



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, July 9, 2018
7:30 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting minutes and Executive Meeting Minutes of June 11, 2018

IV. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

18-07-024 (Ward 2) Application Staff Rpt Plans	Request to authorize an amendment to Special Use Permit No. 4879, as amended, for Bentwood Nursing and Rehab to allow for an expansion of a nursing home located at 1501 Charbonier Road. (Planning and Zoning recommended approval on 6/18/18)	Michael Woodard
18-07-025 (Ward 2) Application Staff Rpt Plans	Request to issue an amendment to B-5 ordinance no. 8016 to allow for the expansion of the vacuum area for the carwash (Brite Worx) for the property located at 475 N. Hwy 67. (Planning and Zoning recommended approval on 6/18/18)	Kevin Kamp

VII. OLD BUSINESS

A. BILLS FOR SECOND READING

9395	Ordinance to authorize a Special Permit to MERS/Missouri Goodwill Industries d/b/a Goodwill to allow for the location of a post sign at a retail establishment for the property located at 455 N. Highway 67.	2 nd Reading Jones
9396	Ordinance to authorize an amendment to B-5 Ordinance No. 7998 for Kkheslop Limited Partnership to allow for a masonry building addition and access driveway in an existing B-5 Zoning District for the property located at 3524 Patterson Road.	2 nd Reading Caputa
9397	Ordinance to authorize an amendment to Special Permit No. 7593 to Macs Convenience Stores, LLC d/b/a Circle K to allow for car wash directional signs for the property located at 1545 S. New Florissant Road.	2 nd Reading Schildroth

VIII. NEW BUSINESS

A. BOARD APPOINTMENTS

B. RESOLUTIONS

1003	Resolution of the City Council and Mayor of the City of Florissant Missouri expressing their opposition to Proposition A, "Right To Work".	Council as a whole
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C. REQUESTS

Liquor (Ward 7) Application	Request to approve a Full Liquor by the Drink and Sunday license for Valley Clubhouse LLC located at 1703 Dunn Road.	Charles Rideout, Jr.
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D. BILLS FOR FIRST READING

9401	Ordinance to authorize an amendment to Special Use Permit No. 4879, as amended, for Bentwood Nursing and Rehab to allow for an expansion of a nursing home located at 1501 Charbonier Road.	Jones
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9402	Ordinance to issue an amendment to B-5 ordinance no. 8016 to allow for the expansion of the vacuum area for the carwash (Brite Worx) for the property located at 475 N. Hwy 67	Jones
9403	Ordinance authorizing an amendment to Chapter 100 “General Provisions, section 100.080 “General Penalty – Continuing Violatons” subsection B by changing \$300 to \$225.	Caputa

XI. COUNCIL ANNOUNCEMENTS

XII. MESSAGE FROM THE MAYOR

XIII. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL JULY 6, 2018 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK’S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, JULY 9, 2018.

CITY OF FLORISSANT



COUNCIL MINUTES

June 25, 2018

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, June 25, 2018 at 7:30 p.m. with Council President Caputa presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Harris, Jones, Eagan, Caputa, Schildroth, Pagano, Parson and Siam. Councilman Henke was excused. Also present was City Attorney John Hessel and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Henke moved to approve the Executive and Meeting Minutes of June 11, 2018, seconded by Harris. Motion carried.

The next item on the Agenda was Police Commendations.

- Det. Dustin Edwards, Det. Eric Schlueter & Det. Nick Osmer
- Officer Panus and Officer Steve Beekman
- Det. Dustin Edwards and Det. Nick Osmer
- Det. Sean Mayer, Det. Ryan McCarrick and Det. Joe Monahan
- Det. Bryan Bussen

The next item on the Agenda was Certificate of Merit.

- Officer Craig Horton

The next item on the Agenda was Hearing from Citizens.

John Engelmeyer, 1281 Graham Rd., stated that budget items have not been on the city's website for several months. He also mentioned several items of concern, including speeding.

The next item on the Agenda was Communications of which there was none.

The next item on the Agenda was Public Hearings.

The City Clerk reported that Public Hearing #18-06-022 to be held this night on a Request to issue an amendment to B-5 Ordinance No. 7998 for Kkheslop Limited Partnership to allow for a

35 masonry building addition and access driveway in an existing B-5 Zoning District for the property
36 located at 3524 Patterson Road had been advertised in substantially the same form as appears in the
37 foregoing publication and by posting the property. The Chair declared the Public Hearing to be open
38 and invited those who wished to be heard to come forward.

39 Tim O'Toole, petitioner, stated Family Video will be closing and a Family Dollar Store will be
40 taking its place. The owners will be adding additional space at the rear of the building for storage and a
41 new driveway with curbs in order to accommodate for the Family Dollar Store. The addition will
42 match the existing brick and a new dumpster pad will be poured. Councilman Caputa informed Mr.
43 O'Toole that a Dollar General was proposed to be located very near to his establishment. Councilman
44 Jones asked the petitioner to keep the parking lot and area around the store free from trash and debris.
45 The petitioner added that the existing restaurant in the shopping center will remain open.

46 The Chair asked if there were any citizens who would like to speak on said public hearing.
47 Being no citizens who wished to speak, Councilman Pagano moved to close P.H. #18-06-022, seconded
48 by Schildroth. Motion carried.

49 The City Clerk reported that Public Hearing #18-06-023 to be held this night on a Request to
50 authorize an amendment to Special Use Permit Nos. 5062, 5025, 5595 and 7593 to Macs Convenience
51 Stores, LLC d/b/a Circle K to allow for car wash directional signs for the property located at 1545 S.
52 New Florissant Road had been advertised in substantially the same form as appears in the foregoing
53 publication and by posting the property. The Chair declared the Public Hearing to be open and invited
54 those who wished to be heard to come forward.

55 Jason Buxton, petitioner, stated that Circle K is difficult to enter and exit because of traffic
56 congestion. They would like to place directional signs around the back of the building indicating the
57 entry to the carwash. Planning & Zoning recommended one ground mounted sign to be located by the
58 building. They also recommended an "exit" sign be placed on the carwash building. Councilman
59 Schildroth stated that any additional signage that would improve the traffic flow at the station was
60 welcomed.

61 The Chair asked if there were any citizens who would like to speak on said public hearing.
62 Being no citizens who wished to speak, Councilman Schildroth moved to close P.H. #18-06-023,
63 seconded by Harris. Motion carried.

64 Councilwoman Pagano moved that Bill No. 9394 An Ordinance authorizing an appropriation of
65 \$10,000 from the General Revenue Fund to Acct. No. 4050 "Professional Services" for the purpose of

66 funding legal counsel for the City Council be read for a second time, seconded by Caputa. Motion
67 carried and Bill No. 9394 was read for a second time. Councilwoman Pagano moved that Bill No. 9394
68 be read for a third time, seconded by Jones. Motion carried and Bill No. 9394 was read for a third and
69 final time and placed upon its passage.

70 Before the final vote all interested persons were given an opportunity to be heard. Robert Smith,
71 2823 Chapel View, asked what exactly was meant by the term “Professional Services.” Mr. Hessel
72 explained the situation regarding this bill concerned the Council retaining separate counsel due to a
73 conflict of interest.

74 Being no other citizens who wished to speak, on roll call the Council voted: Harris yes, Jones
75 yes, Eagan yes, Caputa yes, Schildroth yes, Henke absent, Pagano yes, Parson yes and Siam yes.
76 Whereupon the Chair declared Bill No. 9394 to have passed and became Ordinance No. 8421.

77 Councilman Parson moved to appointment Andre Hill, 3470 Amblerwood Dr., to the Parks &
78 Recreation Advisory Board as a member from Ward 8 for a term expiring on 6/25/2021, seconded by
79 Pagano. Motion carried.

80 Councilman Parson moved to appointment Ericka Hill, 3470 Amblerwood Dr., to the Citizens
81 Participation Committee as a member from Ward 8 for a term expiring on 6/25/2019, seconded by
82 Pagano. Motion carried.

83 Councilwoman Pagano moved to approve the request for a Transfer of Special Use Permit No.
84 8394 from Sipp, Inc., LLC to Smoke Sessions to allow for a cocktail lounge located at 1833 Dunn
85 Road, seconded by Pagano. Motion carried. Councilwoman Pagano moved to suspend the rules to hear
86 from the petitioner, seconded by Schildroth. Motion carried. Mr. Session appeared before the Council
87 and explained that he had originally planned for a cigar lounge, but the zoning was not correct for that
88 address. He was now planning on opening a cocktail/jazz lounge. No food will be served.
89 Councilman Jones encouraged the petitioner to make sure the trash was picked up around his
90 establishment.

91 Councilwoman Pagano moved to approve the request for a Full Liquor by the Drink license for
92 Smoke Session, LLC for the property located at 1833 Dunn Road, seconded by Eagan. On roll call the
93 Council voted: Harris yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke absent, Pagano
94 yes, Parson yes and Siam yes. Motion carried and the liquor license was approved.

95 Councilman Jones introduced Bill No. 9395 An Ordinance authorizing a Special Permit to
96 MERS/Missouri Goodwill Industries d/b/a Goodwill to allow for the location of a post sign at a retail

97 establishment for the property located at 455 N Highway 67 and said Bill was read for the first time by
98 title only.

99 Councilman Caputa introduced Bill No. 9396 An Ordinance to authorize an amendment to B-5
100 Ordinance No. 7989 for KKheslop Limited Partnership to allow for a masonry building addition and
101 access driveway in an existing B-5 Zoning District for the property located at 3524 Patterson Road and
102 said Bill was read for the first time by title only.

103 Councilman Schildroth introduced Bill No. 9397 An Ordinance to authorize an amendment to
104 Special Permit No. 7593 to Macs Convenience Stores, LLC d/b/a Circle K to allow for car wash
105 directional signs for the property located at 1545 S. New Florissant Road and said Bill was read for the
106 first time by title only.

107 Councilwoman Pagano introduced Bill No. 9398 An Ordinance to authorize a Transfer of
108 Special Use Permit No. 8394 from Sipp, Inc., LLC to Smoke Session to allow for a cocktail lounge
109 located at 1833 Dunn Road and said Bill was read for the first time. Councilwoman Pagano moved
110 that Bill No. 9398 be read for a second time, seconded by Parson. Motion carried and Bill No. 9398
111 was read for a second time. Councilwoman Pagano moved that Bill No. 9398 be read for a third time,
112 seconded by Harris. On roll call the Council voted: Harris yes, Jones yes, Eagan yes, Caputa yes,
113 Schildroth yes, Henke absent, Pagano yes, Parson yes and Siam yes. Having received the unanimous
114 vote of all members present Bill No. 9398 was read for a third and final time and placed upon its
115 passage.

116 Before the final vote all interested persons were given an opportunity to be heard. Being no
117 persons who wished to speak, on roll call the Council voted: Harris yes, Jones yes, Eagan yes, Caputa
118 yes, Schildroth yes, Henke absent, Pagano yes, Parson yes and Siam yes. Whereupon the Chair
119 declared Bill No. 9398 to have passed and said Bill became Ordinance No. 8422.

120 Councilman Jones introduced Bill No. 9399 An Ordinance authorizing an appropriation of
121 \$8000 from the Park Improvement Fund to Acct. No. 09-5-09-50560 "Professional Services – Koch"
122 for diagnostic services for the pool and said Bill was read for the first time. Councilman Jones moved
123 that Bill No. 9399 be read for a second time, seconded by Caputa. Motion carried and Bill No. 9399
124 was read for a second time. Councilman Jones moved that Bill No. 9399 be read for a third time,
125 seconded by Eagan. On roll call the Council voted: Harris yes, Jones yes, Eagan yes, Caputa yes,
126 Schildroth yes, Henke absent, Pagano yes, Parson yes and Siam yes. Having received the unanimous

127 vote of all members present Bill No. 9399 was read for a third and final time and placed upon its
128 passage.

129 Before the final vote all interested persons were given an opportunity to be heard. John
130 Engelmeyer, 1281 Graham Rd., questioned spending of \$8,000 when the city has already completed
131 diagnostics on the pool. He would rather use the \$8,000 to repair the pool. Councilman Caputa
132 explained that the leak test had already been completed, but not the pressure test. The pressure test
133 determines where the lead is coming from.

134 Being no other persons who wished to speak, on roll call the Council voted: Harris yes, Jones
135 yes, Eagan yes, Caputa yes, Schildroth yes, Henke absent, Pagano yes, Parson yes and Siam yes.
136 Whereupon the Chair declared Bill No. 9399 to have passed and said Bill became Ordinance No. 8423.

137 Councilman Parson introduced Bill No. 9400 An Ordinance authorizing an amendment to Title
138 III "Traffic Code," Table VIIA "Speed Limits on Certain Streets" by changing the speed limit on a
139 section of Derhake Road and said Bill was read for the first time. Councilman Parson moved that Bill
140 No. 9400 be read for a second time, seconded by Pagano. Motion carried and Bill No. 9400 was read
141 for a second time. Councilman Parson moved that Bill No. 9400 be read for a third time, seconded by
142 Pagano. On roll call the Council voted: Harris yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes,
143 Henke absent, Pagano yes, Parson yes and Siam yes. Having received the unanimous vote of all
144 members present Bill No. 9400 was read for a third and final time and placed upon its passage.

145 Before the final vote all interested persons were given an opportunity to be heard. Being no
146 persons who wished to speak, on roll call the Council voted: Harris yes, Jones yes, Eagan yes, Caputa
147 yes, Schildroth yes, Henke absent, Pagano yes, Parson yes and Siam yes. Whereupon the Chair
148 declared Bill No. 9400 to have passed and said Bill became Ordinance No. 8424.

149 The next item on the Agenda was Council Announcements.

150 Councilman Eagan wished condolences to the family of Mr. Bob Freesmeier, a very civic
151 minded, family oriented Florissant resident who will be missed.

152 Councilman Jones encouraged residents to donate canned goods and to volunteer their time at
153 T.E.A.M. Food Pantry located on St. Francois Street. He thanked the Police and Fire Departments for
154 helping to unload the food trucks.

155 Councilman Harris encouraged everyone to participate in "Pedal to Pinks," a community based
156 bike ride.

157 Councilman Caputa congratulated the Hispanic Festival on a very successful, well-attended
158 event. He reminded residents not to leave their fire arms in their vehicles and to keep their porch lights
159 on in order to help deter crime.

160 The next item on the Agenda was Mayor Announcements. The Mayor also gave his sincere
161 condolences to the Freesmeier Family on their loss and added that Bob was a good friend and very
162 active in civic affairs

163 The family of Mr. Bill Waeckerle planted a tree in Mr. Waeckerle's honor on the front lawn of
164 City Hall. Mr. Waeckerle served as Councilman from Ward 8 through the 1960's-1970's.

165 The Metropolitan Amateur Golf Association recently had a very successful golf tournament at
166 the Florissant Golf Club. The St. Catherine and Desmet Retirement Communities hosted the 55
167 anniversary of The Retirement Home Foundation which runs both organizations.

168 Effective July 2, the City of Florissant will have a new Public Works Director, Todd Hughes,
169 who will replace Director Lou Jearls who is retiring.

170 At the upcoming "Wednesday Night Out" in Old Town, the city will be dedicating a plaque on
171 the "Walk of History" to Dr. Paul Detrick, who spearheaded the campaign for support of the local
172 Christian Hospitals. A "Hat Party," hosted by Korte's Framing and a street party will be part of the
173 night out festivities.

174 The annual Fourth of July fireworks display will be held on Wednesday, July 4th, on the Eagan
175 Center grounds. The Northwinds Concert Band will be there as well as a few food trucks. The Chief
176 is reminding residents not to set off any fireworks. Tickets will be issued to violators. July 13th will be
177 the annual Splish Splash Summer Bash at Bangert Pool for 5-8th graders.

178 The Council President announced that the next regular City Council Meeting was scheduled for
179 Monday, July 9, 2018 at 7:30 pm.

180 Councilwoman Pagano moved to adjourn the meeting, seconded by Siam. Motion carried.
181 The meeting was adjourned at 8:31 p.m.

182

183

Karen Goodwin, City Clerk

184 The following Bills were signed by the Mayor:

185 Bill No. 9394 Ord. 8421

186 Bill No. 9398 Ord. 8422

187 Bill No. 9399 Ord. 8423

188 Bill No. 9400 Ord. 8424

189

CITY OF FLORISSANT

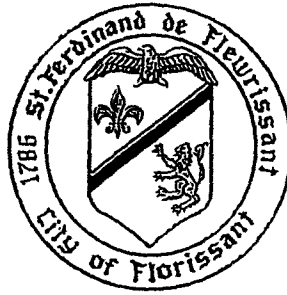
Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, July 9, 2018 at 7:30 P.M. on the following proposition:

To authorize an amendment to Special Use Permit No. 4879, as amended by Ord. Nos. 5969 and 7264, to Bentwood Nursing and Rehab to allow for an expansion of a nursing home located at 1501 Charbonier Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT, Karen Goodwin, MMC
City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1501 Charbonnier bl.

Property Owners Name: Timothy Wardard Phone #: 314 398-1944

Property Owners Address: 20 E. Main St. Winters, CA 95694

Business Owners Name: BW Kelly Group, LLC Phone #: 314 398-1944

Business Owners Address: 1501 Charbonnier bl. Florissant, Mo 63031

DBA (Doing Business As) Bent-Wood Nursing & Rehab

Authorized Agents Name: Mike Wardard CO. Name: _____
(Authorized Agent to Appear Before The Commission)

Agents Address: 753 Finch Ct. Chesterfield Mo Phone #: 314 398-1862

Request Modify existing special use permit to include additional property

07K231302, 07K231292, 07K231335, 07K231346

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

3-13-18
Date

Received by: [Signature] Receipt # 100977 OFFICE USE ONLY Amount Paid: 300.00 Date: 5/16/18

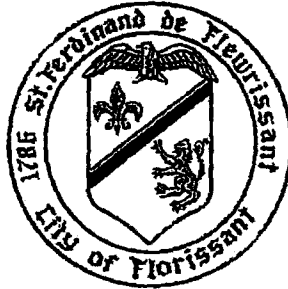
STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN.

DATE: 6/18/18

SPECIAL PERMIT FOR Special Use Permit for operation of a Skilled Nursing Facility
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant.

AMEND SPECIAL PERMIT # 8140 **TO ALLOW FOR** Skilled Nursing Facility
ordinance # Statement of what the amendment is for.

LOCATION 150 Charbonier Rd
Address of property.

1) Comes Now BW Realty Group, LLC dba Bent-Wood Nursing Facility & Rehab
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.


Legal interest in the Property) Owner
*State legal interest in the property. (i.e., owner of property, lease.
Submit copy of deed or lease or letter of authorization from owner to seek a special use.*

2) The petitioner(s) further state(s) that the property herein described is presently being used for Skilled Nursing Facility and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, List in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and / or site plans (preliminary and / or final), plan approval for sign, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Timothy Woodard  3-13-18

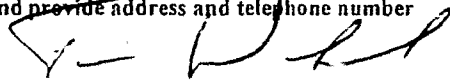
PRINT NAME SIGNATURE

FOR BW Beatty Group, LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that (indicate one of the following):
- I (we) have a legal interest in the herein above described property.
- I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in below, and provide address and telephone number

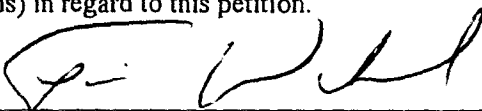
SIGNATURE 

ADDRESS 20 E. Main St. Winters CA 95684
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314 398 - 1944
BUSINESS

I (we) the petitioner (s) do hereby appoint Michael Woodard as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.


Petitioner or authorized agent's signature

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council.

IF DESCRIPTIONS OF PLATS OR SURVEYS ARE INCORRECT, OR IF THE PETITION FORM IS NOT CORRECTLY AND COMPLETELY FILLED OUT, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS AND WILL HAVE TO BE RE-SUBMITTED.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Tim Warkent - 20 E Main St, Winters CA 95694

(2) Telephone numbers Barry (732) 677-3122 TW 314 398-1944 Judal (314) 917-1297

(3) Business address 1501 Charleston Rd. Florissant, MO 63031

(4) State of Incorporation & a photocopy of incorporation papers see Attached

(5) Date of Incorporation 8-16-17

(6) Missouri Corporate Number LC 001551644

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.

(8) Name in which business is operated Bent-Wood Nursing & Rehab

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

477 N.
Lindbergh
Blvd
Suite 310
St. Louis, MO
63141

Please fill in applicable information requested. If the property is located in a strip center, give the dimensions of your space under square footage and do not give landscaping information.

Name Bent-Wood Nursing & Rehab

Address 1501 Charbonier Rd, Florissant, MO

Property Owner BW Realty, LLC

Location of property Same

Dimensions of property 6.57 ac.

Property is presently zoned R-4 Requests Rezoning To R-4 (Special Use)

Proposed Use of Property Skilled Nursing Facility

Type of Sign Monument (existing) Height 24'9"

Type of Construction 5A Number Of Stories 1

Square Footage of Building 44,581 Number of Curb Cuts 1

Number of Parking Spaces 79 Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting and trash enclosure.
5. If Special Permit is for a sign show location of sign on plot plan.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

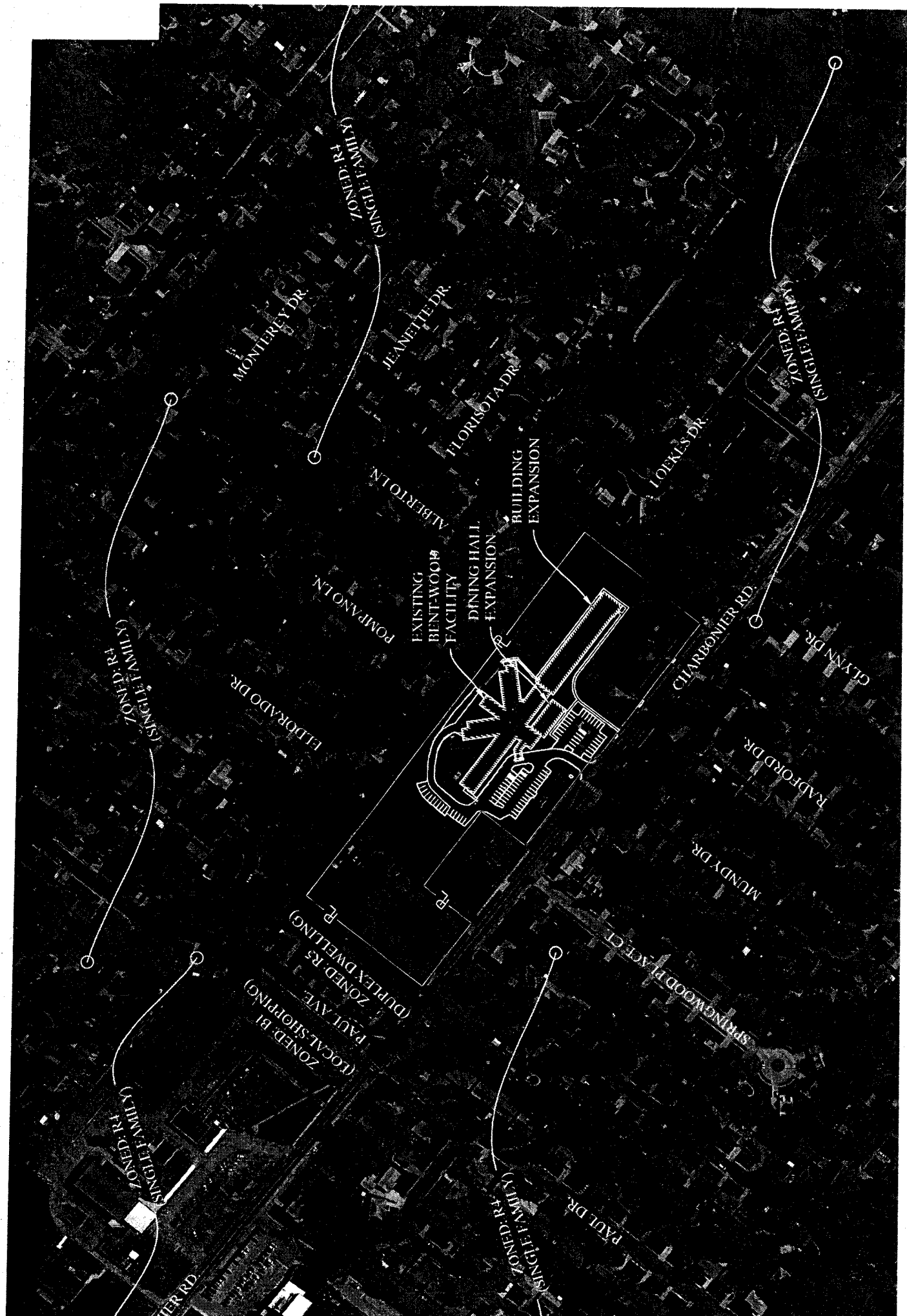
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature



MONTEREY DR
ZONED R4 (SINGLE FAMILY)

JEANNETTE DR
ZONED R4 (SINGLE FAMILY)

FLORISOTA DR
ZONED R4 (SINGLE FAMILY)

IOKELS DR
ZONED R4 (SINGLE FAMILY)

ZONED R4 (SINGLE FAMILY)

ALBERTO LN

EXISTING BENT-WOOD FACILITY

DINING HALL EXPANSION

BUILDING EXPANSION

POMPANO LN

CHARBONIER RD

GLENN DR

ZONED R4 (SINGLE FAMILY)

ELDORADO DR

RADFORD DR

MUNDY DR

PAUL AVE
ZONED R3 (DUPLEX DWELLING)
ZONED B1 (LOCAL SHOPPING)

SPRINGWOOD PLACE CT

ZONED R4 (SINGLE FAMILY)

ZONED R4 (SINGLE FAMILY)

PAUL DR

FLORIDA
PLAT NO. 24
P.B. 65 PG. 44

21
EXISTING 10' WIDE
DRAINAGE AND UTILITY
EASEMENT

22
2 - 10'x40'
LOADING SPACES

23
EXISTING 10' WIDE STORM
SEWER EASEMENT

24
NEW DEVELOPMENT TO UTILIZ
EXISTING DUMPSTER ENCLOS

25
25' BUILDING SETBACK

26
SS310'00"E - 680.57'

EXISTING BUILDING
26,781 SF.
AREA = 342,422
750 AC

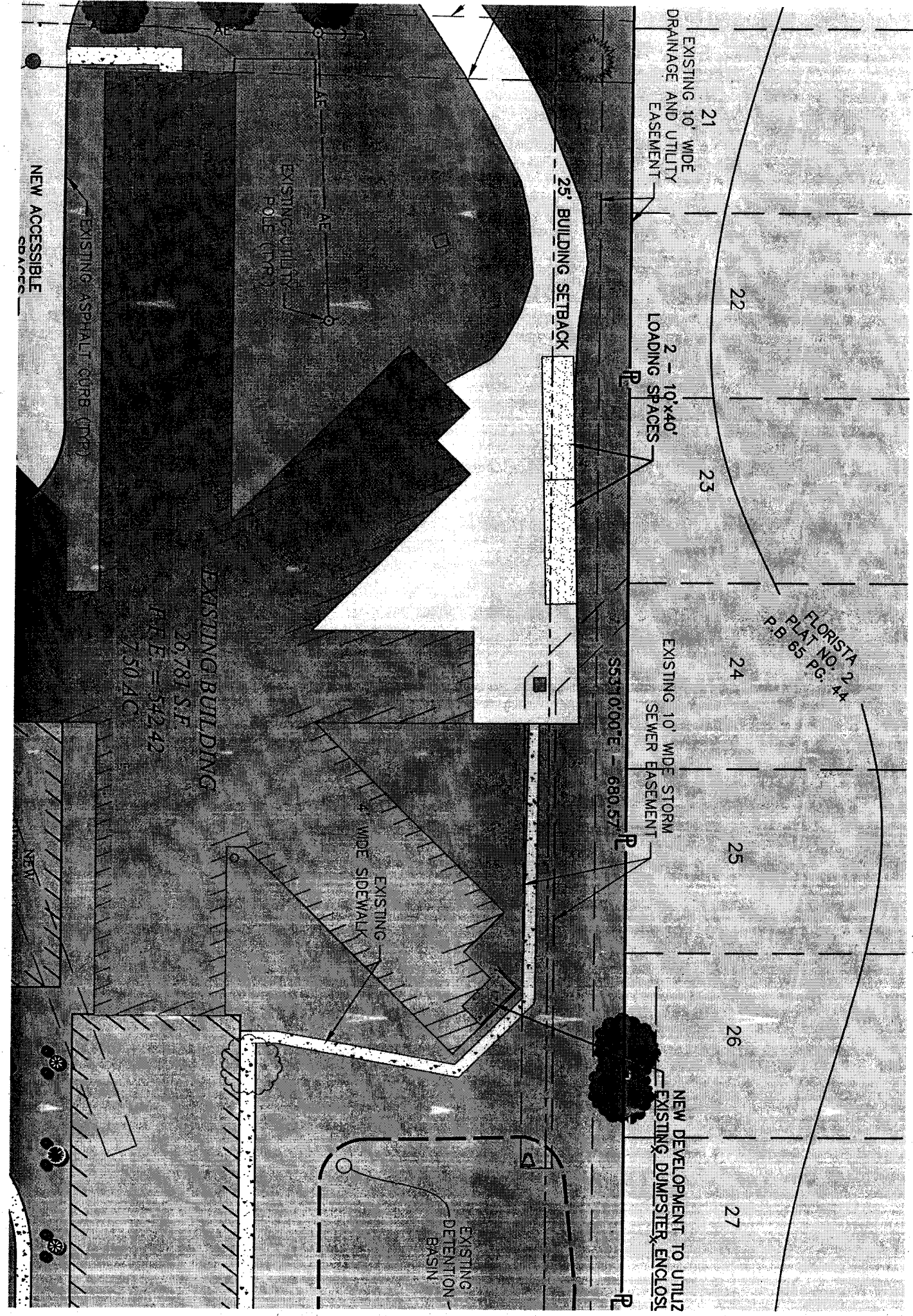
EXISTING UTILITY
POLE (TYP)

EXISTING
6' WIDE SIDEWALK

EXISTING
DETENTION
BASIN

EXISTING ASPHALT CURB (TYP)
NEW ACCESSIBLE
SPACES

NEW



N.Y.C.
BW REALTY, LLC
BK. 22852, PG.

6.57 AC.
286,022 S.F.

LOCATOR #07K231368

ORIGINAL LOT A
BENTWOOD NURSING HOME
PB. 346 PG. 444

IND IRON PIPE
CAP BAX

10'W EASEMENT TO MSD
BK. 8413 PG. 1415

30' BUILDING LINE

ROAD DEDICATION
8394 PG. 1332

10'W ROAD DEDICATION
BK. 5959 PG. 225

N53°10'00"W - 266.90'(S)

CHARBONNIER ROAD
(VARIABLE WIDTH)

N37°55'00"E 4.50'
FOUND CROSS

N41°52'51"W
33.21'(S)

CROSS IN CONCRETE
FOUND IRON ROD

LOCATOR #07K231302

LOCATOR #07K231292

LOCATOR #07K231335

N/F GROUP LLC
BW REALTY, LLC
BK. 22852, PG. 1599

N/F GROUP LLC
BW REALTY, LLC
BK. 22852, PG. 1599

N/F GROUP LLC
BW REALTY, LLC
BK. 22852, PG. 1599

S39°23'19"W 1.34'
FOUND CROSS

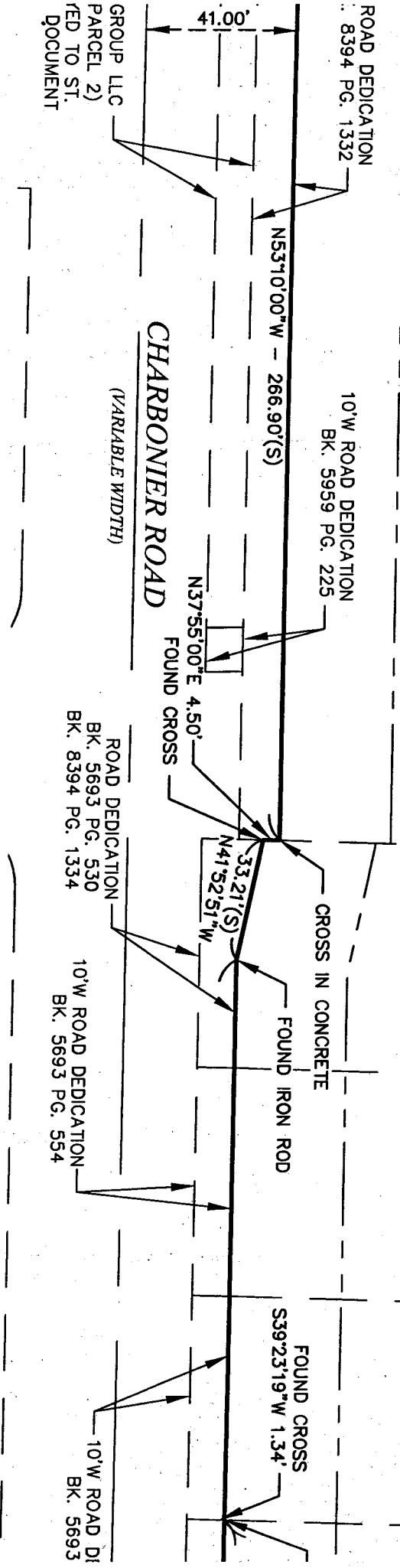
N38°02'47"E 149.74'(S)

ROAD DEDICATION
BK. 5693 PG. 530
BK. 8394 PG. 1334

10'W ROAD DEDICATION
BK. 5693 PG. 554

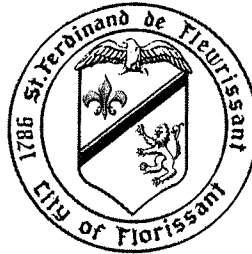
10'W ROAD DI
BK. 5693

GROUP LLC
PARCEL 2)
RED TO ST.
DOCUMENT



1

MEMORANDUM



RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. *[Signature]* DATE: 6-18-18

2

3

4

5

6

CITY OF FLORISSANT- Building Department

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7

To: Planning and Zoning Commissioners Date: **June 13, 2018**

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. P.E.-
Director of Public Works
Applicant
File

10

11

12

13

14

Subject: **1501 Charbonier (Bentwood Nursing Home)** - Request recommended approval to amend a Special Use to allow for an expansion of a Nursing Home in an 'R-4 Zoning District.

15

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18

STAFF REPORT

19

CASE NUMBER PZ-042015-3

20

21

I. PROJECT DESCRIPTION:

22

23

This request for recommended approval to amend a Special Use, Ordinance # 4879 (as amended by ordinances #5969 and #7264) to allow for an expansion of a Nursing Home in an 'R-4' Zoning District.

24

25

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27

28

II. EXISTING SITE CONDITIONS:

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30

The existing property at **1501 Charbonier** has been a long standing location for this establishment, 1989 according to County Record and is regarded a Special Use even though Nursing Homes are no longer permitted to be a Special Use in this district. The City Attorney was consulted regarding conditions of this type, where a Special Use exists and concluded that since a Special Use was granted, expansions and alterations may be considered under an amendment to the Special Use. The existing building was designed for 24,200 s.f. and 62 units, according to County Record.

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The architect previously applied for a Special Use amendment for alterations, but plans have now changed and therefore this petition, if accepted, would abolish the previous plans.

144 techniques to reduce trip generation, such as car pools, van pools, bicycles, employer
145 transit subsidies, compressed work hours, and high occupancy vehicle
146 (HOV) parking preference.

147 g. Reductions in the number of parking and loading spaces should be related to
148 significant factors such as, but not limited to:

149 (1) Shared parking opportunities between different land use categories or uses
150 with different hours of operation;

151 (2) The availability and incorporation of transit services and facilities;

152 (3) Opportunities for reduced trip generation through pedestrian circulation
153 between mixed uses;

154 (4) Off-site traffic mitigation measures;

155 (5) Recognized variations in standards due to the scale of the facilities;

156 (6) Parking demand for a specified use;

157 (7) The provisions of accessible parking spaces beyond those required per the
158 City Code;

159 (8) Provision of bicycle parking spaces; and

160 (9) Opportunities for reduced loading requirements, based on business
161 practices.

162 4. Requests for modifications will be considered by the Planning and Zoning Commission and/or
163 the City Council as part of the approval process."

164
165 b. Landscape requirement FYI: Modifications met by this application. The
166 requirements:

167 SECTION 405.245: LANDSCAPING AND SCREENING REGULATIONS

168 A. Prior to the approval of a final site plan, the developer shall submit to the Planning and
169 Zoning Commission a landscaping and screening plan which shall as a minimum conform
170 to the following:

171 1. All yards and open spaces along exterior or interior streets shall be landscaped
172 with trees and shrubs graded to provide typical topographic relief (mounds and berms) and
173 sodded.

174 2. Any part of a lot not used for buildings or other structures, parking, loading or
175 access ways shall be landscaped with grass, ground cover, trees, shrubs and pedestrian
176 walks. For the purpose of this Section, "ground cover" shall mean any combination of low
177 plants that cover the ground, grass, wood chips, bark mulch, crushed stone or similar
178 landscaping material. Ground cover shall be in a minimum of two (2) inches in depth.

179 3. A minimum planting strip of fifteen (15) feet shall be provided and maintained
180 within the required side and front yard. The Planning and Zoning Commission may
181 approve a narrower planting strip due to an unusually shaped lot or small lot.

