streets.*

86 *(3) Position of structures and other improvements on the site.*

87 *(4) Landscaping materials.*

88 *(5) Effective screening, such as fences, walls and/or landscaping.*

89 *(6) All other factors contributing to the most desirable use of space.*

90 *(7) Parking facilities including entrances and exits.*

- 91 *b. Design.*
92 *(1) Plans and elevations.*
93 *(2) Color, material and texture.*
94 *(3) Relation to the site and to adjoining properties.*
95 *(4) Signs as related to proposed structure(s) and adjoining properties.*
96 *(5) Landscaping, fences, garden walls and entrances.*
97 *(6) Other factors pertaining to overall civic design and the use of the City Comprehensive Plan.*
98 *c. Future development.*
99 *(1) Proposed highways.*
100 *(2) Street widening(s).*
101 *(3) Public buildings, schools and churches.*
102 *(4) Parks, parkways and other proposed or contemplated developments.*
103 *d. Accessory buildings. All accessory buildings more than one hundred forty-four (144) square feet in area*
104 *or more than eight (8) feet high shall meet the following requirements:*
105 *(1) The siding must be composed of one (1) or more of the following approved materials:*
106 *(a) Painted aluminum lap siding, painted steel lap siding or vinyl lap siding.*
107 *(b) Masonry.*
108 *(c) Hardboard siding.*
109 *(d) Stucco or exterior plaster.*
110 *(e) Wood siding or shingles.*
111 *(2) The roof covering shall be composed of one (1) or more of the following BOCA approved materials:*
112 *(a) Asphalt or fiberglass material.*
113 *(b) Wood shingles.*
114 *(c) Wood shakes.*
115 *(d) Slate shingles.*
116 *(e) Copper.*
117 *B. Plans containing the aforementioned material shall be presented to the Building Commissioner for*
118 *review or for submission to the Planning and Zoning Commission. The developer (or his/her*
119 *representative) of all proposed commercial, industrial, institutional or multiple-family dwelling buildings*
120 *or structures shall appear before the Planning and Zoning Commission when such proposals are reviewed*
121 *and the applicable filing fees paid.*
122 *1. If the Planning and Zoning Commission returns the application to the Building Commissioner without*
123 *disapproval, the Building Commissioner may issue the Building Permit. Failure by the Planning and*
124 *Zoning Commission to act within thirty (30) days after the Building Commissioner shall have delivered the*
125 *plans to said Planning and Zoning Commission shall be authority for the Building Commissioner to issue*
126 *said Building Permit.*
127 *2. If the Planning and Zoning Commission shall return the application to the Building Commissioner with*
128 *disapproval and recommendations, the Building Commissioner may issue the permit, provided that the*
129 *applicant shall make appropriate changes in the drawings and specifications and agree, in writing, to*
130 *comply with the recommendations of the Planning and Zoning Commission.*
131 *3. If the Planning and Zoning Commission shall return the application to the Building Commissioner with*
132 *its disapproval and without recommendation or with its disapproval with recommendations and the*
133 *applicant shall refuse to comply with the recommendations in either case, the Building Commissioner shall*
134 *refuse to issue the Building Permit.*
135 *4. In the event a Permit is refused by the Building Commissioner under the provisions stated above, the*
136 *applicant may appeal from said action to the Board of Adjustment.*
137 *5. In the event that a Building Permit is refused by the Planning and Zoning Commission, the applicant*
138 *may appeal to the City Council who shall act as an administrative body in hearing such appeal.*
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140 **VI. STAFF RECOMMENDATIONS:**

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142 If the Commission recommends approval, staff recommends the attached suggested
143 motion, drafted as an amendment to the Ord. No. 6439
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Suggested Motion 5 n Highway 67 (IHOP):

I move to recommend approval to amend the 'B-5', Ordinance No 6439 as depicted by the Preliminary Site Development Plans represented by drawings A-1 dated 11/19/21 by Levine Associates, which indicate a change in the Development Plan, including an accessory structure located in the parking lot, subject to the regulations of the B-5 Planned Commercial District, and the following changes to the ordinance:

- 1. Section 6 FINAL SITE DEVELOPMENT PLAN CRITERIA, Paragraph c. Minimum parking/Loading Requirements shall be changed to read:
 - 1) Parking regulations shall be as required by the Florissant Zoning Ordinance, except as otherwise varied herein. With a total of 78 parking spaces including 7 accessible spaces provided as shown on Exhibit "A" attached hereto and made a part hereof.
- 2. Section 6 FINAL SITE DEVELOPMENT PLAN CRITERIA, Paragraph i. Miscellaneous Design Criteria, Paragraph 3, shall be changed to read:
 - 3) The building shall be constructed of brick masonry and EIFS
 - i. An accessory structure of 180 s.f. shall be included as depicted by the Preliminary Site Development Plans represented by drawings A-1 dated 11/19/21 by Levine Associates.

PROJECT COMPLETION.

Construction shall start within 30 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 90 days of start of construction.

(end report)

INTRODUCED BY COUNCILMAN SCHNEIDER
SEPTEMBER 11, 2000

BILL NO. 7328 (AS AMENDED)

ORDINANCE NO. 6439

AN ORDINANCE AMENDING THE REZONING OF THE PROPERTY AT #5
NORTH HWY. 67 FROM B-3 EXTENSIVE COMMERCIAL DISTRICT TO B-5
PLANNED COMMERCIAL DISTRICT FOR THE LOCATION AND
OPERATION OF A RESTAURANT.

WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district classifications for the purpose of regulating their construction and use of land, buildings and property within the said various districts, and said Ordinance provides the nature, kind and character of buildings that may be erected in each of the said districts and the use to which the land and buildings may be put; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council that Ordinance No. 1625 be amended to change the classification of the property at #5 North Hwy. 67 from B-3 Extensive Commercial District to B-5 Planned Commercial District ; and

WHEREAS, due and lawful notice of a public hearing on said proposed zoning change was duly published, held and concluded on Monday, August 28, 2000 at 8:00 P.M. by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the classification of the following described property from B-3 Extensive Commercial District to B-5 Planned Commercial District:

A tract of land in U.S. Survey 166 and 167 of St. Ferdinand Common Fields in Township 47 North, Range 6 East, described as: Commencing at an iron rod in the northwest line of Lindbergh Boulevard (Highway 140) 60 feet wide, being also the most southern corner of property conveyed to Kenneth Poslosky et al by deed recorded in Book 4127 Page 615; thence North 52 degrees 15'00" wide a distance of 15.00 feet to a point being on the northwesterly right-of-way line of Lindbergh Boulevard as now exists, said point also being the point of beginning; thence north 56 degrees 00' 24" west a distance of 362.00 feet; Thence North 41 degrees 13'36" east a distance of 146.77 feet; thence south 55 degrees 48'22" east a distance of 353.00 feet to a point being on the westerly right-of-way line of Lindbergh Boulevard; thence south 37 degrees 45'00" west on the westerly right-of-way line a distance of 144.68 feet to the point of beginning. Contains 51,841 square feet or 1.19 acres more or less, subject to easements, restrictions and reservations now of records.

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5

Planned Commercial District be carried out in accordance with the preliminary plans dated 8/3/2000 filed with the Planning & Zoning Commission of the City of Florissant, and having received a recommended approval by the Planning & Zoning Commission on 8/7/2000 with certain conditions, and forwarded by said Planning & Zoning Commission to the Florissant City Council, a further amended copy of which bears a received date of 8/18/2000 and is attached hereto marked as Exhibit "A", adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

1. PERMITTED USES

The use permitted in the B-5 Planned Commercial District shall be limited to:

A sit-down restaurant with no other use shall be authorized unless fully approved by amendment of this ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

Total gross floor area of the one-story building shall be approximately 5,011 square feet with a height limitation of 20 feet to the roof parapet with a tower of 29'4". The exterior of the building should be earth tone colored brick with a blue metal roof. The trash enclosure on the rear of the property shall be a textured split-face colored block to blend with the main building.

3. PERFORMANCE STANDARDS

Uses within the B-5 Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance.

4. PLAN SUBMITTAL REQUIREMENTS

Within ninety (90) days of the effective date of this ordinance, and prior to issuance of any building or occupancy permit, the petitioner shall submit the Final Site Development Plan to the Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance. Where due cause is shown by the developer, this time interval may be extended by the Planning & Zoning Commission.

5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA

The above Final Site Development Plan shall include the following :

- a. Location and size, including height of building, landscaping and general use of the building.
- b. Gross square footage of building.
- c. Existing and proposed roadways, drives, and sidewalks on and adjacent to the property in question.
- d. Location and size of parking areas and internal drives.
- e. Building and parking setbacks.
- f. Curb cut locations.

- g. Existing proposed contours at intervals of not more than two (2) feet.
- h. Preliminary stormwater and sanitary sewer facilities.
- i. Identification of all applicable cross-access and cross-parking agreements.

6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

a. Structure Setbacks.

- (1) No building, excluding retaining walls, light standards, fences, and authorized freestanding pole sign shall be located within forty (40) feet of the right-of-way of N. Hwy. 67.
- (2) The setbacks shall be as approved by the Planning and Zoning Commission.

b. Parking, Loading and Internal Drives Setbacks.

- (1) Parking, loading spaces, internal drives and roadways shall be located in accordance with the preliminary site development plan attached hereto as Exhibit "A", dated 8/3/2000, or as subsequently approved by the Planning and Zoning Commission.
- (2) All of the setbacks shall be approved by the Planning and Zoning Commission.

c. Minimum Parking/Loading Space Requirements.

- (1) Parking regulations shall be as required by Section 17 of the Florissant Zoning Ordinance, except as otherwise varied herein. With 34 parking spaces required a total of 72 parking spaces with 7 handicapped spaces are provided as shown on Exhibit "A" attached hereto and made a part hereof.
- (2) Off street loading shall be at the rear of the structure in front of the trash enclosure.

d. Road Improvements, Access and Sidewalks.

- (1) Access to the property shall be substantially as shown on Exhibit "A" attached hereto. The Director of Public Works and the Missouri Department of Transportation (MODOT) shall approve all access from North Hwy. 67. The Petitioner shall comply with all requirements for roadway improvements as specified by the Director of Public Works and MODOT in approving the noted access.
- (2) Petitioner shall provide a permanent 30 foot wide access easement to the adjacent property located generally to the west of the subject property, which is presently zoned R-4 or, alternatively, proceed with the subdivision of the property to create a flag lot with a 50 foot wide street frontage for the aforementioned adjacent property located generally to the west of the subject property.

e. Lighting Requirements.

That lighting of the property shall comply with the following standards and requirements:

- (1) That all lighting be directed inward to the property.
- (2) The light standards will have a maximum height of 25 feet above grade with one-half foot candle at the property line per lighting drawing and photometrics marked "SE-1", dated 6/28/00, attached hereto as Exhibit "A".
- (3) That light standards, along with yard easements, shall be located in accordance with both Exhibit "A" except if repositioning of light standards is approved by the Planning & Zoning Commission. The Planning & Zoning Commission may authorize the repositioning of light standards and adjustments in lighting levels on the property in accordance with good planning practices and other standards and requirements as set forth herein. Repositioning and adjustments may be approved to accommodate landscaping and green space requirements.

f. Sign Requirements.