182 4. For all buildings, there shall be one (1) two and one-half (2½) inch caliper tree
183 existing or planted for every fifteen (15) parking spaces. Seventy-five percent (75%) shall
184 be located within the paved area. The following trees are approved for planting in parking
185 lot areas and shall have sufficient open area around the tree to allow for adequate growth
186 and life of the tree:

187 a. Large trees (fifty (50) feet or more):

188 (1) Norway Maple

189 (2) Red Maple

190 (3) Paper Birch

191 (4) Gingko (Male Only)

192 (5) Red Oak

193 (6) Laurel Oak

194 b. Medium trees (thirty-five (35) to fifty (50) feet):

195 (1) Green Ash

196 (2) Thornless Honeylocust

197 (3) Littleleaf Linden

198 (4) Crimean Linden

199 (5) Redmond Linden

200 c. Small trees (less than thirty-five (35) feet):

201 (1) Thornless Cockspur Hawthorne

202 (2) Washington Hawthorne

203 (3) Russian Olive

204 (4) Imperial Honeylocust

305 Elevations A200 and A201 dated 5/11/18. Approval is subject to the regulations of
306 ordinances, and the following additional requirements:

307

308 1. **Previous amendment rescinded.**

309 The Special Use amendment previously approved, Ordinance no. 8140, shall
310 hereby be rescinded.

INTRODUCED BY COUNCILMAN MENKE
February 8, 1988

BILL NO. 5638 (As Amended)

ORDINANCE NO. 4879

AN ORDINANCE GRANTING A SPECIAL PERMIT TO BENT-WOOD, INCORPORATED FOR THE OPERATION OF A NURSING HOME AND INSTALLATION OF A GROUND SIGN ON THE PROPERTY HEREINAFTER DESCRIBED AND KNOWN AS 1501 CHARBONIER ROAD.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a nursing home facility; and

WHEREAS, an application has been filed by Bent-Wood, Incorporated for the location and operation of a nursing home on the property hereinafter described; and

WHEREAS, the Planning & Zoning Commission of the City of Florissant has recommended that said Special Permit be granted under certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 11th day of January, 1988 at 8:00 P.M. by the Council of the City of Florissant was duly published, held and continued to the 25th day of January, 1988 when the said public hearing was concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit as hereinafter provided would be in the best interest of the City of Florissant, and that the said project will not have any depreciating effect upon the value of the adjacent property, and that the same meets a community need without adversely affecting the surrounding neighborhood.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Permit is hereby granted to Bent-Wood, Incorporated for the location and operation of a nursing home facility and installation of a ground sign on the following described property:

Parcel #1. A tract of land in Survey 171 of the St. Ferdinand Common Fields in the County of St. Louis, Missouri, and more particularly described as follows: Beginning at an iron pipe in the Northeast line of Charbonier Road, 40 feet wide, distant North 53 degrees 10 minutes West 452.90 feet from most Southeastern line of property conveyed to Mable Burke and husband by Deed recorded in Book 372 Page 535 of the St. Louis County Records,

INTRODUCED BY COUNCILMAN MORAN
May 27, 1997

BILL NO. 6840 (As Amended)

ORDINANCE NO. 5969

AN ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL PERMIT TO BENT-WOOD, INC. HERETOFORE AUTHORIZED UNDER ORDINANCE NO. 4879 SO AS TO AUTHORIZE SIX ADDITIONAL BEDS AND AN INCREASE TO THE DINING, RECREATION AND PHYSICAL THERAPY ROOMS AT 1501 CHARBONIER ROAD.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a nursing home facility where the same would otherwise be unauthorized; and

WHEREAS, the Florissant City Council has heretofore granted a Special Permit to Bent-Wood, Inc. for the location and operation of a nursing home facility as set out in Ordinance No. 4879; and

WHEREAS, an application has been filed by Bent-Wood, Inc. for an amendment to the said Special Permit heretofore granted under Ordinance No. 4879 so as to authorize additional beds and an increase to the dining, recreation and physical therapy rooms; and

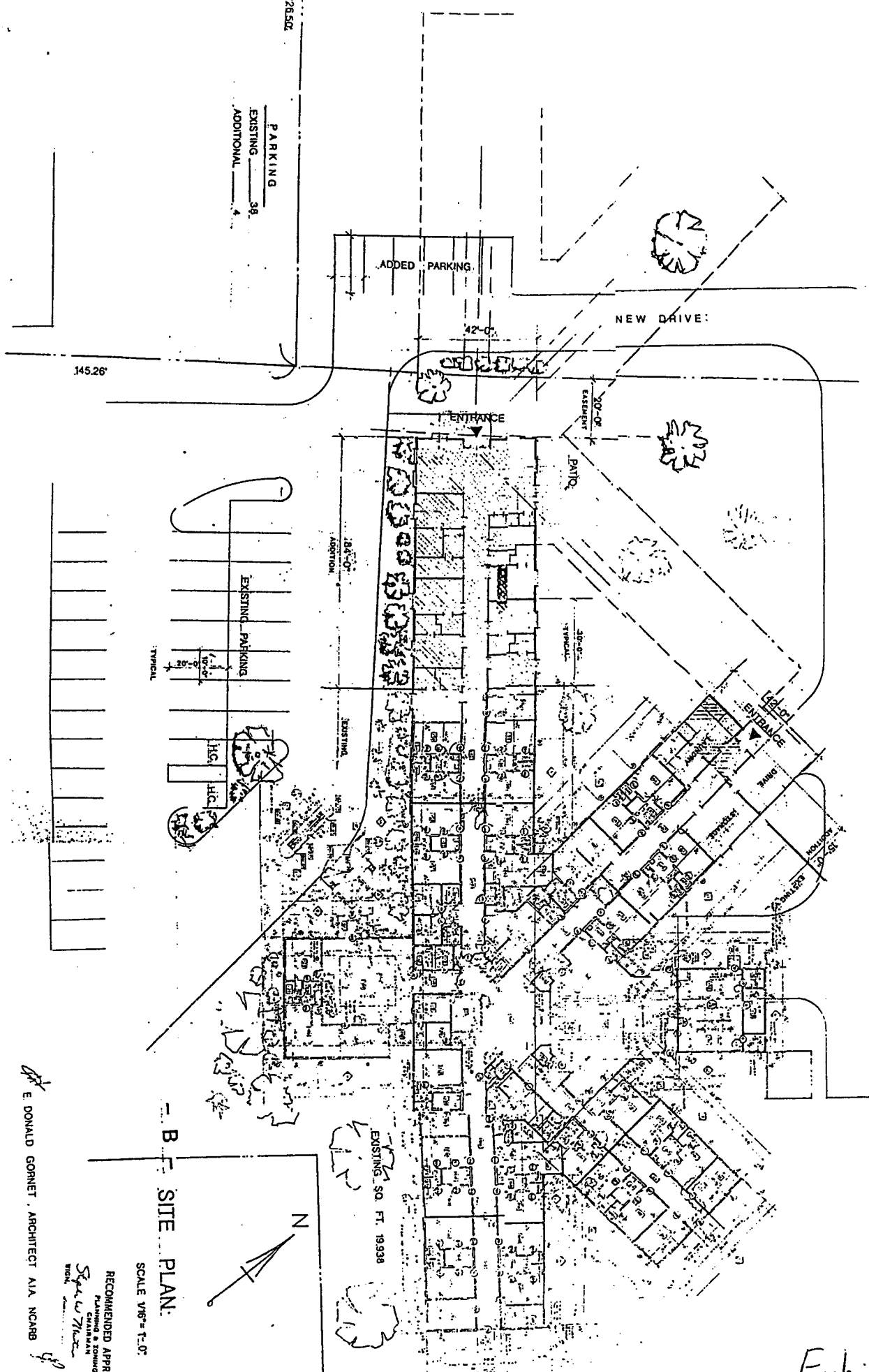
WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that the said Special Permit be amended as requested; and

WHEREAS, due notice of a public hearing on said application to be held on the 12th day of May, 1997 at 8:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of an Amendment to the Special Permit authorized by Ordinance No. 4879 as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Special Permit heretofore granted to Bent-Wood, Inc. under Ordinance No. 4879, is hereby amended so as to authorize six (6) additional beds and an increase in the dining, recreation and physical therapy rooms for the property at 1501 Charbonier Road under the following terms and conditions and subject to all



PARKING
 EXISTING 39
 ADDITIONAL 4

145.26'

ADDED PARKING

NEW DRIVE

12'-0"

ENTRANCE

20'-0"
 EASEMENT
 PATIO

EXISTING PARKING

TYPICAL

ENTRANCE

B SITE PLAN

SCALE 1/8" = 1'-0"

E. DONALD GORNET ARCHITECT AIA NCARB

RECOMMENDED APPROVAL
 PLANNING & ZONING
 CHAIRMAN
Spencer
 4-21-57
 DATE
 JRE

ADDITION TO FENTWOOD NURSING HOME

Exhibit "A"
 146

EXHIBIT "A"
2016

30'-0"
(. TYPICAL.)

PATIO

RECREATION - LOUNGE

MECH

SHOWER

TRAINING TOILET

CLEAN

UTILITY

1

2

3

4

5

140'-0"

ENTRANCE

PHYSICAL
THERAPY

SHOWER

TRAINING TOILET

1

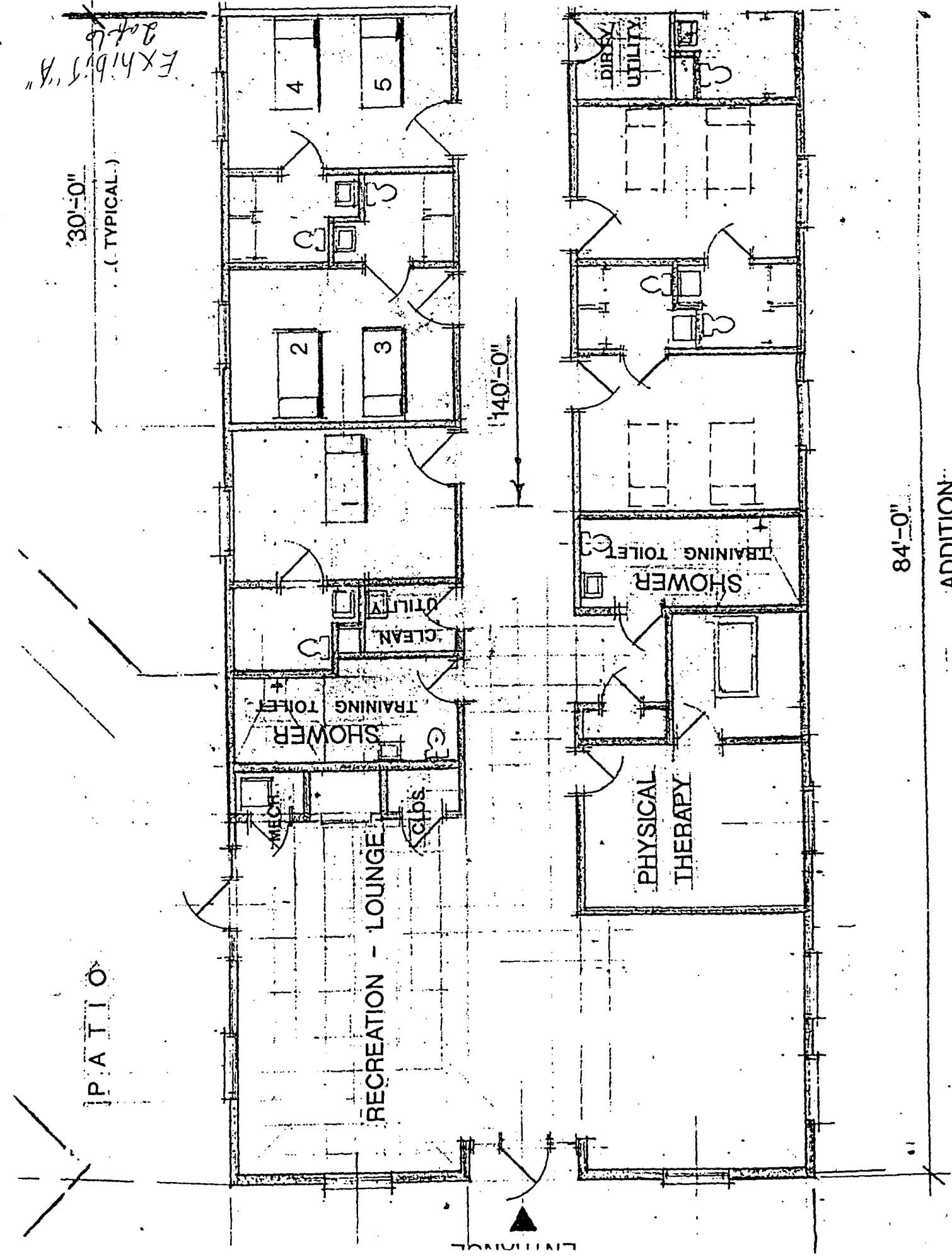
2

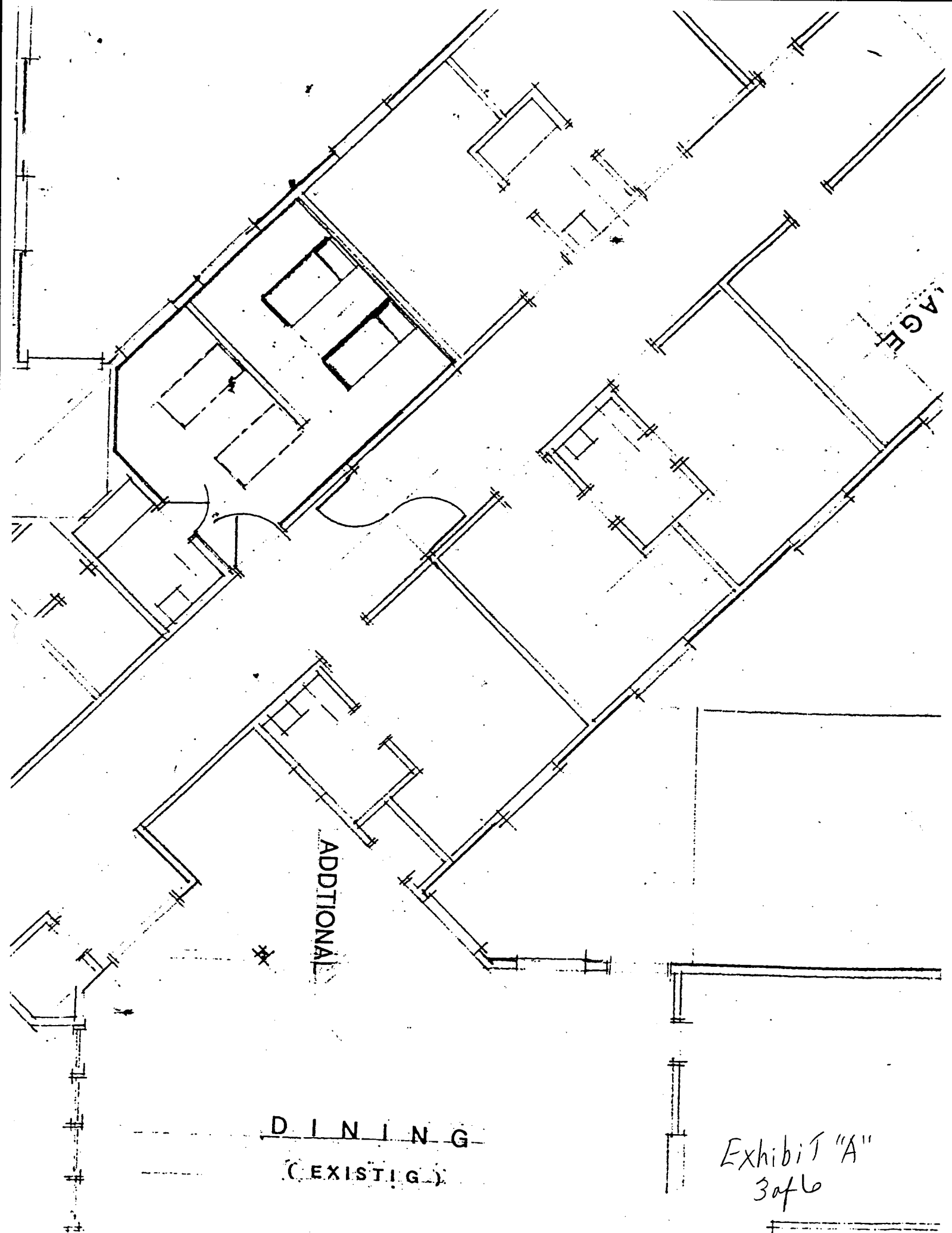
3

DIRTY
UTILITY

84'-0"

ADDITION





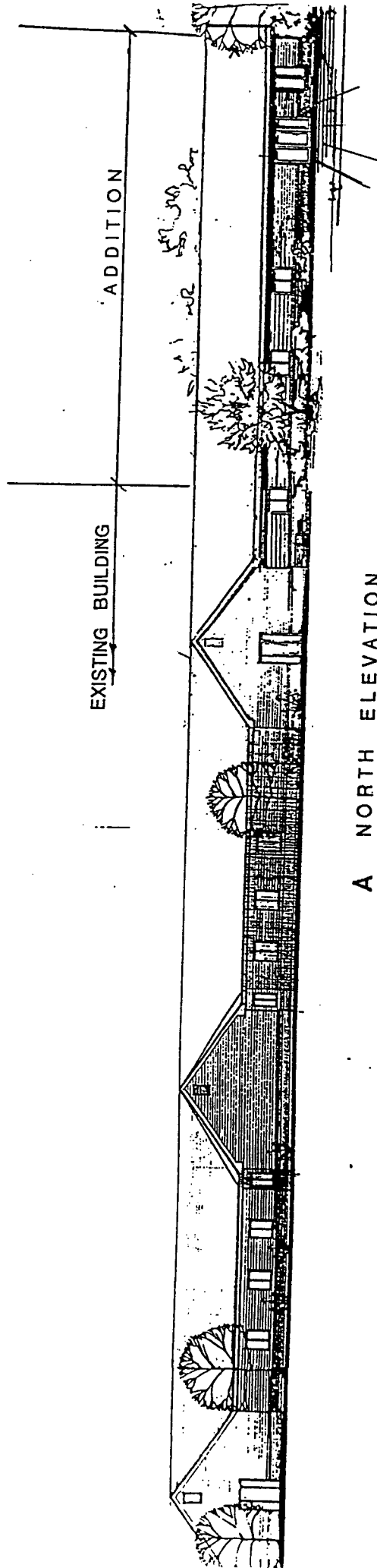
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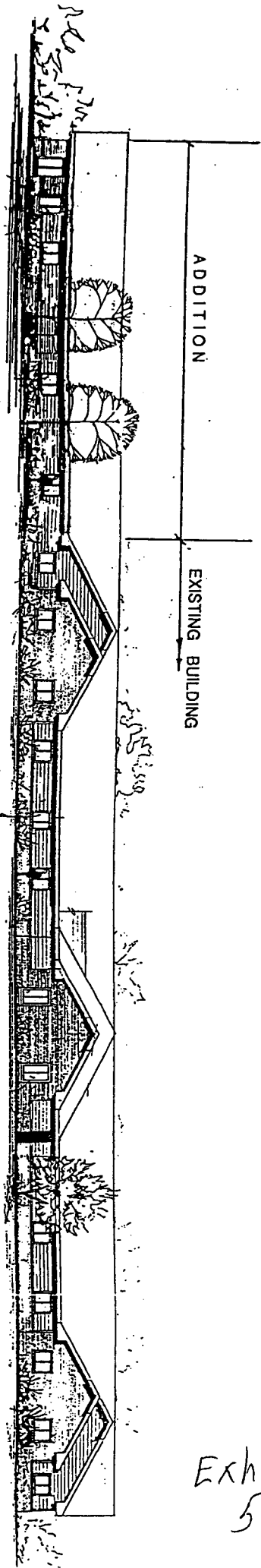
ADDITIONAL

DINING
(EXISTING.)

Exhibit "A"
3 of 6

4 of 6
Exhibit "A"



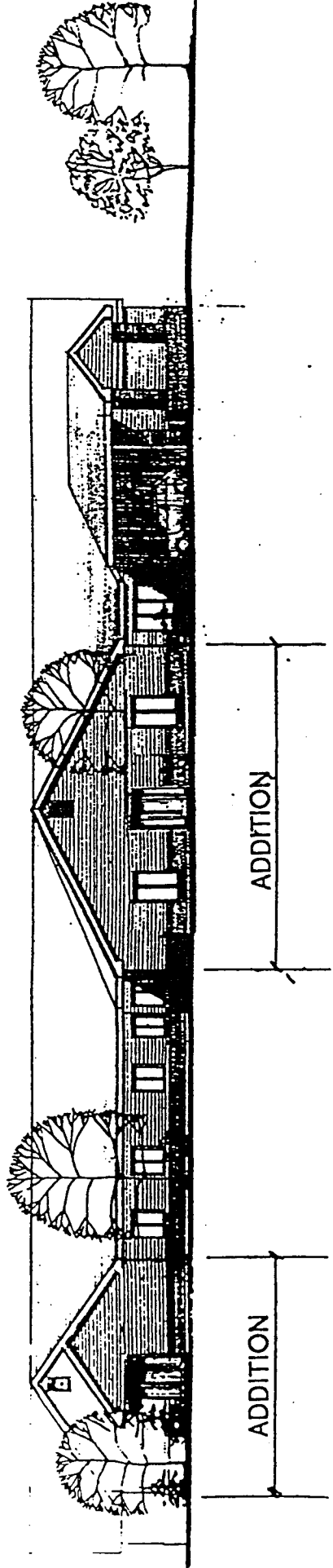


B SOUTH ELEVATION (ENTRANCE CANOPY DELETED FOR CLARITY)

SCALE 1/16" = 1'-0"

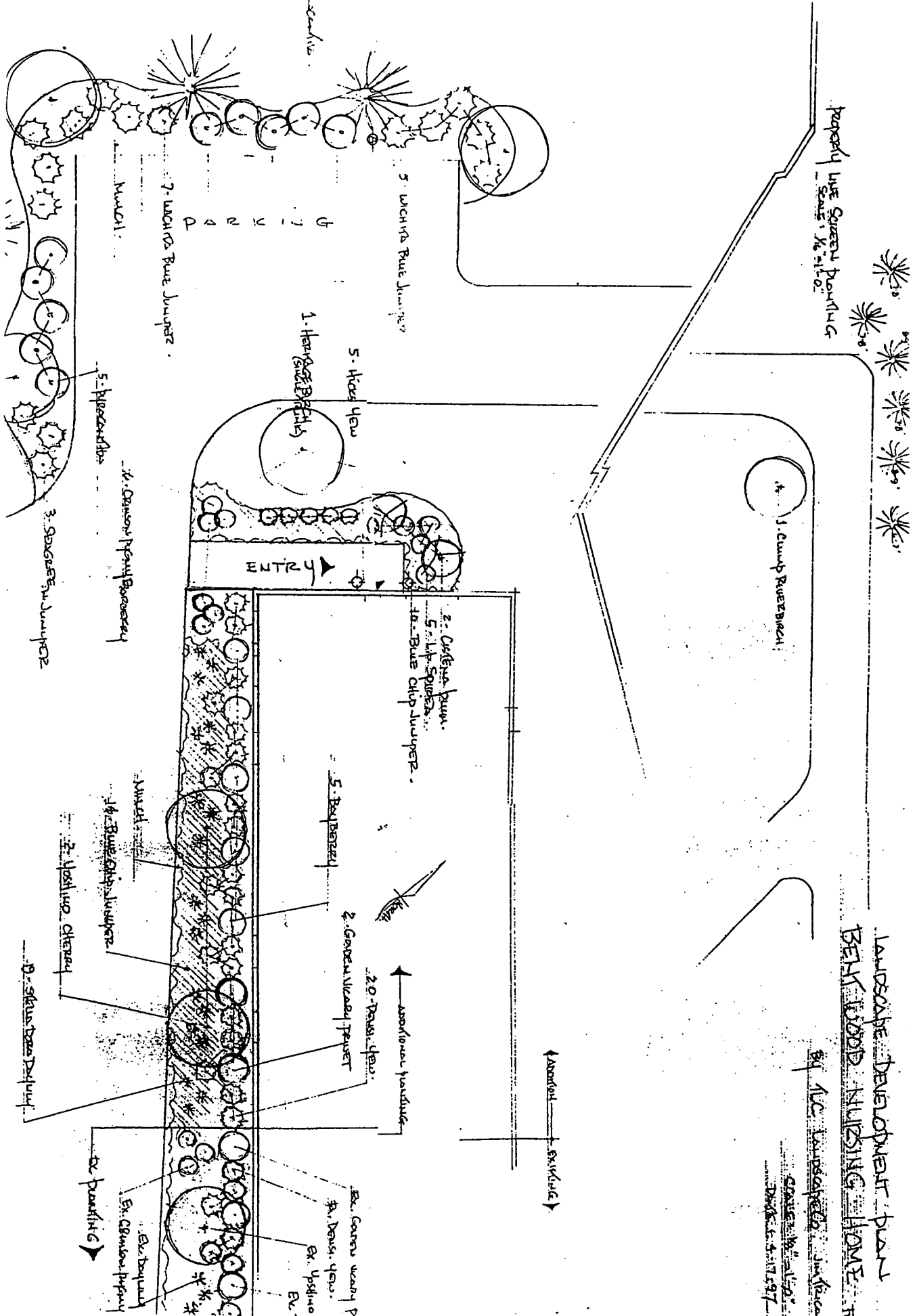
Exhibit "A"
5 of 6

6 of 6
Exhibit "A"



C EAST ELEVATION

SCALE 1/16" = 1'-0"



PROPERTY LINE GREENLAND PARCEL
 S. 1/2 Sec. 16, T. 102 N., R. 102 W.

LANDSCAPE DEVELOPMENT PLAN
 BETTY TODD NURSING HOME

BY THE LANDSCAPE ARCHITECT
 SCALE: 1/4" = 1'-0"
 DATE: 5-5-1997

Exhibit "B"

Exhibit "C"

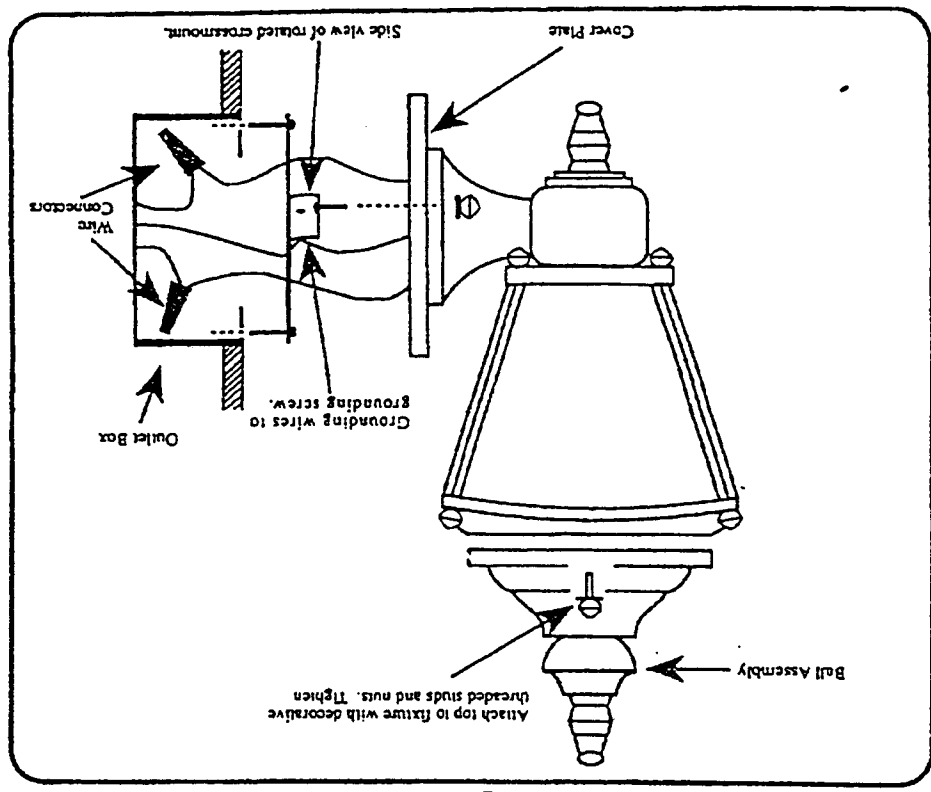


Figure 3

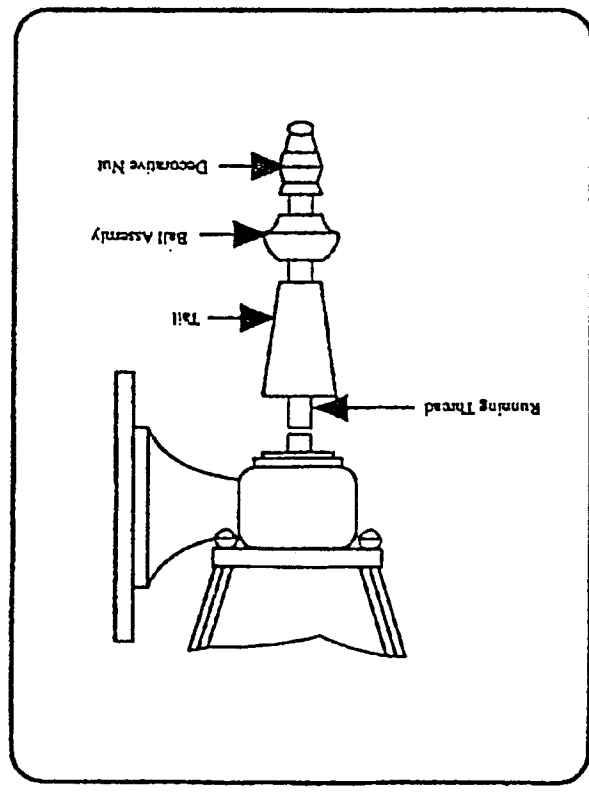


Figure 2

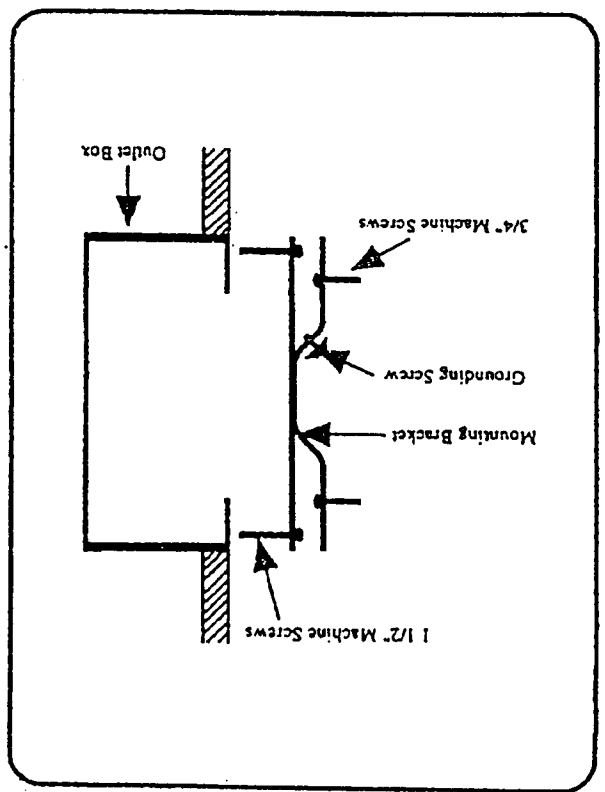
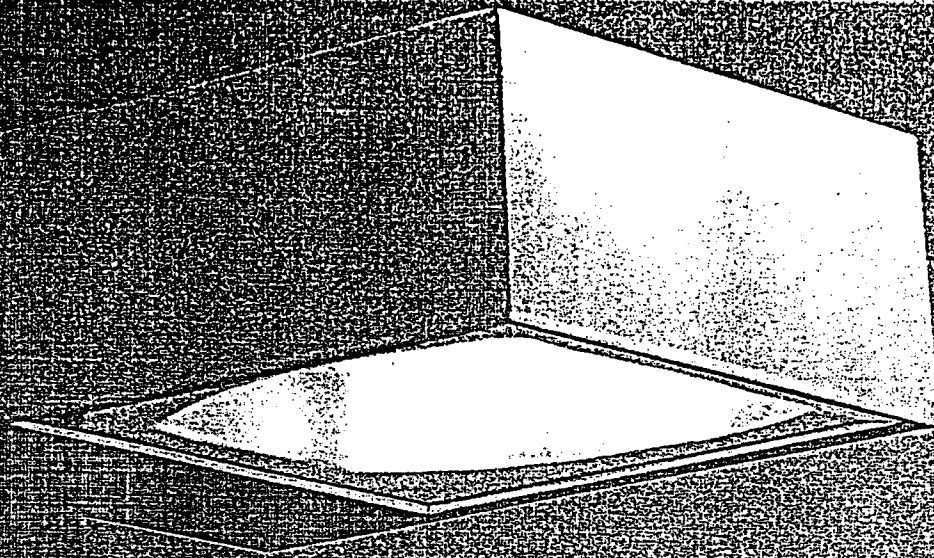


Figure 1



LeBo... Built Right

The high-performance compact
from Stemer

- Sealed reflector system to protect against moisture and dirt
- Precision hydro-formed aluminum reflector in a variety of IES distribution patterns
- Easy access ballast components
- Thermal and impact-resistant tempered glass lens

Exhibit "C"

1 INTRODUCED BY COUNCILMAN MORAN
2 JANUARY 23, 2006

3
4 BILL NO. 8175

ORDINANCE NO. 7264

5
6 AN ORDINANCE AMENDING SPECIAL USE PERMIT #4879
7 HERETOFORE GRANTED TO T. WOODWARD AND ASSOCIATES, INC
8 D/B/A BENT WOOD NURSING HOME LOCATED AT 1501 CHARBONIER
9 ROAD TO ALLOW FOR THE INSTALLATION OF TWO ADDITIONS TO
10 THE EXISTING NURSING HOME.
11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of a nursing home; and

15 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to
16 T. Woodward and Associates, Inc. for the location and operation of a nursing home on the
17 property described in Ordinance No. 4879; and

18 WHEREAS, an application has been filed by T. Woodward and Associates, Inc. d/b/a
19 Bent Wood Nursing Home for an amendment to the said Special Use Permit heretofore granted
20 under Ordinance No. 4879 to authorize the addition of certain conditions; and

21 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
22 meeting of 1/3/06 has recommended that the said Special Use Permit be amended; and

23 WHEREAS, due notice of a public hearing on said application to be held on the 23rd day
24 of January, 2006 at 8:00 P.M. by the Council of the City of Florissant was duly published, held
25 and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 consideration, has concluded that the granting of an amendment to the Special Use Permits
28 authorized by Ordinance No. 4879, as hereinafter provided would be in the best interest of the
29 City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32
33 Section 1: The Special Use Permit heretofore granted to T. Woodward and Associates,
34 Inc. under Ordinance No. 4879 is hereby amended to allow for two additions to the existing
35 nursing home per the attached plans with the following stipulations:
36

- 37 1) Trash enclosure be rebuilt with material to match the existing building.

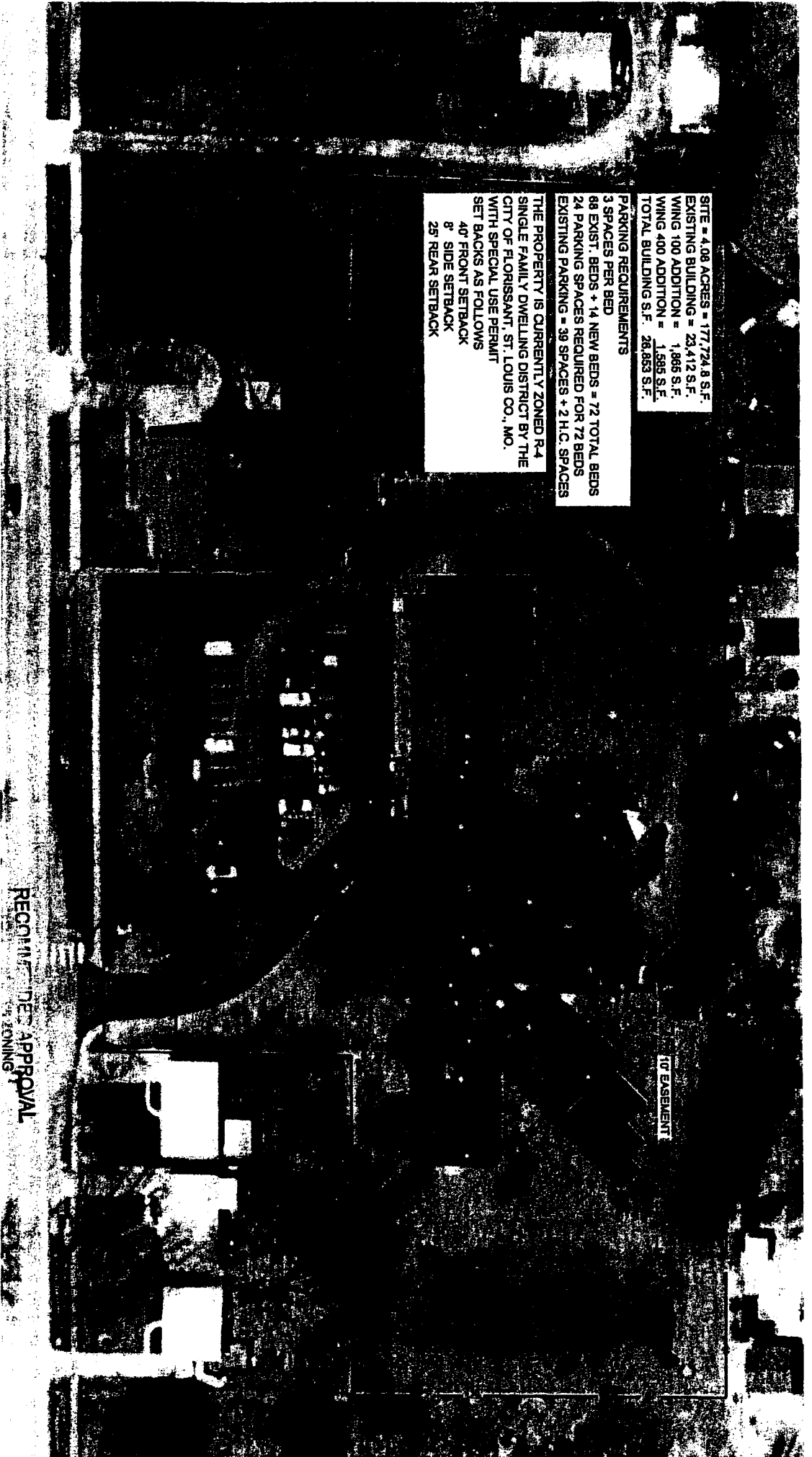
SITE = 4.08 ACRES = 177,724.8 S.F.
EXISTING BUILDING = 23,412 S.F.
WING 100 ADDITION = 1,885 S.F.
WING 400 ADDITION = 1,585 S.F.
TOTAL BUILDING S.F. = 26,883 S.F.