- (1) All signage shall comply with the sign ordinance.

g. Landscaping and Fencing.

- (1) Landscaping shall be installed in general accordance with the preliminary site plan attached hereto as Exhibit "A" and marked "LP-1", or as otherwise approved by the Planning & Zoning Commission. Such landscaping shall be in sufficient quantity as approved by the Planning & Zoning Commission to meet the minimum requirements as set forth in Section 17 (9) of the Florissant Zoning Ordinance. Variations in such required landscaping may be approved by the Planning and Zoning Commission.
- (2) Landscaping shall be maintained in good condition and shall be subject to review by the Director of Public Works. In the event that such landscaping is not maintained in accordance herewith and with directives of the Director of Public Works of maintenance thereof, renewal of the business license for the property may be refused until, or conditioned on, correction of the maintenance problems, as determined by the Director of Public Works.
- (3) The fencing indicated on "LP-1" as being removed shall remain.

h. Stormwater.

Stormwater and drainage facilities shall comply with the following standards and requirements:

- (1) That the required stormwater detention for the property be constructed to be below ground and be adequately maintained.
- (2) That written approval of the below ground stormwater detention by the Metropolitan St. Louis Sewer District be filed with the Department of Public Works
- (3) That a recorded copy of any easements for the stormwater and drainage facilities and/or improvements or alterations thereto as reflected on Exhibit "A" attached hereto be filed with the Department of Public Works.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks and all other site design features shall comply with the Florissant City Code.

- (2) The minimum yard requirements shall be as shown on the preliminary site plan attached hereto and incorporated herein as Exhibit "A".
- (3) The building shall be constructed of brick masonry.
- (4) The dumpster shall be screened in accordance with the preliminary site plan attached hereto as Exhibit "A".
- (5) All stormwater and drainage facilities shall be constructed, and all landscaping shall be installed prior to the use of the property unless remitted by the Director of Public Works due to weather related factors.
- (6) Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.
- (7) The Planning & Zoning Commission may permit recontouring and reconfiguration of parking areas to coordinate with developments on adjacent properties.

7. VERIFICATION PRIOR TO FINAL SITE DEVELOPMENT PLAN APPROVAL.

Prior to the approval of the Final Site Development Plan, the petitioner shall:

a. Stormwater.

- (1) Submit to the Planning & Zoning Commission a preliminary engineering plan showing that adequate handling of the stormwater drainage of the site is provided and that the Preliminary Engineering Plan has been approved by the Metropolitan Sewer District and is in accordance with accepted engineering standards.
- (2) No increase in surface water runoff to adjacent property shall result. Documentation shall be provided to the Director of Public Works for verification, if requested.
- (3) Curbing shall be constructed to deflect water runoff from adjacent properties.

b. Access and Curb Cuts.

- (1) Provide written verification of the requirements of, and approval by, MODOT of the location of proposed curb cuts, and the access points, if needed.
- (2) Access for the R-4 zoned property to the west of the subject property will be established per final site development plan criteria and in accordance with the Subdivision Code.

c. Layout Plan.

A layout plan shall be submitted, reviewed and approved by the Public Works Department prior to the commencement of any and all pavement marking. The layout plan shall include proper striping and signing of fire lanes. Fire lanes shall be established by separate ordinance after approval by the Fire District and Director of Public Works, pursuant to Section 15-9, 15-311 and 15-505 of the Florissant City Code.

d. Subdivision.

Petitioner shall submit and obtain approval of a subdivision of the property being rezoned herein and the adjacent property located to the west and presently zoned R-4.

8. **RECORDING**

Within sixty (60) days of approval of the Final Site Development Plan by the Planning & Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

9. **VERIFICATION PRIOR TO BUILDING PERMITS**

After approval of the Final Site Development Plan and prior to the issuance of any building permit, the following verifications shall be provided:

a. Sanitary Sewers.

Written verification of sanitary sewer plan approval from the Metropolitan St. Louis Sewer District and the Department of Public Works.

b. Stormwater Sewers.

Written verification of stormwater plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

c. Landscaping/Screening Bonds or Escrows.

If the estimated cost of new landscaping and/or screening indicated on or forming part of the Final Site Development Plan, as required by the Planning & Zoning Commission, exceeds an estimated cost of one thousand dollars (\$1,000.00), as determined by the Director of Public Works, a bond or escrow shall be furnished so as to be a sufficient amount to guarantee the installation of said landscaping and/or screening.

e. Street Improvement/Parking/Curbing Signs/Pavement Marking/Sidewalks/Traffic Signals. Bond or Escrows.

The petitioner shall furnish a two (2) year bond or escrow, sufficient in amount, as determined by the Director of Public Works, to guarantee the street improvements, if necessary, parking lot pavement, curbing, sidewalks, signs and pavement markings, lighting and fire lanes.

f. Filing a Recorded Site Development Plan.

Two (2) copies of such recorded Final Site Development Plan, showing book, page, and recording date, shall be filed with the director of public works.

g. Notification of the Department of Public Works.

Prior to the issuance of foundation or building permits, all approvals from the Metropolitan St. Louis Sewer District, MODOT and other appropriate organizations must be received by the Department of Public Works.

10. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Required roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Underground stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening abutting adjoining residential properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

11. GENERAL DEVELOPMENT CONDITIONS.

- a. Adequate surfaced temporary off-street parking for construction employees shall be provided.
- b. All deliveries shall be made between the hours of 9:00 a.m. and 5:00 p.m.
- c. The hours of operation shall be 24 hour inside dining.
- d. The Director of Public Works may authorize a delay in the completion of any roadway improvements and/or landscaping along N. Hwy. 67, or any changes thereto, or the placing of funds in escrow in lieu thereof, to facilitate development of the property in accordance with plans hereafter adopted for the North Lindbergh Enhancement Project.
- e. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- f. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

12. PROJECT COMPLETION.

Construction shall start within sixty (60) days of the issuance of building permits, and completion of the planned commercial development, in accordance with the approved Final Site Development Plan, shall be effected within six (6) months of the start of construction.

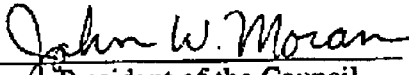
Section 3: The application and preliminary plans are returned to the Planning and Zoning Commission for consideration of a Final Site Development Plan, pursuant to Section 14.5, subsection 10 (4), of the Florissant Zoning Ordinance.

Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for revision of the zoning of said property back to a B-3 Extensive Commercial District, in accordance with Section 14.5, subsection 13, of the Florissant Zoning Ordinance.

Section 5: There shall be an annual review of the performance standards on this development.

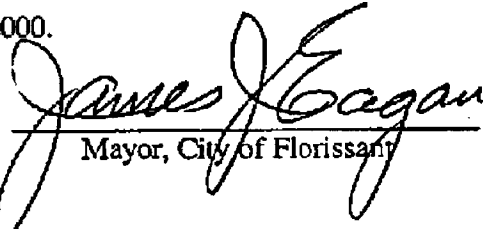
Section 6: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 25th day of September, 2000.



President of the Council
City of Florissant

Approved this 29 day of September, 2000.



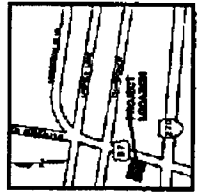
Mayor, City of Florissant

ATTEST:

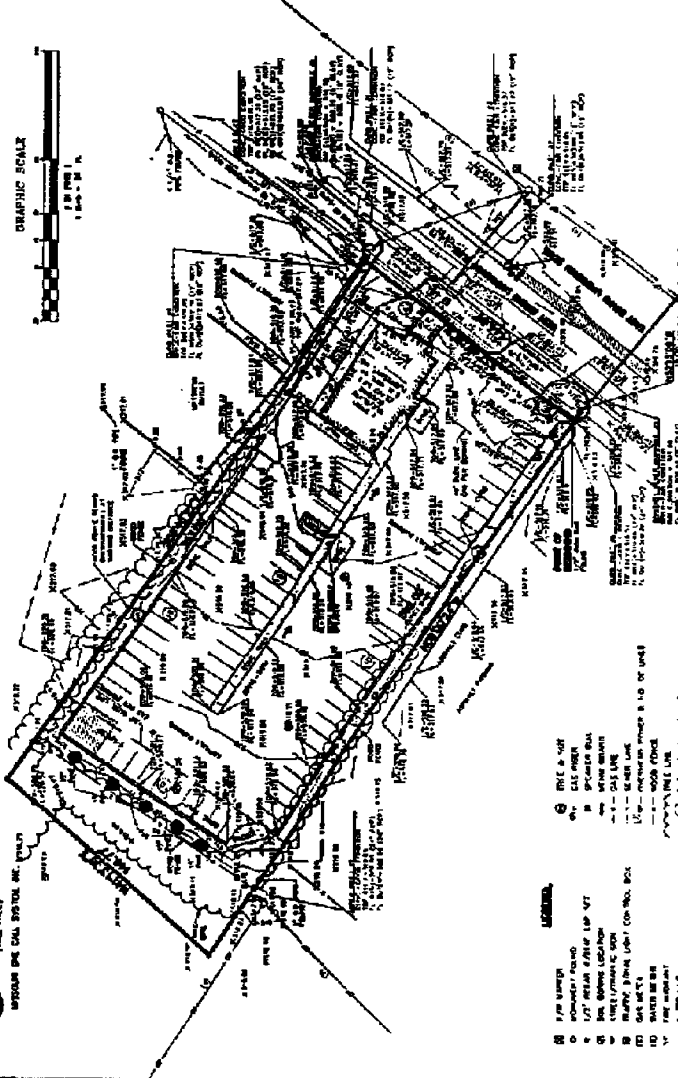


City Clerk

Existing Exhibit A 1085



THE CITY OF ALABAMA... PROPOSED... PLANNING... THE CITY OF ALABAMA... PLANNING... THE CITY OF ALABAMA... PLANNING... THE CITY OF ALABAMA... PLANNING...



ASTA/ACSM LAND TITLE SURVEY. This Work Coordinated By: [Company Name and Logo]. Using Our Expertise, No Complainers! Yours.

- MARKING FOR CONCRETE CURB... MARKING FOR CONCRETE CURB... MARKING FOR CONCRETE CURB... MARKING FOR CONCRETE CURB... MARKING FOR CONCRETE CURB... MARKING FOR CONCRETE CURB...

DAVID J. SCHAFER, LAND SURVEYOR. 10831 W. 95TH STREET, OKLAHOMA CITY, OKLAHOMA 73154. (918) 894-5130. Includes contact information, company logo, and a small map of Oklahoma.

Proposed Exhibit "A" 2 of 5

DATE: 10/15/01	PROJECT: IHOP	ARCHITECT: Daniel P. Farmer
SCALE: AS SHOWN	OWNER: IHOP	PROJECT NO: 01-001
DATE: 10/15/01	PROJECT: IHOP	ARCHITECT: Daniel P. Farmer
SCALE: AS SHOWN	OWNER: IHOP	PROJECT NO: 01-001

PROJECT INFORMATION

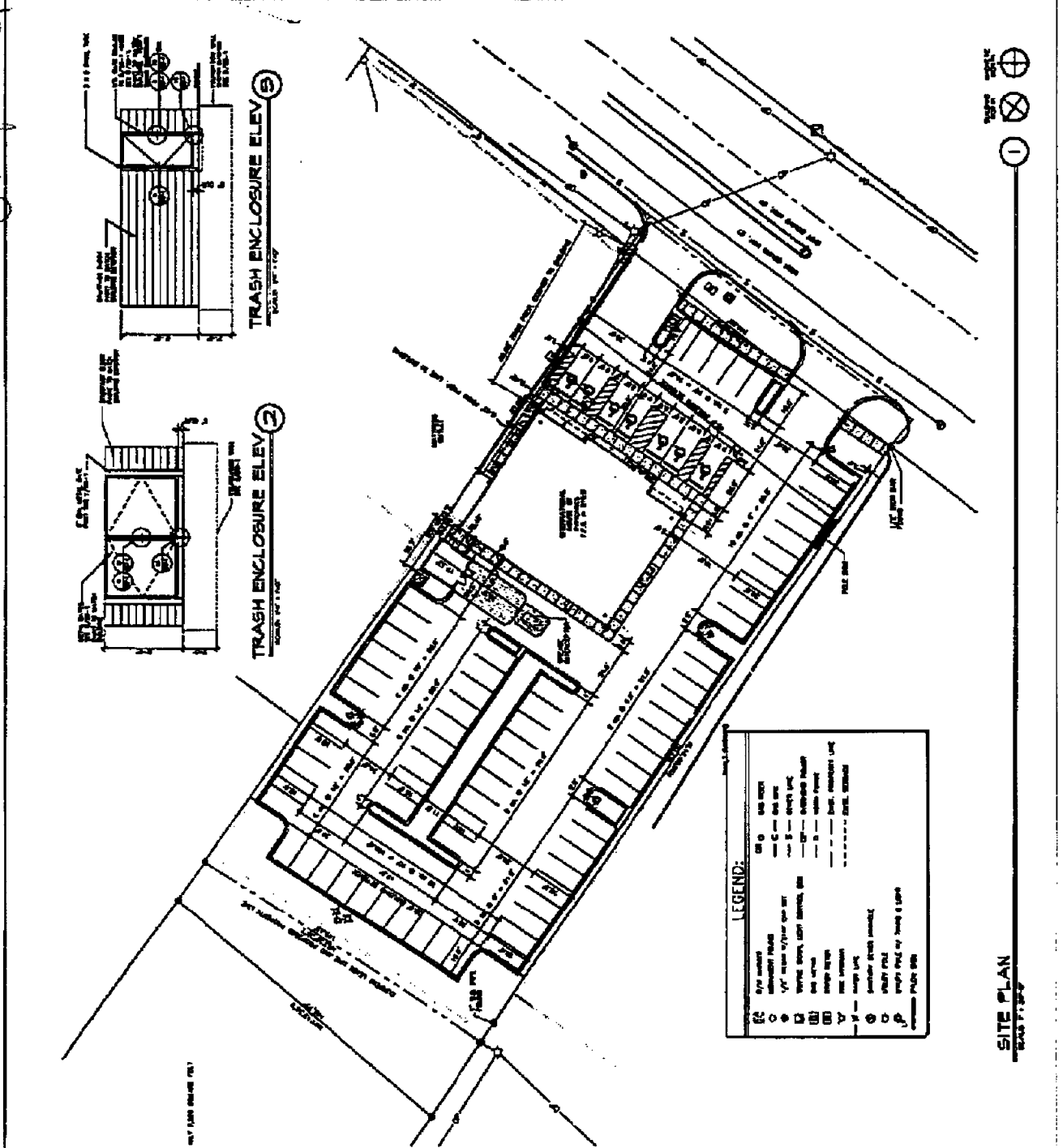
OWNER: IHOP
 PROJECT NO: 01-001
 PROJECT NAME: IHOP RESTAURANT

SITE NOTES

1. EXISTING GRADE
2. EXISTING UTILITIES
3. EXISTING DRIVE
4. EXISTING SIDEWALK
5. EXISTING CURB
6. EXISTING DRIVE
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50. EXISTING CURB

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRIVE AND SIDEWALKS.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURB AND DRIVE.
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50. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRIVE AND SIDEWALK.



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SITE PLAN
DAN FARMER ARCHITECT

Exhibit "A" 50655

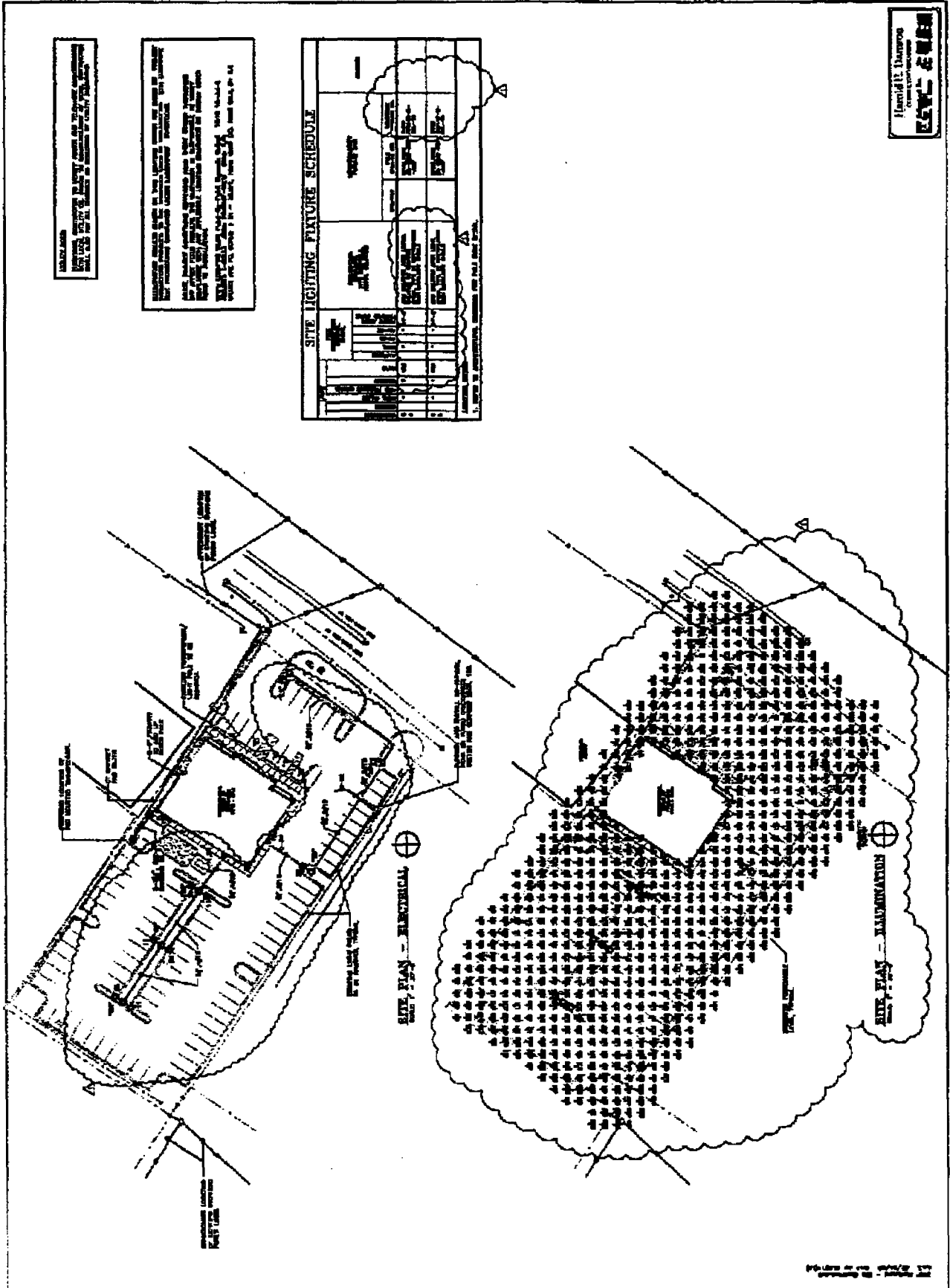
NO.	REVISION
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DATE: _____

Daniel P. Farmer
Architect



SE-1
SITE PLAN - ELECTRICAL



NOTES: 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

SITE LIGHTING FIXTURE SCHEDULE

NO.	DESCRIPTION	QUANTITY	NOTES
1	OUTDOOR WALL MOUNTED LIGHT	12	150 WATT, 5 FT. HIGH
2	RECESSED CAN LIGHT	24	40 WATT, 4 IN. DIA.
3	RECESSED CAN LIGHT	12	60 WATT, 4 IN. DIA.
4	RECESSED CAN LIGHT	6	75 WATT, 4 IN. DIA.
5	RECESSED CAN LIGHT	3	100 WATT, 4 IN. DIA.

10/10/11
ELECTRICAL

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 10, 2022 at 7:00 p.m. on the following proposition:

To amend the provisions of a 'B-5' Planned Commercial District to allow for the addition of an accessory structure located at 5 N Highway 67 (IHOP). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1 INTRODUCED BY COUNCILMAN MANGANELLI
2 JANUARY 10, 2022

3
4 BILL NO. 9753

ORDINANCE NO.

5
6 **ORDINANCE TO APPROVE A SPECIAL USE PERMIT TO CAFÉ DE**
7 **LASHA FOR THE OPERATION OF A SIT-DOWN, CARRY-OUT**
8 **RESTAURANT FOR THE PROPERTY LOCATED AT 119 FLORISSANT**
9 **OAKS SHOPPING CENTER.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation
13 of a restaurant in the City of Florissant; and

14 WHEREAS, an application has been filed by LaSha Enterprises LLC d/b/a Café De
15 LaSha to allow for the operation of restaurant located at 119 Florissant Oaks Shopping Center,
16 and

17 WHEREAS, the Planning and Zoning Commission at their meeting on December 6,
18 2021, recommended that a Special Permit be granted; and

19 WHEREAS, due notice of public hearing no. 22-01-002 on said application to be held on
20 the 10th of January, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly
21 published, held and concluded; and

22 WHEREAS, the Council, following said public hearing, and after due and careful
23 consideration, has concluded that the issuance of a Special Use Permit for a restaurant would be
24 in the best interest of the City of Florissant.