PARKING REQUIREMENTS

3 SPACES PER BED
68 EXIST. BEDS + 14 NEW BEDS = 72 TOTAL BEDS
24 PARKING SPACES REQUIRED FOR 72 BEDS
EXISTING PARKING = 98 SPACES + 2 H.C. SPACES

THE PROPERTY IS CURRENTLY ZONED R-4
SINGLE FAMILY DWELLING DISTRICT BY THE
CITY OF FLORISSANT, ST. LOUIS CO., MO.
WITH SPECIAL USE PERMIT
SET BACKS AS FOLLOWS
40' FRONT SETBACK
8' SIDE SETBACK
29' REAR SETBACK

LOT EASEMENT



RECOMMENDED APPROVAL
SPRINTING
ZONING

SIGN: *Michael L. Perry* DATE: 1/3/06

PROJECT 205085 - 12.20.05 City of Florissant P&Z

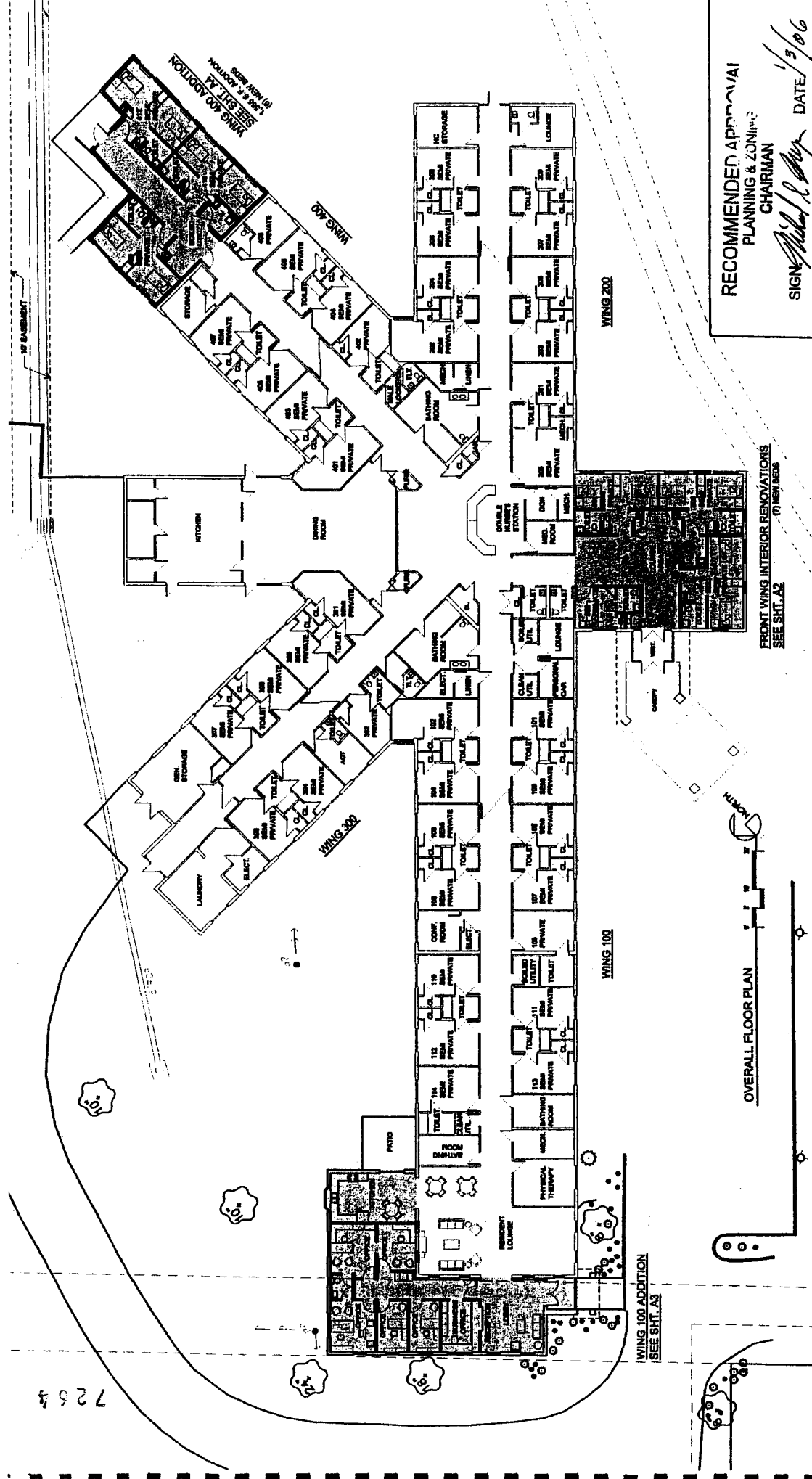
ACI BOLLAND
ARCHITECTS PLANNERS INTERIOR DESIGNERS
1477 Olive Street
St. Louis, MO 63103
314.433.8800
1477 Olive Street
St. Louis, MO 63103
314.433.8800
1477 Olive Street
St. Louis, MO 63103
314.433.8800

Bent Wood Nursing Center
1501 Charbonier Road
Florissant Missouri

Additions and Interior Renovation

AS1

7264



RECOMMENDED APPROVAL
 PLANNING & ZONING
 CHAIRMAN
 SIGN: *[Signature]* DATE: 1/3/06

FRONT WING INTERIOR RENOVATIONS
 SEE SHT. A2
 (7) NEW BEDS

OVERALL FLOOR PLAN

PROJECT 205085 - 12.20.05 City of Florissant P&Z

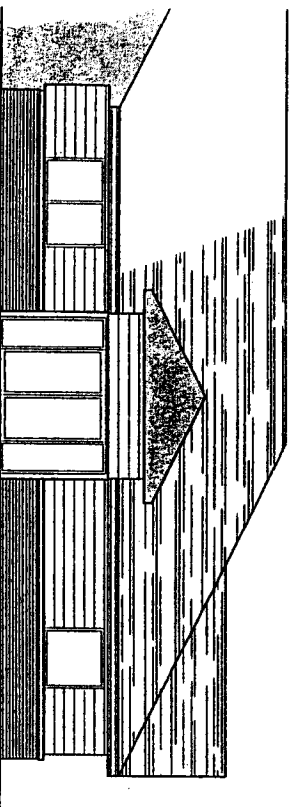
Bent Wood Nursing Center

1501 Charbonier Road
 Florissant Missouri

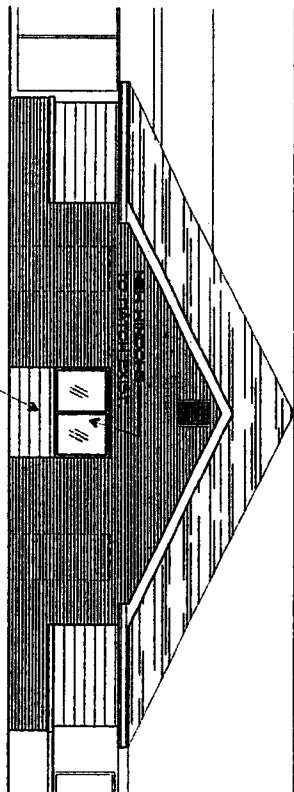
A1

ACI BOLD
 ARCHITECTS PLANNERS INTERIOR DESIGNERS
 1477 Olive Court St.
 St. Louis, MO 63104
 314.991.8970
 FAX: 314.991.8971

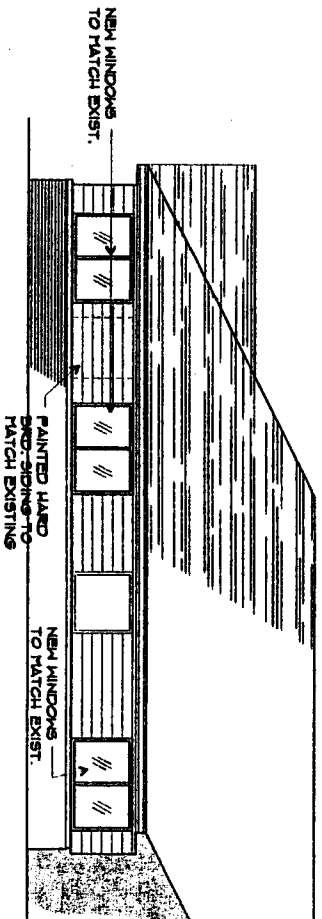
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN
SIGN: *Shirley A. Gray* DATE: 1/3/01



EXISTING WEST ELEVATION FRONT WING RENOVATION
SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION FRONT WING RENOVATION
SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION FRONT WING RENOVATION
SCALE: 1/8" = 1'-0"

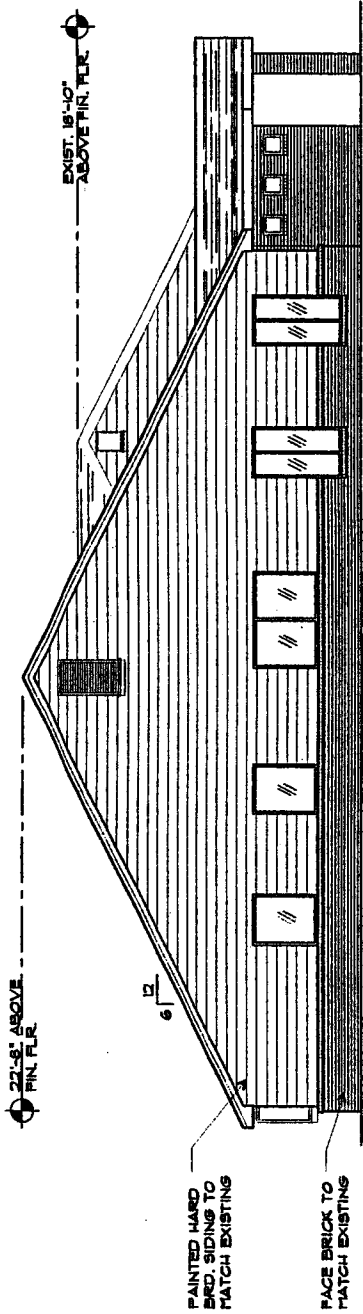
ACI BOLDAN
ARCHITECTS PLANNERS INTERIOR DESIGNERS
11700 Olive Court
St. Louis, MO 63141
314.991.9973
11231 Bent Wood, Inc.
Lynchburg, MO 64501
417.238.2800
1200 Oliver Drive, Suite 100
Florissant, MO 63029
314.733.2777

Bent Wood Nursing Center
1501 Charbonier Road
Florissant Missouri

Additions and Interior Renovation

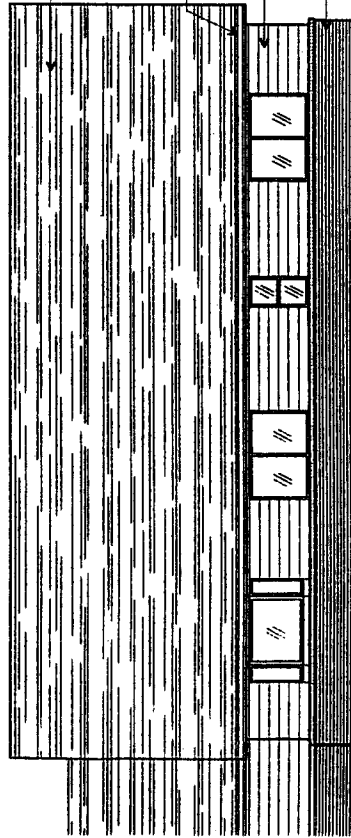
A2.1

PROJECT 205085 - 12.20.05 City of Florissant P&Z

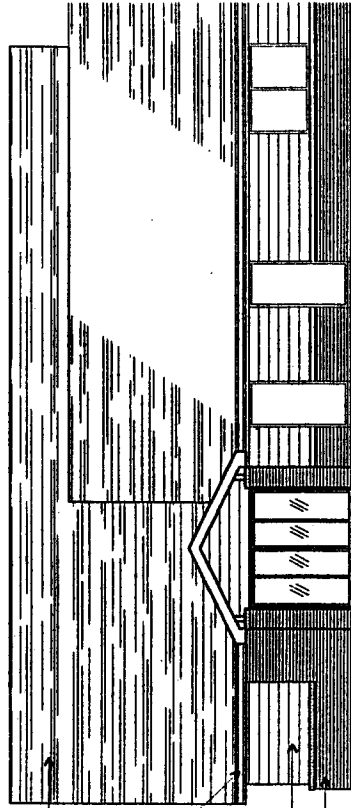


WEST ELEVATION WING 100 ADDITION
SCALE: 1/8" = 1'-0"

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN
Michael A. Gorman DATE: 1/3/06
SIGN: *Michael A. Gorman*



NORTH ELEVATION WING 100 ADDITION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION WING 100 ADDITION
SCALE: 1/8" = 1'-0"

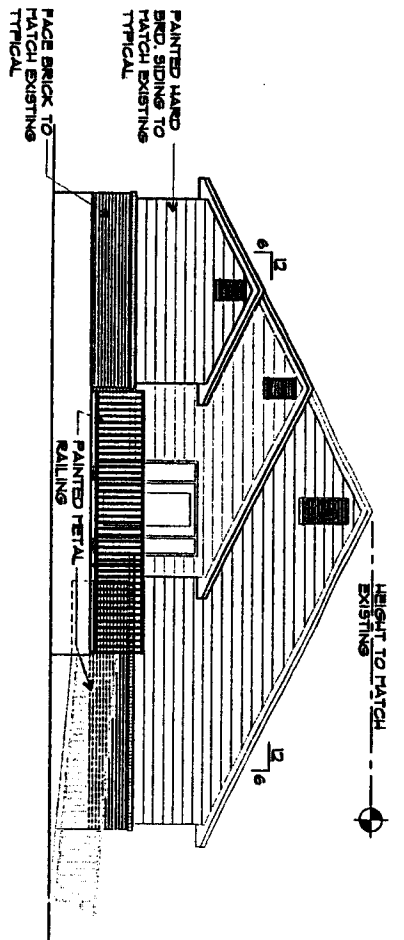
ACI BOLD
ARCHITECTS PLANNERS INTERIOR DESIGNERS
1407 Olive Court St. Suite 102
St. Louis, MO 63107
314.861.4455 FAX 314.861.4456

Bent Wood Nursing Center
1501 Charbonier Road
Florissant Missouri

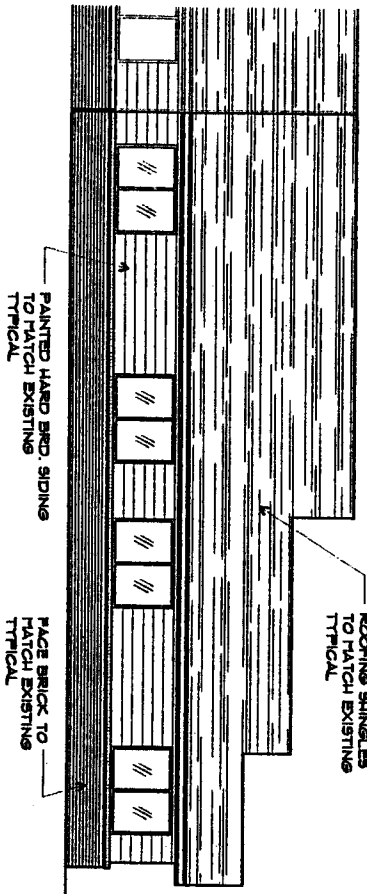
PROJECT 205085 - 12.20.05 City of Florissant P&Z

A3.1

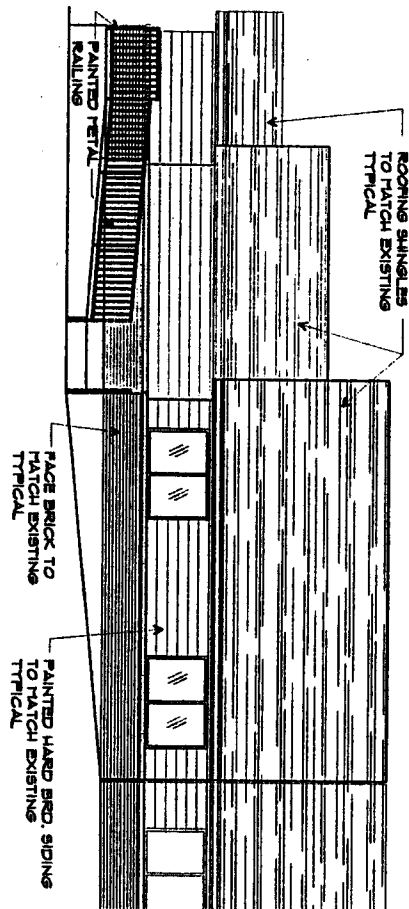
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN
SIGN. *Markus A. May* DATE: 1/3/06



EAST ELEVATION WING 400 ADDITION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION WING 400 ADDITION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION WING 400 ADDITION
SCALE: 1/8" = 1'-0"

ACI **BOLAND**
ARCHITECTS PLANNERS INTERIOR DESIGNERS
1120 Lind Blvd. St. Louis, MO 63102
314.437.1111 FAX 314.437.1112
2119 Lind Blvd. St. Louis, MO 63102
314.437.1111 FAX 314.437.1112

Bent Wood Nursing Center
1501 Charbonier Road
Florissant Missouri

Additions and Interior Renovation A4.1

PROJECT 205085 - 12.20.05 City of Florissant P&Z



At this time a preliminary site plan has been prepared on the basis of information received by means of a preliminary site visit or other investigation. It is not intended to constitute a contract or to be used for any purpose other than that intended by the designer. It is the responsibility of the client to verify the accuracy of the information provided and to obtain all necessary permits and approvals from the appropriate authorities.

Under no circumstances shall the designer be held responsible for any errors or omissions in the information provided or for any consequences arising therefrom. The designer shall not be held responsible for any damages, including consequential damages, arising out of or from the use of the information provided.

BUILDING ADDITION FOR BENT-WOOD REHAB CENTER FLORISSANT, MISSOURI

NO.	DATE	DESCRIPTION
1	JAN	ERR
2	MAY 15, 2018	

SCALE: 1" = 40'
PROJECT NO: 15-00008
SHEET NO: C2

SITE PLAN

SITE DATA

EXISTING BUILDING	26,781 S.F.
PROPOSED BUILDING EXPANSION	14,300 S.F.
PROPOSED DRIVE/REAR-PARKING ADDITION	44,581 S.F.
TOTAL BUILDING	85,662 S.F.

EXISTING PARKING DATA

EXISTING ACCESSIBLE SPACES	3 SPACES
EXISTING STANDARD SPACES	41 SPACES
TOTAL PARKING	43 SPACES

NEW PARKING DATA

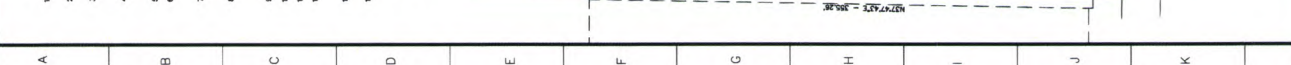
ACCESSIBLE SPACES	4 SPACES
STANDARD SPACES	79 SPACES
TOTAL PARKING	83 SPACES

CITY REQUIRED PARKING DATA

118 BEDS (7 SPACE PER 3 BEDS)	24 SPACES
51 EMPLOYEES (1 SPACE PER 2 EMPLOYEES)	26 SPACES
TOTAL REQUIRED PARKING	50 SPACES

- ### 37 Additional Parking Spaces
- 168 a/r/s spaces
 - 180 trees
 - 180 plants
 - Actual: 168 plants
- ### Planting Areas
- Each 1/16 acre
 - 180 trees
 - 180 plants
 - Actual: 168 plants
- ### Building Plantings
- Each 1/16 acre
 - 180 trees
 - 180 plants
 - Actual: 168 plants

- ### SITE PLAN NOTES
- The client has submitted this project to meet or exceed the City of Florissant standards.
 - Notes derived from the deed recorded in book 5358 page 2098 of the St. Louis County records.
 - Site boundaries to be indicated by markers or the existing buildings. Direction - 242.42' by the instrument's intent to be based on S1/2 1/4 134 134 134 134.
 - This property is not within any designated flood zone. Flood Insurance Rate Map (FIRM) for St. Louis County shows this property is in the unshaded area.
 - This site is used "Residential R-1" as per the City of Florissant, MO.
 - Underground structures, facilities and utilities have been plotted from available data. The location and depth of all underground structures, facilities and utilities are to be verified by the contractor.
 - Contractor to correct telephone, electric, gas, water and cable companies to show existing underground utilities on this site and adjacent to this site prior to doing any excavating.
 - All underground areas are to receive a finish of topsoil. Contractor to seek approval from the City of Florissant, MO for any underground structures, facilities and utilities to be installed. The City of Florissant, MO is the authority for all underground utilities.
 - All underground structures, facilities and utilities are to be installed in accordance with applicable codes and standards. The contractor shall obtain all necessary permits from the appropriate authorities.
 - Permitting is to be obtained from the City of Florissant, MO.
 - Refer to attachment plans for site lighting and site lighting standards.
 - Contractor shall see all sub and other sections, concrete, masonry and steel construction, as well as other applicable sections of the City of Florissant, MO code, for all construction work. All construction shall be in accordance with the City of Florissant, MO code.
 - All improvements including roadway, sanitary sewer, storm sewer, and storm sewer shall be installed in accordance with the City of Florissant, MO specifications.
 - The contractor shall see all sub and other sections, concrete, masonry and steel construction, as well as other applicable sections of the City of Florissant, MO code, for all construction work. All construction shall be in accordance with the City of Florissant, MO code.
 - Contractor shall verify the accuracy of all information provided by the client and shall be held responsible for any errors or omissions in the information provided. The contractor shall obtain all necessary permits from the appropriate authorities.
 - Contractor shall verify the accuracy of all information provided by the client and shall be held responsible for any errors or omissions in the information provided. The contractor shall obtain all necessary permits from the appropriate authorities.



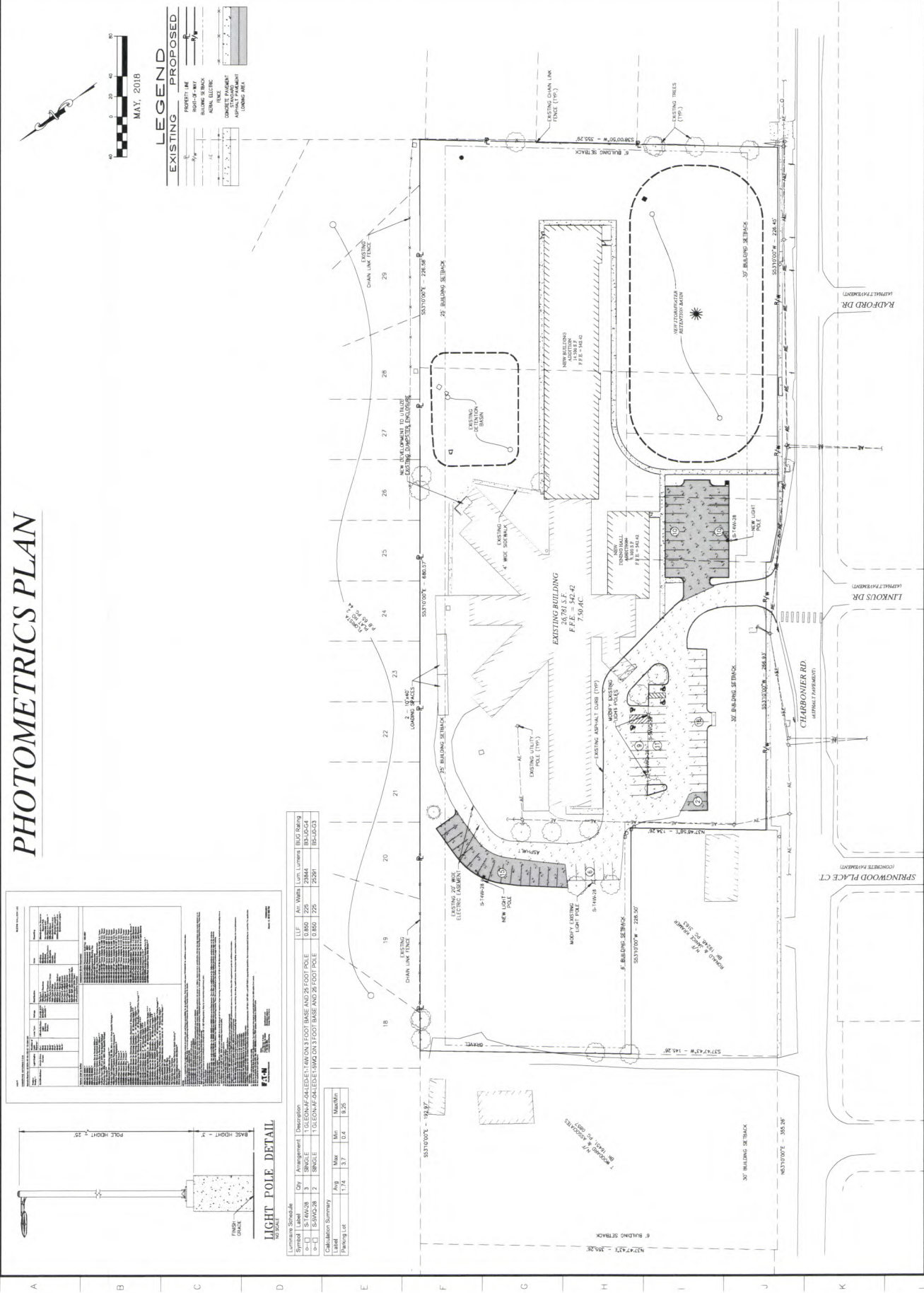
Plotting date: 11/15/2008 - Bent-Wood Rehab & Rehabilitation Center/Affiliate Company/Planting/Interior/Show/25th Parking (60) SITE PLAN (Preliminary) Printed on May 15, 2018 - 9:52am. Printed by: admin.

BUILDING ADDITION FOR
BENT WOOD REHAB CENTER
FLOISSANT, MISSOURI

PHOTOMETRICS PLAN
DATE: MAY 15, 2018
SCALE: 1" = 40'
PROJECT NO: 15-05058
DRAWN BY: [Name]

CHORAN
510A E Independence Dr
Union, Missouri 63084
636-344-0513 (fax)
636-344-0540 (tel)
choran.com
choran@choran.com

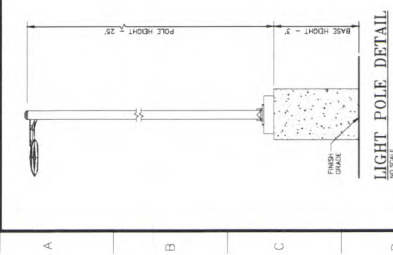
Professional Engineer
Missouri State License
No. 000000000
Professional Engineer
Missouri State License
No. 000000000



PHOTOMETRICS PLAN

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Arrangement	Description	LF	AV. WMS	Lum. Lumines	BUCI Rating
S-1	ST-10028	3	SINGLE	10' LEN. W/ 4' LENS. 3' FOOT BASE AND 25' FOOT POLE	6300	225	2880	BS-3004
S-2	ST-10028	2	SINGLE	10' LEN. W/ 4' LENS. 3' FOOT BASE AND 25' FOOT POLE	1260	125	2880	BS-3004



LEGEND
MAY, 2018

EXISTING
PROPERTY LINE
ASBIL, ELECTRIC
FENCE
CHAIN LINK FENCE (TYP.)
EXISTING LIGHT FIXTURE
EXISTING LIGHT FIXTURE
EXISTING LIGHT FIXTURE

PROPOSED
PROPERTY LINE
ASBIL, ELECTRIC
FENCE
CHAIN LINK FENCE (TYP.)
NEW LIGHT POLE
NEW LIGHT POLE
NEW LIGHT POLE

17
16
15
14
13
12
11
10
9
8
7
6
5
4
3
2
1

A
B
C
D
E
F
G
H
I
J
K
L

FSA
 FELBEK & ARCHITECTS
 415 KENNEL CIRCLE, N.W.
 KANSAS CITY, MO 64108
 CERTIFICATION # 200603665

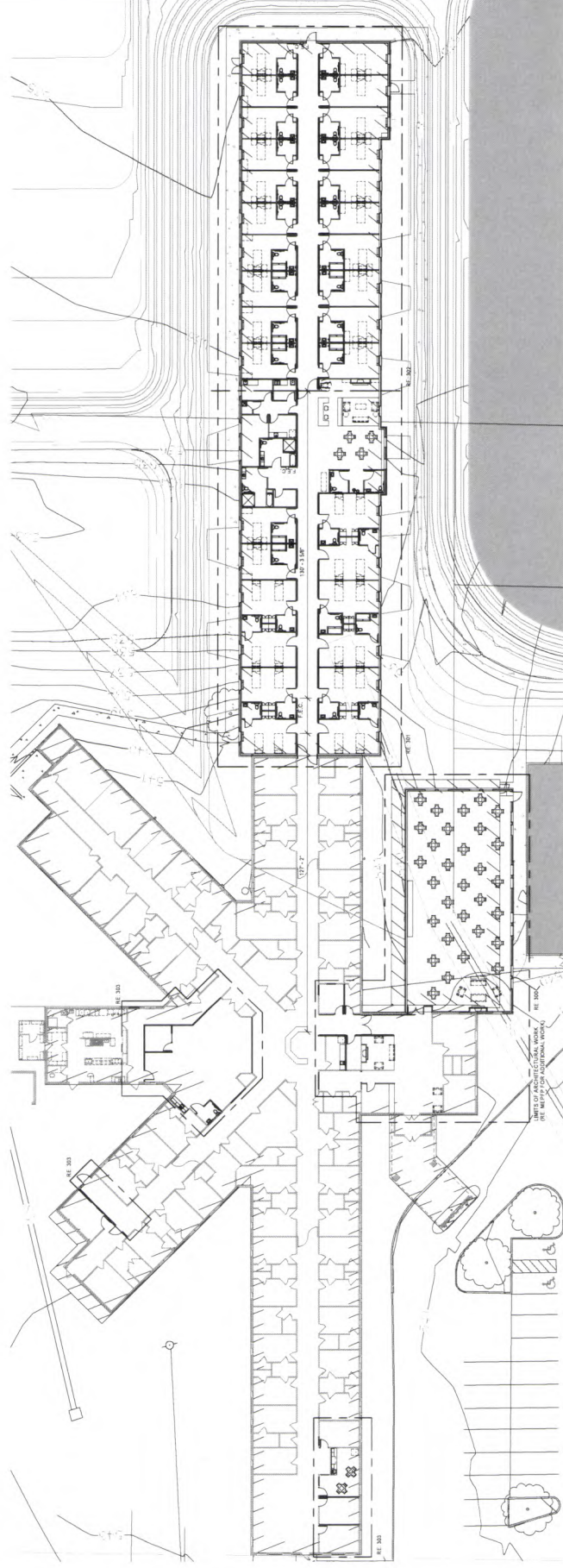
SSC Engineering, Inc.



**BENT-WOOD NURSING AND
 REHABILITATION CENTER
 1501 Charboner Road
 Florissant, MO 63031**

REVISIONS	
No	Date

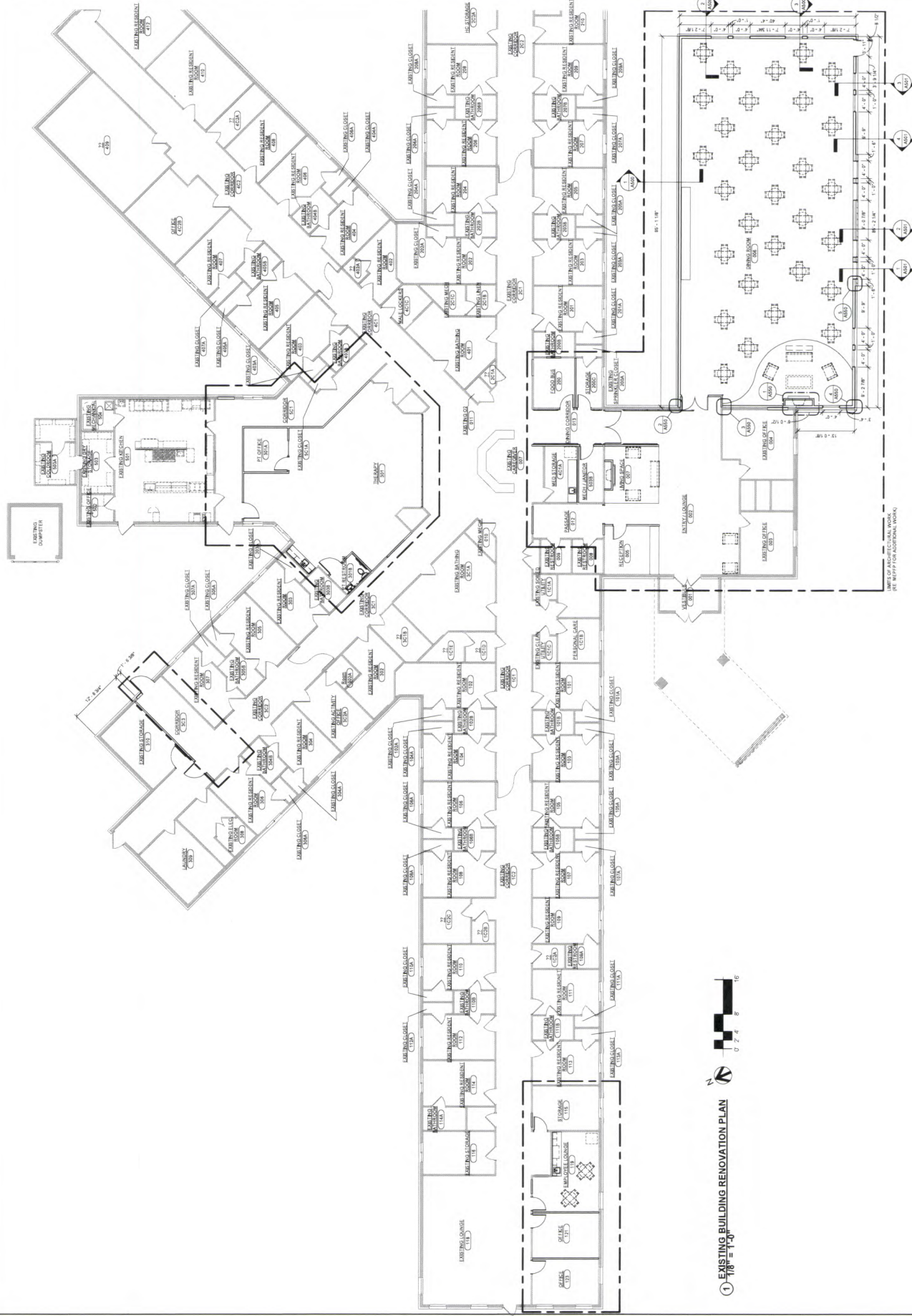
PROJECT NO. 17-021L
 DATE 09/11/18
 DRAWN BY
 CHECKED BY
 SNIP
 OVERALL FLOOR
 PLAN
 NOT FOR
 CONSTRUCTION
 SHEET **A100**



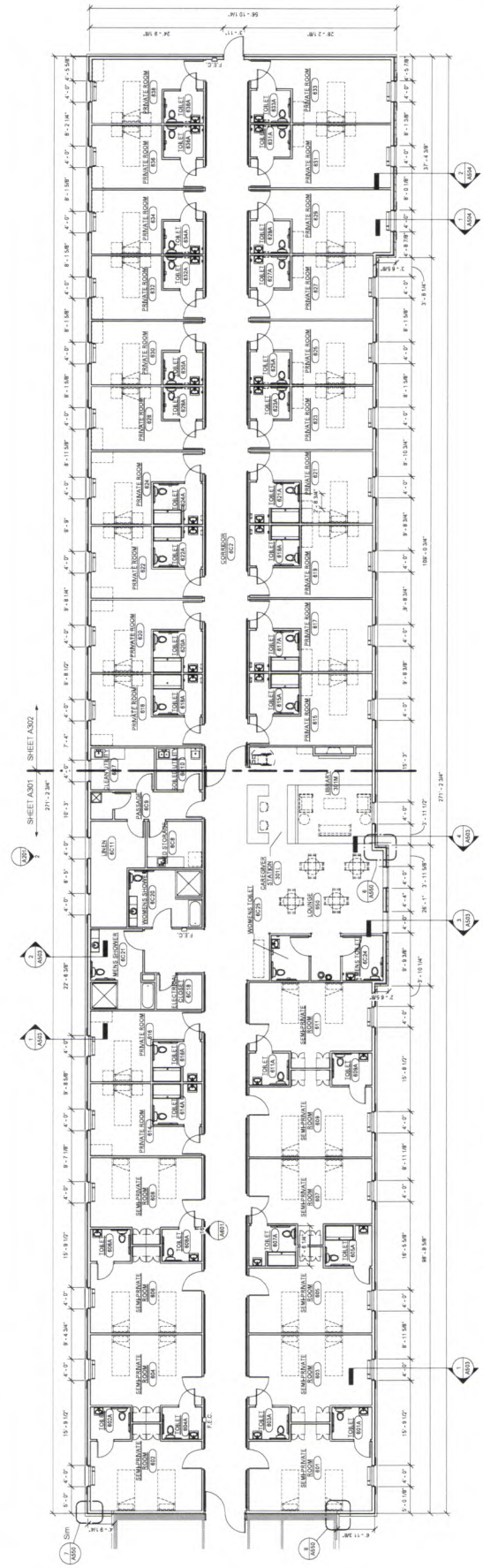
① OVERALL 1ST FLOOR PLAN
 1/16" = 1'-0"

REVISIONS	
No	Date
1	05/17/18
Description	

DATE	05/17/18
PROJECT NO	17-020
Drawn	Maria L. Adams
NOT FOR CONSTRUCTION	
EASTING BUILDING	
SSC EASTING PC-21	
DRAWMAN	
CHECK	
SMF	
SHEET	
A101	



1 EXISTING BUILDING RENOVATION PLAN
 1/8" = 1'-0"



1 BUILDING ADDITION FLOOR PLAN
 1/8" = 1'-0"

KEYED NOTES

1	WALL BASE
2	CEILING
3	ALUMINUM SHOWER PAN WITH TRENCH
4	STAINLESS STEEL WARE WASH SINK
5	STAINLESS STEEL WARE BACK SHELF WITH WAP
6	STAINLESS STEEL WARE WASH SINK
7	STAINLESS STEEL WARE WASH SINK
8	STAINLESS STEEL WARE WASH SINK
9	STAINLESS STEEL WARE WASH SINK
10	CARPET FLOORING SYSTEM
11	CEILING
12	CEILING
13	CEILING
14	CEILING
15	CEILING
16	CEILING
17	CEILING
18	CEILING
19	CEILING
20	CEILING
21	CEILING
22	CEILING
23	CEILING
24	CEILING
25	FLOOR DRAIN (RE PLUMBING DRAWINGS)
26	F.P.P. ABOVE JANITOR SINK
27	FLOOR DRAIN (RE PLUMBING DRAWINGS)
28	BASE CABINET W/STAINLESS STEEL SHELF

KEYED NOTES

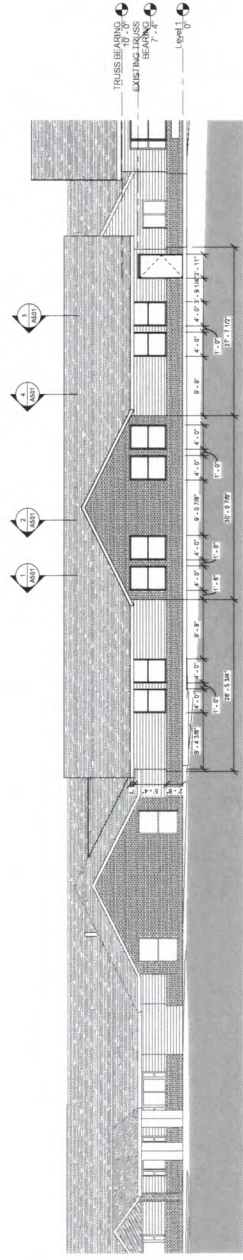
29	ALUMINUM SHOWER PAN WITH TRENCH
30	STAINLESS STEEL WARE WASH SINK
31	AND BROOM HOLDER
32	EXISTING FLOORING SYSTEM TO REMAIN
33	EXISTING FLOORING SYSTEM TO REMAIN
34	EXISTING FLOORING SYSTEM TO REMAIN
35	EXISTING FLOORING SYSTEM TO REMAIN
36	UNIT (RE MEPPD DRAWINGS)
37	UNIT (RE MEPPD DRAWINGS)
38	WALL OPENING WITH 1/2" GYPSUM BOARD
39	WALL OPENING WITH 1/2" GYPSUM BOARD
40	WALL OPENING WITH 1/2" GYPSUM BOARD
41	WALL OPENING WITH 1/2" GYPSUM BOARD
42	WALL OPENING WITH 1/2" GYPSUM BOARD
43	WALL OPENING WITH 1/2" GYPSUM BOARD
44	WALL OPENING WITH 1/2" GYPSUM BOARD
45	WALL OPENING WITH 1/2" GYPSUM BOARD
46	WALL OPENING WITH 1/2" GYPSUM BOARD
47	WALL OPENING WITH 1/2" GYPSUM BOARD
48	WALL OPENING WITH 1/2" GYPSUM BOARD
49	WALL OPENING WITH 1/2" GYPSUM BOARD
50	WALL OPENING WITH 1/2" GYPSUM BOARD