25
26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

28
29 Section 1: A Special Use Permit is hereby granted to LaSha Enterprises LLC d/b/a Café
30 De LaSha to allow for the operation of restaurant located at 119 Florissant Oaks Shopping
31 Center in a ‘B-3’ Extensive Business District as shown on plans attached, subject to
32 the conditions set forth below with these conditions being part of the record:

- 33
34 1. Maximum Occupant load shall be 83 as shown on plan A-1 dated 9/17/21 by
35 Levine Associates.

36
37 Section 2: This ordinance shall become in force and effect immediately upon its passage
38 and approval.

39 Adopted this _____ day of _____, 2022.

40
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42 _____
43 Keith Schildroth
President of the Council

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Approved this _____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing

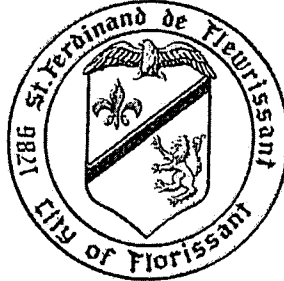


In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, January 10, 2022 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to Café De LaSha to allow for the operation of a sit-down, carry-out restaurant/bar for the property located at 119 N Florissant Oaks Shopping Center in a 'B-3' Extensive Business District. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 2 Zoning 'B-3' *pd*
Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. *[Signature]* DATE: 12-6-2021

SPECIAL PERMIT FOR Remodeling for new restaurant
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 119 Florissant Oaks Shopping Center
Address of property.

1) Comes Now Lasha Simpson Truong, Lasha Enterprise LLC, DBA
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As) *Cafe de Lasha*

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) By Lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual LLC Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address Lasha Truong 8460 N. Lindbergh Blvd. suite 1
- (2) Telephone Number 314-477-0266
- (3) Business Address 119 Florissant Oaks Shopping Center
- (4) Date started in business ~~07-01-18~~ 09-01-19
- (5) Name in which business is operated if different from (1) Cafe de Lasha
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration. Cafe de Lasha 8-28-19

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

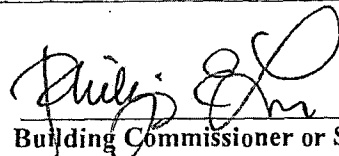
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

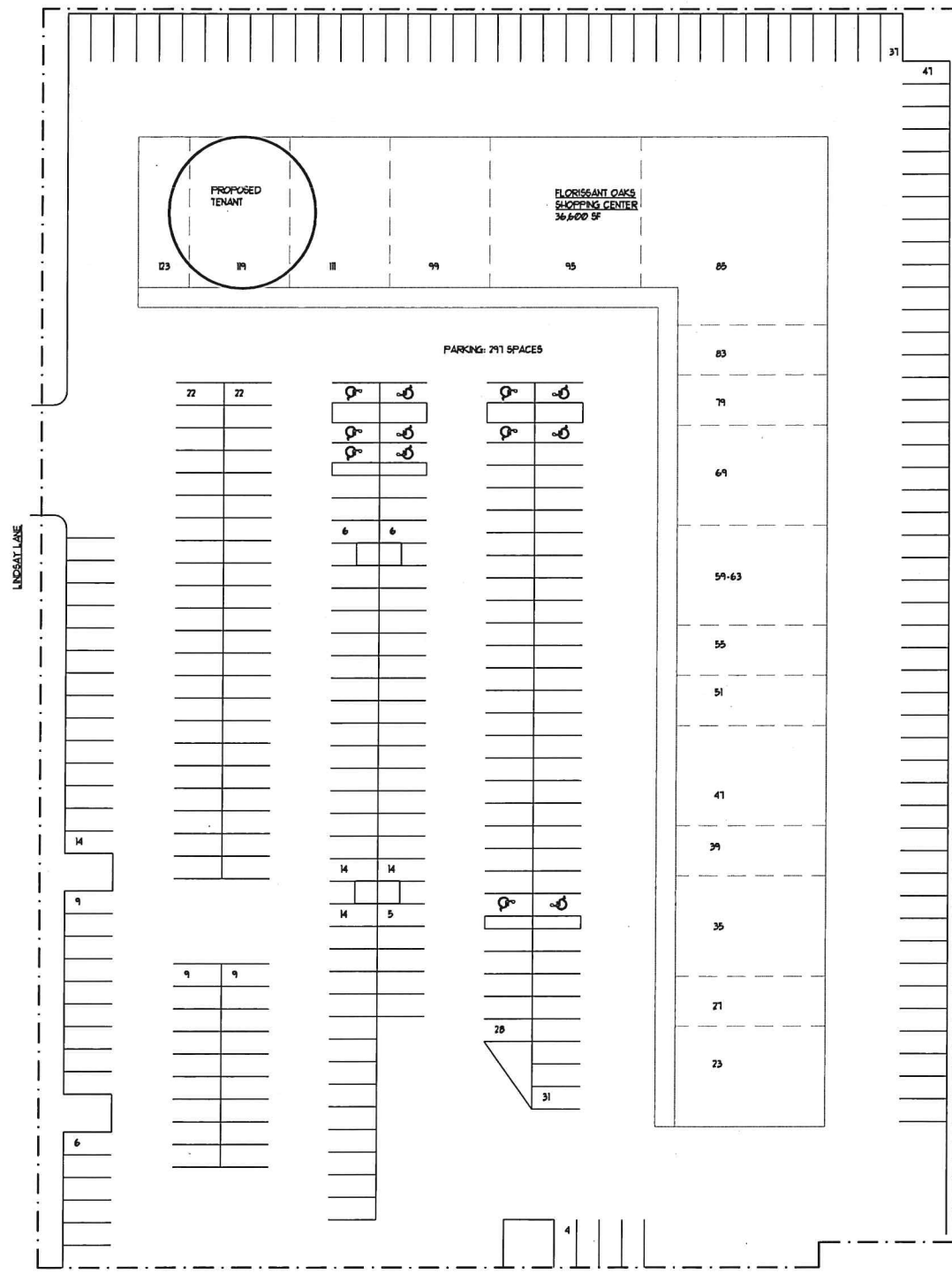
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

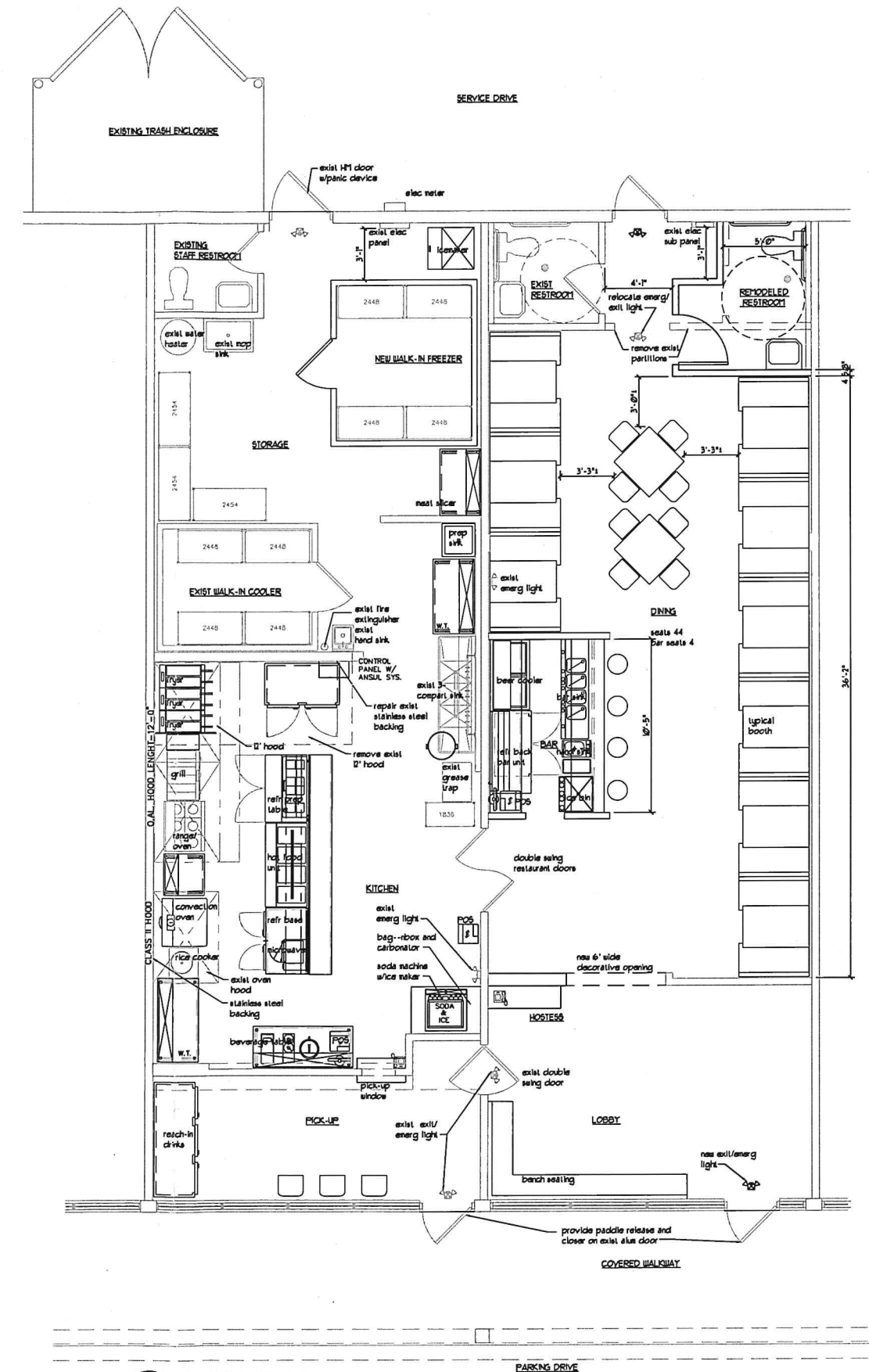
Date Application reviewed _____

STAFF REMARKS: _____

 12/1/21
Building Commissioner or Staff Signature

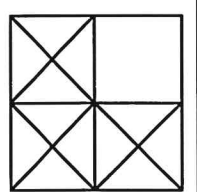


SITEPLAN
SCALE: 1" = 30'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT DATA
 ZONING DISTRICT: B3 EXTENSIVE COMMERCIAL
 BUILDING CODE: 2016 INTERNATIONAL EXISTING BUILDING CODE
 TENANT AREA: 2,315 SF (EXISTING BUILDING)
 BUILDING HEIGHT: 1-STORY
 CONSTRUCTION TYPE: II-B
 NON-SPRINKLERED
 OCCUPANCY TYPE: 'A-2'-ASSEMBLY (RESTAURANT)
 NUMBER OCCUPANTS:
 KITCHEN: 995 / 200 + 5
 DINING: 155 / 5 + 11
 TOTAL: 83
 TOTAL ACTUAL OCCUPANTS: 56 SEATS, 6 EMPLOYEES
 PARKING REQUIRED:
 12 SEATS: 48 / 3 + 24
 32 EMPLOYEES: 6 X 3/2 + 4
 TOTAL: 28 AVAILABLE IN SHOPPING CENTER LOT



LEVINE associates
 architecture - interiors - planning
 2025 South Brentwood Boulevard, Suite 101
 Saint Louis, Missouri 63144
 Phone 314-991-5600



ARCHITECT: ALVAN M. LEVINE
 MO LICENSE A-4246
 ALVAN M. LEVINE, INC.
 DBA LEVINE ASSOCIATES
 CERTIFICATE OF AUTHORITY
 LICENSE NUMBER A-208040328

plans and notes
 INTERIOR REMODELING: CAFE DE LA SHA
 119 FLORISSANT MEADOWS
 FLORISSANT, MISSOURI 63033
 LA SHA ENTERPRISES, LLC

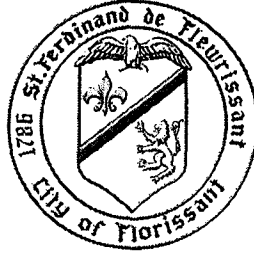
REVISIONS		
NO.	DATE	ITEM

SHEET NO.
A-1

ISSUE DATE: 9-17-21
 PROJECT #: 2191.01
 DRN. JPL CHK. AML

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MEMORANDUM



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CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: December 1, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 119 Florissant Oaks (Café De LaSha) Request Recommended Approval of a Special Use to allow for a Restaurant/bar establishment in a 'B-3' Extensive Business District.