REVISIONS	
No	Date
1	05/17/18
MP-BD-BET	

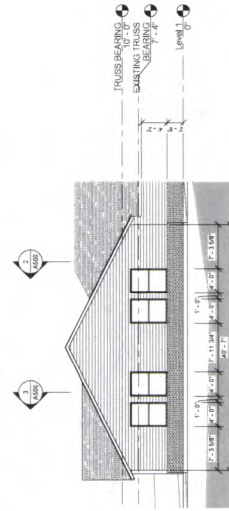
DATE	05/17/18
PROJECT NO.	17-021
Drawn: Mike J. Cook, AIA/LS/MS Checked: _____ Date: _____ Title: _____	

NOT FOR CONSTRUCTION

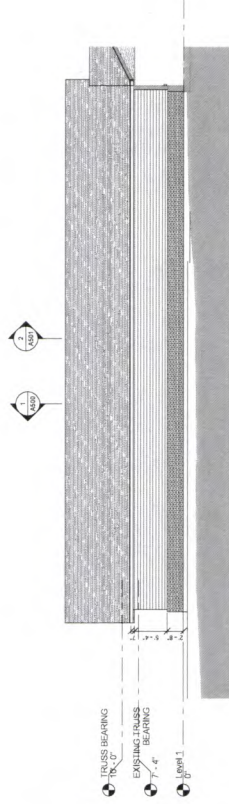
EXTERIOR
 CONSTRUCTION
 EXTERIOR
 CONSTRUCTION



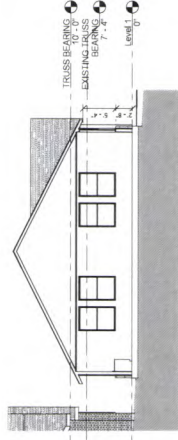
① SOUTH ELEVATION
 $\frac{1}{8}'' = 1'-0''$



② EAST ELEVATION
 $\frac{1}{8}'' = 1'-0''$



③ NORTH ELEVATION
 $\frac{1}{8}'' = 1'-0''$



④ WEST ELEVATION
 $\frac{1}{8}'' = 1'-0''$

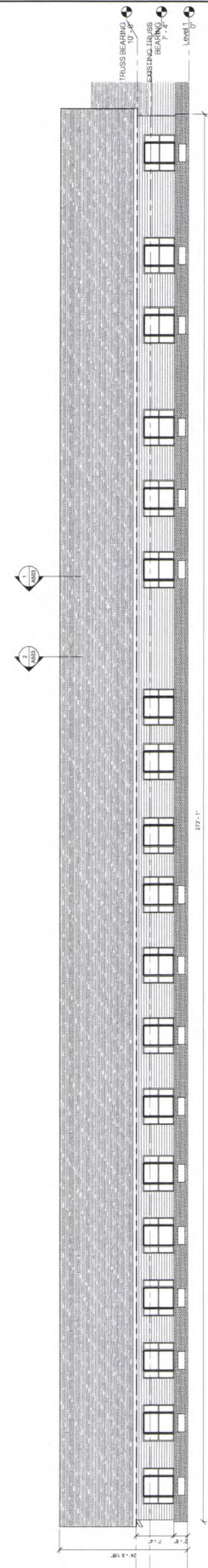
No.	Date	Description
1	05/17/18	MFP BID SET

DATE	05/17/18
PROJECT NO.	17-001
DATE	05/17/18
PROJECT NO.	17-001

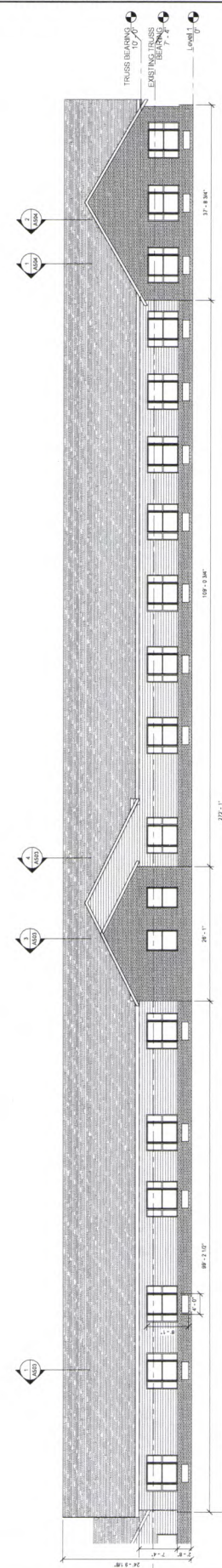
NOT FOR CONSTRUCTION
 BEING ADDITION
 EXTERIOR
 DRAWN BY: AJR/202
 CHECKED BY: SWS/202
 SHEET: **A201**



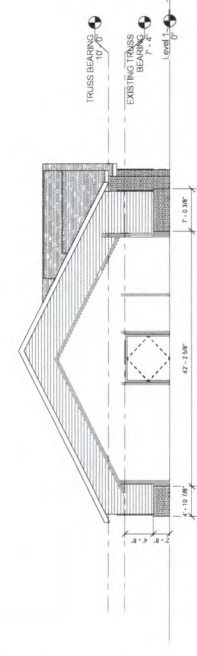
5/11/2018 2:41:50 PM



② ELEVATION NORTH
 1/8" = 1'-0"



③ ELEVATION SOUTH
 1/8" = 1'-0"



④ ELEVATION WEST
 1/8" = 1'-0"

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, July 9, 2018 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 8016 to allow for expansion of the vacuum area for the carwash (Brite Worx) for the property located at 475 N Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 475 N HWY 67
Property Owners Name: WALLIS ENERGY CORP Phone #: 636-549-1600
Property Owners Address: 106 E WASHINGTON, CUBA, MO 65453
Business Owners Name: WALLIS COMPANIES Phone #: same
Business Owners Address: (same as above)
DBA (Doing Business As) BiteWorX Carwashery
Authorized Agents Name: KEVIN T. KAMP CO. Name: CEC, INC.
(Authorized Agent to Appear Before The Commission)
Agents Address: 4848 PARK 370 BLVD., SUITE F Phone #: 314-656-4566
Request PETITION TO AMEND B-5 ORD # ~~8610~~ 8016

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature

Date

[Handwritten Signature]

5/31/18

Received by: [Signature] Receipt # 6010007 Amount Paid: 125.00 Date: 6-13-18

OFFICE USE ONLY

STAFF REMARKS:

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE**



PLANNING & ZONING ACTION:

Address of Property:

475 & part of 465 N HWY 67

Council Ward 2 Zoning B-5

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 8016

Enter ordinance number or number requesting to amend.

1) Comes Now BriteWorX Carwashery ORD# 8016

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property OWNER OWNER UNDER CONTRACT

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.19 acres + 1.67 acres

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for the area under contract to Wallis Energy Corp. is currently a parking lot

Note: The 0.19 acres is currently in a B-3 district, owner under contract with MERS Goodwill Store to become included within the 1.67 B-5 district = 1.86 ac.

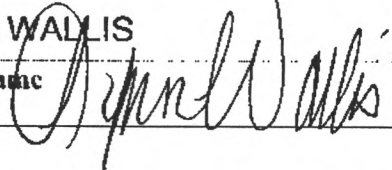
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance: allow for additional vacuums, cross-access with MERS Goodwill, and extension of sight-proof fencing at the rear of the site between the commercial properties and adjacent residential properties

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME LYNN WALLIS
PETITIONER(S) SIGNATURE (S) 
FOR WALLIS ENERGY CORP

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
 I (we) have a legal interest in the herein above described property.
 I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

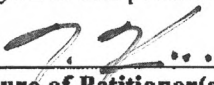
SIGNATURE _____

ADDRESS 4848 PARK 370 BLVD. #F HAZELWOOD MO 63042
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314-656-4566

I (we) the petitioner (s) do hereby appoint BUSINESS KEVIN T. KAMP as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.


Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation. the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Lynn Wallis, President
- (2) Telephone numbers ~~573-885-2277~~ 573 241 7712
- (3) Business address 106 E Washington, Cuba MO 65453
- (4) State of Incorporation & a photocopy of incorporation papers Missouri
- (5) Date of Incorporation 12/21/1990
- (6) Missouri Corporate Number 00347974
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated BriteWorX
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.



00347974

Date Filed: 5/12/2015

Jason Kander

Missouri Secretary of State

**AMENDED AND RESTATED
ARTICLES OF INCORPORATION
OF
WALLIS ENERGY CORP.**

SECRETARY OF STATE
STATE OF MISSOURI
P.O. BOX 778
JEFFERSON CITY, MO 65102

Pursuant to the provisions of The General and Business Corporation Law of Missouri, the undersigned corporation certifies the following:

1. The present name of the corporation is Wallis Energy Corp. The name under which the corporation was originally organized was W & L Acquisition Company.
2. An amendment to the corporation's Articles of Incorporation was adopted by the corporation's shareholders on April 30, 2015.
3. The Articles of Incorporation are amended and restated in their entirety as described as follows:

"ARTICLE ONE

The name of the corporation is Wallis Energy Corp.

ARTICLE TWO

The name and address of the corporation's registered agent in Missouri is:

Lynn Wallis
106 East Washington Boulevard
Cuba, Missouri 65453

ARTICLE THREE

The aggregate number, class and par value of shares which the corporation shall have authority to issue shall be as follows: Four (4) shares of Class A Voting Common Stock having a par value of One Dollar (\$1.00) per share, and Nine Hundred Ninety-Six (996) shares of Class B Non-Voting Common Stock having a par value of One Dollar (\$1.00) per share, amounting in the aggregate to One Thousand Dollars (\$1,000.00). The preferences, qualifications, limitations, restrictions and special or relative rights, including convertible rights, if any, of the Class A Voting Common Stock and the Class B Non-Voting Common Stock are identical in all respects, except that, except as otherwise required by law, the voting power is vested exclusively in the holders of the Class A Voting Common Stock, and the holders of the Class B Non-Voting Common Stock shall not have any voting power. In all matters in which they have the right to vote, the holders of the Class A Voting Common Stock shall have one vote per share, and the holders of the Class B Non-Voting Common Stock shall have one vote per share.

ARTICLE FOUR

The preemptive right of shareholders to acquire additional shares of the common stock of the corporation is hereby denied.

ARTICLE FIVE

The name and physical business or residence of the incorporator is as follows:

Richard S. Marx
7144 Wydown Boulevard
St. Louis, Missouri 63105

ARTICLE SIX

The duration of the corporation is perpetual.

ARTICLE SEVEN

The corporation is formed for the following purposes:

to engage in any lawful business as provided by Section 351.386 of The General and Business Corporation Law of Missouri;

to exercise all of the powers granted under the provisions of Section 351.385 of The General and Business Corporation Law of Missouri; and

to purchase, take, receive or otherwise acquire, hold, own, pledge, transfer or otherwise dispose of its own shares, subject to the provisions of Section 351.390 of The General and Business Corporation Law of Missouri.

The foregoing clauses are to be construed both as objects and powers. It is hereby expressly provided that the foregoing enumeration of specific powers may not be held to limit or restrict in any manner the powers of the corporation, nor will the corporation be required to exercise all of such powers at any one time.

ARTICLE EIGHT LIMITATION OF LIABILITY

No director shall be liable to the corporation or any of its shareholders for monetary damages for breach of fiduciary duty as a director, except with respect to (1) any breach of the director's duty of loyalty to the corporation or its shareholders; (2) acts or omissions not in good faith or which involve intentional misconduct or a knowing violation of law; (3) liability under Section 351.345 of The General and Business Corporation Law of Missouri; or (4) any transaction from which the director derived an improper personal benefit, it being the intention of the foregoing provision to eliminate the liability of the corporation's directors to the corporation or its shareholders to the fullest extent permitted by Section 351.055.2(3) of The General and Business Corporation Law of Missouri, as amended from time to time. If The General and Business Corporation Law of Missouri is hereafter amended to authorize corporate action further

eliminating or limiting the personal liability of directors, then the liability of a director of the corporation shall be eliminated or limited to the fullest extent permitted by The General and Business Corporation Law of Missouri, as so amended.

ARTICLE NINE INDEMNIFICATION

The corporation shall, subject to the limitation set forth below but otherwise to the fullest extent permitted by the provisions of Section 351.355 of The General and Business Corporation Law of Missouri, as the same may be amended and supplemented, indemnify any and all persons whom it shall have power to indemnify under said section from and against any and all of the expenses, liabilities, or other matters referred to in or covered by said law, and the indemnification provided for herein shall not be deemed exclusive of any other rights to which those indemnified may be entitled under any bylaw, agreement, vote of shareholders or disinterested directors or otherwise, both as to action in such person's official capacity and as to action in another capacity while holding such office, and shall continue as to a person who has ceased to be a director, officer, employee, or agent and shall inure to the benefit of the heirs, executors, and administrators of such person. Subject to the limitation set forth below but otherwise to the fullest extent permitted by The General and Business Corporation Law of Missouri, as the same exists or as may hereafter be amended, a director of the corporation shall be indemnified by the corporation for monetary damages for breach of fiduciary duty as a director. Neither the amendment nor repeal of this Article Eight, nor the adoption of any provision of these articles of incorporation inconsistent with this Article Eight, shall eliminate or reduce the effect of this Article Eight, in respect of any matter occurring, or any action or proceeding accruing or arising or that, but for this Article Eight, would accrue or arise, prior to such amendment, repeal or adoption of an inconsistent provision."

4. Of the 1,000 shares of stock of the corporation outstanding, 1,000 of such shares were entitled to vote on such amendment. The number of outstanding shares of each class entitled to vote thereon as a class were as follows:

<u>Class</u>	<u>Number of Outstanding Shares</u>
Common	-1,000-

5. The number of shares voted for and against the amendments were as follows:

<u>Class</u>	<u>No. Voted For</u>	<u>No. Voted Against</u>
Common	-1,000-	-0-

6. If the amendment provides for an exchange, reclassification, or cancellation of issued shares, or a reduction of the number of authorized shares of any class below the number of issued shares of that class, the following is a statement of the manner in which such reduction is to be effected:

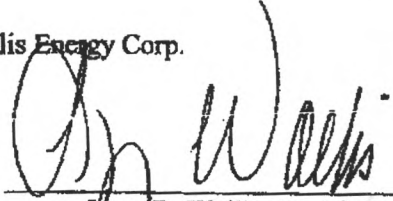
Upon the effective date of the filing of this Amendment with the Office of the Secretary of State of the State of Missouri, the One Thousand (1,000) shares of currently issued and outstanding common stock of the corporation shall be surrendered by the holder thereof and cancelled by the corporation. For each share of common stock surrendered and cancelled, four thousandths (0.004) of a share of Class A Voting Common Stock shall be issued to the holder and nine hundred ninety-six thousandths (0.996) of a share of Class B Non-Voting Common Stock shall be issued to the holder, such that immediately after the exchange, the corporation shall have Four (4) shares of Class A Voting Common Stock, \$1.00 par value, and Nine Hundred Ninety-Six (996) shares of Class B Non-Voting Common Stock, \$1.00 par value, issued and outstanding.

7. The effective date of the amendment is to be the date of filing this Amendment of Articles of Incorporation with the Secretary of State.

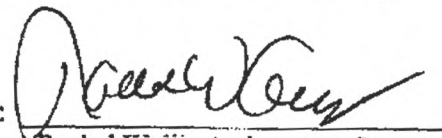
IN WITNESS WHEREOF, the undersigned President and Secretary have executed this instrument on the 30th day of April, 2015.

Wallis Energy Corp.

By:


Lynn R. Wallis, President

By:


Rachel Wallis Andreasson, Secretary

STATE OF MISSOURI



Jason Kander
Secretary of State

CERTIFICATE OF AMENDMENT AND RESTATEMENT

WHEREAS,

WALLIS ENERGY CORP.
00347974

a corporation organized under General and Business Corporation Law has delivered to me a Certificate Of Amendment And Restatement of its Articles of Incorporation and has in all respects complied with the requirements of law governing the Amendment and Restatement of Articles of Incorporation under General and Business Corporation Law, and that the Articles of Incorporation of said corporation are amended and restated in accordance therewith.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 12th day of May, 2015.


Secretary of State



Please fill in applicable information requested.

Name BriteWorX Carwashery

Address 465 & 475 N HIGHWAY 67

Property Owner Mers Missouri Goodwill Industries (465) & Wallis Energy Corp (475)

Location of property NORTH SIDE OF HWY 67

Dimensions of property AOI : 22.45' X 394.22' X 20.47' X 394.51'

Property is presently zoned B-5 per ordinance # 8016

Current & Proposed Use of Property car wash with vacuum stations

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories _____

Square Footage of Building _____ Number of Curb Cuts _____

Number of Parking Spaces 14 vacuum stalls Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type cementitious Length 160 FT Height 10 FT

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

A TRACT OF LAND BEING PART OF LOT 3 OF "MERELLO'S SUBDIVISION", A SUBDIVISION RECORDED IN PLAT BOOK 230, PAGE 66 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHMOST CORNER OF SAID LOT 3;

THENCE, ALONG THE NORTHERN LINE OF SAID LOT 3, SOUTH 52 DEGREES 52 MINUTES 44 SECONDS EAST, A DISTANCE OF 394.51 FEET TO A POINT;

THENCE, DEPARTING SAID NORTHERN LINE OF LOT 3, ALONG THE WEST LINE OF LINDBERGH BOULEVARD, SOUTH 38 DEGREES 02 MINUTES 43 SECONDS WEST, A DISTANCE OF 22.45 FEET TO A POINT;

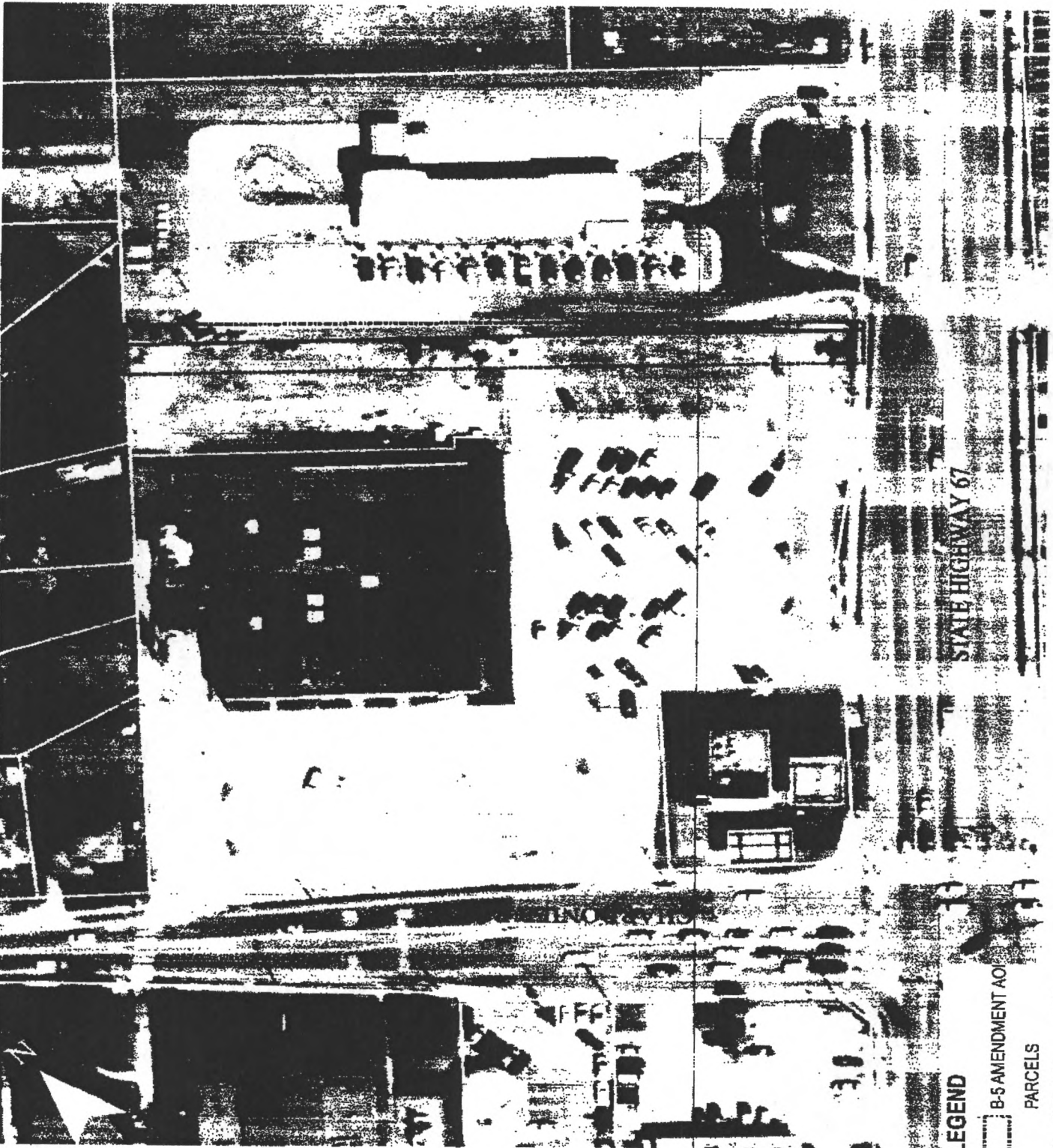
THENCE, DEPARTING SAID WEST LINE, NORTH 52 DEGREES 35 MINUTES 33 SECONDS WEST, A DISTANCE OF 394.22 FEET TO A POINT ON THE WESTERN LINE OF THE AFOREMENTIONED LOT 3;

THENCE, ALONG SAID WESTERN LINE OF LOT 3, NORTH 37 DEGREES 18 MINUTES 26 SECONDS EAST, A DISTANCE OF 20.47 FEET BACK TO THE POINT OF BEGINNING AND DESCRIBED THIS TRACT OF LAND CONTAINING APPROXIMATELY 8,462 SQUARE FEET.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

(SEE ATTACHED)



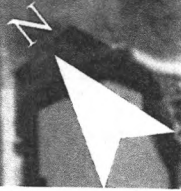
LEGEND

— B-5 AMENDMENT AO

PARCELS



465 & 475 N HWY 67 (MERS GOODWILL & BRITWORX)



CHARBONIER ROAD

STATE HIGHWAY 67

465 & 475 N HWY 67 (MERS GOODWILL & BRITWORX)

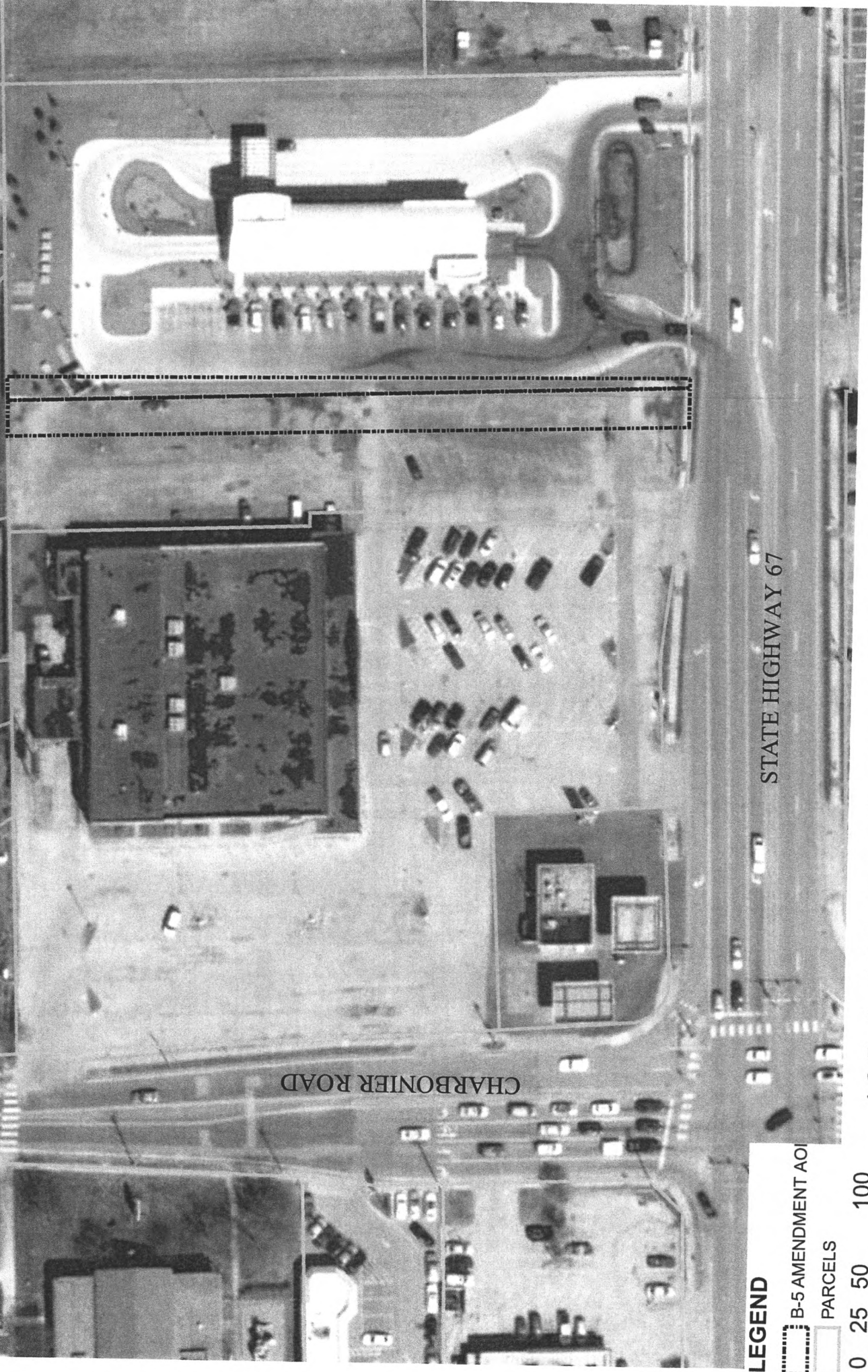
LEGEND

 B-5 AMENDMENT AOI

 PARCELS

0 25 50 100

 Feet



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MEMORANDUM



RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: *[Handwritten Signature]*

DATE: 6-18-18

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9

CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: June 12, 2018
From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr.-P.E.
PWL, Director Public Works
Applicant,
File
Subject: **475 N. Highway 67 Brite Worx Car Wash** - Request recommended approval to amend a 'B-5' Zoning district to allow for vacuum area expansions for a car wash **in an existing 'B-5' District.**

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STAFF REPORT
CASE NUMBER PZ-161818-2

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I. PROJECT DESCRIPTION:

This is a request for recommended approval to amend a 'B-5' Zoning district to allow for vacuum area expansions for a car wash **in an existing 'B-5' District.**

II. EXISTING SITE CONDITIONS:

The existing property at 475 N. Highway 67 is an operating business.

There is an existing parking area in the rear (West) of the existing property which remains which is actually **475(rear) and 575 N. Highway 67 which were also sold to Brite Worx, but are to remain unchanged.**

III. SURROUNDING PROPERTIES:

The adjacent property to the South is 465 N. Highway 67 in a B-3 District. The petitioner anticipates a boundary adjustment to add the necessary land for this expansion, which can be accomplished by administrative approval by the City Engineer. There are 2

40 properties to the North at 545 and 605 N. Highway 67 in the B-3 District. To the
41 Southwest are 8 & 10 Loekes Ct in the R-4 Zoning District.

42
43
44 **IV. STAFF ANALYSIS:**

45 The application is accompanied by professionally prepared plans SP01-1, SP01-2 and
46 SP01-3 dated 10/14/13, Topographic Survey SU-1 dated 9/25/13, Landscape Plans LA1
47 and LA2 dated 10/1/13 and lighting Plan LO1 dated 9/26/13 as well as color renderings.
48 The Petitioner has proposed a new conveyor-style car wash of masonry and glazing. The
49 following are Staff comments on the plans and **revised plans which include renderings,**
50 **elevations and typical sections dated 10/28/13 and revised LA1 and LA2 dated Oct**
51 **2013:**

52
53 1. SP01:

- 54 a. The petitioner proposes additional site area to be added from 465 N.
55 Highway 67, of 22.95 feet to allow for the vacuum addition.
- 56 b. Legal description appears on this sheet for the site.
- 57 c. 160 feet of additional 10' tall concrete fence is proposed and onto the
58 adjacent site, extended behind the building at 465 N. Highway 67. The
59 wall extends about 30 feet past the back corner of the MERS Goodwill
60 building
- 61 d. Fourteen new vacuum stations are proposed along with 4 other parking.
- 62 e. Two single and one double light standard is proposed along with the
63 relocation of one single light standard.
- 64 f. A Two-way connecting drive is proposed to the MERS Goodwill property
65 at 465 N. Highway 67.
- 66 g. The ADA Accessible parking space has been relocated with new curb-
67 ramp.

68 2. SP02

- 69 a. This sheet has a site sections through the properties which might be
70 affected:
 - 71 i. Sections A and B shown through to the lots at 6 & 8 Loekes,
72 indicates the canopy height of 11.5 feet above the vacuum addition
73 area is level with the 10 foot concrete fence which is level with 6
74 feet in height at the residence wall.
 - 75 b. Noises will propogate from about elevation 520, considerably lower than
76 the canopy.

- 77 3. It was discovered after the construction of the carwash that the main objectionable
78 noise was the instructional speaker originally aimed to the west, now aimed down
79 the tunnel.
- 80 4. Reflected noises: Sounds from the establishment reflected from the property off
81 the masonry wall of the MERS Goodwill building and onto the property at 8
82 and/or 10 Loekes.
- 83 5. The existing 10 foot concrete fence greatly reduced the problems of noise.

86 VI. **STAFF RECOMMENDATIONS:**

- 87
88 1. Staff has reviewed the ordinance and no specific ordinance changes to existing
89 verbiage is required, except the legal description. If recommended approval is
90 granted, the attached suggested motion shall establish regulations within this
91 district.

92
93 **2. Suggested Motion for 475 N Highway 67 (Brite Worx Car Wash):**

94
95 I move to recommend approval to amend the B-5, ordinance no. 8016, as depicted
96 by the attached drawings plans SP01, SP02 dated 6/6/18, subject to
97 the regulations of the 'B-5' Planned Commercial District, and the following
98 additional requirements:

- 99
100 a. Change the legal description to add the Goodwill tract to this property per
101 description found on attached SP01 dated 6/6/18.

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108 **3. PROJECT COMPLETION.**

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110 Construction shall start within 90 days of the issuance of building permits for the
111 project and shall be developed in accordance of the approved final development
112 plan within 12 months of start of construction.

113
114 (End of suggested motion)

115
116 (end report)

117

1 INTRODUCED BY COUNCILMAN GRIB
2 NOVEMBER 25, 2013

3
4 BILL NO. 8966

ORDINANCE NO. 8016

5
6
7 AN ORDINANCE TO REZONE FOR WALLIS PETROLEUM, L.C. THE
8 PROPERTY LOCATED AT 475 N. HWY 67 FROM B-3 EXTENSIVE
9 COMMERCIAL DISTRICT TO A B-5 PLANNED COMMERCIAL
10 DISTRICT TO ALLOW FOR THE CONSTRUCTION AND OPERATION
11 OF A CAR WASH.

12
13
14 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant
15 district classifications for the purpose of regulating their construction and use of land, buildings
16 and property within the said various districts, and said Ordinance provides the nature, kind and
17 character of buildings that may be erected in each of the said districts and the use to which the
18 land and buildings may be put; and

19 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
20 recommended to the City Council at their meeting of November 7th, 2013 that Ordinance No.
21 1625 be amended to change the classification of the property at 475 N. Hwy 67 from B-3
22 Extensive Commercial District to a B-5 Planned Commercial District for the construction and
23 operation of a car wash; and

24 WHEREAS, B-5 ordinance no. 7452 was passed on October 8th, 2007. Per section 4 of
25 said ordinance, failure to develop the said Planned Commercial District in accordance with
26 procedures and restrictions in Ordinance no. 7452 shall be cause for revision of the zoning of
27 said property back to the previous zoning classification, in accordance with Title IV of the
28 Florissant Zoning Ordinance; and

29 WHEREAS, due and lawful notice of a public hearing No. 13-11-027 on said proposed
30 zoning change was duly published on 11/8/13, held and concluded on Monday, November 25th,
31 2013 at 8:00 P.M. by the Council of the City of Florissant; and

32 WHEREAS, the Council, following said public hearing, and after due and careful
33 deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as
34 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
35 of Florissant; and

36

37 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
38 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
39

40 Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the
41 classification of the following described property known as 475 N. Hwy 67 from B-3 Extensive
42 Commercial District to a B-5 Planned Commercial District for the construction and operation of
43 a car wash.:

44 **LAND DESCRIPTION**
45 A TRACT OF LAND BEING ALL OF LOT 4 OF "MERELLO'S SUBDIVISION". AS RECORDED IN PLAT BOOK
46 230, PAGE 66 AND WITHIN SURVEY'S 171, 172 AND 173 OF THE ST. FERDINAND COMMON FIELDS,
47 TOWNSHIP 47 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF ST. FLORISSANT,
48 ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
49 BEGINNING AT THE MOST NORTHERN CORNER OF LOT 3 OF THE AFORESAID "MERELLO'S
50 SUBDIVISION", BEING ALSO ON THE SOUTHERN LINE OF LOT 56 OF "SKY-VEU-ACRES PLAT TWO". A
51 SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 54, PAGE 31 OF THE ST.
52 LOUIS COUNTY RECORDS; THENCE ALONG THE SOUTHERN LINE OF LOTS 56 AND 57 OF SAID "SKY-
53 VEU-ACRES PLAT TWO" AND THE NORTHERN LINE OF THE AFORESAID LOT 4 OF "MERELLO'S
54 SUBDIVISION", NORTH 37 DEGREES 03 MINUTES 21 SECONDS EAST 80.40 FEET TO A POINT AT THE
55 MOST EASTERN CORNER OF LOT 57 OF SAID "SKY-VEU-ACRES PLAT TWO"; THENCE ALONG THE
56 NORTHERN LINE OF LOTS 57 THRU 62 OF SAID "SKY-VEU-ACRES PLAT TWO", NORTH 52 DEGREES 54
57 MINUTES 40 SECONDS WEST 420.45 FEET TO A FOUND IRON PIPE; THENCE NORTH 37 DEGREES 00
58 MINUTES 18 SECONDS EAST 103.83 FEET TO A FOUND IRON PIPE ON THE SOUTHERN LINE OF
59 PROPERTY CONVEYED TO MINER ACCORDING TO THE DOCUMENT RECORDED IN BOOK 19931, PAGE
60 5137 OF SAID RECORDS; THENCE ALONG THE SOUTHERN LINE OF SAID PROPERTY CONVEYED TO
61 MINER AND THE SOUTHERN LINE OF PROPERTY CONVEYED TO FRITZ ACCORDING TO THE DEED
62 RECORDED IN BOOK 20455, PAGE 1620 OF SAID RECORDS, SOUTH 52 DEGREES 52 MINUTES 44
63 SECONDS EAST 109.93 FEET TO A POINT AT THE MOST SOUTHERN CORNER OF SAID PROPERTY
64 CONVEYED TO FRITZ; THENCE ALONG THE EASTERN LINE OF SAID PROPERTY CONVEYED TO FRITZ,
65 NORTH 36 DEGREES 57 MINUTES 19 SECONDS EAST 265.73 FEET TO A POINT ON THE SOUTHERN LINE
66 OF "CHRISANN ORCHARDS" A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT
67 BOOK 89, PAGE 34 OF SAID RECORDS; THENCE ALONG THE SOUTHERN LINE OF SAID "CHRISANN
68 ORCHARDS" THE FOLLOWING COURSES AND DISTANCES: SOUTH 53 DEGREES 02 MINUTES 41
69 SECONDS EAST 107.69 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT WHOSE RADIUS
70 POINT BEARS SOUTH 62 DEGREES 35 MINUTES 57 SECONDS EAST 50.00 FEET AND WHOSE CHORD
71 BEARS SOUTH 02 DEGREES 10 MINUTES 57 SECONDS WEST 42.61 FEET, AN ARC LENGTH DISTANCE OF
72 44.01 FEET TO A POINT; AND SOUTH 53 DEGREES 02 MINUTES 41 SECONDS EAST 182.73 FEET TO A
73 POINT ON THE WESTERN LINE OF PROPERTY CONVEYED TO KUHN ACCORDING TO THE DEED
74 RECORDED IN BOOK 7548, PAGE 1087; THENCE ALONG THE WESTERN LINE OF SAID PROPERTY
75 CONVEYED TO KUHN, SOUTH 36 DEGREES 57 MINUTES 19 SECONDS WEST 231.65 FEET TO A POINT;
76 THENCE ALONG THE SOUTHERN LINE OF SAID PROPERTY CONVEYED TO KUHN AND THE SOUTHERN
77 LINE OF PROPERTY CONVEYED TO HOFGRIT, LC ACCORDING TO THE DEED RECORDED IN BOOK
78 12536, PAGE 570 OF SAID RECORDS, BEING ALSO THE NORTHERN LINE OF LOT 4 OF THE AFORESAID
79 "MERELLO'S SUBDIVISION", SOUTH 52 DEGREES 52 MINUTES 44 SECONDS EAST 392.76 FEET TO A
80 POINT ON THE WESTERN RIGHT OF WAY LINE LINDBERGH BOULEVARD, WIDTH VARIES; THENCE
81 ALONG THE WESTERN RIGHT OF WAY LINE LINDBERGH BOULEVARD, SOUTH 37 DEGREES 47
82 MINUTES 40 SECONDS WEST 184.01 FEET TO A POINT ON THE SOUTHERN LINE OF LOT 4 OF SAID
83 "MERELLO'S SUBDIVISION"; THENCE ALONG THE SOUTHERN LINE OF SAID LOT 4, NORTH 52 DEGREES
84 52 MINUTES 44 SECONDS WEST 394.51 TO THE POINT OF BEGINNING AND CONTAINING 4.44 ACRES.
85

86 Section 2: The authority and approval embodied in this Ordinance is granted subject to
87 compliance with all ordinances of the City of Florissant, and having received a recommended

88 approval by the Planning & Zoning Commission on 11/7/13 with certain conditions, and
 89 forwarded by said Planning & Zoning Commission to the Florissant City Council, and is
 90 attached hereto marked as Exhibit "A", adopted and incorporated herein by reference as if fully
 91 set out in this ordinance and made a part of this ordinance, subject to the following conditions:

92

93

1. PERMITTED USES

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The uses permitted for this property shall be limited to car wash, those within the B-3
 "Extensive Business District" without a Special Permit. Other uses than those
 permitted shall require approval by amendment to this B-5 Ordinance.

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2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

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The building space shall be limited to a single story 5020 s.f. car wash, (600 s.f. max.
 occupied area) as depicted on the attached plans SP01-1, SP01-2 and SP01-3, dated
 10/14/13, Topographic Survey SU-1 dated 9/25/13, Landscape Plans LA1 and LA2,
dated October 25, 2013, and lighting Plan LO1, dated 9/26/13, as well as color
 renderings, elevations and typical sections dated 10/28/13

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3. PERFORMANCE STANDARDS

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In addition to all other requirements, the proposed uses shall conform to the most
 restrictive performance standards as follows:

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1. Vibration. Every use shall be so operated that the maximum ground
 vibration generated is not perceptible without instruments at any point on
 the lot line of the lot on which the use is located.

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2. Odor. Every use shall be so operated that no offensive or objectionable
 odor is perceptible at any point on the lot line on which the use is located.

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3. Smoke. Every use shall be so operated that no smoke from any source
 shall be emitted of a greater density than the density described as No. 1 on
 the Ringelmann Chart as published by the United States Bureau of Mines.

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4. Toxic gases. Every use shall be so operated that there is no emission of
 toxic, noxious or corrosive fumes or gases.

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5. Emission of dirt, dust, fly ash and other forms of particulate matter.
 Emission of dirt, dust, fly ash and other forms of particulate matter shall
 not exceed eighty-five one-hundredths (0.85) pounds per one thousand
 (1,000) pounds of gases of which amount not to exceed five-tenths (0.5)
 pound per one thousand (1,000) pounds of gases shall be of such size as to
 be retained on a 325-mesh U.S. standard sieve. In the case of emission of
 fly ash or dust from a stationary furnace or a combustion device, these
 standards shall apply to a condition of fifty percent (50%) excess air in the
 stack at full load, which standards shall be varied in proportion to the
 deviation of the percentage of excess air from fifty percent (50%).

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- 6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
- 7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
- 8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall be kept within a gated sight-proof area as shown on SP01-2, attached.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on SP01-2, attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 4 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

176 Lighting of the property shall comply with the following standards and
177 requirements:

- 178
179 (1) The light level for parking lot lighting shall be 0.5 fc minimum.
180
181 (2) All site lighting and exterior building lighting shall be directed down and
182 inward

183
184 f. Sign Requirements.

- 185
186 (1) All signage shall comply with the City of Florissant sign ordinance for
187 commercial districts.

188
189
190 g. Landscaping and Fencing.

- 191
192 (1) Any modifications to the landscaping plan shall be reviewed and approved by
193 the Planning and Zoning Commission.
194 (2) An automatic permanent irrigation system shall be designed and installed to
195 cover all landscaped areas.

196
197 h. Storm Water.

198
199 Storm Water and drainage facilities shall comply with the following standards and
200 requirements:

- 201
202 (1) The Director of Public Works shall review the storm water plans to assure that
203 storm water flow will have no adverse affect the neighboring properties.
204
205 (2) No building permits shall be issued until the storm water plan has been
206 approved by the St. Louis Metropolitan Sewer District.

207
208 i. Miscellaneous Design Criteria.

- 209
210 (1) All applicable parking, circulation, sidewalks, and all other site design features
211 shall comply with the Florissant City Code.
212
213 (2) All dumpsters and grease containers shall be contained within a trash
214 enclosure with gates compatible with existing building.
215
216 (3) All storm water and drainage facilities shall be constructed, and all
217 landscaping shall be installed, prior to occupancy of the building, unless
218 remitted by the Director of Public Works due to weather related factors.
219
220 (4) All mechanical equipment, electrical equipment, and communication
221 equipment shall be screened in accordance with the Florissant Zoning Code.

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(5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.

(6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must make a determination as to the extent of the changes per the following procedure:

- a. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
- b. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
- c. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
- d. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
- e. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature. then the owner shall submit an application for review and approval by the Planning and Zoning commission.

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9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

11. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

Section 3: The application and preliminary plans are returned to the Building Commissioner for consideration of a Final Site Development Plan, pursuant to Title IV of the Florissant Zoning Ordinance.

Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for revision of the zoning of said property back to the previous zoning classification, in accordance with Title IV of the Florissant Zoning Ordinance.

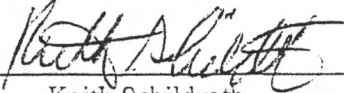
Section 5: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 9 day of Dec, 2013.

BILL NO. 8966

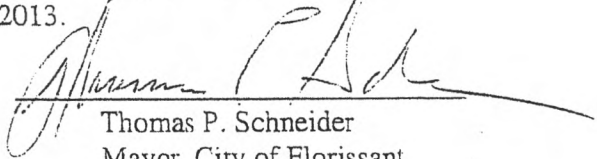
ORDINANCE NO. 8016

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Keith Schildroth
President of the Council
City of Florissant

Approved this 10 day of Dec, 2013.



Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

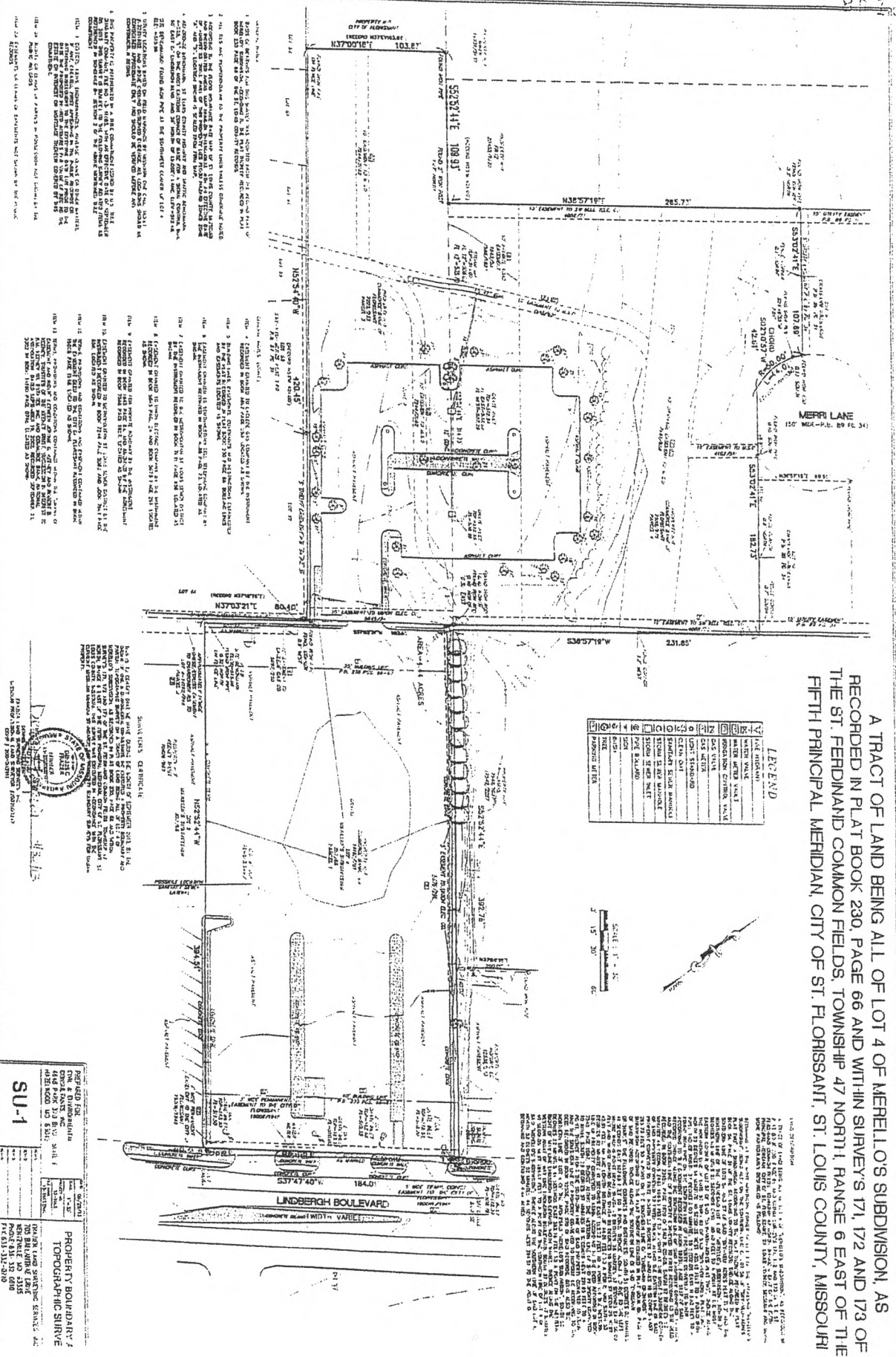


Karen Goodwin, MMC/MRCC
City Clerk

**A TRACT OF LAND BEING ALL OF LOT 4 OF MERELL'S SUBDIVISION, AS
RECORDED IN PLAT BOOK 230, PAGE 66 AND WITHIN SURVEY'S 171, 172 AND 173 OF
THE ST. FERDINAND COMMON FIELDS, TOWNSHIP 47 NORTH, RANGE 6 EAST OF THE
FIFTH PRINCIPAL MERIDIAN, CITY OF ST. LOUIS COUNTY, MISSOURI**

LEGEND

[Symbol]	1/2" WIDE DRIVE
[Symbol]	3" WIDE DRIVE
[Symbol]	OPERATION CONTROL VALE
[Symbol]	5/8" WIDE DRIVE
[Symbol]	3/4" WIDE DRIVE
[Symbol]	1" WIDE DRIVE
[Symbol]	STANDARD SINK MATERIAL
[Symbol]	STANDARD SINK MATERIAL
[Symbol]	STEEL SINK MATERIAL
[Symbol]	CONCRETE
[Symbol]	ASPHALT
[Symbol]	PAVED BALCONY
[Symbol]	STONE
[Symbol]	PAVED DRIVE



PROPERTY OF CITY OF ST. LOUIS

STREET CLOSURE

1. THE CITY OF ST. LOUIS HAS THE HONOR TO APPROVE THE PROPOSED CLOSURE OF THE WEST SIDE DRIVE AND THE WEST SIDE DRIVE DRIVE FROM THE EAST SIDE DRIVE DRIVE TO THE WEST SIDE DRIVE DRIVE...

2. THE CITY OF ST. LOUIS HAS THE HONOR TO APPROVE THE PROPOSED CLOSURE OF THE WEST SIDE DRIVE AND THE WEST SIDE DRIVE DRIVE FROM THE WEST SIDE DRIVE DRIVE TO THE WEST SIDE DRIVE DRIVE...

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PROPOSED DRIVEWAY

1. THE PROPOSED DRIVEWAY SHALL BE 12 FEET WIDE AT THE DRIVEWAY ENTRANCE AND SHALL BE 10 FEET WIDE AT THE DRIVEWAY EXIT. THE DRIVEWAY SHALL BE PAVED WITH ASPHALT AND SHALL BE 4 INCHES DEEP.

2. THE DRIVEWAY SHALL BE 10 FEET WIDE AT THE DRIVEWAY ENTRANCE AND SHALL BE 8 FEET WIDE AT THE DRIVEWAY EXIT. THE DRIVEWAY SHALL BE PAVED WITH ASPHALT AND SHALL BE 4 INCHES DEEP.

3. THE DRIVEWAY SHALL BE 8 FEET WIDE AT THE DRIVEWAY ENTRANCE AND SHALL BE 6 FEET WIDE AT THE DRIVEWAY EXIT. THE DRIVEWAY SHALL BE PAVED WITH ASPHALT AND SHALL BE 4 INCHES DEEP.

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PROPERTY BOUNDARY

TOPOGRAPHIC SURVEY

SU-1

PREPARED FOR: **CHRIS & DAVIDSON**

DATE: **NOV 2011**

PROJECT: **1313 1313**

PROF: **1313 1313**

ST. LOUIS COUNTY

PLAT BOOK 230

PAGE 66

RECORDED

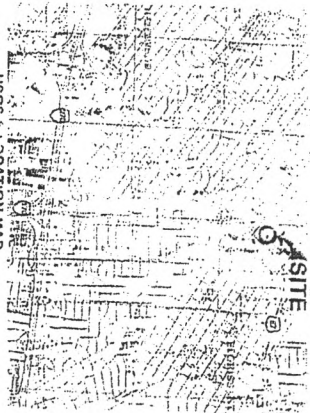
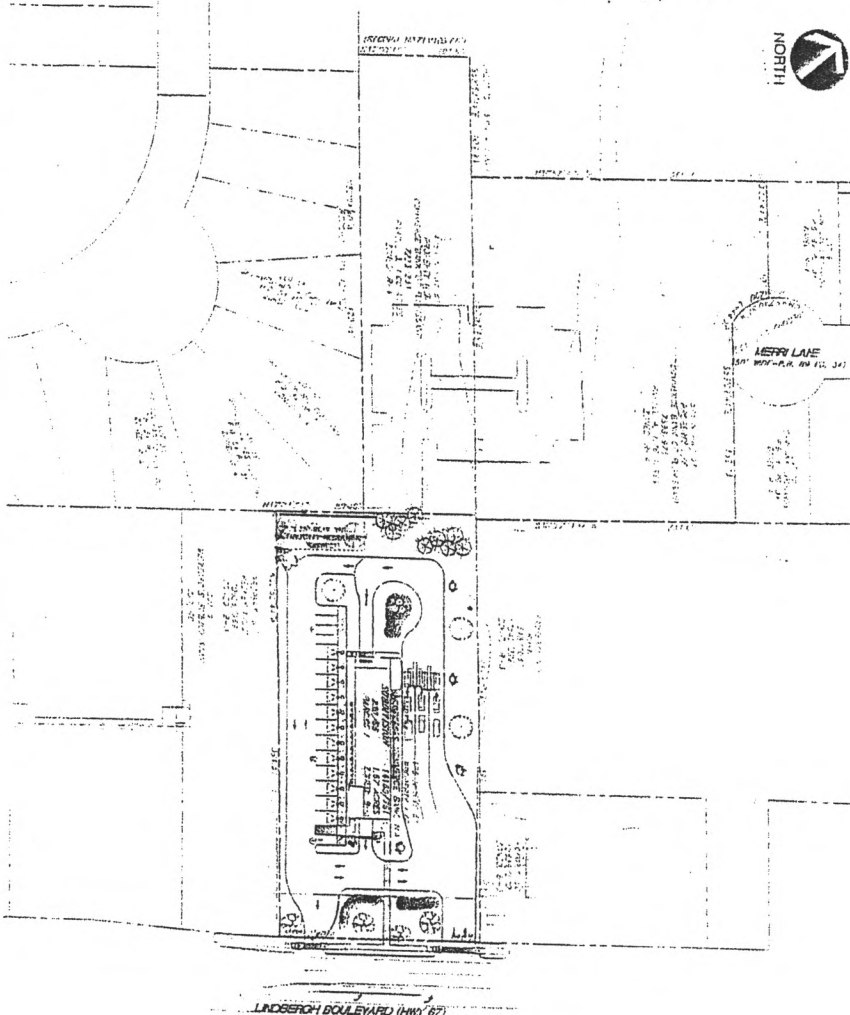
NOV 2011

LAND DESCRIPTION

A TRACT OF LAND BEING ALL OF LOT 4 OF MERLELO'S SUBDIVISION, AS RECORDED IN PLAT BOOK 230, PAGE 66 AND WITHIN SURVEYS 171, 172 AND 173 OF THE ST. FERDINAND COMMON FIELDS, TOWNSHIP 47 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF ST. LOUIS COUNTY

PRELIMINARY COMMERCIAL DEVELOPMENT PLAN

A TRACT OF LAND BEING ALL OF LOT 4 OF MERLELO'S SUBDIVISION, AS RECORDED IN PLAT BOOK 230, PAGE 66 AND WITHIN SURVEYS 171, 172 AND 173 OF THE ST. FERDINAND COMMON FIELDS, TOWNSHIP 47 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF ST. LOUIS COUNTY



DEVELOPER'S NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS PLUMBING CODE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS ELECTRICAL CODE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS MECHANICAL CODE.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS FIRE CODE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS BUILDING CODE.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS ZONING ORDINANCES.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS LANDMARKS COMMISSION REGULATIONS.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS HISTORIC PRESERVATION COMMISSION REGULATIONS.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS ENVIRONMENTAL REGULATIONS.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS PUBLIC WORKS DEPARTMENT REGULATIONS.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS HEALTH DEPARTMENT REGULATIONS.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS FIRE DEPARTMENT REGULATIONS.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS POLICE DEPARTMENT REGULATIONS.
14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS SOCIAL SERVICES DEPARTMENT REGULATIONS.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS COMMUNITY DEVELOPMENT DEPARTMENT REGULATIONS.
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS ECONOMIC DEVELOPMENT DEPARTMENT REGULATIONS.
17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS TOURISM DEPARTMENT REGULATIONS.
18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS CULTURAL HERITAGE DEPARTMENT REGULATIONS.
19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS ARTS AND RECREATION DEPARTMENT REGULATIONS.
20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. LOUIS PARKS AND RECREATION DEPARTMENT REGULATIONS.

SHEET INDEX

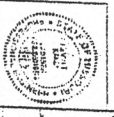
1. COVER SHEET
2. PROPOSED SITE PLAN IMPROVEMENT
3. SURVEY
4. LANDSCAPE PLAN
5. LIGHTING
6. UTILITIES
7. LOT 1

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PENNER PATTERSON ASSOCIATES
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FAX: 314-351-1100
WWW: WWW.PENNERPATTERSON.COM



TOMMY'S CARWASH
475 N HWY 67
FLORISSANT, MO 63001
COVER

WALLIS PETROLEUM
106 EAST WASHINGTON
ST. LOUIS, MO 63102

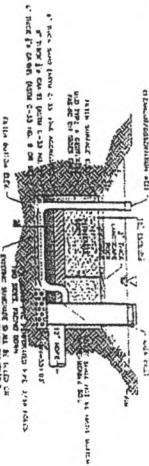
CEC
Civil & Environmental Consultants, Inc.

NO.	DATE	REVISION
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2	08/11/03	ISSUED FOR PERMITTING
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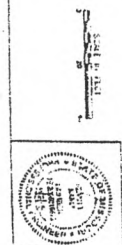
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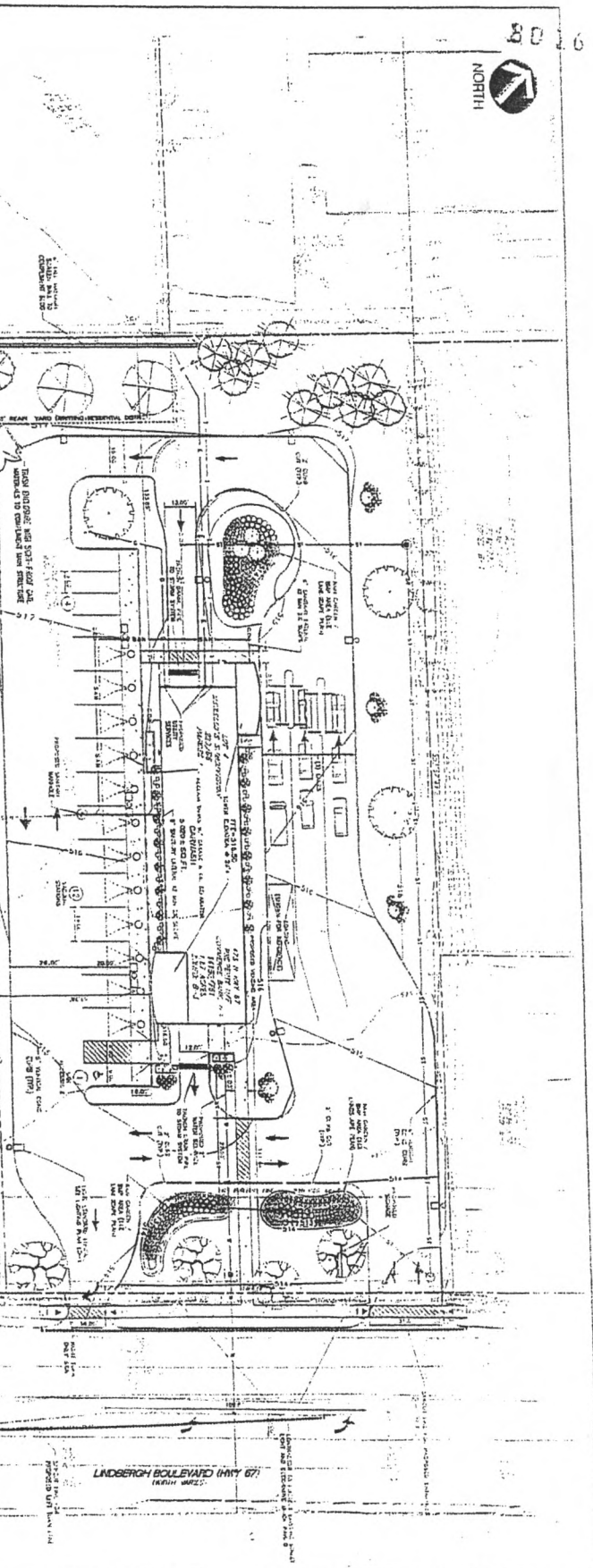
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 David L. Smith
 State of Missouri
 License No. 10000

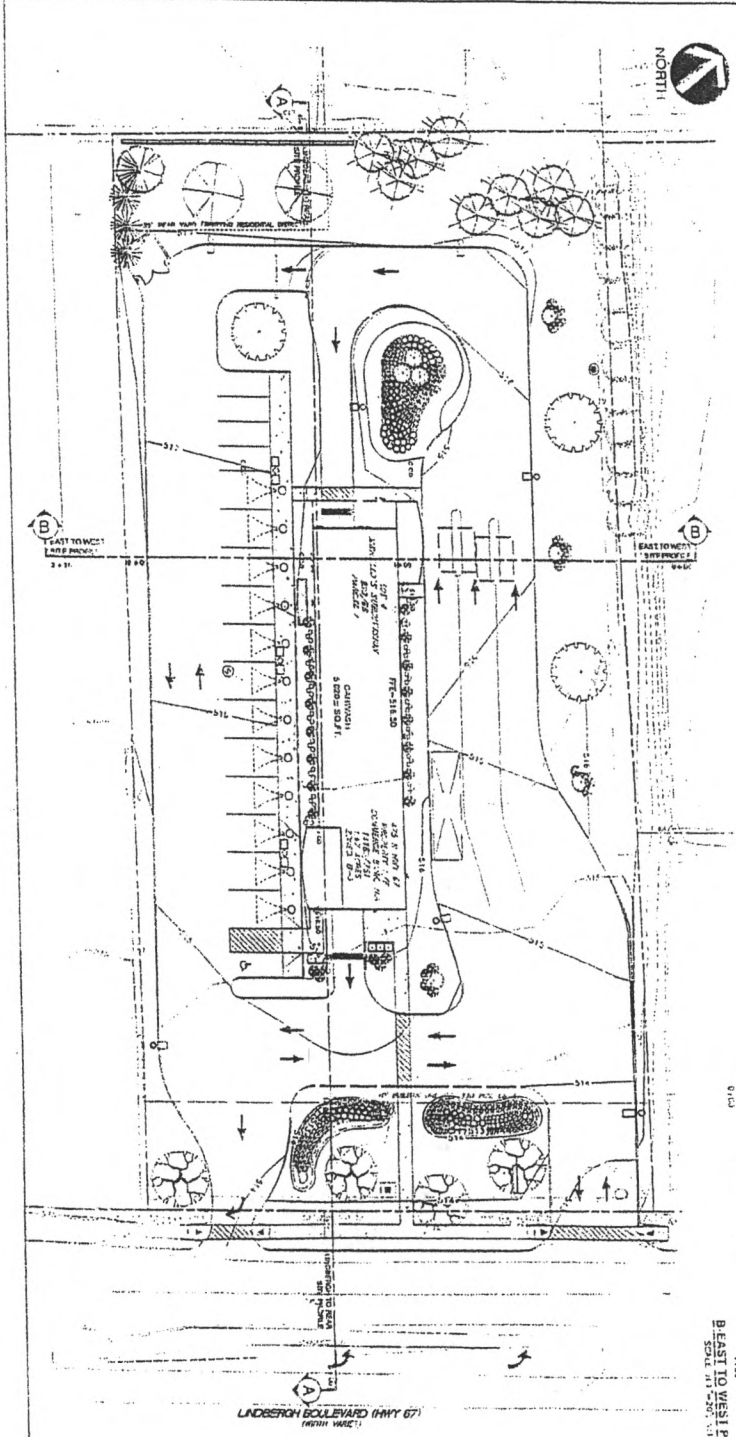
TOMMY'S CARWASH
 475 N HWY 67
 FLORISSANT, MO 63031
 SITE IMPROVEMENT PLAN

WALLIS PETROLEUM
 106 EAST WASHINGTON
 CURB IMPROVEMENT PLAN

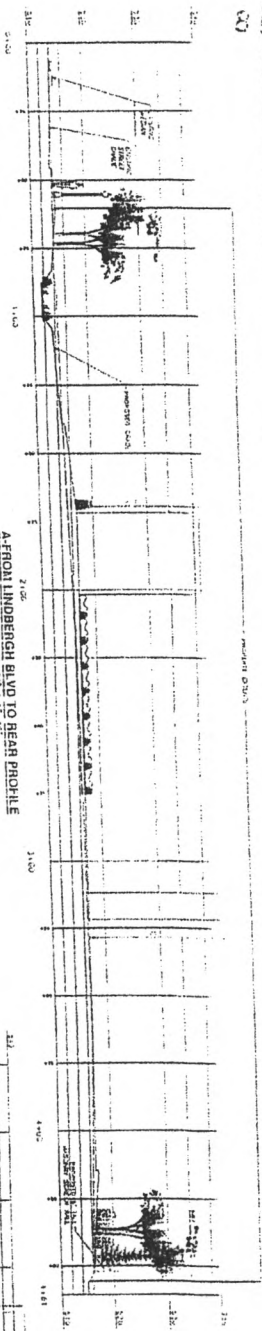


Civil & Environmental Consultants, Inc.

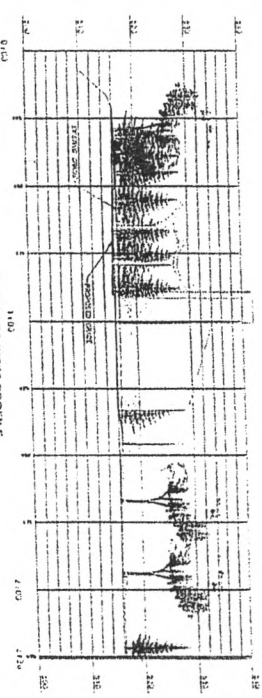
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2	DESCRIPTION: SUBMITTAL
3	DATE: 08/11/11
4	DESCRIPTION: REVISIONS



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SCALE: 1" = 20'



B EAST TO WEST
SCALE: 1" = 20'



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TOMMY'S CARWASH
475 N HWY 67
FLORISSANT, MO 63031
SITE SECTION:

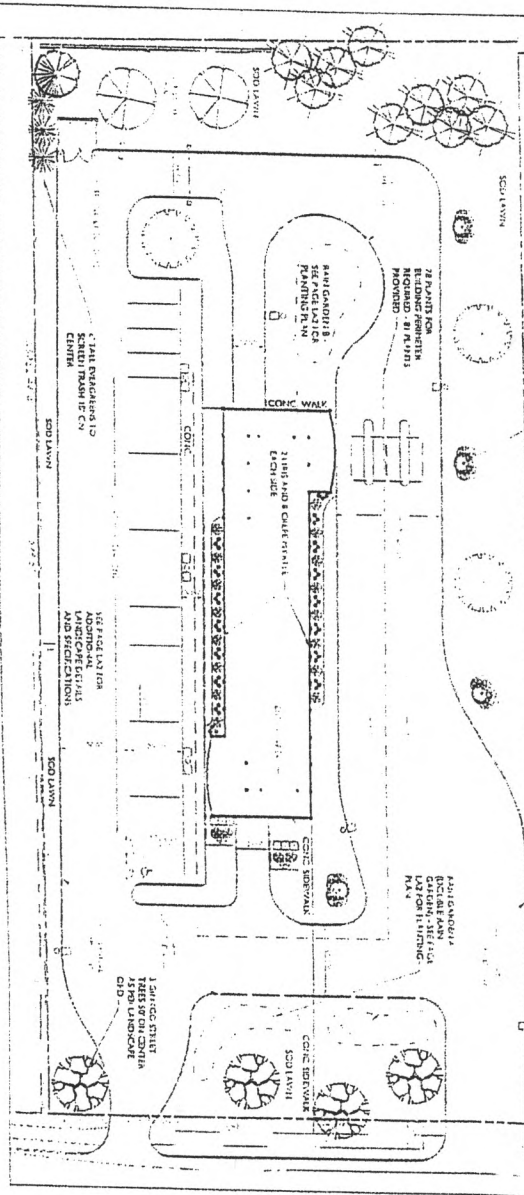
WALLIS PETROLEUM
106 EAST WASHINGTON
FLORISSANT, MO 63031

Civil & Environmental Consultants, Inc.

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PLANTING PLAN

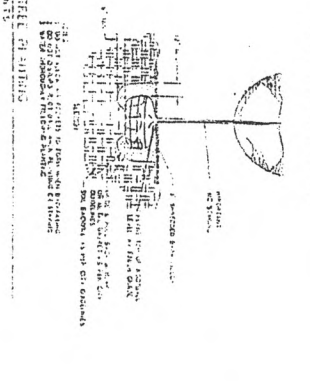
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MOUNTAIN VIEW AND WASHINGTON
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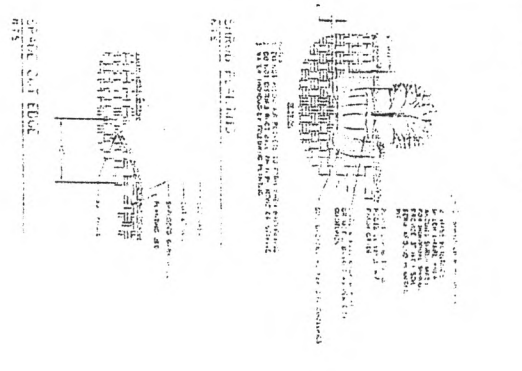
PLANT LIST AND SYMBOL KEY

- 1. QUANTITY - QUANTITY OF PLANTS TO BE PLANTED
- 2. PLANT SYMBOL - PLANT SYMBOL TO BE USED
- 3. PLANT NAME - PLANT NAME TO BE USED
- 4. PLANT SIZE - PLANT SIZE TO BE USED
- 5. PLANT SPECIES - PLANT SPECIES TO BE USED
- 6. PLANT COLOR - PLANT COLOR TO BE USED
- 7. PLANT TYPE - PLANT TYPE TO BE USED
- 8. PLANT HEIGHT - PLANT HEIGHT TO BE USED
- 9. PLANT WIDTH - PLANT WIDTH TO BE USED
- 10. PLANT DEPTH - PLANT DEPTH TO BE USED
- 11. PLANT WEIGHT - PLANT WEIGHT TO BE USED
- 12. PLANT VALUE - PLANT VALUE TO BE USED
- 13. PLANT AVAILABILITY - PLANT AVAILABILITY TO BE USED
- 14. PLANT MATURE SIZE - PLANT MATURE SIZE TO BE USED
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- 16. PLANT DISEASE RESISTANCE - PLANT DISEASE RESISTANCE TO BE USED
- 17. PLANT PEST RESISTANCE - PLANT PEST RESISTANCE TO BE USED
- 18. PLANT TOLERANCE - PLANT TOLERANCE TO BE USED
- 19. PLANT ADAPTABILITY - PLANT ADAPTABILITY TO BE USED
- 20. PLANT LONGEVITY - PLANT LONGEVITY TO BE USED
- 21. PLANT FLORAL DISPLAY - PLANT FLORAL DISPLAY TO BE USED
- 22. PLANT FRAGRANCE - PLANT FRAGRANCE TO BE USED
- 23. PLANT TEXTURE - PLANT TEXTURE TO BE USED
- 24. PLANT COLOR CHANGE - PLANT COLOR CHANGE TO BE USED
- 25. PLANT SEASONAL INTEREST - PLANT SEASONAL INTEREST TO BE USED
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PLANTING DETAILS



PLANTING DETAILS



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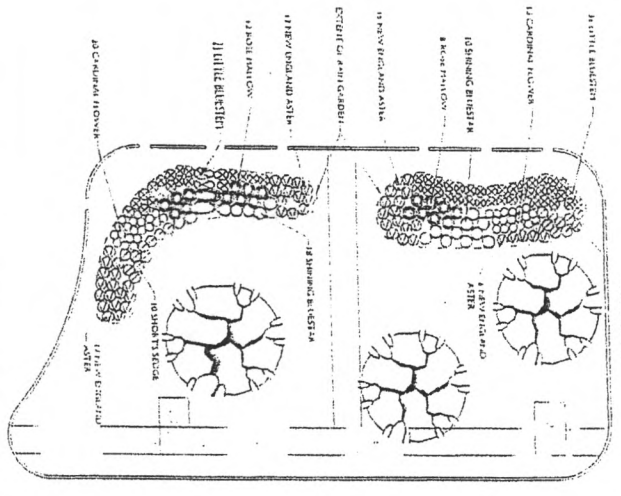
TOMMY'S CARWASH
475 N HWY 67
FLORISSAULT, MO 63031
LANDSCAPE PLAN

WALLIS PETROLEUM
106 EAST WASHINGTON
DUBA, MISSOURI

Civil & Environmental Consultants, Inc.

REVISION RECORD table with columns for NO., DATE, and DESCRIPTION.

RAIN GARDEN A (DOUBLE RAIN GARDEN) SCALE 1"=10'



RAIN GARDEN A (DOUBLE RAIN GARDEN) SCALE 1"=10'

QUANTITY: QUANTITY (PLANT NAME) / SIZE

PLANT NAME QUANTITY

11 WHITE BIRCH 12

12 NEW ENGLAND ASH 12

13 RED TWIG DOGWOOD 12

14 SPRING BIRCH 12

15 SPRING BIRCH 12

16 SPRING BIRCH 12

17 SPRING BIRCH 12

18 SPRING BIRCH 12

19 SPRING BIRCH 12

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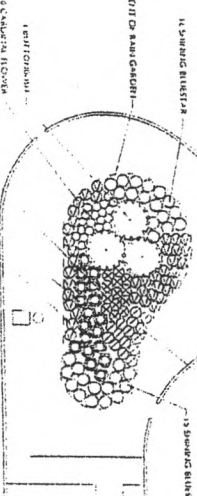
31 SPRING BIRCH 12

32 SPRING BIRCH 12

33 SPRING BIRCH 12

TOTAL PLANT COUNT: 212

RAIN GARDEN B SCALE 1"=10'



RAIN GARDEN B (SCALE 1"=10')

QUANTITY: QUANTITY (PLANT NAME) / SIZE

PLANT NAME QUANTITY

11 WHITE BIRCH 12

12 NEW ENGLAND ASH 12

13 RED TWIG DOGWOOD 12

14 SPRING BIRCH 12

15 SPRING BIRCH 12

16 SPRING BIRCH 12

17 SPRING BIRCH 12

18 SPRING BIRCH 12

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100 SPRING BIRCH 12

TOTAL PLANT COUNT: 212

CALL BEFORE YOU DIG
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FOR EXISTING UTILITIES

HOBOT UTILITY 313-238-1100
LOCALITIES



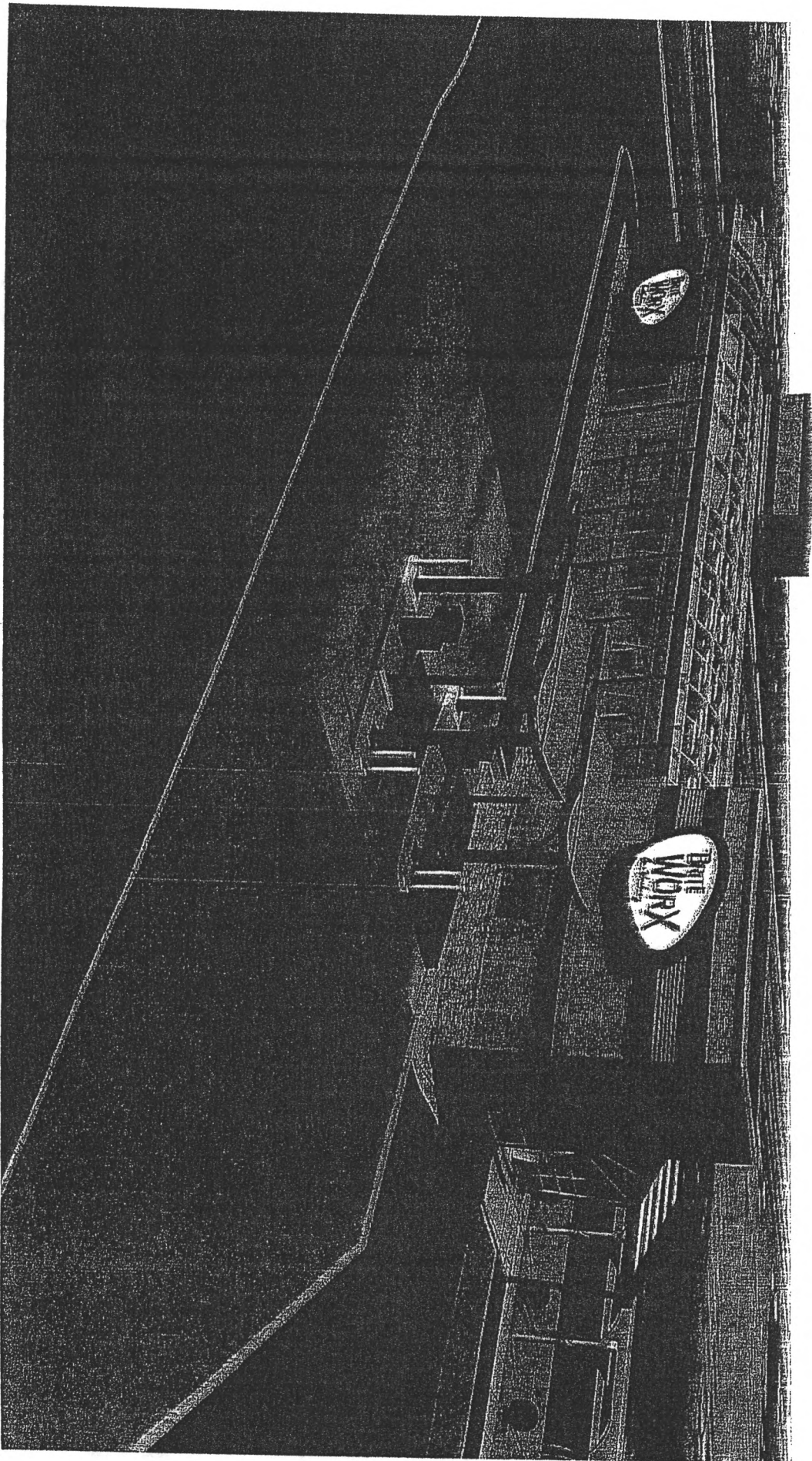
TOMMY'S CARWASH
475 N HWY 67
FLORISSANT, MO 63021
LANDSCAPE PLAN

WALLIS PETROLEUM
106 EAST WASHINGTON
CUBA, MISSOURI 65453

Civil & Environmental Consultants, Inc.
CERTIFICATION LICENSE NO. 2002012042

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99		
100		

8016



DEVELOPMENT NOTES

1. PARCEL 475 NORTH HWY 67 - #06821450
2. AREA FOR B-5 ADJUTMENT: 0.33 ACRES
3. CURRENT ZONING: B-5 PLANNED COMMERCIAL DISTRICT
4. DISTURBED AREA: 0.31 AC
5. LOT AREA: 101,500 SQ FT
6. FLOOR AREA: 101,500 SQ FT
7. FLOOD PLAIN INFORMATION: BASE MAP SHOWN. HYDROLOGICAL MAP REVISED AUGUST 23, 2000. THE TRACT LIES WITHIN ZONE A WITH A SMALL PORTION IN ZONE A. ZONE A IS DEEMED AS THE 100 YEAR FLOODPLAIN WITH NO BASE FLOOD ELEVATION DETERMINED.