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21

STAFF REPORT

CASE NUMBER PZ-120621-4

I. PROJECT DESCRIPTION:

This is a request for recommended approval of a Special Use, to allow for a restaurant/bar establishment at 119 Florissant Oaks (Café De LaSha), in an existing 'B-3' Planned Commercial District.

II. EXISTING SITE CONDITIONS:

The existing property at 119 Florissant Oaks (Café De LaSha) is a tenant space on a 4.16 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is approximately 2150 s.f. in the shopping center which is about 37,860 s.f. per County record. There is a site plan attached which shows the location and parking. The existing building was built in 1970 per County record.

III. SURROUNDING PROPERTIES:

The property to the West is a vacant lot zoned 'R-4' Single Family Dwelling District similarly in the 'B-3' Extensive Business District. The properties to the North are houses along Ruth Dr in the 'R-4' Single Family Dwelling District. The properties to the North

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41 adjacent to Patterson to the East are 2 houses, 1025 and 1045 Patterson in the 'B-1' Local
42 Shopping District.

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44 **IV. STAFF ANALYSIS:**

45 Plans received from the applicant include architect's plan of existing site with no
46 proposed changes and a preliminary floor plan.

47

48 Comments on Drawing A-1 dated 9/17/21 by Levine Associates:

49

50 Site Plan: A site plan was requested indicating compliance with the parking code. It
51 appears about 297 parking spaces may exist if they are striped per plan. Average number
52 of parking for the shopping center if 100% retail would be $37,860/1000 \times 4 = 152$, so
53 there appears to be adequate parking for this and other assembly spaces.

54

55 The calculations for parking for this restaurant shown is 28.

56

57 Number of occupants shown is 83.

58

59 There appears to be a large lobby at the entrance on the plans for waiting and to divert
60 customers to a pick-up area.

61

62 A small bar 10'-5" long with 4 bar stools is shown.

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64 **III. STAFF RECOMENDATIONS:**

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66 **Suggested Motion:**

67 I move for Recommended Approval of a Special Use to allow for a sit-down Carryout
68 restaurant/bar establishment in a 'B-3' Extensive Business District as shown on plans
69 attached, subject to the conditions set forth below with these conditions being part of the
70 record:

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- 72 1. Maximum Occupant load shall be 83 as shown on plan A-1 dated 9/17/21 by
73 Levine Associates.

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(End of report and suggested motion)

Resolution No. 1035

RESOLUTION OF THE CITY OF FLORISSANT SUPPORTING A GRANT APPLICATION FROM THE LAND AND WATER CONSERVATION FUND THROUGH THE STATE OF MISSOURI

WHEREAS, the City of Florissant is applying for Federal assistance from the Land & Water Conservation Fund program for the purpose of construction of the Restroom at Duchesne Park.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, that

1. Timothy J. Lowery, Mayor of the City of Florissant is authorized to sign the application for federal assistance and other official project documents that are necessary to obtain such assistance, including any agreements, contracts or other documents that are required by the State of Missouri or the U.S. Department of the Interior, National Park Service.
2. The City of Florissant currently has the written commitment for the minimum 20% matching share for the project elements that are identified in the application and will allocate the necessary funds to complete the project.
3. In the event a grant is awarded, the City of Florissant will commit the necessary financial resources to operate and maintain the completed project in a safe and attractive manner for public access in perpetuity.
4. In the event a grant is awarded, the City of Florissant is prepared to complete the project within the time period identified on the signed project agreement.
5. In the event a grant is awarded, the City of Florissant will comply with all rules and regulations of the Land & Water Conservation Fund program, applicable Executive Orders, all federal and state laws that performance of the project, and stewardship requirements when the project is complete.

PASSED AND RESOLVED THIS 24TH DAY OF JANUARY 2022.

Keith Schildroth
President of the Council

The undersigned hereby certifies that he/she is the duly authorized Clerk and custodian of the books and records and seal of City of Florissant, duly formed pursuant to the laws of the State of Missouri, and that the foregoing is a true record of a resolution duly adopted at a meeting of the City Council that said meeting was held in accordance with state and local laws on January 24, 2022 and that the said resolution is now in full force and effect without modification or rescission.

ATTEST:

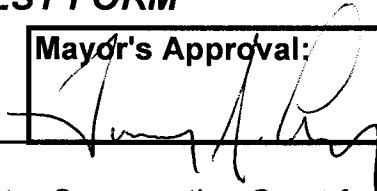
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: January 20, 2022 _____

Mayor's Approval: _____



Agenda Date Requested: | Jan. 24, 2022

Approval of a Resolution to support a Land and Water Conservation Grant for relocation of a new restroom at Duchesne Park

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

No

3 readings? : Yes / No

No

Back up materials attached:

Back up materials needed:

Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

**From the Desk of
Cheryl A. Thompson-
Stimage**

Interoffice Memo

To: Florissant City Council
Thru: Mayor Timothy J. Lowery
From: Cheryl A. Thompson-Stimage, Director of Parks and Recreation
Date: January 20, 2022
Re: Resolution for Land and Water Conservation Grant

Cheryl A. Thompson-Stimage
1/20/22
1/20/22

This resolution is presented to you for approval to submit a Grant for the sole purpose of building a new restroom at Duchesne Park. The city will need to match the total cost by 20%. The grant will be submitted in February. Thank you for your help and if there are any questions please let me know.

INTRODUCED BY COUNCILMAN EAGAN
JANUARY 24, 2022

BILL NO. 9754

ORDINANCE NO.

**ORDINANCE AUTHORIZING A CHANGE IN COLOR FOR PAINTED
BRICK FOR THE BUILDING LOCATED AT 8457 N. LINDBERGH.**

Whereas, section 500.040 states that “Re-painting for reasons other than for maintenance of current painted surfaces upon the approval of the Director of Public Works and requests to change the color or texture of the existing brick or masonry surface, may not be done without the review and recommendation from Planning and Zoning Commission and approval of City Council.”; and

Whereas, Tamir LLC is proposing to re-paint the brick on the building located at 8457 N. Lindbergh for reasons other than for maintenance and to change the color; and

Whereas, The City Council believes finds that it is appropriate under these circumstances to allow for the repainting and changing the color of the brick for 8457 N. Lindbergh.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Tamir LLC is hereby authorized to re-paint the brick on the building located at 8457 N. Lindbergh in accordance with the sample color submitted 1-4-2022 and described as PPG0996-6 (Slate Mine) attached hereto.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2022.

Keith Schildroth
President of the Council
City of Florissant

Approved this _____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: January 11, 2022

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval to change color of previously painted brick at 8457 N. Lindbergh (Tamir LLC dba Brooklyn Grill), in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-011822-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval**, to allow for changing the color of previously painted brick walls on a portion of the building at 8457 N Lindbergh, in a 'B-3' Extensive Business District.

II. EXISTING SITE CONDITIONS:

The existing property at 8457 N. Lindbergh is a property which is a 0.43 acre site with a in a 'B-3' Extensive Business District, the Council approved an ordinance for the operation as a restaurant.

The subject property is currently 1548 s.f. and the proposal to repaint the remaining brick walls to another color

The existing building was built in 1974 per County record, formerly the Pizza Hut.

Repainting of brick to another color requires recommendation by P&Z and approval by Council.

III. SURROUNDING PROPERTIES:

The property to the West is a vacant property 8457-R N. Lindbergh of same width in between this property and the residence behind it, in the 'B-3' Extensive Business District. The property to the north is MAG Automotive at 8461 N. Lindbergh in the 'B-3' Extensive Business District and the property to the South is a Medical Facility at 8457 N. Lindbergh, in a 'B-5' Planned Commercial District.

IV. STAFF

The proposal includes the repainting of portions of the South, West and North walls and was not addressed on previous reviews since the areas of brick are only a portion of existing walls.

After review of the masonry ordinance 500.040, petitioners need to go to P&Z first before going to City Council for painting brick a different color. The City Clerk will then include this item go on to council:

D. Restrictions On Use Of Masonry.

- 1. Masonry shall not be painted, but clear sealers may be applied if approved by the Building Commissioner.*
- 2. Any masonry that was lawfully painted may only be repainted for maintenance purposes and only with written permission from the Director of Public Works. In cases where there is a need to perform maintenance on a painted area, the Director of Public Works or their designee may review and approve any repainting for maintenance reasons, provided that there is no change in color or texture.*
- 3. Repainting for reasons other than for maintenance of current painted surfaces upon the approval of the Director of Public Works and requests to change the color or texture of the existing brick or masonry surface may not be done without the review and recommendation from the Planning and Zoning Commission and approval of City Council.*
- 4. Nothing contained herein shall excuse or authorize the unlawful painting or repainting of brick or masonry surfaces.*
- 5. Exemption For Landmark And Historic Homes. All buildings listed on the National Register of Historic Places, designated Florissant landmarks or structures eligible to be designated Florissant landmarks which were painted prior to the adoption of this Section would be excluded from its provisions.*

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for recommended approval to repaint brick at **8457 N. Lindbergh (Tamir LLC)** in a 'B-3' Extensive Business District, as presented by the petitioner, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

MASONRY ORDINANCE APPLICATION



CITY OF FLORISSANT- BUILDING DEPARTMENT

"The mission of the Building Department is to enforce building codes, zoning codes and property maintenance codes in order to protect life safety and enhance the quality of life for the residents of the City of Florissant."

Application to the City of Florissant, to request review for compliance with the Masonry Ordinance, City Code 500.040:

Please Legibly Print or Type to complete:

Property Address: 8457 N Lindbergh Zoning District: B-3 Extensive Commercial

Property Owner Name: Tamir, LLC Email: adamhaija@yahoo.com

Property Owner Address: 2359-2369 Schuetz Road Maryland Heights, MO Phone #: (479) 685-4467

Business Owner Name: Lobna, LLC Email: adamhaija@yahoo.com
Legal name of business , i.e. person, corporation, partnership

Business Owner's Address: 2359-2369 Schuetz Road Maryland Heights, MO Phone #: (479) 685-4467

Authorized Agent Name: Adam El-Haija Email: adamhaija@yahoo.com

Authorized Agent Address: 2359-2369 Schuetz Road Maryland Heights, MO Phone #: (479) 685-4467

- Request:
- Clear sealer approval from the Building Commissioner.
 - Repainting to same color, approval from the Director of Public Works.
 - Repainting to change color, P&Z Recommendation, approval from City Council.
 - Exemption for Landmark or Historic Home.


Applicant's Signature

1-4-2022
Date

Received by:  Date: 1/4/22 **OFFICE USE ONLY** Staff Remarks: _____

Receipt 14575

ACTION TAKEN/ DATE

Tamir, LLC

Application to Appear

Planning and Zoning Commission

City of Florissant, Missouri

PROJECT LOCATION: 8457 N. Lindbergh Road (Formerly "Pizza Hut")

Florissant, Missouri

SCOPE OF WORK: Repaint previously painted exterior building surfaces.

Job #1: Paint previously painted exterior walls and trim (consisting of a combination of V-B unprotected frame construction and masonry surfaces) and change paint color from previous color (Benjamin Moore HC-20 "Woodstock Tan").

EXTERIOR PAINT SPECIFICATIONS

- Paint is custom mixed PPG Industries 6-2110XI white and pastel tint base mixed to PPG0996-3 ("Statue Garden") tint color;
- 100% Acrylic Latex, Satin Sheen Exterior formulation;
- Manufacturer recommended for Brick, Masonry, and Wood substrates;
- Low VOC (<50 g/L);
- Meets MPI #15;
- Mildew Resistant;
- Good UV and weathering resistance;

Paint shall be applied using spray and/or brush techniques and will be done in a manner such that vehicles and other objects and structures, both on and off the premises will not be at risk to over spraying or dripping.

Paint to be applied in no more than one primer coat and no more than two finish coats as required to ensure uniform and thorough coverage over existing paint.

Job #2: Paint previously painted metal roof and all associated trim, gutters, flashing and penetrating elements such as fans, flues, and vents and change color from previous paint color (Sherwin Williams SW6090 "Java Brown").

EXTERIOR PAINT SPECIFICATIONS

- Paint is custom mixed PPG Industries 6-2150XI mid-tone tint base mixed to PPG0996-6 ("Slate Mine") tint color;
- 100% Acrylic Latex, Satin Sheen Exterior formulation
- Manufacturer recommended for Aluminum, Ferrous Metals and Vinyl substrates;
- Low VOC (<50 g/L)
- Meets MPI #15
- Mildew Resistant
- Good UV and weathering resistance

Paint shall be applied using spray and/or brush techniques and will be done in a manner such that vehicles and other objects and structures, both on and off the premises, will not be at risk to over spraying or dripping.

Paint to be applied in no more than one prime coat and no more than two finishing coats as required to ensure uniform and thorough coverage over existing paint.



Architectural Coatings

PPG Speedhide Exterior 100% Acrylic Latex Satin

GENERAL DESCRIPTION

Speedhide Exterior 100% Acrylic Latex Satin is a durable, 100% acrylic exterior paint designed for new and repaint applications where durability and ease of application are most important in both the commercial and multi-family markets. This less than 50 g/L VOC paint provides excellent flow and leveling, very good hide and coverage and has excellent resistance to mildew on the paint film. This 100% acrylic workhorse formula also provides excellent adhesion and can be applied at temperatures as low as 35°F (2°C) extending your painting season. Vinyl siding and similar plastic composites should not be painted with a color darker than the original color. Painting vinyl siding or plastic composites with a darker color may cause them to warp. Color selection for use over vinyl siding is limited. For information, call 1-800-441-9695.

RECOMMENDED SUBSTRATES

Aluminum	Ferrous Metal	Stucco
Brick	Fiber Cement	Vinyl
Concrete	Masonry	Wood

CONFORMANCE STANDARDS

VOC compliant in all regulated areas
MPI approved in category #15

PRODUCT INFORMATION

6-2045XI	White
6-2110XI	White & Pastel Base
6-2150XI	Midtone Base*
6-2300XI	Ultra Deep Base*

*Must be tinted before use.

Refer to the appropriate color formula book, automatic tinting equipment, and or computer color matching system for color formulas and tinting instructions.

PACKAGING

- 1-Gallon (3.78 L)
- 5-Gallon (18.9 L)

Not all products are available in all sizes.

FEATURES / BENEFITS

Features

- Excellent Adhesion
- 100% Acrylic Latex Formulation
- Low VOC, <50g/L
- Provides uniform film and appearance
- Excellent application properties
- Provides Mildew Resistant Coating
- Good UV and weathering resistance
- Application Down to 35°F (2°C)
- MPI #15 Approval

Benefits

- Minimizes cracking and peeling
- Excellent longevity and overall durability
- Meets the most stringent VOC regulations nationwide
- Hides surface imperfections
- Built for easy and effective application
- Resists the formation of mold and mildew on the paint film
- Holds up to harsh outdoor elements
- Extends the painting season
- Meets strict performance and aesthetic requirements

Read Label and Safety Data Sheet prior to use. See other cautions on last page.

PRODUCT DATA

PRODUCT TYPE:	100% Acrylic Latex
SHEEN:	Satin: 12-25 @60°; 20-40 @85°
VOLUME SOLIDS*:	32% +/- 2%
WEIGHT SOLIDS*:	40% +/- 2%
WEIGHT/GALLON*:	9.4 lbs. (4.3 kg) +/- 0.2 lbs. (91 g)
VOC:	<50 g/L (0.4 lbs./gal.)

*Product data calculated on product 6-2110XI.

COVERAGE: Approximately 400 sq. ft. (37 sq. meters) per U.S. Gallon (3.78L) on smooth, nonporous surfaces.

Wet Film Thickness:	4.0 mils
Wet Microns:	102
Dry Film Thickness:	1.3 mils
Dry Microns:	33

Coverage figures do not include loss due to surface irregularities and porosity or material loss due to application method or mixing.

DRYING TIME: Dry time @ 77°F (25°C); 50% relative humidity.

To Touch:	1 hour
To Recoat:	2-4 hours
To Full Cure:	30 days

Drying times listed may vary depending on temperature, humidity, film build, color, and air movement. For example, product applied at 35°F (2°C) would require a minimum of 24 hours before recoat.

CLEANUP: Clean tools with warm, soapy water.

DISPOSAL: Contact your local environmental regulatory agency for guidance on disposal of unused product. Do not pour down a drain or storm sewer.

FLASH POINT: Over 200°F (93°C)

GENERAL SURFACE PREPARATION

Surface must be clean and dry. Remove all loose, peeling paint, dirt, mildew, grease, oil, chalk, rust, and any other surface contaminants. Blistering and peeling issues are commonly caused by moisture behind the paint film. Problems leading to excessive moisture in the substrate must be repaired prior to painting. Putty all nail holes and caulk all cracks and open seams. Sand all glossy, rough, and patched surfaces. Stucco, concrete, and masonry surfaces must be completely dry, free of efflorescence, and allowed to cure for 30 days prior to painting. An appropriate primer is recommended for all uncoated surfaces and special substrates, such as tannin staining wood, new or chalky masonry, and bare metal.

WARNING! If you scrape, sand, or remove old paint, you may release lead dust or fumes. LEAD IS TOXIC. EXPOSURE TO LEAD DUST OR FUMES CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE. Wear a properly fitted NIOSH-approved respirator and prevent skin contact to control lead exposure. Clean up carefully with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the USEPA National Lead Information Hotline at 1-800-424-LEAD or log on to www.epa.gov/lead. Follow these instructions to control exposure to other hazardous substances that may be released during surface preparation.

ALUMINUM: This substrate may present potential adhesion problems. Any coating applied directly to aluminum should be spot applied, allowed to cure overnight, and then evaluated for adhesion. If adhesion is good, the application may proceed.

BRICK: New brick and mortar should cure for at least 30 days and preferably 90 days prior to priming and painting. The pH of the substrate must be less than 10 before priming. Painting glazed brick is not recommended due to potential adhesion problems.

CONCRETE and MASONRY: New concrete should cure for at least 30 days and preferably 90 days prior to priming and painting. The pH of the substrate must be less than 10 before priming with an alkali resistant primer.

FERROUS METAL: The surface must be cleaned thoroughly to remove any dust, rust, and surface contaminants, and then primed.

FIBER CEMENT: Fiber cement siding and trim board may present potential adhesion, alkali burn, and efflorescence problems. New board should be aged for at least 30 days prior to priming and painting. The pH of the substrate must be less than 10 and the moisture content must be less than 12% prior to priming and topcoating. All cracks and opens seams should be caulked to prevent water penetration. Pre-primed board from the manufacturer may not be uniformly or completely sealed. It is recommended that an alkali resistant primer be applied to ensure complete and uniform sealing prior to topcoating.

STUCCO: New stucco should cure for at least 30 days and preferably 90 days prior to priming and painting. The pH of the substrate must be less than 10 before priming. Surface chalk from the curing or aging process should be removed then sealed with an appropriate sealer to rebind and restore the surface to a sound condition.

VINYL and ARCHITECTURAL PLASTIC: Vinyl and similar architectural plastics may present potential adhesion problems. A primer may be required to promote proper adhesion. Consult the manufacturer's guidelines prior to painting. Primer and topcoat should be spot applied, allowed to cure overnight, then evaluated for adhesion. If adhesion is good, the application may proceed. Check adhesion by applying a piece of masking tape. When the masking tape is removed, if the coating peels off, the surface must be scuff sanded prior to proceeding to ensure mechanical adhesion. Vinyl siding and similar plastic composites should not be painted with a color darker than the original color. Painting vinyl siding or plastic composites with a darker color may cause them to warp. Color selection for use over vinyl siding is limited. For information, call 1-800-441-9695.

WOOD: Countersink all nails, putty flush with surface. Unpainted wood or wood in poor condition should be sanded smooth, wiped clean, then primed. Any knots or resinous areas must be primed before painting.