B-5 AMENDMENT OF BRITEWORX VACUUM ADDITION

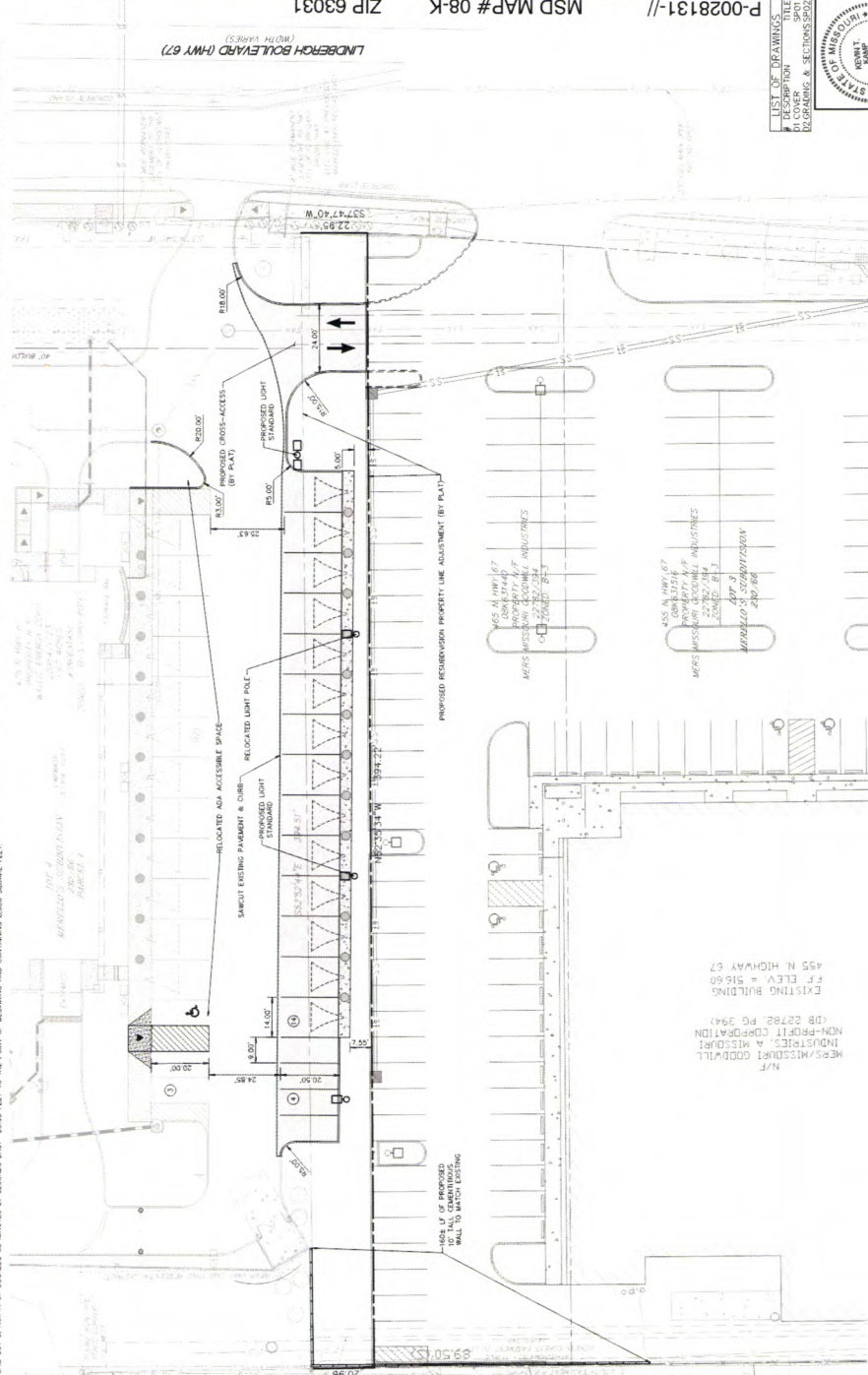
A TRACT OF LAND BEING ALL OF LOT 4 OF MERELLO'S SUBDIVISION AS RECORDED IN PLAT BOOK 230, PAGE 66 AND WITHIN SURVEYS 171, 172, AND 173 OF THE ST. FERDINAND COMMON FIELDS, TOWNSHIP 47 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF ST. FLORISSANT, ST. LOUIS COUNTY, MISSOURI

LAND DESCRIPTION

A TRACT OF LAND BEING ALL OF LOT 4 OF MERELLO'S SUBDIVISION, AS RECORDED IN PLAT BOOK 230, PAGE 66, TOWNSHIP 47 NORTH, RANGE 6 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF ST. FLORISSANT, ST. LOUIS COUNTY, MISSOURI. THE TRACT LIES WITHIN ZONE A WITH A SMALL PORTION IN ZONE A. ZONE A IS DEEMED AS THE 100 YEAR FLOODPLAIN WITH NO BASE FLOOD ELEVATION DETERMINED.



USGS & LOCATION MAP
USGS 7.5 TOPOGRAPHIC MAP, FLORISSANT QUADRANGLE, MISSOURI, 2017, SCALE 1" = 2,000'



REVISION RECORD

NO.	DATE	DESCRIPTION
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PROFESSIONAL SEAL

STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 NUMBER 000000000
 EXPIRES 12/31/2025
 KEVIN KAMP ENGINEER
 PE - 2006019870
 HAND SIGNATURE ON FILE

LIST OF DRAWINGS

NO.	DESCRIPTION	DATE
1	COVER	
2	FLORISSANT, MO 63031	
3	475 NORTH HIGHWAY 67	
4	BRITEWORX B-5 ADJUTMENT	

WALLIS COMPANIES
 CUBA, MISSOURI 65453
 PHONE: (636) 549-1600
 FAX: (636) 257-7483
 ZIP 63031

WALLIS COMPANIES
 CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
 CERTIFICATION LICENSE NO. 2002013942
 4848 PARK 370 BLD. SUITE F - HAZARDWOOD, MO 63042
 314-656-5566 - 866-250-3579
 WWW.WALLIS.COM

CALL BEFORE YOU DIG!
 1-800-DIG-RITE
 #0522 TRUCKEY 132016022

1 INTRODUCED BY COUNCILMAN JONES
2 JUNE 25, 2018

3
4
5 BILL NO. 9395

ORDINANCE NO.

6
7 **ORDINANCE TO AUTHORIZE A SPECIAL PERMIT TO MERS/MISSOURI**
8 **GOODWILL INDUSTRIES D/B/A GOODWILL TO ALLOW FOR THE**
9 **LOCATION OF A POST SIGN AT A RETAIL ESTABLISHMENT FOR THE**
10 **PROPERTY LOCATED AT 455 N. HIGHWAY 67.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Permit, after public hearing thereon, to permit the location of a post sign; and

14 WHEREAS, an application has been filed by Goodwill Industries d/b/a Goodwill to allow for the
15 location of a post sign at a retail establishment for the property located at 455 N. Hwy 67; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of
17 May 29th, 2018 has recommended that the said Special Use Permit be denied; and

18 WHEREAS, due notice of public hearing no. 18-06-021 on said application to be held on June 11,
19 2018, 2018 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and
20 concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful consideration,
22 has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best
23 interest of the City of Florissant.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26
27 Section 1: Special Permit to allow for the location of a post sign at a retail establishment (MERS
28 Goodwill) at 455 N. Highway 67 in a B-3 Zoning District is hereby granted, as depicted on the attached
29 plans BB11116.4, dated 11/27/18 and site plan - dated 1/9/18 by Warren Signs showing the proposed
30 located subject to the conditions set forth below with these conditions being part of the record:

31
32 **PROJECT COMPLETION.**

33 Construction shall start within 60 days of the issuance of building permits the project shall be
34 developed in accordance of the approved amendments to the final development plan within 180 days of
35 start of construction.
36

37 Section 2: This ordinance shall become in force and effect immediately upon its passage and
38 approval.

39
40

41 Adopted this _____ day of _____, 2018.

42
43
44

Jeff Caputa
President of the Council
City of Florissant

45
46
47
48

49 Approved this _____ day of _____, 2018.

50
51
52

Thomas P. Schneider
Mayor, City of Florissant

53
54
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56

57 ATTEST:

58
59

Karen Goodwin, MMC/MRCC
City Clerk

60
61

CITY OF FLORISSANT

Public Hearing



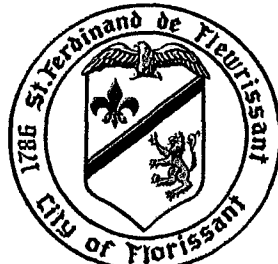
In accordance with Section 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, June 11, 2018 at 7:30 p.m. on the following proposition:

To authorize a Special Permit to MERS/Missouri Goodwill Industries d/b/a Goodwill to allow for the location of a post sign at a retail establishment for the property located at 455 N. Highway 67 in a B-3 Zoning District (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk

pd
5-16-18 300⁰⁰
Receipt 609704

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

**RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN**

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN [Signature] **DATE** 5-21-18
SPECIAL PERMIT FOR Install one 25' tall / 99.7 SF illuminated pole sign
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 455 N. Highway 67, Florissant, MO 63031
Address of property.

1) Comes Now Mers Goodwill c/o Warren Sign Co.
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Owner Sign Company
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Commercial Retail and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit: See Separate Sheet (If more space is needed, separate sheets maybe attached)

Bill Behrens / bbehrens@warrensign.com 636-282-1300
PRINT NAME SIGNATURE email and phone

FOR Mers Goodwill
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.

2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE [Signature]

ADDRESS 1727 Locust Street, St. Louis, MO 63103
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-486-5302 / jrybak@mersgoodwill.org
BUSINESS

I (we) the petitioner (s) do hereby appoint Bill Behrens, Warren Sign Co. as

my (our) duly authorized agent to represent me (us) in regard to this petition.
Print name of agent.

[Signature]
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners MERS/Missouri Goodwill Industries

(2) Telephone numbers (314) 241-3464

(3) Business address 1727 Locust Street, St. Louis, MO 63103

(4) State of Incorporation & a photocopy of incorporation papers Missouri

(5) Date of Incorporation 1939

(6) Missouri Corporate Number N00028561

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. N/A

(8) Name in which business is operated MERS/Missouri Goodwill Industries (Goodwill)

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information. N/A

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Mers Goodwill
Address 455 N. Highway 67, Florissant, MO 63031
Property Owner Mers Goodwill c/o Jason Rybak
Location of property North corner at intersection of Charbonier Rd. & Lindbergh Blvd.
Dimensions of property _____
Property is presently zoned _____ Requests Rezoning To _____
Proposed Use of Property Retail / Commercial
Type of Sign Ground / Pole Height 25'
Type of Construction _____ Number Of Stories _____
Square Footage of Building _____ Number of Curb Cuts _____
Number of Parking Spaces _____ Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

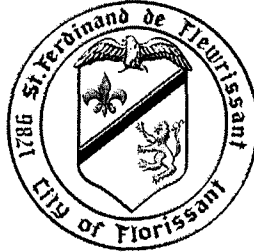
Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature

1

MEMORANDUM



2

CITY OF FLORISSANT

3

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

4

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To: Planning and Zoning Commissioners Date: May 16, 2018

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr.-P.E.
PWLF, Director Public Works
Applicant,
File

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Subject: Request recommended approval of a Special Use Permit to allow for the location of a post sign at a retail establishment (**MERS Goodwill**) at **455 North Highway 67** in an existing 'B-3' Zoning District.

17

18

STAFF REPORT

18

CASE NUMBER PZ-052118-1

19

20

21

I. PROJECT DESCRIPTION:

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This request for Request recommended approval of a Special Use Permit to allow for the location of a post sign at a retail establishment (**MERS Goodwill**) at **455 North Highway 67** in an existing 'B-3' Zoning District.

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II. EXISTING SITE CONDITIONS:

The existing address at **455 N. Highway 67** has been vacant since the closing of the Sears store. Building permits have been issued for other signage consistent with the City sign code.

The property per public record is 2.2 acres at 455 and an additional 0.81 acres at 465 N. Hwy 67. The building was built in 1977 and contains 25,432 s.f. There are 154 parking spaces, 102 required.

III. SURROUNDING PROPERTIES:

The property is bounded by residentially zoned properties to the West and the property at the corner is in a 'B-3' District adjacent to the site. The property to the North is the Briteworx Carwash which is in a 'B-5' Zoning District.

36

37

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40

41 **IV. STAFF ANALYSIS:**

42 1. The application is accompanied by a Sign plans BB11116.4, dated 11/27/18, Site Plan
43 by Warren Sign and Site Plan dated 1/9/18 by by Warren Sign showing the proposed
44 location and landscape plan for reference, attached.

45
46 2. Signs. The wall signs in compliance with the sign code were issued permits along
47 with the following signs approved by the Commission on 1/16/18:

48 a. East Goodwill roof sign mounted to the canopy was reduced to 100 s.f.
49 to comply with roof sign requirements.

50 b. Another East Goodwill individual letter sign at 71 s.f.x0.67 = 47.5 s.f.

51

52 3. Post sign would need a Special Use Permit for this location per the sign code:

53 *"Section 520.090 Post Signs.*

54 *[Code 1980 §23-9; CC 1990 §5-199]*

55 *A. No post sign shall extend downward nearer than ten (10) feet to the ground or pavement unless*
56 *such sign is so located on the premises where there is no walk or drive-in traffic. Such excepted sign shall*
57 *not extend downward nearer than six (6) feet six (6) inches to the ground level. All post signs shall be*
58 *constructed of sheet metal or other non-combustible materials. Post signsshall be constructed and braced*
59 *to withstand a horizontal wind pressure of not less than thirty (30) pounds for every square foot of surface*
60 *exposed and shall be securely attached to the pole or post in an approved manner. No post sign erected on*
61 *private property shall extend more than four (4) feet six (6) inches from the building line, including*
62 *attachment irons and the like, unless the sign is less than four (4) feet six (6) inches in height, in which case*
63 *the maximum projection shall be six (6) feet six (6) inches from the building line. No post sign shall exceed*
64 *twenty-five (25) feet in height.*

65 *B. Post signs are prohibited on shopping centers; but a special permit authorizing the location of a*
66 *post sign may be issued by the Council if the Council finds that the issuance of such permit shall*
67 *alleviate a hardship and is not simply for the convenience of the applicant, that such*
68 *proposed sign would be consistent with good planning practices, can be maintained in a manner which*
69 *is visually compatible with the use of the property in the surrounding area and other sign structures*
70 *within the surrounding area and is not located in the historic district.*

71

72 **VI. STAFF RECOMMENDATIONS:**

73 **Suggested Motion 455 N. Highway 67**

74

75 I move to recommend approval of a Special Use Permit to allow for the location
76 of a post sign at a retail establishment (**MERS Goodwill**) at **455 North Highway**
77 **67** in an existing 'B-3' Zoning District, as depicted on the attached plans
78 BB11116.4, dated 11/27/18 and Site Plan by Warren Sign and Site Plan dated
79 1/9/18 by Warren Sign showing the proposed location subject to the conditions set
80 forth below with these conditions being part of the record:

81

82 1. PROJECT COMPLETION.

83

84 Construction shall start within 60 days issuance of building permits and
85 the project and shall be developed in accordance of the approved
86 amendments to the final development plan within 180 days of start of
87 construction.

88

(end report and suggested motion)

IF YOU CAN READ THIS ON A PRINT, THE DRAWING HAS NOT BEEN PRINTED IN SCALE. SELECT - ACTUAL SIZE - FROM YOUR PDF PRINT OPTIONS.

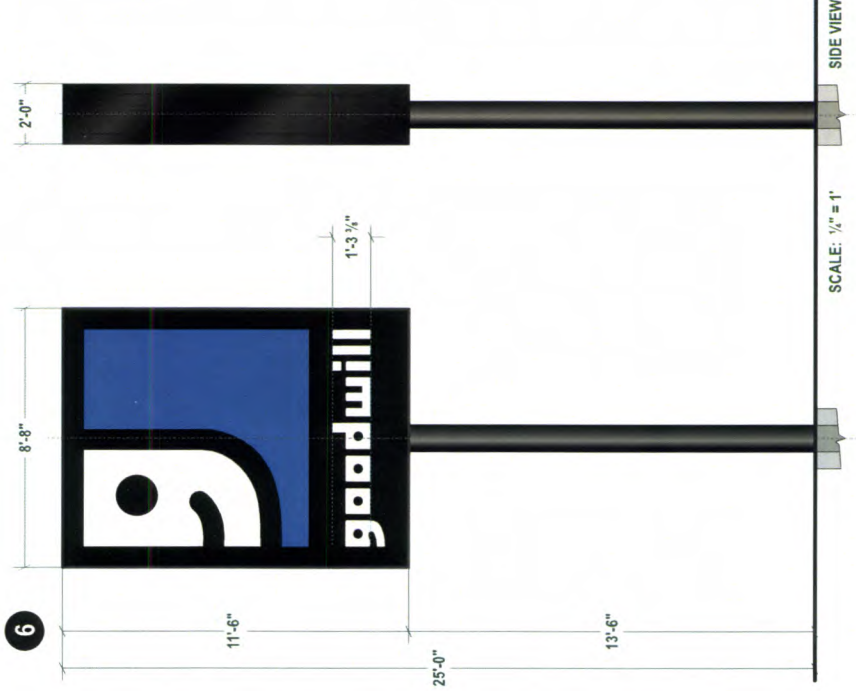
St. Louis' Largest Sign Contractor Delivering Quality Since 1929

99.7sf D/F Internally Illuminated Pole Sign

FABRICATE & INSTALL ONE DOUBLE FACE ID. CABINET SIGN ON NEW POLE.
CABINET: ALL ALUMINUM CONSTRUCTION - BLEED TO EDGE FLEX FACES. PAINT CABINET MAP BLACK. MOUNT WHITE LED MODULES INSIDE CABINET AS REQD. FOR EVEN FACE ILLUMINATION. DECORATE WHITE FLEX FACE MATERIAL W/ 3M TRANSLUCENT VINYL DIE-CUT FILM.
POWER: 120V CIRCUIT TO SIGN BY OTHERS BEFORE INSTALLATION. WARREN SIGN TO MAKE FINAL CONNECTION. SIGN IS UL LISTED.
POLE: 10" DIA. STEEL POLE. PRIME & PAINT BLACK TO MATCH CABINET.
INSTALLATION: CABINET SLIDES OVER SINGLE STEEL POLE SET INTO 2'-6" DIA. x 7'-8" DEEP CONCRETE FOOTINGS. STEEL SADDLES MECHANICALLY FASTENED TO SIGN FRAME WELD TO POLE.

SIGN AREA: 11'-6" (138") x 8'-8" (104") = 14,352/144 = 99.7sf

■ 3M 3630-167 ■ 3M 3630-22 / BLACK



SITE MAP W/ PROPOSED LOCATION OF POLE SIGN. SETBACK TBD. SCALE: NTS



WARREN SIGN
 2956 Arnold Ironbrook Rd.
 P. 636-282-1900 F. 636-282-3388

CLIENT: Goodwill
 PROJECT: Springs - New Facility
 LOCATION: 455 N. Hwy 67, Florissant, MO 63031
 DATE: 11.27.2017
 SAVED AS: Goodwill\455 N 67\New Facility
 DRAWING NO.: 88116174
 REVISED: 12/11/17 ENLARGED Pylon
 REVISED: 12/18/17 SINGLE POLE
 REVISED: 01/09/18 LOCATION
 REVISED: 01/09/18 LOCATION
 DESIGNED BY: SAW



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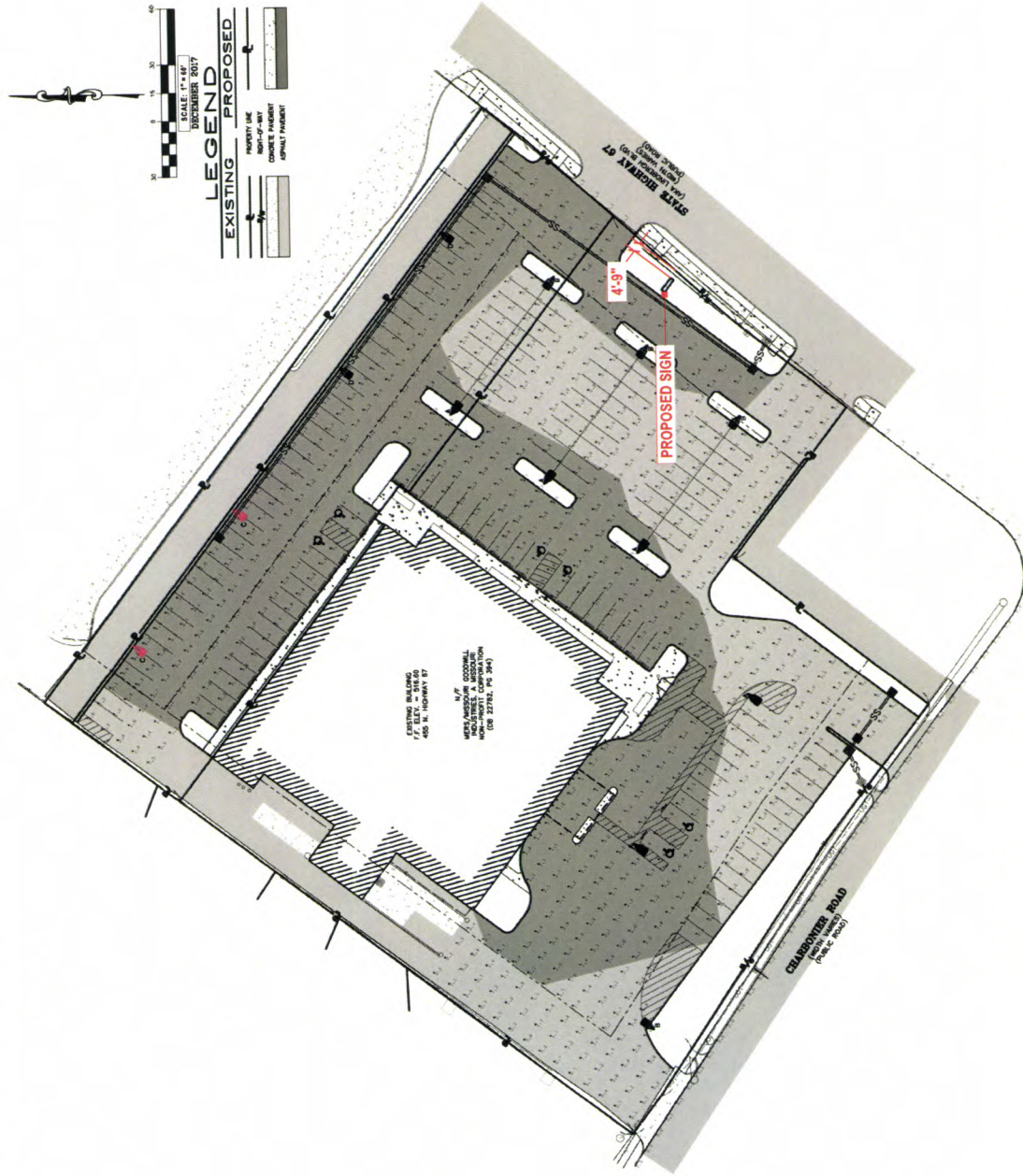
warrensign.com

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

IF YOU CAN READ THIS ON A PRINT, THE DRAWING HAS NOT BEEN PRINTED IN SCALE. SELECT - ACTUAL SIZE - FROM YOUR PDF PRINT OPTIONS.



IF YOU CAN READ THIS ON A PRINT, THE DRAWING HAS NOT BEEN PRINTED IN SCALE. SELECT - ACTUAL SIZE - FROM YOUR PDF PRINT OPTIONS.



WARREN SIGN
 2855 Arnold Timberoad Rd.
 St. Louis, MO 63114
 P: 636-292-1300 F: 636-292-3388

CLIENT: Goodwill
 PROJECT: Signage - New Facility
 LOCATION: 455 N. Hwy 67, Florissant, MO 63031
 DATE: 01.09.2018
 SAVED AS: Goodwill\455 N 67.SP
 DRAWING NO.: 8811147.SP
 REVISED: []
 REVISED: []
 REVISED: []
 DESIGNED BY: SAW



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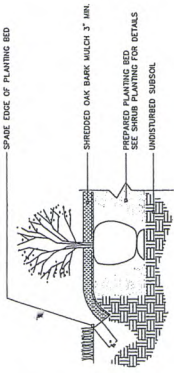
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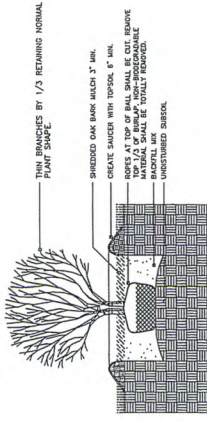
IF YOU CAN READ THIS ON A PRINT, THE DRAWING HAS NOT BEEN PRINTED IN SCALE. SELECT - ACTUAL SIZE - FROM YOUR PDF PRINT OPTIONS.



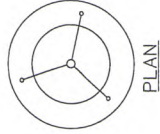
LANDSCAPING PLAN



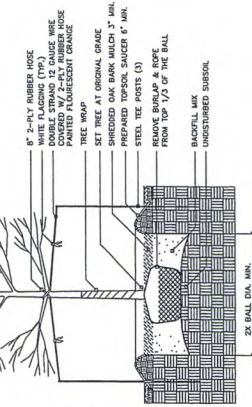
SPADE-EDGE DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

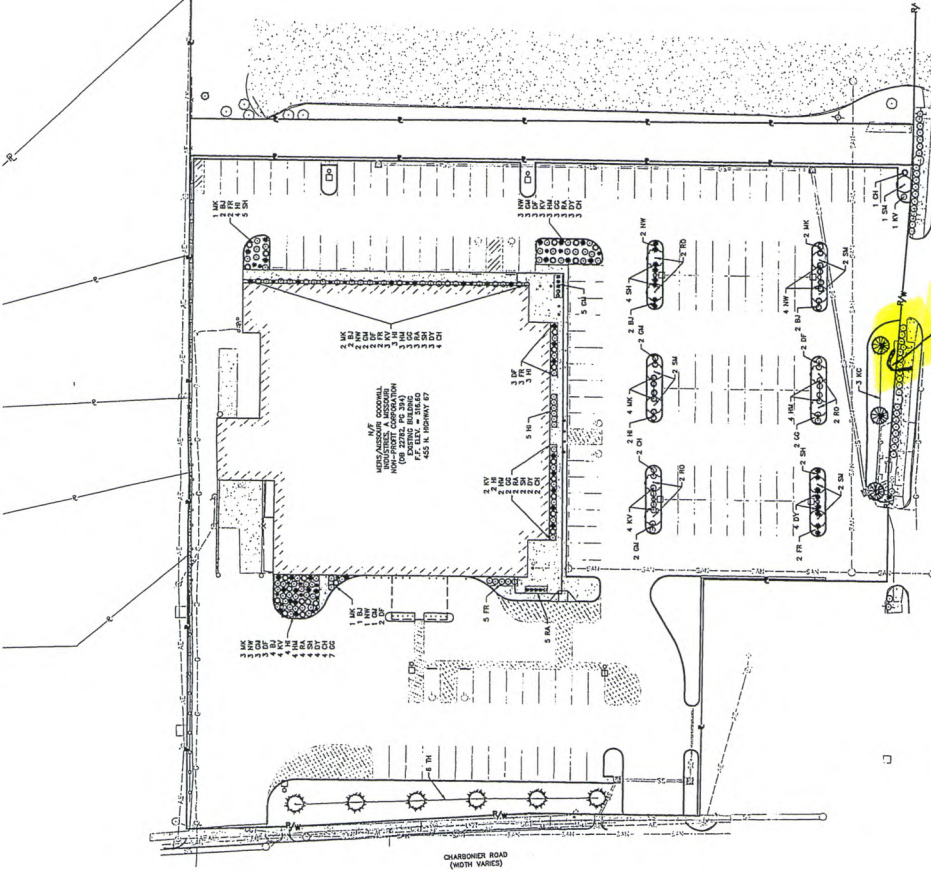


PLAN



DECIDUOUS TREE PLANTING DETAIL
N.T.S.

OWEN/DEPELOER
MERSGOODWILL
1727 LOCUST ST.
ST. LOUIS, MISSOURI 63103



LANDSCAPING RECOMMENDATIONS:
LANDSCAPING SHALL COMPLY WITH CHAPTER 605 OF THE CITY CODE.
PROVIDE 5% SLOPE FOR HANDICAP ACCESS.
SPACE (1/2" / 1/4" DIA.) - 1/4" DIA. 5' PROVIDED.
STREET TREE RECOMMENDATIONS:
15 TREES PROVIDED.
BARRIER REPAIRS/REPLACEMENTS: 15 FEET
LANDSCAPE BUFFER WITH ANY/NO BEE PROOF FENCE
PROVIDED. EXISTING FENCE
REPAIRS TO BE MADE TO ANY FENCE OR EXISTING WALL
PROVIDED. NO PLANTS

PLANT NAME	PLANT SIZE	QUANTITY
1. PLANT NAME	PLANT SIZE	QUANTITY
2. PLANT NAME	PLANT SIZE	QUANTITY
3. PLANT NAME	PLANT SIZE	QUANTITY
4. PLANT NAME	PLANT SIZE	QUANTITY
5. PLANT NAME	PLANT SIZE	QUANTITY
6. PLANT NAME	PLANT SIZE	QUANTITY
7. PLANT NAME	PLANT SIZE	QUANTITY
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9. PLANT NAME	PLANT SIZE	QUANTITY
10. PLANT NAME	PLANT SIZE	QUANTITY
11. PLANT NAME	PLANT SIZE	QUANTITY
12. PLANT NAME	PLANT SIZE	QUANTITY
13. PLANT NAME	PLANT SIZE	QUANTITY
14. PLANT NAME	PLANT SIZE	QUANTITY
15. PLANT NAME	PLANT SIZE	QUANTITY
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22. PLANT NAME	PLANT SIZE	QUANTITY
23. PLANT NAME	PLANT SIZE	QUANTITY
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50. PLANT NAME	PLANT SIZE	QUANTITY

approx location of pole sign

CHANN CONSULTANTS
528-232-6226 (fax)
528-237-9550 (tel)
www.channconsultants.com

North Office
814 N. Main Street
Metairie, Missouri 63055

South Office
1620 E. Highway 20
Wichita, Missouri 67201

Services:
• Master Planning
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• Site Development
• Architecture
• Land Engineering
• Civil Engineering

Professional Seals:
Missouri State Certificate
Professional Engineer
Professional Surveyor
Professional Landscaper

FEBRUARY 2018
SCALE: 1" = 30'

MERSGOODWILL ARCHITECTS
308 N. 5th Street
St. Louis, Missouri 63101
(314) 621-8888

SITE IMPROVEMENT PLANS
MERS GOODWILL
FLORISSANT, MISSOURI

DATE: FEB. 2018
SCALE: 1" = 30'
PROJECT: 17-7399B
DRAWN BY: JWG
CHECKED BY: JWG
DATE: FEB. 2018

BASE MAP: ORIC
18MSD-00061
C70

CALL OR ORDER BARS BEFORE YOU DIG!
1-800-488-8611
MISSOURI
www.missouripotential.com

1 INTRODUCED BY COUNCILMAN CAPUTA
2 JUNE 25TH, 2018

3
4 BILL NO. 9396

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO B-5 ORDINANCE**
7 **NO. 7998 FOR KKHELOP LIMITED PARTNERSHIP TO ALLOW FOR A**
8 **MASONRY BUILDING ADDITION AND ACCESS DRIVEWAY IN AN**
9 **EXISTING B-5 ZONING DISTRICT FOR THE PROPERTY LOCATED AT**
10 **3524 PATTERSON ROAD.**

11
12 WHEREAS, as a result of annexation the 3524 was converted to a B-5 Zoning district;
13 and

14 WHEREAS The City Council passed and approved B-5 Ordinance No. 7998 which
15 authorized a restaurant in the existing B-5 development at 3524 Patterson; and

16 WHEREAS, ordinance no. 7998 was further amended by ordinance no. 8316 to allow for
17 an ice machine kiosk on the parking lot of 3524 Patterson; and

18 WHEREAS, the Kkhelsop Limited Partnership has applied to allow for a masonry
19 building addition and access driveway for the existing B-5 District located at 3524 Patterson; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
21 recommended to the City Council at their meeting of June 4th, 2018 that Ordinance No. 7998 be
22 amended to allow for a building addition and access driveway; and

23 WHEREAS, due and lawful notice of public hearing no. 18-06-022 on said proposed
24 change was duly published, held and concluded on 25th day of June, 2018 by the Council of the
25 City of Florissant; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 deliberation, has concluded that the amendment of Ordinance No. 7998, as hereinafter set forth,
28 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

29
30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32
33 Section 1: B-5 Ordinance No. 7998 is hereby amended to allow for a masonry building
34 addition and access drive at 3524 Patterson (Family Video) with the following additional
35 requirements:

36 1. Alterations to the site shall conform with plans submitted: Site Design for Building
37 Addition and Access Driveway, 9 drawings 1 of 1-9 dated 5/2/18, Architectural
38 Plans T101, A001, A101, A201, and SP01 by Retail Design Consultants, LLC dated
39 3/5/18.

40 2. Trash enclosure area to have compatible vinyl covered fence posts and fabric
41 compatible with building and privacy slats of opacity greater than 75%.

42 3. Landscape plan shall be submitted to the Building Commission for approval
43 meeting city minimums for landscape planting materials. New 180 square foot islands
44 are not required.

45 PROJECT COMPLETION.

46 Construction shall start within 90 days of the issuance of building permits and the
47 structure shall be completed in accordance within 180 days of start of construction.

48 Section 2: Except as herein amended Ordinance No.6830 shall remain in full force and
49 effect.

50 Section 3: This ordinance shall become in full force and effect immediately upon its
51 passage and approval.

52 Adopted this _____ day of _____, 2018.

53
54
55
56
57 _____
58 Jeff Caputa
59 President of the Council

60 Approved this _____ day of _____, 2018.

61
62
63 _____
64 Thomas P. Schneider
65 Mayor, City of Florissant

66 ATTEST:

67 _____
68 Karen Goodwin, MMC/MRCC
69 City Clerk

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, June 25, 2018 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 7998 Kkheslop Limited Partnership to allow for a masonry building addition and access driveway in an existing B-5 Zoning District for the property located at 3524 Patterson Road (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 3524 Patterson Rd
Property Owners Name: Kkheslop Limited Partnership Phone #: 847-904-9143
Property Owners Address: 2500 Lehigh Ave Glenview, IL 60026
Business Owners Name: Family Video Phone #: 847-904-9000
Business Owners Address: 2500 Lehigh Ave Glenview, IL 60026
DBA (Doing Business As) Family Video
Authorized Agents Name: Renee A. Sclafani CO. Name: Legacy Commercial Property
(Authorized Agent to Appear Before The Commission)
Agents Address: 2500 Lehigh Ave Glenview, IL 60026 Phone #: 847-904-9143

Request _____
Need to amend the ordinance to build out the addition to the space for the new tenant.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Renee A. Sclafani
Applicant's Signature

05/24/2018
Date

Received by: [Signature] Receipt # 6107310 Amount Paid: 300.00 Date: 5-30-18

OFFICE USE ONLY

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

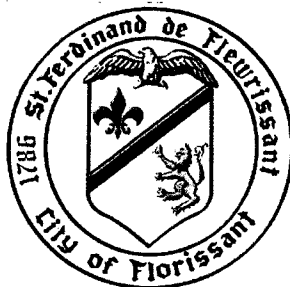
DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 6-4-18

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5 PLANNED COMMERCIAL DISTRICT ORDINANCE



PLANNING & ZONING ACTION:

Address of Property:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

3524 Patterson Rd

Council Ward 4 Zoning B-5

SIGN

DATE: 6-4-18

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 7998

Enter ordinance number or number requesting to amend.

1) Comes Now Renee A Sclafani - Kkheslop Limited Partnership dba Family Video

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Owner

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 4.4

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for Mercantile - Video and Video game rental and sales

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
To be able to meet a new tenant design, we request the addition to be built and
the amendment to the existing B-5 ordinance.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Renee A. Sclafani

PETITIONER(S) SIGNATURE (S) *Renee A. Sclafani*

FOR Kkheslop Limited Partnership

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
() I (we) have a legal interest in the herein above described property.
(X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS _____
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

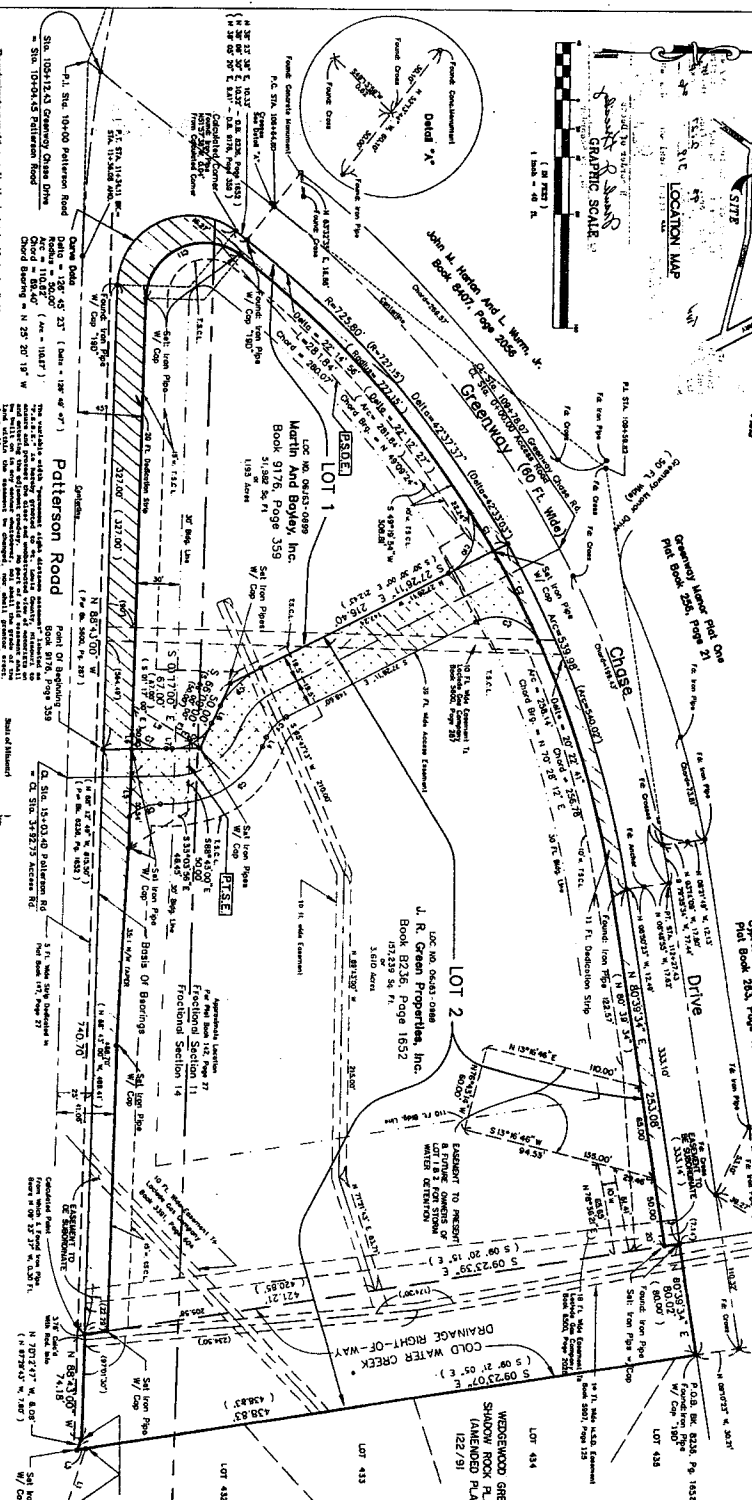
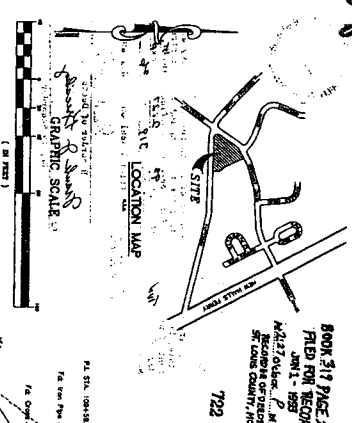
BOOK 31 PAGE 26
FILED FOR RECORD
JAN 11 1993
RECORDS & CLERK
ST. LOUIS COUNTY, MO

ACRES	1.0000
SQ. FT.	43,560
FRONT FEET	100
DEPTH FEET	435.60
PERCENTAGE	100.00%
TOTAL	1.0000

DO NOT SCALE	5.00
STATE USE	0.00
FAIR VALUE	0.00
TOTAL	5.00

HUCK'S CORNER

A TRACT OF LAND BEING A PART OF
FRACTIONAL SECTION 43 AND FRACTIONAL SECTION 14
IN TOWNSHIP 43 NORTH RANGE 6 EAST OF
THE FIFTH PRINCIPAL MERIDIAN,
ST. LOUIS COUNTY, MISSOURI.