RECOMMENDED PRIMERS

Aluminum	17-921XI
Brick	4-503, 4-603XI, 17-921XI
Concrete & Masonry	4-503, 4-603XI, 17-921XI
Ferrous Metal	4020, 90-712, 90-912
Fiber Cement	4-2, 4-503, 4-603XI
Stucco	4-2, 4-503, 4-603XI, 4-808, 4-809, 4-898
Vinyl	17-921XI
Wood	17-921XI

LIMITATIONS OF USE

Apply only when air, surface, and product temperatures are above 35°F (2°C) and at least 5°F (3°C) above the dew point. Air and surface temperatures must remain above 35°F (2°C) for the next 48 hours. Do not apply late in the day when dew and condensation are likely to form or if rain or snow is expected. On large expanses of metal, temperatures must be 50°F (10°C) or higher.

PROTECT FROM FREEZING.

Not recommended for use on steps or floors.

While this product provides a mildew resistant coating, growth may still occur if the substrate is not properly prepared prior to painting and/or if the substrate is consistently exposed to conditions conducive to mold, mildew, and algae.

Architectural Coatings

PPG Speedhide Exterior 100% Acrylic Latex Satin

APPLICATION INFORMATION

Stir thoroughly before using and occasionally when in use. When using more than one can of the same color, intermix to ensure color uniformity. USE WITH ADEQUATE VENTILATION. KEEP OUT OF REACH OF CHILDREN. Read all label and Safety Data Sheet (SDS) information prior to use. SDS are available through our web site or by calling 1-800-441-9695.

Application Equipment: Apply with a high-quality brush, roller, paint pad, or by spray equipment.

Airless Spray: Pressure 1500 to 2000 psi; tip 0.015" to 0.021". Spray equipment must be handled with due care and in accordance with manufacturer's recommendation. High-pressure injection of coatings into the skin by airless equipment may cause serious injury.

Brush: Polyester/Nylon Brush

Roller (nap roller cover): 3/8" - 3/4"

Thinning: Do not thin.

Permissible temperatures during application:

Material:	35 to 90°F	2 to 32°C
Ambient:	35 to 90°F	2 to 32°C
Substrate:	35 to 90°F	2 to 32°C

PRECAUTIONS

WARNING! HARMFUL IF INHALED. MAY CAUSE ALLERGIC SKIN REACTION. Do not breathe vapor or mist. Do not get on skin or clothing. Keep container tightly closed and sealed until ready for use. Wash thoroughly after handling. Provide fresh air ventilation during and after application and drying. Avoid the inhalation of dust, particulates, spray or mist arising from the application of this preparation. Use personal protective equipment as required. **Note:** These warnings encompass the product series. Prior to use, read and follow product-specific SDS and label information. **FIRST AID:** If swallowed, rinse mouth with water (only if the person is conscious). Do not induce vomiting unless directed to do so by medical personnel. If in eyes, rinse with water for 15 minutes. Check for and remove any contact lenses. In case of contact, immediately flush skin with plenty of water while removing contaminated clothing and shoes. Get medical attention if irritation develops. If inhaled, remove to fresh air. Call physician immediately. Contains isothiazolinones. May cause allergic reaction. Keep out of the reach of children. For workplace use, an SDS is available from your retailer or by calling (412) 492-5555. EMERGENCY SPILL INFORMATION: (412) 434-4515 (U.S.).

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PPG Architectural Finishes, Inc. believes the technical data presented is currently accurate; however, no guarantee of accuracy, comprehensiveness, or performance is given or implied. Improvements in coatings technology may cause future technical data to vary from what is in this bulletin. For complete, up-to-date technical information, call 1-800-441-9695.



PPG Architectural Finishes, Inc.
One PPG Place
Pittsburgh, PA 15272
www.ppgpaints.com

Technical Services
1-800-441-9695

Architect/Specifier
1-888-PPG-IDEA

PPG Architectural Coatings Canada Inc.
1550 rue Ampère, Suite 500
Boucherville (Quebec) J4B 7L4

6-2045XI 12/2019







8457

Sunday - Tuesday
12:00PM - 10:00PM
Friday - Saturday
10:00AM - 10:00PM

A

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1 INTRODUCED BY COUNCILMAN MULCAHY
2 JANUARY 24, 2022

3
4 BILL NO. 9755 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO SCHEDULE III**
7 **OF THE FLORISSANT TRAFFIC CODE, TABLE III-D BY ADDING**
8 **A 4 WAY STOP INTERSECTION AT ST. JOSEPH AND BOONE**
9 **STREET.**

10
11 WHEREAS the Traffic Commission has recommended the addition of a 4 way stop at St.
12 Joseph and Boone Street at their meeting on Tuesday, January 11, 2022; and

13
14 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
15 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

16
17 Section 1: Table III-B “Two-Way Stops” is hereby amended by deleting the following:

18
19 Boone Street, St. Joseph Street

20
21 Section 2: Table III-A “Four-Way Stops” is hereby amended by adding the
22 following:

23
24 Boone Street, St. Joseph Street

25
26 Section 3: This ordinance shall become in force and effect immediately upon its passage
27 and approval.

28 Adopted this _____ day of _____, 2022.

29
30
31 _____
32 Keith Schildroth, Council President

33 Approved this _____ day of _____, 2022.

34
35 _____
36 Timothy J. Lowery, Mayor

37 ATTEST:

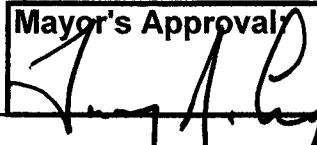
38 _____
39 Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

1/18/2022

Mayor's Approval



Agenda Date Requested: 1/24/22

Description of request: Request to place stop signs on St. Joseph Street at Boone to create a four-way stop intersection

Department: Street

Recommending Board or Commission: Traffic Commission

Type of request:

Ordinances	X	Other	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: Yes / No	No	3 readings? : Yes / No	Yes

Back up materials attached:		Back up materials needed:	
Minutes	X	Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:
 Introduced by: _____
 PH Speaker: _____

CITY OF FLORISSANT

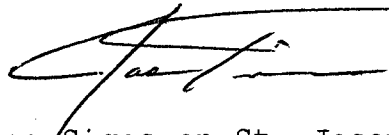
MEMO

TO: Councilman Patrick Mulcahy DATE: January 18, 2022

THRU: Mayor Timothy Lowery

THRU: Todd Hughes
Director of Public Works

FROM: Jason Timme
Street Superintendent



SUBJECT: Request to Place Stop Signs on St. Joseph Street at
Boone to Create a Four-Way Stop Intersection

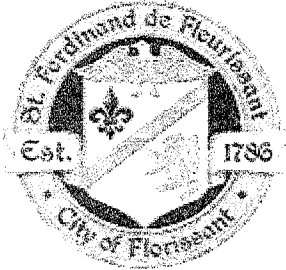
The Traffic Commission has again reviewed the request to place stop signs on St. Joseph at Boone to create a four-way stop intersection at the January 11, 2022 meeting. The Traffic Commission made a recommendation not to place stop signs on St. Joseph at Boone but the motion failed and the stop signs were approved (see attached Minutes, Item 13/21).

MaryAnn Fitzpatrick

Starre 13/21

From: Andy Quinones
Sent: Wednesday, December 15, 2021 9:33 AM
To: MaryAnn Fitzpatrick
Subject: FW: Stop sign request

Here you go... See below request. Mayor Lowery would like for this request to be considered by the traffic commission at their next meeting.



Andrew T. Quinones, Jr.

Government Affairs/Senior Communications Manager
City of Florissant
P: 314.839.7601
E: aquinones@florissantmo.com

From: Tim Lowery
Sent: Thursday, December 9, 2021 1:42 PM
To: Andy Quinones <aquinones@florissantmo.com>
Subject: Fwd: Stop sign request

See me about this one

Sent from my iPhone

Begin forwarded message:

From: Ward 6 <ward6@florissantmo.com>
Date: November 19, 2021 at 11:57:58 AM CST
To: Tim Lowery <tlowery@florissantmo.com>
Subject: Fwd: Stop sign request

Get [Outlook for iOS](#)

From: Ward 6 <ward6@florissantmo.com>
Sent: Tuesday, August 17, 2021 12:53 PM
To: Karen Goodwin
Subject: Fwd: Stop sign request

If this request could be added to the next Traffic Commission agenda it would be appreciated.

is a lot of tree coverage there, and then the one house in particular, on the northwest side, there are bushes there. He said there is a house where the door doesn't face St. Joseph, it faces Boone, but it sits maybe five or six feet off the street on that corner. He said it is really close to the street. He said he lives on that side as well which is close to where Atonement Lutheran School, the soccer fields and playground are. He said none of those houses there have fences and so there is a fair amount of foot traffic through there. He said his thoughts here are increased traffic flow and some visibility concerns. Don Adams asked how far is this street off of Florissant Road. Mr. Meyer said it is like two measured blocks, but it is the first street off of New Florissant Road. He said then there are two more blocks up to Lafayette, which does have a stop sign. Don Adams said we discussed something of this nature last year and we decided it would cause traffic problems there. Zach Schneider said it was all part of the St. Denis Street issue where they wanted all the stop signs. Don Adams said people using that as a cut-through are causing traffic backups. Zach Schneider asked if there are stop signs on Boone or St. Joseph. Mr. Meyer said there is a stop sign on Boone crossing over St. Joseph. Don Adams asked if there are a lot of kids cutting through yards in that area. Mr. Meyer said there are some and he said he sees kids on bikes and kids going to the playground. Don Adams said we've already had this and Donna Smith-Pupillo said we've talked about this issue before. Zach Schneider said he doesn't think the stop sign is really necessary. He said he doesn't live over there but based on what we've already discussed and studies we've done over there, he said he doesn't think it requires another stop sign in Old Town. He said there are stop signs all over the place in Old Town it seems like. He doesn't think we should be adding another one. Don Adams asked how far it was to the next stop sign. Mr. Meyer said it was two blocks up to Lafayette. Zach Schneider said it is not a

speeding issue, but there are too many cars cutting through. Mr. Meyer told him that was correct. Don Adams asked what the difference was between this issue and the previous Agenda item. Jason Timme told him the difference with this one compared to their concern is most of the people they see speeding live there. The people who come through here could be going anywhere because one way you go to Lindbergh and the other way you go to Florissant Road. Zach Schneider asked if he was saying we should put stop signs at every intersection in Old Town. Jason Timme said he was not saying that at all. He was just saying that's the difference between the two situations. Zach Schneider said that would deter everyone from going through Old Town. He said he would like to make a motion to deny this request. Mr. Meyer asked Zach Schneider what he would say would be legitimate criteria to putting a stop sign at an intersection like this if speeding doesn't fit. Zach Schneider said speeding obviously does not fit. He said what he is getting at is if we put this sign in we are opening up a Pandoras Box to put stop signs up everywhere. He said we are going to have stop signs at every single intersection running down St. Joseph, running down St. Denis, running down St. Antoine. Mr. Meyer was also told that the Traffic Commission has a list of criteria that they go by when making their decisions. Mr. Meyer was shown a copy of the list of criteria. Zach Schneider said there are several four-way intersections in Old Town, and all over Florissant, that have stop signs that have been approved and have zero traffic control. He said he would prefer stop signs for traffic control and there is already traffic control at that intersection. He said if there were no stop signs or yield signs period at that intersection, certainly we should put something up to eliminate any potential accidents. He said St. Joseph doesn't have a stop sign, but Boone does. Mr. Meyer asked Zach Schneider to repeat for him what his reasoning was for the denial. He said he heard him

say this is something we had addressed previously about a different intersection. Zach Schneider said we had talked about this exact same scenario on St. Denis, but was mainly a speeding issue. He said they wanted stops at every single intersection all the way down the street. Greg Keil said it was for the same reason. They felt it was a cut-through. Mr. Meyer said he didn't know if they were referencing any of these criteria in the reasoning for denial.