The undersigned corner of the tract of land being platted and defined in this plat is the corner of the tract of land being platted and defined in this plat... [Detailed legal description of the property, including references to previous records and surveys.]

WITNESSES:

ATTEST:

APPROVED AND GRANTED:

STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
 92-481 N. MOBILE
 ST. LOUIS, MO 63141
 807/992-9200

HUCK'S CORNER RECORD PLAT

DATE: 7/24/92
BY: [Signature]
FILED: 8/17/92

Please fill in applicable information requested.

Name Renee A Sclafani - Kkheslop Limited Partnership

Address 2500 Lehigh Ave Glenview, IL 60026

Property Owner Kkheslop Limited Partnership

Location of property 3524 Patterson

Dimensions of property Perimeter is 1,844 LF

Property is presently zoned B-5 per ordinance # 7998

Current & Proposed Use of Property Mercantile - Mercantile

Type of Sign none proposed Height 21'8" for building height

Type of Construction 5B Number Of Stories 1

Square Footage of Building 9,350 Number of Curb Cuts 3

Number of Parking Spaces 57 std./1oversized/3 van abled Sidewalk Length 206'

Landscaping: No. of Trees 6 Diameter 8"

No. of Shrubs none Size _____

Fence: Type none Length _____ Height _____

*Eastern third of property is heavily wooded and not affected by this application.

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners see attached sheet
- (2) Telephone numbers 847-904-9000
- (3) Business address 2500 Lehigh Ave Glenview, IL 60026
- (4) Name under which business is operated Family Video
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Kk Heslop Limited Partnership –

1. Keith Hoogland
 - 2500 Lehigh Ave. Glenview, IL 60026

2. Anna Heslop
 - 2500 Lehigh Ave. Glenview, IL 60026

3. Knox Heslop
 - 2500 Lehigh Ave. Glenview, IL 60026

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

See attached legal deed from the St. Louis County Assessor Office

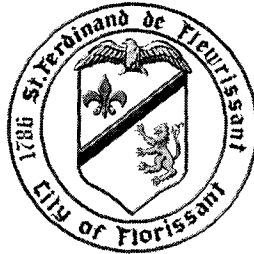
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

See title sheet on drawings.

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MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: May 29, 2018

From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request **recommended approval** for a masonry building addition and
access drive at **3524 Patterson (Family Video)** in a 'B-5' Zoning District.

STAFF REPORT
CASE NUMBER PZ-060418-1

I. PROJECT DESCRIPTION:

This is request for recommended approval to amend the B-5 to allow for a masonry building addition and access drive, in a B-5 District. The current video store is within a 'B-5' District within the City of Florissant. There is an existing ordinance no. 7998 that describes permitted uses, which include retail and an ice sales business, however, a new exterior change invokes the requirement for a revision of the ordinance.

II. EXISTING SITE CONDITIONS:

The existing property at 3524 Patterson is owned by Kathleen Know Heslop Limited Partnership. The existing retail space is a video store. It appears the restaurant occupies approximately 1625 s.f. There is a new lease space shown of 2384 square feet, Family Video area of 5361 s.f. and the existing building total area is 9370 s.f. The building consists of masonry walls and metal roofing.

III. SURROUNDING PROPERTIES:

The adjacent property to the West is 3500 Patterson (a Service Station) in a B-5 District.

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IV. STAFF ANALYSIS:

The application is accompanied by a record plat by Stock & Associates which identifies the Lot, Site Design for Building Addition and Access Driveway, 9 drawings 1 of 1-9 dated 5/2/18, Architectural Plans T101, A001, A101, A201, and SP01 by Retail Design Consultants, LLC dated 3/5/18. Staff has the as following comments regarding plans:

Record plat: indicates that the site limits include area from residential properties to the East and includes the current access drive next to the adjacent filling station.

Site Design package sheets: 1 of 9-Title Sheet, 2 of 9-General Notes 3 of 9 Standard Legend, 4 of 9 Removal Plan, 5 of 9 Site Plan, 6 of 9 Grading Plan, 7 of 9 Sanitary Sewer Plan, 8 of 9 Sanitary Sewer Profiles, and 9 of 9 Details. Highlights of this package:

1. Removal plan shows 2 sanitary lines and 5 tree removals.
2. Grading Plan shows new access drive to the addition and new trash enclosure detail. The trash enclosure should have a 20' concrete paving in front of the enclosure per city ordinance. The fence shown for the enclosure must have screening slats of acceptable opacity and be of a compatible color to be considered compatible.
3. Sanitary Sewer Plan shows a new 8" PVC sanitary line.

Architectural Plan Comments:

4. A001 access drive configuration does not match the Site Design Package.
5. A001 and A101: An addition of 1020 s.f. is shown with notation indicating a Future Family Dollar. There is one overhead door and one exterior man door shown on the plan with three restrooms and a service sink in another room.
6. A201 shows the exterior matches existing construction, brick exterior walls and metal fascia and metal roof.
7. Parking existing was reduced by the pizza restaurant when outdoor dining is used from 62 to 58. The Ice Business proposal reduced parking to 55.
8. Required parking by the current parking regulations is $9370 - 1625 \times 4 / 1000 = 31$ plus the pizza restaurant $6 = 37$ Total Required Parking.
9. Signs: There are no additional signs proposed. All signs therefore must comply with the sign code, Section 520, where wall signs are less than 40 s.f. and post or ground signs are behind setbacks.

Landscape: No landscape alterations were submitted. Per 405.225, the site should contain:

10. Frontage trees every 50 feet.
11. Building perimeter shrubs 1 for every 5 l.f. of building perimeter.
12. Landscaped islands of 180 s.f. for every 15 parking spaces provided.

Currently there are few trees or shrubs on the site to meet these requirements.

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VI. STAFF RECOMMENDATIONS:

(See suggested motion)

Suggested Motion:

I move to recommend approval to amend a Special Use, ordinance 7998 to allow for a masonry building addition and access drive **at 3524 Patterson (Family Video)** in a 'B-5' Zoning District with the following additional requirements:

1. Alterations to the site shall conform with plans submitted: Site Design for Building Addition and Access Driveway, 9 drawings 1 of 1-9 dated 5/2/18, Architectural Plans T101, A001, A101, A201, and SP01 by Retail Design Consultants, LLC dated 3/5/18.
2. Trash enclosure area to have compatible vinyl covered fence posts and fabric compatible with building and privacy slats of opacity greater than 75%.
3. Landscape plan shall be submitted to the Building Commissioner for approval meeting City minimums for landscape planting materials. New 180 s.f. islands, not required.

PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

(End report and suggested motion)

SITE DESIGN FOR BUILDING ADDITION AND ACCESS DRIVEWAY

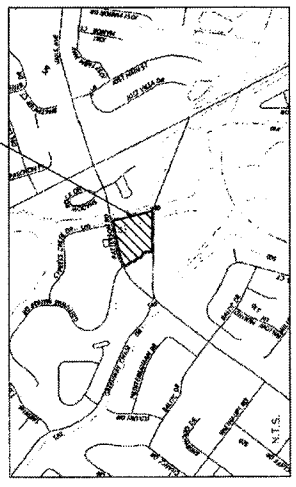
FOR

LEGACY COMMERCIAL PROPERTY FLOISSANT, MISSOURI

INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	GENERAL NOTES
3	EXISTING SITE PLAN
4	PROPOSED SITE PLAN
5	GRADING PLAN
6	SANITARY SEWER PLAN
7	SANITARY SEWER PROFILES
8	DETAILS
9	DETAILS

PROPOSED SITE PLANS
3524 PATTERSON ROAD
ST. LOUIS COUNTY
MAY 2018



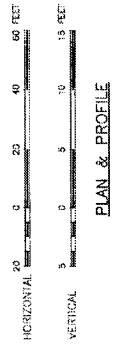
LOCATION MAP

UTILITIES

UTILITY TYPE	COMPANY NAME
WATER	MISSOURI AMERICAN WATER CO.
SEWER	ST. LOUIS METROPOLITAN SEWER ELECTRIC
ELECTRIC	AMERICAN MISSOURI ELECTRIC
TELEPHONE	ATT DISTRIBUTION
GAS	SURE GAS EAST
CABLE	CHARTER COMMUNICATIONS

(CONTRACTOR TO BE RESPONSIBLE FOR ANY ADJUSTMENTS TO BE MADE.)

CALL OR CLICK 3 DAYS BEFORE THE DAY
1-800-394-8112 x 611
MISSOURI
www.jmfcoll.com



Mary Ann Blaney
05/18/2018
CIVIL ENGINEER
EXPIRES: 12/31/2018



BUILDING PERMIT

NO.	REVISION	DATE	BY
1	ISSUE		

FEHR GRAHAM

ENGINEERING & ENVIRONMENTAL

GENERAL NOTES

1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MUNICIPAL CODE, CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
2. IN THESE CONTRACT DOCUMENTS INTENTION IS MADE OF THE "BIGGER", WHICH SHALL MEAN FROM GRHAM OR THEIR DULY AUTHORIZED AGENT.
3. QUANTITIES SHOWN ARE ESTIMATES FOR INFORMATION ONLY.
4. IN CASE OF CONFLICT BETWEEN THE ABOVE MENTIONED SPECIFICATIONS, THE ENGINEER SHALL DETERMINE WHICH OF THE SPECIFICATIONS SHALL GOVERN. THE ENGINEER'S DECISION SHALL BE FINAL AND NO ADDITIONAL COMPENSATION SHALL BE AWARDED UNLESS APPROVED BY THE ENGINEER.
5. THE PROPOSED IMPROVEMENTS MUST BE INVESTIGATED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE IMPROVEMENTS IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION PLANS AS APPROVED BY THE ENGINEER.
6. THE ENGINEER SHALL HAVE THE AUTHORITY TO SUSPEND OR REJECT ANY PART OF THESE PLANS AND SPECIFICATIONS.
7. GENERAL GOVTY APPROVALS TO PROVIDE DRIVERS WITH SAFE TRAVEL CONDITIONS DURING THE CONSTRUCTION PROJECT, AND TO PROVIDE SAFE WORKING CONDITIONS FOR ALL OPERATORS, THE RULES, REGULATIONS, AND ORDINANCES STATED IN THESE CONTRACT DOCUMENTS SHALL BE APPLIED TO ALL OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES AND LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF OBTAINING THESE APPROVALS AND FOR THE COST OF ANY NECESSARY APPROVALS TO CONDUCT THE WORK IN ACCORDANCE WITH THE CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
8. THE CONTRACTOR SHALL COMPLY WITH ALL STATE REGULATIONS REGARDING AIR, WATER, AND NOISE POLLUTION. THE CONTRACTOR SHALL NOT BE ALLOWED TO BUILD PILES ON THE SITE.
9. THE SCALE SHOWN ON THE DRAWINGS APPLIES ONLY TO THE FULL SIZE PLANS NOT THE REDUCED SIZE PLANS.
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE FINISH ELEVATIONS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. NETWORK USED BY THE CONTRACTOR SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER. COST OF MAINTAINING FINISH ELEVATIONS SHALL BE INCURRED BY THE CONTRACTOR.
11. BEFORE SETTING OUT CONSTRUCTION MARKERS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE SUCH MARKERS, MONUMENTS AND POINTS OF INTEREST ARE MOVED, ALTERED, OR DESTROYED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPLACING OR RESETTING MARKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY NECESSARY APPROVALS TO CONDUCT THE WORK IN ACCORDANCE WITH THE CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
12. THE CONTRACTOR SHALL MAINTAIN STORAGE, AND RELIEVE TO THE SATISFACTION OF THE OWNER ALL EXISTING WORKS IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS, AND CONSIDER THIS AS INCIDENTAL TO THE PROJECT.
13. LABOR NOT SPECIFICALLY IDENTIFIED SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
14. AT THE END OF EACH DAY, THE CONTRACTOR SHALL SECURE THE CONSTRUCTION WORK ZONE FROM POTENTIAL RE-ENTRANCES.
15. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL MAINTAIN ALL BENCHMARKS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPLACING OR RESETTING BENCHMARKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY NECESSARY APPROVALS TO CONDUCT THE WORK IN ACCORDANCE WITH THE CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
16. ALL ITEMS TO BE REMOVED TO ALLOW FOR PROPOSED CONSTRUCTION AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
17. ALL EXCESS EARTH EXCAVATION, EXCESS MATERIALS, OR OTHER REMOVED ITEMS SHALL BE Hauled OFF-SITE AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE APPROVED BY THE OWNER.
18. ALL EXCESS EARTH EXCAVATION, EXCESS MATERIALS, OR OTHER REMOVED ITEMS SHALL BE Hauled OFF-SITE AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE APPROVED BY THE OWNER.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND SHALL INCLUDE THE COST OF STAKES IN THEIR QUOTE. CONTROL POINTS ARE INDICATED ON THE PLANS.

CONSTRUCTION STAKING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND SHALL INCLUDE THE COST OF STAKES IN THEIR QUOTE. CONTROL POINTS ARE INDICATED ON THE PLANS.

MATERIAL AND COMPACTION TESTING

1. A GEOTECHNICAL REPRESENTATIVE WILL BE PROVIDED AND PAID FOR BY THE OWNER FOR ANY REQUIRED TESTING. THE CONTRACTOR IS RESPONSIBLE TO FOLLOW AND MEET GUIDELINES SET BY THE GEOTECHNICAL REPRESENTATIVE.

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EROSION CONTROL NOTES

1. AREAS OTHERWISE SPECIFIED, ALL EROSION AND SEDIMENT CONTROL MEASURES AND THEIR MAINTENANCE, CLEANING AND REMOVAL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND SHALL INCLUDE THE COST OF STAKES IN THEIR QUOTE. CONTROL POINTS ARE INDICATED ON THE PLANS.
3. SITE ACTIVITIES SHOULD ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE PRACTICABLE.
4. DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED TEMPORARILY OR PERMANENTLY SEED, MULCHED, SOLOPED OR PAVED AS SOON AS PRACTICABLE, BUT IN NO CASE LONGER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF OBTAINING ALL NECESSARY APPROVALS AND SHALL INCLUDE THE COST OF ANY NECESSARY APPROVALS TO CONDUCT THE WORK IN ACCORDANCE WITH THE CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF OBTAINING ALL NECESSARY APPROVALS AND SHALL INCLUDE THE COST OF ANY NECESSARY APPROVALS TO CONDUCT THE WORK IN ACCORDANCE WITH THE CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
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STORM SEWER

1. STORM SEWERS SHALL BE CONSTRUCTED WITH RIBBON GASKETTED JOINTS (ASTM A402).
2. ALL EXISTING MANHOLE CONNECTIONS MUST BE DRAIN-GRILLED, LEAKS, SUITABLY LOCATED, EXIST IN THE MANHOLE.
3. CONTRACTOR SHALL FURNISH ALL PIPE BEDDING, PIPE BEDDING MATERIAL SHALL BE AS SHOWN IN THE STANDARD CONSTRUCTION SPECIFICATIONS.
4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STORM SEWER ELEVATIONS THAT PROJECT CONSULTS TO.

UTILITIES

1. UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION PURPOSES ONLY AND NO ASSURANCE OF THEIR ACCURACY IS MADE OR IMPLIED. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS REPRESENT DATA RECEIVED FROM A VISUAL SURVEY OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF OBTAINING ALL NECESSARY APPROVALS AND SHALL INCLUDE THE COST OF ANY NECESSARY APPROVALS TO CONDUCT THE WORK IN ACCORDANCE WITH THE CITY OF FLORENCE, MO, CURRENT EDITION, MINOR CHANGES SPECIFICALLY FOR HIGHWAY CONSTRUCTION CURRENT EDITION, ST. LOUIS COUNTY, LOUIS SEWER DISTRICT, AND THE STANDARD CONSTRUCTION SPECIFICATIONS OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
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EXCAVATION/EARTHWORK

1. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATION NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL CHARGE TO THE OWNER.
2. PRIOR TO STARTING EARTHWORK OR UTILITY TRENCHING, THE CONTRACTOR SHALL STAMP THE SITE OF TOPSOIL TO A DEPTH OF 18 INCHES AND A MINIMUM VERTICAL SEPARATION OF 18 INCHES WITH THE UNDER MAIN ABOVE MUST BE MAINTAINED AT ALL TIMES BETWEEN WATER MAINS AND SEWERS (STORM AND SANITARY).
3. CONTRACTOR SHALL FINISH ALL PIPE BEDDING. PIPE BEDDING MATERIAL SHALL BE AS SHOWN IN THE STANDARD CONSTRUCTION SPECIFICATIONS.
4. SANITARY SEWER LENGTHS INDICATED ON THE PLANS REPRESENT THE DISTANCE FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
5. SANITARY SEWER SLOPES INDICATED ON THE PLANS REPRESENT THE ACTUAL PIPE SLOPE FROM OUTSIDE MANHOLE WALL TO INSIDE MANHOLE WALL.
6. SANITARY MANHOLES SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS CONFORMING TO ASTM C-478 WITH APPROVED JOINTS.
7. ALL NEW SANITARY MANHOLES SHALL BE UNIFORM TESTED IN ACCORDANCE WITH ASTM D-1244.
8. CONTRACTOR SHALL INSTALL APPROVED EXTERNAL SEALS ON ALL MANHOLE CASTINGS AND BARREL SECTION JOINTS.
9. ALL SEWER LOCATIONS ARE APPROXIMATE AND MAY BE CHANGED IN THE FIELD WITH THE APPROVAL OF THE INSPECTOR. NO ADDITIONAL COMPENSATION WILL BE AWARDED DUE TO REVISION LOCATION.
10. DEFLECTION TESTING SHALL REQUIRE A THIRY (30) DAY DELAY FROM THE DATE THE SEWER TRENCH IS BACKFILLED.
11. TRENCH BACKFILL SHALL BE USED INVERSE SEWERS OR WATER MAINS ARE UNDER PAVEMENTS OR WALKS. MECHANICAL COMPACTION AND TEST THROUGH BACKFILL ARE REQUIRED. COST SHALL BE INCLUDED IN UNIT PRICE OF PIPE.
12. ALL PIPE SANITARY SEWERS SHALL BE BURETS PIPE CONFORMING TO ASTM D-3034 WITH D-3212 JOINTS. WHERE REQUIRED, REPAIRS TO ALL PIPE SHALL BE DONE AS PER ASTM D-3212.



APP NUMBER	18-274
SHEET NUMBER	2 OF 9

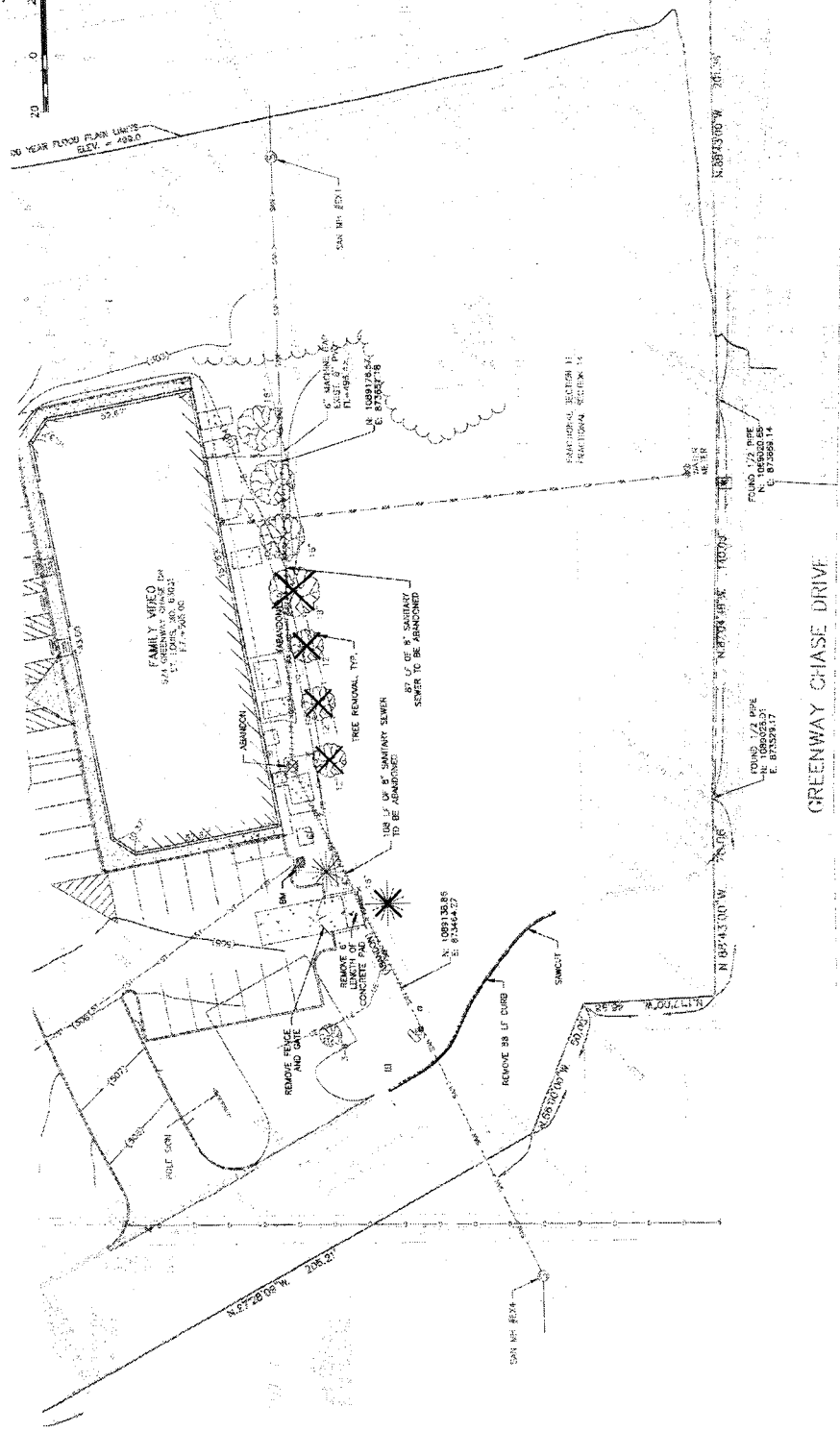
DATE	05/22/18
BY	DAVID M. FEHER
CIVIL ENGINEER	
EXPIRES	12/31/2019

NO.	DATE	BY	REVISIONS
1	05/22/18	DAVID M. FEHER	GENERAL NOTES

DESIGNED BY	DAVID M. FEHER
APPROVED BY	DAVID M. FEHER
DATE	4/26/2018
SCALE	AS NOTED

PROJECT AND LOCATION
**SITE DESIGN FOR BUILDING
ADDITION AND ACCESS DRIVEWAY
3524 PATTERSON ROAD
ST. LOUIS, MISSOURI 63031
ST. LOUIS COUNTY**

LEGACY COMMERCIAL PROPERTY
2500 LEHIGH AVENUE
GLENVIEW, IL 60028



NOTE:
 1. ALL ABANDONED UTILITY LINES SHALL BE REMOVED TO A MINIMUM OF 2 FEET
 2. ALL ABANDONED UTILITY LINES SHALL BE PROPERLY CAPPED AND THE CAPS SHALL
 3. ALL ABANDONED UTILITY LINES SHALL BE PLUGGED AT EACH END WITH CONCRETE OR
 4. ALL ABANDONED UTILITY LINES SHALL BE REMOVED TO A MINIMUM OF 2 FEET
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 7. ALL ABANDONED UTILITY LINES SHALL BE REMOVED TO A MINIMUM OF 2 FEET

Professional Engineer Seal for David J. ...
 CIVIL ENGINEER
 EXPIRES: 12/31/2019
 05/02/18

PROJECT NAME:	REMOVAL PLAN
SHEET NUMBER:	18-274
TOTAL SHEETS:	4 of 9
DATE:	4/28/2018
SCALE:	AS NOTED

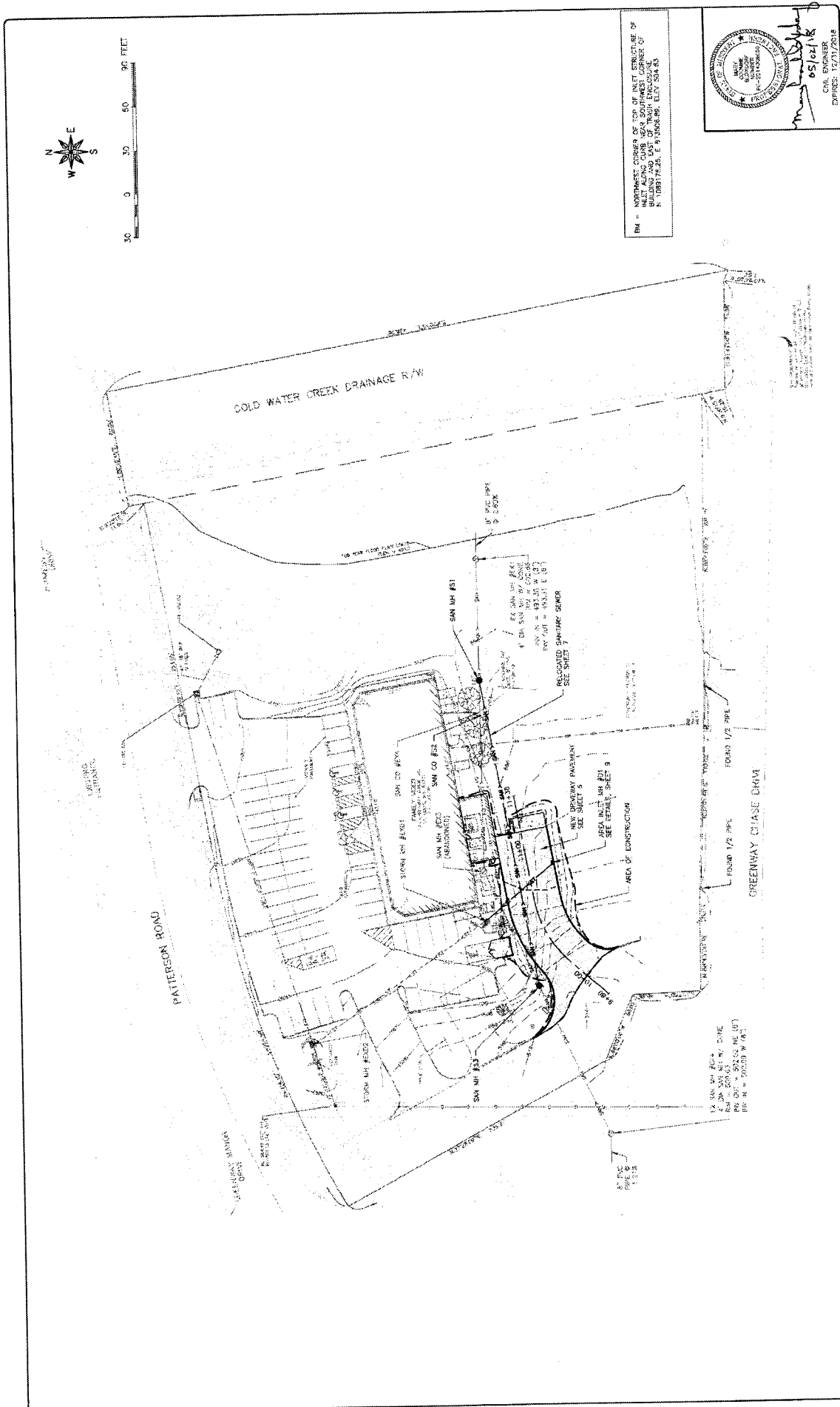
NO.	DATE	REVISIONS
1	4/28/2018	ISSUE FOR PERMIT

APPROVED BY: [Signature]
 DATE: 4/28/2018
 SCALE: AS NOTED

PROJECT AND LOCATION:
 SITE DESIGN FOR BUILDING SURVEYWAY
 ADDITION TO PERSON ROAD
 FLORISSANT, MISSOURI 63031
 ST. LOUIS COUNTY

OWNER/CLIENT:
 LEGACY COMMERCIAL PROPERTY
 2500 LEIGH AVENUE
 GLENVIEW, IL 60026

FEHR GRAHAM
 ENGINEERING & ENVIRONMENTAL
 2518 Fehr Graham



BM - WOODWARD CORNER OF TOP OF INLET STRUCTURE OF INLET ALONG CURB 1/4\"/>



DATE: 12/11/2018
 SHEET NUMBER: 5 of 9
 PROJECT: BUILDING PERMIT

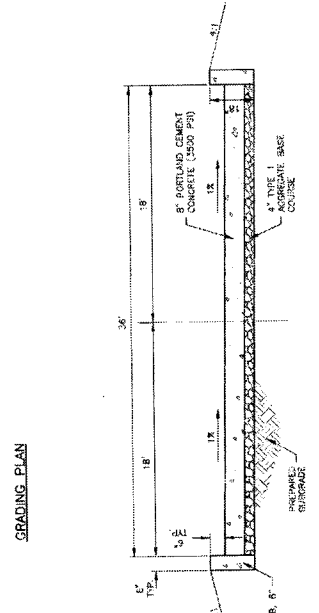
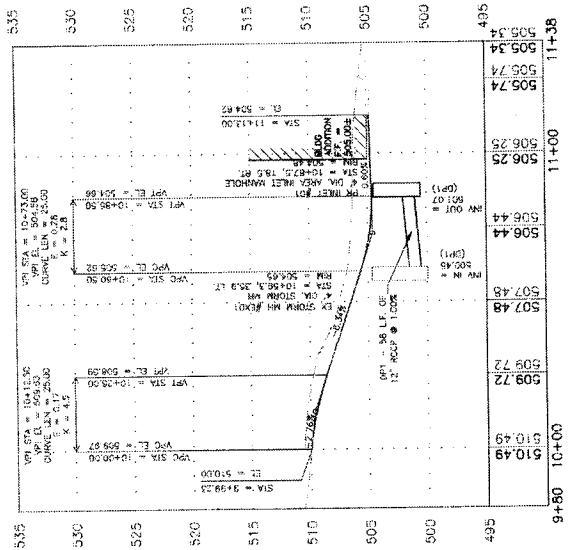
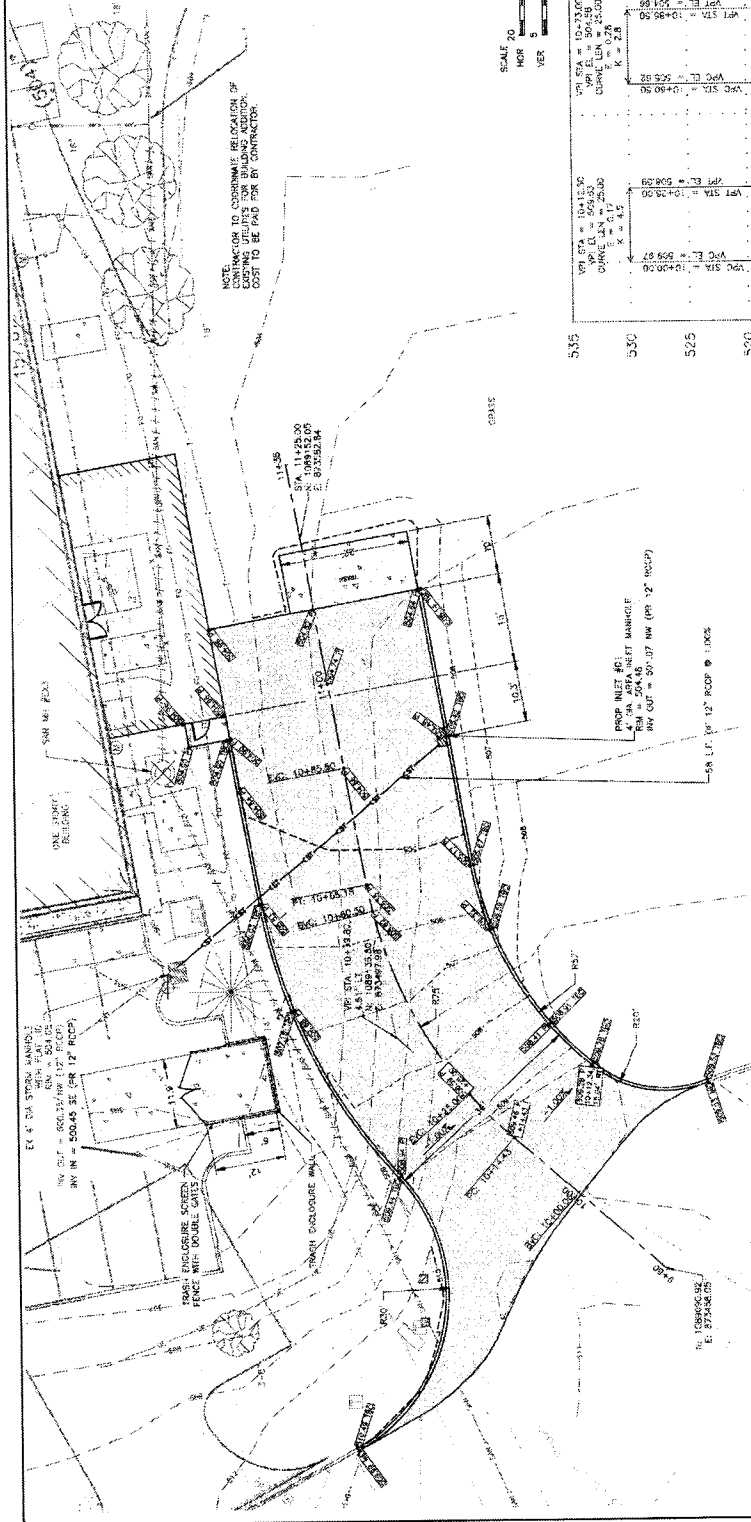
NO.	REVISIONS	DATE
1	ISSUE	12/11/2018

APPROVED BY: MAY 4/26/2018
 DATE: 4/26/2018
 SCALE: AS NOTED

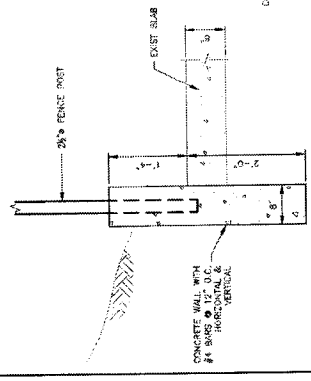
PROJECT AND LOCATION:
 SITE DESIGN AND ACCESS DRIVEWAY
 3524 PATTERSON ROAD
 FLORENCE, MISSOURI 63031
 ST. LOUIS COUNTY

OWNER/CLIENT:
 LEGACY COMMERCIAL PROPERTY
 2500 LEHIGH AVENUE
 GLENVIEW, IL 60026

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 ENGINEERING & ENVIRONMENTAL
 FOR DATE 04/26/18 © 2018 FEHR GRAHAM



TRASH ENCLOSURE WALL DETAIL



JOB NUMBER: 18-274
 SHEET NUMBER: 6 OF 9

DATE: 05/02/18
 EXPRESS: 12/31/2018

REVISIONS:

NO.	DATE	DESCRIPTION
1	05/02/18	ISSUE FOR PERMIT

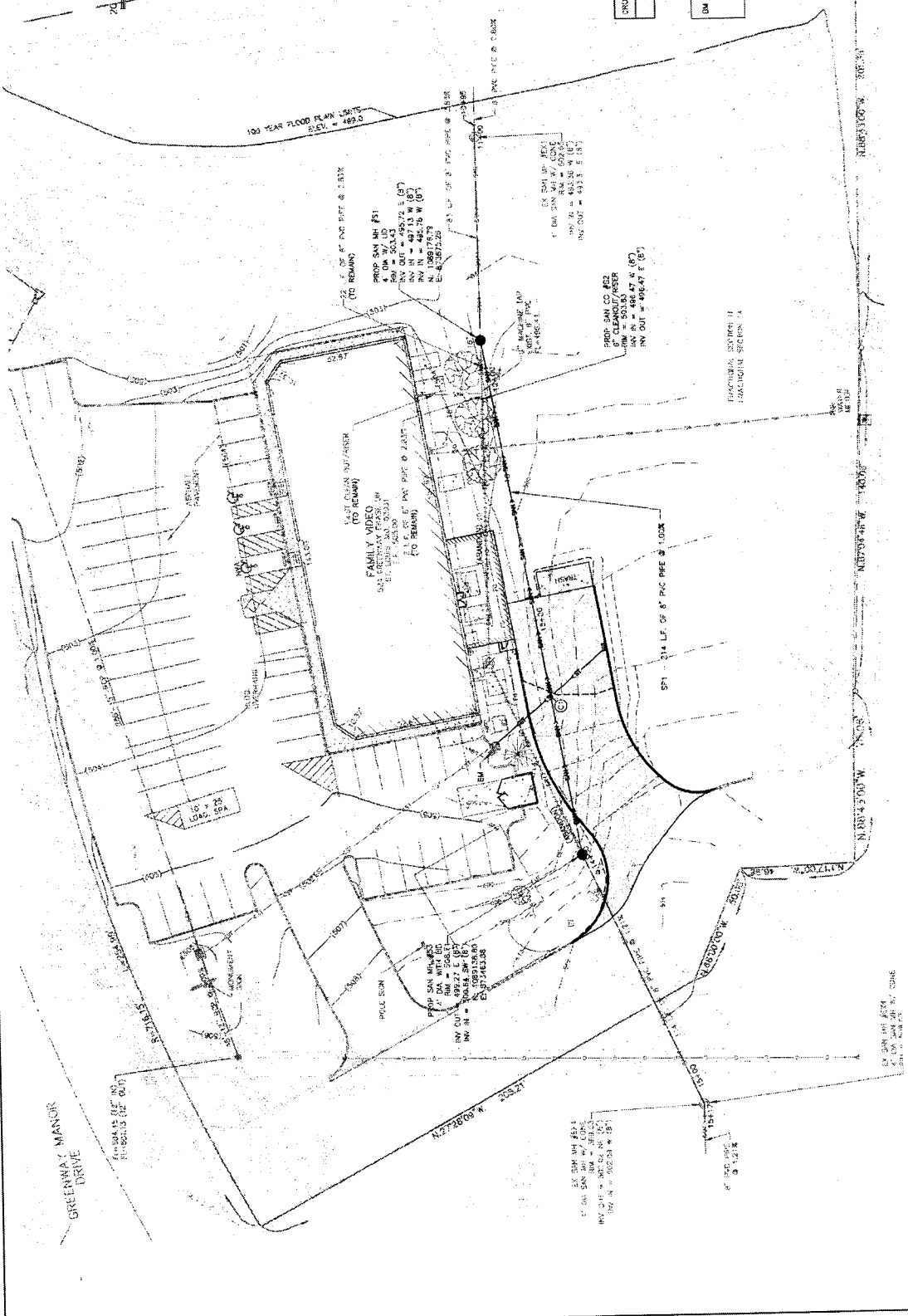
DESIGNED BY: MARY
 APPROVED BY: FMC
 DATE: 4/26/2018
 SCALE: AS NOTED

PROJECT AND LOCATION:
 FOR BUILDING FOR BUILDING
 ADDITION AND ACCESS DRIVEWAY
 3524 PATTERSON ROAD
 FLORESSANT, MISSOURI 63031
 ST. LOUIS COUNTY