Motion was made by Zach Schneider to make a recommendation not to place stop signs on St. Joseph Street at Boone to create a four-way stop intersection. Motion was seconded by Greg Keil. On the roll call the commission voted: Donna Smith-Pupillo – no, Don Adams – yes, Greg Keil – no, Pete Fischer – no, and Zach Schneider – yes. Motion did not carry. Item 13/21 was dropped from the Agenda.

**01/22 REQUEST WAS MADE TO RESTRICT PARKING ON BLACKEARTH COURT
 Denied
 Ward 2**

Request was made to place no parking signs on the right side of the street leaving the court on Blackearth Court. Zach Schneider read the email from Councilman Manganelli, December 1, 2021. Don Adams said he would vote against it. Zach Schneider said he would also vote against it. He said it is very quiet over there. Don Adams said when he was there, there was only one car parked there right as you turn onto the street. He said there is a house right there and there were two cars parked in the driveway. He said he did not see cars parked on both sides of the street. Zach Schneider said the person requesting this said it is a narrow street which makes it difficult for cars coming in and out of the court, but he doesn't feel this street is any narrower than any other street. Jason Timme said it is not a narrow street. It is a 26 foot

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 JANUARY 24, 2022

3
4 BILL NO. 9756 ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING RE-APPROPRIATIONS TO ROLL OVER**
7 **FISCAL YEAR 2021 OUTSTANDING ENCUMBRANCES IN VARIOUS FUNDS**
8 **TO FISCAL YEAR 2022.**
9

10 WHEREAS the City's year end process for FY2021 appropriations not completed by
11 November 30th, 2021 to roll over into FY22, requires a re-appropriation into FY22; and

12
13 WHEREAS these re-appropriations have no impact on the fund balance

14
15 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
16 COUNTY, MISSOURI, AS FOLLOWS:

17
18 Section 1: There is hereby authorized a re-appropriation of **\$51,107** in the General Revenue Fund
19 to various accounts listed as follows:

20
21 **General Fund Total \$ 51,107**

22
23 01-5-40-52150 Election Expense/Use Tax Campaign \$ 10,000
24 01-5-41-16000 Contract Services/Scanning Project \$ 40,000
25 01-5-43-52020 Valley of Flowers /Paging System \$ 1,107

26
27 Section 2: There is hereby authorized a re-appropriation of **\$956,370** in the Capital
28 Improvement Fund to various accounts listed as follows:

29
30 **Capital Improvement Fund Total \$ 956,370**

31
32 03-5-03-24030 Internet/Fibre Connectivity \$ 50,000
33 03-5-03-29050 Bldg, Maint & Supply-Police \$ 8,700
34 03-5-03-29070 Security Maint & Equip-Manion Pk Playground \$ 4,000
35 03-5-03-50040 Prof Serv – Property Acquisition \$ 4,500
36 03-5-03-50050 Prof Serv – Engineering \$ 170,000
37 03-5-03-52000 Street Contracts \$ 600,000
38 03-5-03-52100 Contracts – N Lafayette Engineering \$ 5,300
39 03-5-03-52210 Contracts – St. Denis Ph1 Engineering \$ 18,499
40 03-5-03-54020 Sidewalk Repairs \$ 50,000
41 03-5-03-55000 Stormwater Projects \$ 2,371
42 03-5-03-61390 Capital Add's – Senior Service \$ 43,000

43
44 Section 3: There is hereby authorized a re-appropriation of **\$1,011,122** in the Street Improvement
45 Fund to various accounts listed as follows:

46
47 **Street Improvement Fund Total \$ 1,011,122**
48

49	08-5-08-52000	Street Contracts – Other	\$ 729,205
50	08-5-08-52200	Contracts – St. Ferd/Hwy 67	\$ 126,917
51	08-5-08-61000	Capital Add's – Street	\$ 155,000

52

53 Section 4: There is hereby authorized a re-appropriation of **\$128,113** in the Park
 54 Improvement Fund to various accounts listed as follows:

55

56 **Park Improvement Fund Total \$ 128,113**

57

58	09-5-09-50010	Prof Services – Aquatic Ctr Campaign	\$ 10,000
59	09-5-09-61470	Capital Add's – Manion Park Playground	\$ 118,113

60

61

62 Section 5: There is hereby authorized a re-appropriation of **\$ 120,000** in the Public
 63 Safety Fund to various accounts listed as follows:

64

65 **Public Safety Fund Total \$ 120,000**

66

67	17-5-17-61000	Cap Add's-Locker Room Remodel	\$ 120,000
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68

69

70 Section 6: There is hereby authorized a re-appropriation of **\$16,034** in the Grant Revenue
 71 Capital Improvement Fund to various accounts listed as follows:

72

73 **Grant Revenue Capital Improvement Fund Total \$ 16,034**

74

75	03-4-03513	Grant Revenue – N Lafayette Engineering	\$ 9,423
76	03-4-03514	Grant Revenue – St. Denis Ph1 Engineering	\$ 4,240
77	03-4-03515	Grant Revenue – MSD Stormwater Projects	\$ 2,371

78

79 Section 7: There is hereby authorized a re-appropriation of **\$101,534** in the Grant Revenue
 80 Street Improvement Fund Total to various accounts listed as follows:

81

82 **Grant Revenue Street Improvement Fund Total \$ 101,534**

83

84	08-4-08510	Grant Revenue – St. Ferd/Hwy 67 (80%)	\$ 101,534
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85

86 Section 8: There is hereby authorized a re-appropriation of **\$1,816,531** in the ARPA Fund
 87 Total to various accounts listed as follows:

88

89 **ARPA Fund Total \$ 1,816,531**

90

91	55-5-55-61401	Agenda Mgmt Software	\$ 41,750
92	55-5-55-61431	Theatre Projector/Screen	\$ 48,640
93	55-5-55-61432	Theatre Stage Lighting	\$ 23,265
94	55-5-55-61441	JJE LED Signs	\$ 54,717
95	55-5-55-61471	Playgrounds	\$ 499,094
96	55-5-55-61472	Tennis Courts	\$ 281,765
97	55-5-55-61473	Wiese House	\$ 200,000

98 55-5-55-61481 Public Works Self Service Portal \$ 415,550
99 55-5-55-61491 Police LPR Cameras \$ 251,750

100
101 Section 9: This ordinance shall become in force and effect immediately upon its passage
102 and approval.

103
104 Adopted this ____ day of _____, 2022.

105 _____
106 Keith Schildroth
107 President of the Council
108 City of Florissant

109 Approved this ____ day of _____, 2022.

110
111 _____
112 Timothy J. Lowery
113 Mayor, City of Florissant

114 ATTEST:

115
116 _____
117 Karen Goodwin, MPPA/MMC/MRCC,
118 City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 1/20/22 _____

Mayor's Approval:

Agenda Date Requested: 1/20/2022

Description of request:

FY22 Supplemental Budget to roll over FY21 outstanding appropriations and associated revenue at 11/30/21.

Department: City Clerk

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation	x	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Y/N

Public Hearing needed: **Yes / No**

3 readings? : **Yes / No**

N

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo	x	Memo	
Draft Ord.		Draft Ord.	

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For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

City of Florissant, Missouri
Memorandum

To: City Council Date: January 20, 2022

Thru: Mayor Timothy Lowery

From: Kimberlee Johnson
Director of Finance

Subject: Re-appropriate FY21 encumbrance rollover to FY22

Per our year end processes, FY21 appropriations not completed by November 30th 2021 are to roll over into FY22 and require re-appropriation for FY22. These are not new appropriations, they merely move out of FY21 and into FY22 and have no effect on the fund balance.

This memorandum is to request the council to approve the supplemental appropriation for the following FY21 outstanding encumbrances and associated revenue:

General Fund Total \$ 51,107

01-5-40-52150	Election Expense/Use Tax Campaign	\$ 10,000
01-5-41-16000	Contract Services/Scanning Project	\$ 40,000
01-5-43-52020	Valley of Flowers /Paging System	\$ 1,107

Capital Improvement Fund Total \$ 956,370

03-5-03-24030	Internet/Fibre Connectivity	\$ 50,000
03-5-03-29050	Bldg, Maint & Supply-Police	\$ 8,700
03-5-03-29070	Security Maint & Equip-Manion Pk Playground	\$ 4,000
03-5-03-50040	Prof Serv – Property Acquisition	\$ 4,500
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03-5-03-52000	Street Contracts	\$ 600,000
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03-5-03-55000	Stormwater Projects	\$ 2,371
03-5-03-61390	Capital Add's – Senior Service	\$ 43,000

Grant Revenue Capital Improvement Fund Total \$ 9,421,034

03-4-03513	Grant Revenue – N Lafayette Engineering	\$
9,423		
03-4-03514	Grant Revenue – St. Denis Ph1 Engineering	\$ 4,240
03-4-03515	Grant Revenue – MSD Stormwater Projects	\$ 2,371

Public Safety Fund Total \$ 39,475

17-5-17-61000	Cap Add's Mobile Video Surveillance	\$ 12,975
17-5-17-61000	Cap Add's Police Dept Fencing	\$ 26,500

Street Improvement Fund Total \$ 1,011,122

08-5-08-52000	Street Contracts – Other	\$ 729,205
08-5-08-52200	Contracts – St. Ferd/Hwy 67	\$ 126,917
08-5-08-61000	Capital Add's – Street	\$ 155,000

Grant Revenue Street Improvement Fund Total \$ ~~1,395,441~~101,534

08-4-08510	Grant Revenue – St. Ferd/Hwy 67 (80%)	\$ 101,534
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Public Safety Fund Total \$ 120,000

<u>17-5-17-61000</u>	<u>Cap Add's-Locker Room Remodel</u>	<u>\$ 120,000</u>
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Park Improvement Fund Total \$ 128,113

09-5-09-50010	Prof Services – Aquatic Ctr Campaign	\$ 10,000
09-5-09-61470	Capital Add's – Manion Park Playground	<u>118,113</u>

ARPA Fund Total \$ 1,816,531

55-5-55-61401	Agenda Mgmt Software	\$ 41,750
55-5-55-61431	Theatre Projector/Screen	\$ 48,640
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