OWNER/CLIENT:
 LEGACY COMMERCIAL PROPERTY
 2500 LENCH AVENUE
 GLENVIEW, IL 60026

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 ENGINEERING & ENVIRONMENTAL

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UTILITY CROSSING TABLE

CROSSING	INSET OF LOWER PIPE	ELEVATION	CROWN OF LOWER PIPE	ELEVATION
01	STORM SEWER	890.77	890.77	499.38

DM = NORTH CORNER OF TOP OF INSET STRUCTURE OF BUILDING AND EAST OF TRASH ENCLOSURE BUILDING AND EAST OF TRASH ENCLOSURE N 1089175.25, E 312605.91, ELEV 504.63

05/02/18
 CIVIL ENGINEER
 EXPIRES: 12/31/2019

DRAWING: SANITARY SEWER PLAN
 SHEET NO: 18-274
 SHEET NUMBER: 7 of 9

REVISIONS

NO.	DATE	DESCRIPTION
1	07/20/18	ISSUE FOR PERMITS

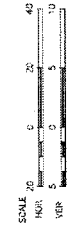
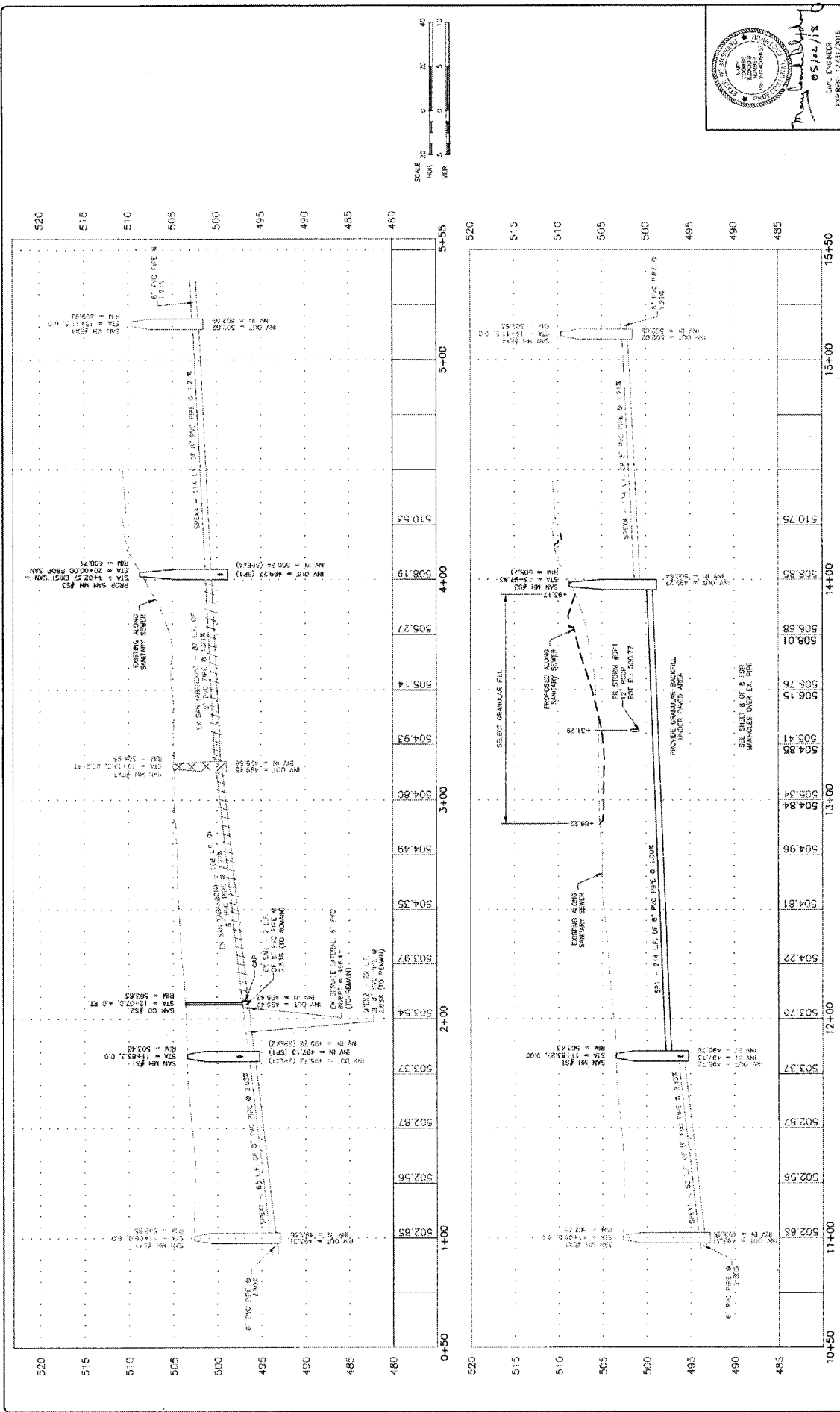
APPROVED BY: MMY
 DATE: 4/28/2018
 SCALE: AS NOTED

PROJECT AND LOCATION:
 TROPICAN BUILDING
 SITE PLAN AND ACCESS DRIVEWAY
 3824 PATTERSON ROAD
 FLOIRISSANT, MISSOURI 63031
 ST. LOUIS COUNTY

OWNER/QUALIFIER:
 LEGACY COMMERCIAL PROPERTY
 2500 LEHIGH AVENUE
 GLENVIEW, IL 60026

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 ENGINEERING & ENVIRONMENTAL

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PROJECT: LEGACY COMMERCIAL PROPERTY
 2500 LEHIGH AVENUE
 GLENVIEW, IL 60026

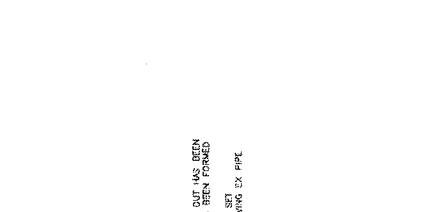
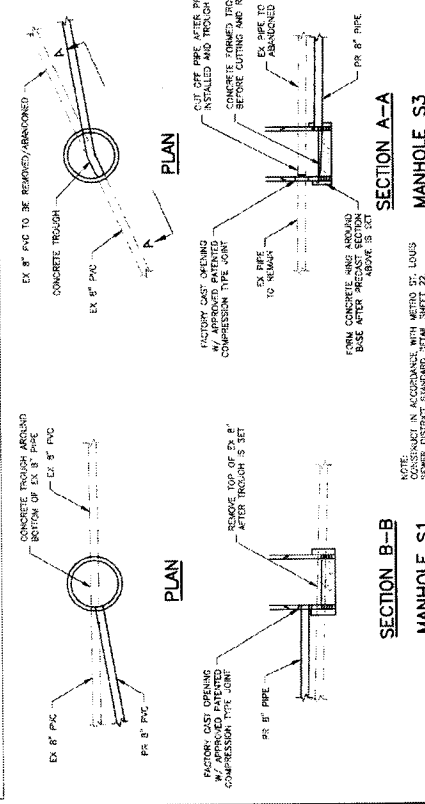
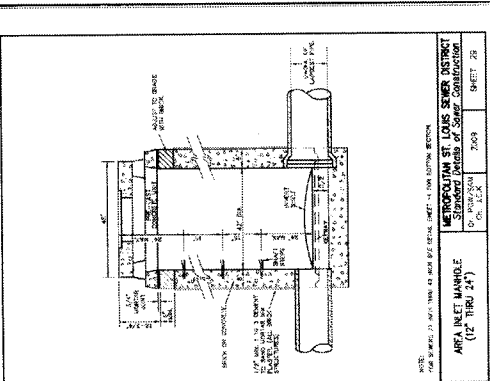
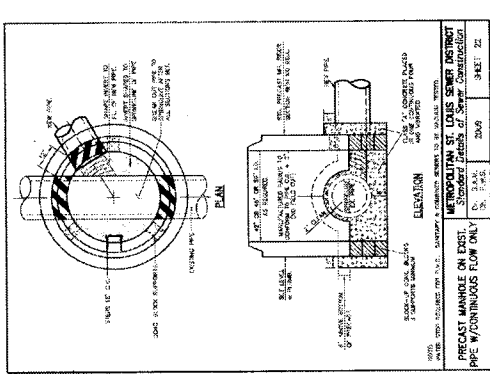
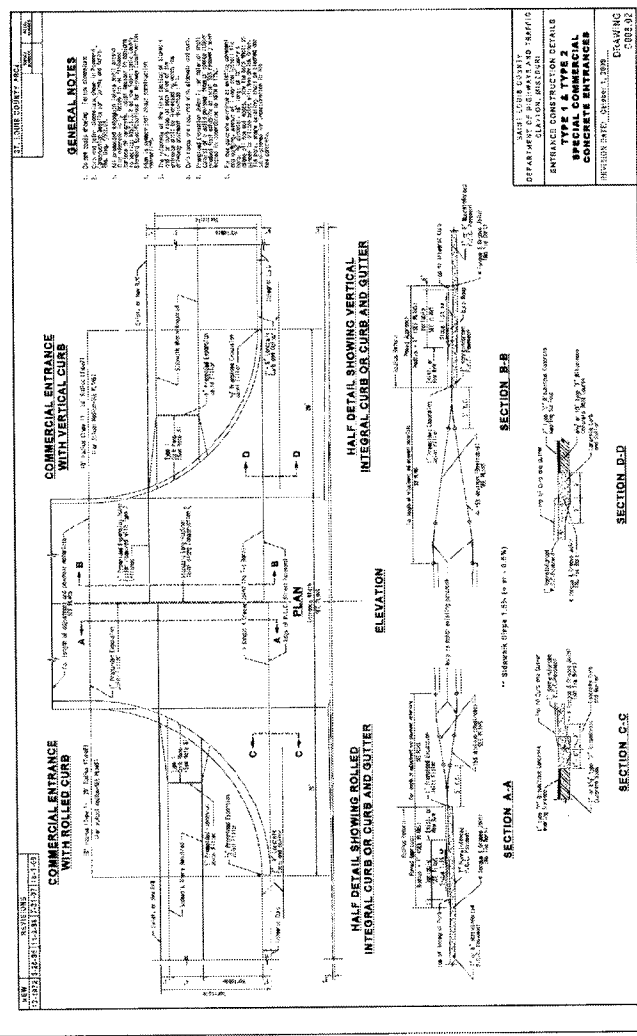
DATE: 4/26/2016
 DRAWN BY: NMY
 APPROVED BY: PMC
 SHEET AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1	07/20/16	ISSUED FOR PERMIT

PRODUCT: SANITARY SEWER PROFILES

SHEET NUMBER: 8 of 9



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ILLINOIS
IOWA
WISCONSIN

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PROJECT AND LOCATION:
SITE DESIGN FOR BUILDING DRIVWAY
4524 PATTERSON ROAD
FLORISSANT, MISSOURI 63031
ST. LOUIS COUNTY

DESIGNED BY: MJK
CHECKED BY: PJC
DATE: 4/28/2018
SCALE: AS NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1	4/28/2018	ISSUED FOR PERMIT

FOR PERMIT:
18-274
SHEET NUMBER:
9 OF 9

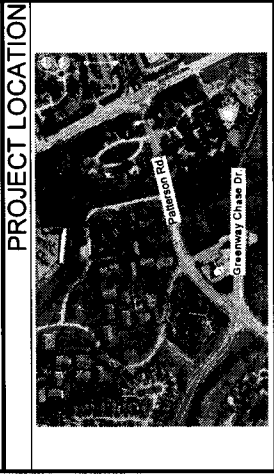
APPROVED BY: [Signature]
CIVIL ENGINEER
EXPIRES: 12/31/2018

ST. LOUIS COUNTY
MISSOURI
PERMIT NO. 18-274



Florissant, MO

Sheet Index	
T101	TITLE SHEET
A001	ARCHITECTURAL SITE PLAN
A101	FLOOR PLAN
A201	ELEVATIONS AND SECTION
SP01	SPECIFICATIONS - STRUCTURAL



Code Review Summary	
Adapted Codes:	<ul style="list-style-type: none"> 2015 International Building Code 2015 International Conservation Code for Existing Buildings 2015 International Energy Code 2015 International Accessibility Code 2015 International Mechanical and Fuel Gas Codes 2015 International Plumbing Code 2014 National Electrical Code
STORIES: 1 STORY	
TYPE OF CONSTRUCTION: TYPE-5B - UNPROTECTED	
EXISTING BUILDING AREA: 8,360 SF	
NON-SEPARATED MIXED USE	
MARCO'S PIZZA - 1620 SQ. FT.	
RETAIL SPACE - 7730 SQ - 129 PEOPLE	
ADDITIONAL STORAGE AREA - 1000 USE GROUP, STORAGE S	
OCCUPANCY LOAD: 1000/200 = 5 PEOPLE	
RESULTING LEASE SPACE AREA: 5,448 SF	
USE GROUP: TBD	
OCCUPANCY LOAD: TO BE DETERMINED	

Project General Notes

- ALL WORK SHALL ACCORD TO THE CODES LISTED HEREIN, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF NEW HAMPSHIRE.
- IT IS INTENDED THAT A COMPLETE OCCUPANCY LOAD REPORT BE PROVIDED.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, A.I.A. 1917 EDITION ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE IN THE ARCHITECT'S OFFICE.
- DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THE FIELD SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY REQUEST FOR INFORMATION. FAILURE TO DO SO WILL BE AT THE EXPENSE OF THE CONTRACTOR.
- ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- GC IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, PERMITS FOR CONSTRUCTION, OCCUPANCY, AND SIGNAGE. ALL PERMITS REQUIRED TO BE OBTAINED PRIOR TO THE START OF CONSTRUCTION SHALL BE OBTAINED AND MAINTAINED THROUGHOUT THE PROJECT.
- ALL ABREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.
- CONSTRUCTION MUST START ON A SCHEDULED DATE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING TURNOUT FOR THE SET OF RECORDS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TURNOUT FOR THE SET OF RECORDS.
- CONTRACTORS ARE PROHIBITED FROM PARKING IN THE PARKING SPACES IN FRONT OF THE VIDEO STORE.
- THE DEMING WALL COMPLETION BY THIRSDAY MORNING PRIOR TO THE VIDEO BUSINESS HOURS (9:00 AM - 6:00 PM).
- NEW ENTRANCE SHALL BE INSTALLED IN THE FAMILY VIDEO SPACE BEFORE COMPLETION OF THE DEMING WALL.
- THERE WILL BE NO CONSTRUCTION WALKS THROUGH TRAFFIC PERMITTED IN THE FAMILY VIDEO STORE.

Scope of Work

- PROVIDE FOUNDATIONAL WALLS, DOORS AND DOCKS TO COMPLETE NEW STRUCTURE AND PROVIDE ALL NECESSARY PERMITS AND MODIFICATION TO SITE.
- PROVIDE NECESSARY EXIT SIGNS, EMERGENCY LIGHTING AND FIRE ALARM SYSTEMS AS REQUIRED AND OBTAIN ALL NECESSARY PERMITS.
- ALL MECHANICAL AND ELECTRICAL WORK SHALL BE PERFORMED UNDER SEPARATE PERMIT.



7560 46th Street, SE
 Olympia, WA 98512
 P: 360.534.7233
 clients@rdc-hq.com

3524 Patterson Road
 Florissant, MO 63031



DATE ISSUED FOR REVIEW
 03/22/2018



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COVER SHEET
T101



7700 58th Street, Suite 200
 Omaha, NE 68132
 P: 416.634.2203
 clients@rdc-llc.com

3524 Patterson Road
 Flossmoor, MO 63031

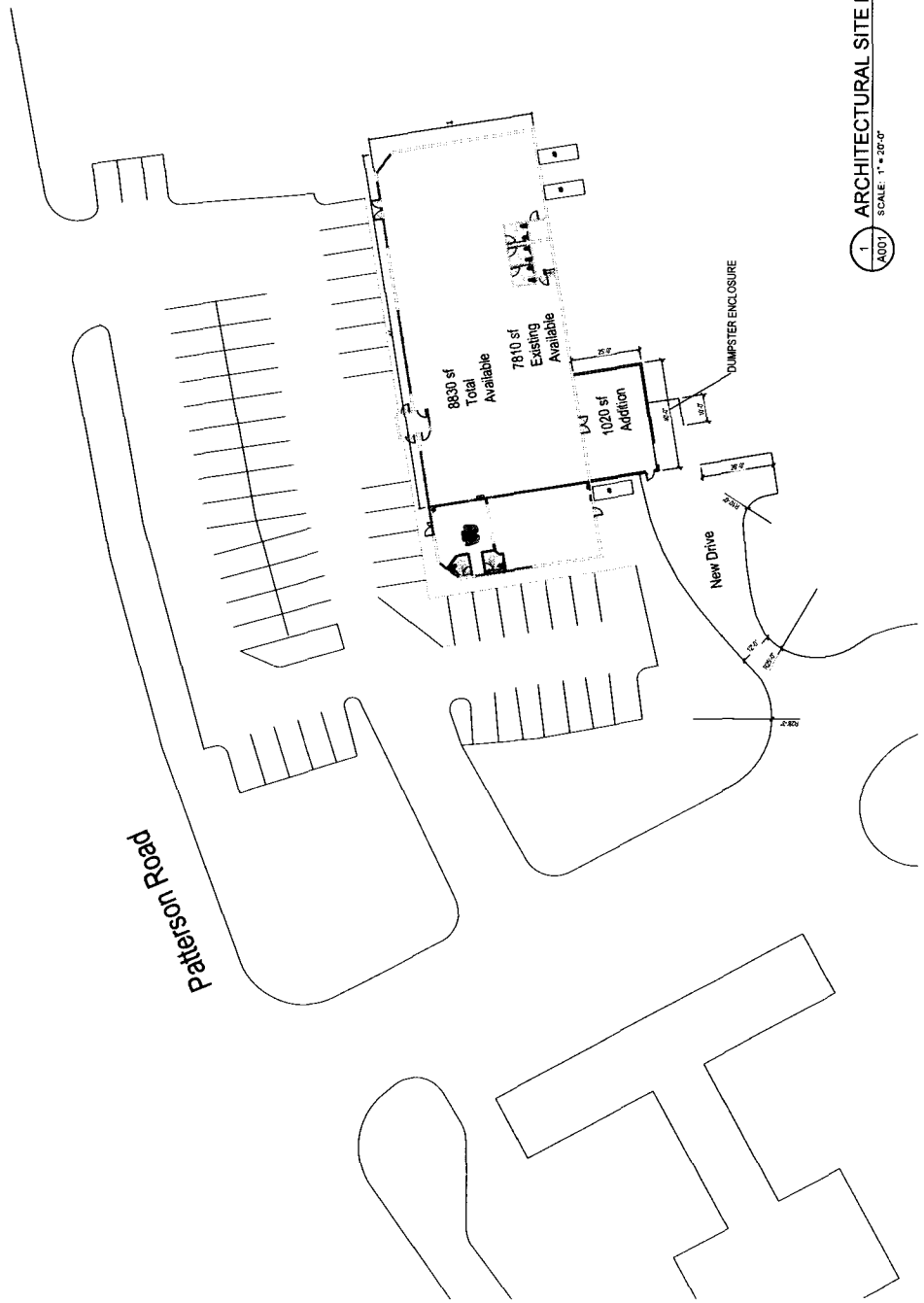


DATE ISSUED FOR REVIEW
 03.09.2018



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ARCHITECTURAL SITE PLAN
A001



1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20'-0"

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 JUNE 25, 2018

3
4 BILL NO. 9397

ORDINANCE NO.

5
6
7 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO SPECIAL**
8 **PERMIT NO. 7593 TO MACS CONVENIENCE STORES, LLC D/B/A**
9 **CIRCLE K TO ALLOW FOR CAR WASH DIRECTIONAL SIGNS FOR**
10 **THE PROPERTY LOCATED AT 1545 S. NEW FLORISSANT ROAD.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of a filling station; and

15 WHEREAS, the Florissant City Council originally granted Special Use Permit no. 3472
16 to Shell Oil Company to operate a self-service Shell station and pole sign located at 1545 S. New
17 Florissant Road; and

18 WHEREAS, Ordinance no. 5062 was passed replacing ordinance no. 3472 to
19 accommodate the expansion and addition of a car laundry; and

20 WHEREAS Ordinance no. 5062 was amended by ordinance no. 5595 to allow for a
21 canopy extension and installation of a flag pole; and

22 WHEREAS Ordinance no. 7593 transferred the original Special Use Permit no. 3472 as
23 amended from Shell Oil Company to Mac's Convenience Stores LLC from the operation of a
24 convenience store and service station; and

25 WHEREAS Mac's Convenience stores d/b/a Circle K has applied for an amendment to
26 ordinance no. 7593 to allow for car wash directional signs for the property located at 1545 S.
27 New Florissant Road; and

28 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
29 meeting of June 4th, 2018 has recommended that the said Special Use Permit be amended; and

30 WHEREAS, due notice of public hearing no. 18-06-023 on said application to be held on
31 the 25th day of June, 2018 at 7:30 P.M. by the Council of the City of Florissant was duly
32 published, held and concluded; and

33 WHEREAS, the Council, following said public hearing, and after due and careful
34 consideration, has concluded that the granting of an amendment to the Special Use Permit
35 authorized by Ordinance No. 7593 as hereinafter provided would be in the best interest of the
36 City of Florissant.

1 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
2 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

3
4 Section 1: The Special Use Permit no. 7593 heretofore transferred to Mac’s Convenience
5 Stores LLC d/b/a Circle K is hereby amended to allow for car wash directional signs in
6 accordance with the attached approved plans.

7 Section 2: Said Special Permit shall be conditioned on and shall remain in full force
8 and effect so long as the conditions set out in Ordinance no. 3472 as amended and transferred
9 by ordinance no. 7593, as now further amended, are adhered to.

10 Section 3: This ordinance shall become in force and effect immediately upon its passage
11 and approval.

12
13 Adopted this ____ day of _____, 2018.

14
15
16 _____
17 Jeff Caputa
18 President of the Council
19 City of Florissant

20
21
22 Approved this ____ day of _____, 2018.

23
24
25 _____
26 Thomas P. Schneider
27 Mayor, City of Florissant

28
29 ATTEST:

30
31
32 _____
33 Karen Goodwin, MMC/MRCC
34 City Clerk

CITY OF FLORISSANT

Public Hearing

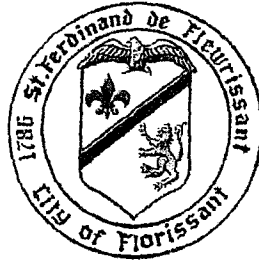


In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, June 25, 2018 at 7:30 P.M. on the following proposition:

To authorize an amendment to Special Use Permit Nos. 5062, 5255, 5595, and 7593 to Macs Convenience Stores, LLC d/b/a Circle K to allow for car wash directional signs for the property located at 1545 S. New Florissant Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT,

Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 1545 S. New Florissant

Property Owners Name: SPIRIT ENERGY LLC Phone/email: 314-898-9226

Property Owners Address: 7701 FORSYTH BLVD SUITE 325 SAINT LOUIS, MO

Business Owners Name: MACS CONVENIENCE STORES LLC Phone/email: 812-379-9227 ⁶³¹⁰⁵

Business Owners Address: 4080 W. JONATHAN MOORE PIKE COLUMBUS, IN 47201

DBA (Doing Business As) MACS CONVENIENCE STORES LLC DBA CIRCLE K

Authorized Agents Name: JASON BUXTON Co. Name: Midwest Light + Sign
(Authorized Agent to Appear Before The Commission)

Agents Address: 1249 Weber Loop Rd, Farmington Phone/email: 573-760-1994

Request Vinyl Circle K Sign, Vinyl Car Wash Sign, Vinyl Exit Car Wash sign, 3 directional signs

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Karen Dodge
Applicant's Signature

2-1-18
Date

Received by: ff Receipt # 609725 OFFICE USE ONLY Amount Paid: 300.00 Date: 5-18-18

STAFF REMARKS: _____ COMMISSION ACTION TAKEN: _____

DATE APPLICATION REVIEWED: Philip E. Linn 5/30/18
SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 6-4-18

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 5 Zoning B-3

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN:

DATE:

SPECIAL PERMIT FOR Car Wash Signage
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 1545 S. New Florissant
Address of property.

1) Comes Now _____
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) _____
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Service Station and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.


4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

MIKE SHELLY  / 773-763-9600
PRINT NAME SIGNATURE email and phone
MIKE@COMONATEIDSOLUTIONS.COM

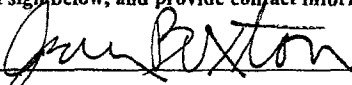
FOR CIRQUE K
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the hercin above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

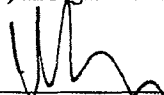
Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE 

ADDRESS 1244 WEBB COOK RD. FARMINGTON MO
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 573-760-1994 /
BUSINESS

I (we) the petitioner (s) do hereby appoint JASON BUXTON as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

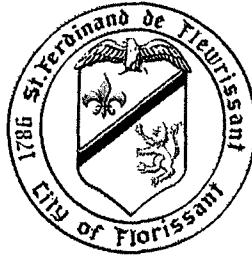

Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

1

MEMORANDUM



CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

2

3

4

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7

To: Planning and Zoning Commissioners Date: May 30, 2018

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. PE-PWLF
Director of Public Works
Applicant
File

10

11

12

13

14

Subject: **1545 S. New Florissant Road** - Request recommended approval to
amend a Special Use, ordinance no. 3472, to allow for directional signs in
a 'B-3' Zoning District.

15

16

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18

STAFF REPORT

CASE NUMBER PZ-060418-3

19

20

I. PROJECT DESCRIPTION:

This is a request for recommended approval to amend a Special Use, ordinance no. 3472 (as amended by ordinances 5062, 5255, 5595, and 7593) in a 'B-3' Zoning District to allow for directional signs.

21

22

23

24

25

II. EXISTING SITE CONDITIONS:

The existing property at **1545 S. New Florissant Road** is a 1071 s.f. filling station according to public record. It has been in operation since 1990 and would like to apply for permit for exterior alterations.

26

27

28

29

30

III. SURROUNDING PROPERTIES:

The adjacent property to the North is 1475 S. New Florissant Road in a 'B-3' District owned by the filling station, Spirit Energy LLC. The property to the west is 1067 Dunn Road in an 'B-3' District with easement agreement for the retaining wall.

31

32

33

34

35

IV. STAFF ANALYSIS:

The application is accompanied by professional sign package, pages 1-5 all dated 10/31/17 and an undated survey showing sign locations and setback. Staff has the following review comments:

36

37

38

39

40

41 General: Upon examination of plans, the sign package is approvable, except for the
42 directional signs in the front yard. Petitioner should come prepared to discuss how traffic
43 improvements on such an irregularly shaped lot will be improved by the installation of
44 such signs.

45
46 **V. STAFF RECOMMENDATIONS:**

- 47 1. The exterior changes affect the existing Special Use and qualify as post signs
48 which may be considered under a Special Use Amendment per the sign code:
49 *Section 520.090 Post Signs.*

50 *A. No post sign shall extend downward nearer than ten (10) feet to the ground or pavement unless*
51 *such sign is so located on the premises where there is no walk or drive-in traffic. Such*
52 *excepted sign shall not extend downward nearer than six (6) feet six (6) inches to the ground level.*
53 *All post signs shall be constructed of sheet metal or other non-combustible materials.*

54 *Post signs shall be constructed and braced to withstand a horizontal wind pressure of not less than*
55 *thirty (30) pounds for every square foot of surface exposed and shall be securely attached to the*
56 *pole or post in an approved manner. No post sign erected on private property shall extend more*
57 *than four (4) feet six (6) inches from the building line, including attachment irons and the like,*
58 *unless the sign is less than four (4) feet six (6) inches in height, in which case the maximum*
59 *projection shall be six (6) feet six (6) inches from the building line. No post sign shall exceed*
60 *twenty-five (25) feet in height.*

61 *B. Post signs are prohibited on shopping centers; but a special permit authorizing the location of*
62 *a post sign may be issued by the Council if the Council finds that the issuance of such permit shall*
63 *alleviate a hardship and is not simply for the convenience of the applicant, that such*
64 *proposed sign would be consistent with good planning practices, can be maintained in a manner*
65 *which is visually compatible with the use of the property in the surrounding area and*
66 *other sign structures within the surrounding area and is not located in the historic district.*

67
68
69 **Suggested Motion to Amend a Special Use:**

- 70
71 1. I move for recommended approval, to amend a Special Use, ordinance no. 3472
72 (as amended by ordinances 5062, 5255, 5595, and 7593) in a 'B-3' Zoning
73 District to allow directional signs as described on related documents presented, *only SW sign*
74 *adjacent to bldg. on* page 5 of 5 as prepared by CIS dated 10/31/17 and survey attached. Approval
75 is subject to the regulations of these ordinances, and the following (additional
76 requirements: *other directional signs not app'd.*

77
78 1. **GENERAL DEVELOPMENT CONDITIONS.**

- 79
80 a. Unless, and except to the extent, otherwise specifically provided in
81 ordinance no. 3472, development shall be effected only in accordance with
82 all ordinances of the City of Florissant.

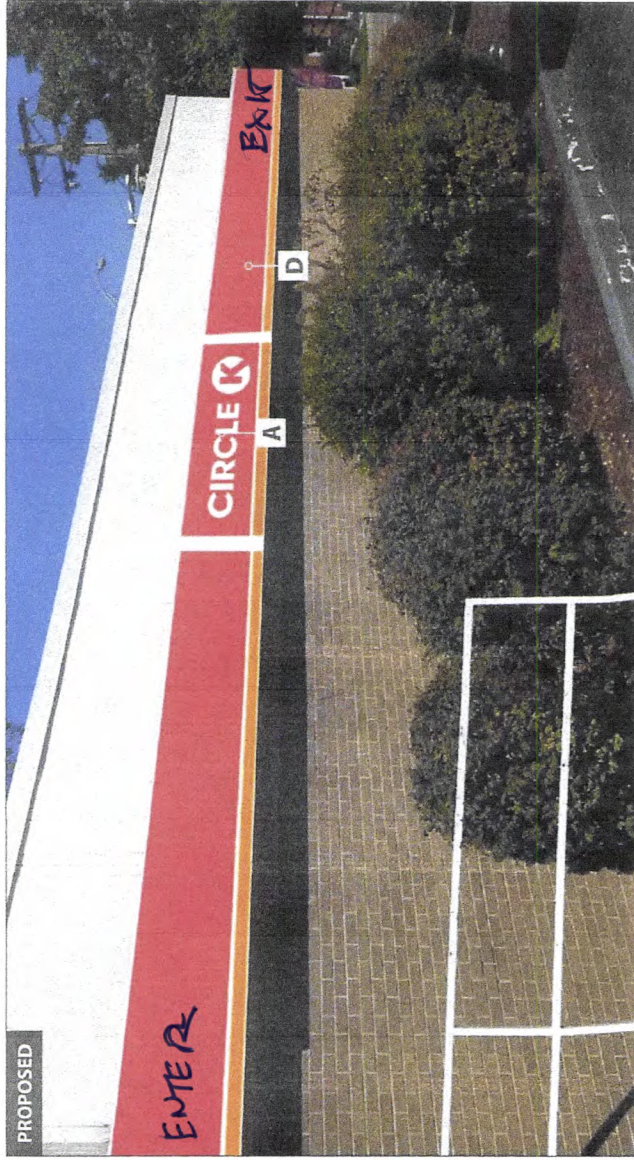
83 *rec. change ribbon signs to add "car wash", "entrance", "exit".*

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2. **PROJECT COMPLETION.**

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 90 days of start of construction.

(End of report and suggested motion)



ARTWORK REFLECTS CURRENT SURVEY

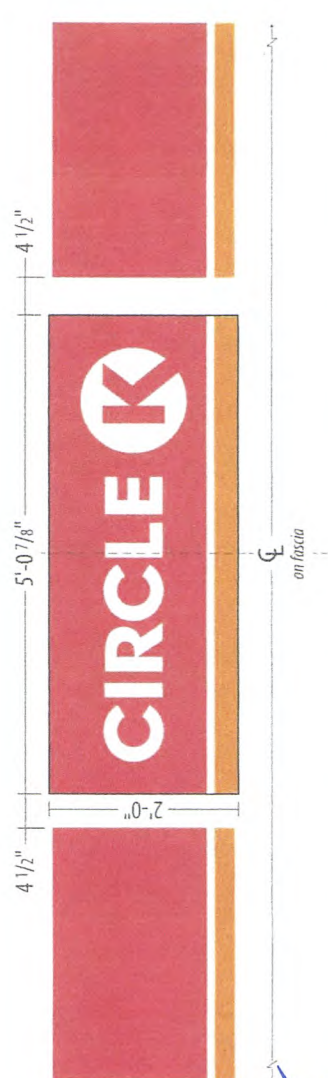
BUILDING INFO	HEIGHT	ENTER/EXIT	DEPTH
14'-0"	25'-0"	48'-0"	48'-0"
FASCIA INFO	HEIGHT	ENTER/EXIT	DEPTH
2'-0"	25'-0"	48'-0"	48'-0"

SIGN DESCRIPTION	QTY	SIZE	AREA
A Vinyl Circle K Decal	1	13 1/2" x 4'-4 3/4"	4.9 SF
B Vinyl Car Wash Decal	1	7 3/8" x 4'-9 1/8"	2.9 SF
C Vinyl Exit Car Wash Decal	1	10" x 9'-6"	7.9 SF
D Fascia Bands	1	2'-0" high	98 LF

CIRCLE K VINYL COLORS
 3M 3630-33 Red
 3M 3630-3540 Tan

RECOMMENDED APPROVAL
PLANNING & ZONING
 CHAIRMAN

SIGN. *[Signature]* DATE: 6-4-18



CORPORATE IDENTIFICATION SOLUTIONS

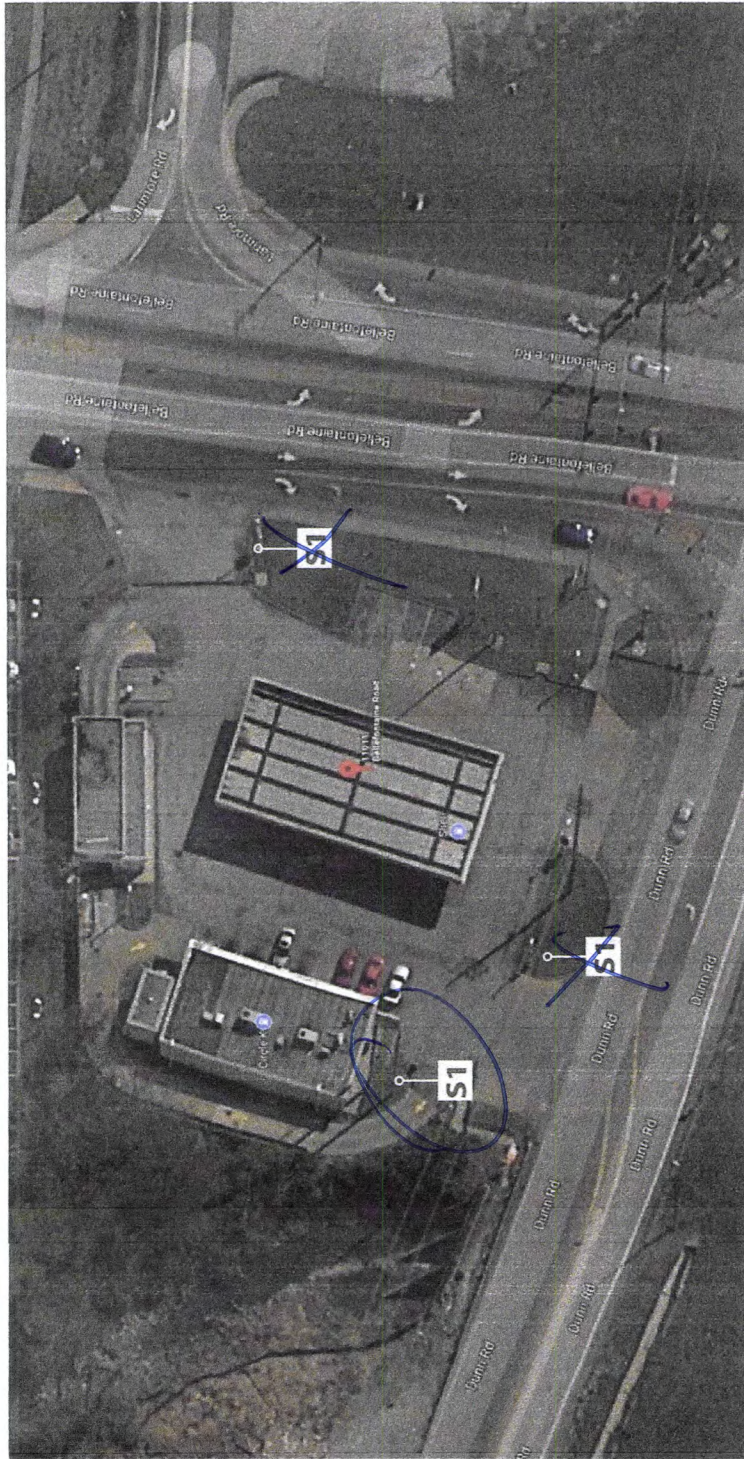
CUSTOMER
 Circle K
 SITE NUMBER
 1622

CORPORATE ID SOLUTIONS
 5563 N Elston Ave.
 Chicago, IL 60630
 P: 773-763-9600 | F: 773-763-9606
 www.CorporateIDSolutions.com

REVISION
 01
 SCALE
 NTS

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SIGNATURE _____ DATE _____



S1

SECONDARY SIGNAGE

SIGN DESCRIPTION	QTY	SIZE	AREA
S1 Directional - Totem Sign	3	4'-0" x 2'-5"	9.65F



**RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

SIGN: *[Signature]* **DATE:** 6-14-18



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER
Circle K
SITE NUMBER
1622

LOCATION
Florissant, MO
ACCOUNT REP
Ben DeHayes

DRAWN BY
SW

REVISION
01

DATE
10/31/17

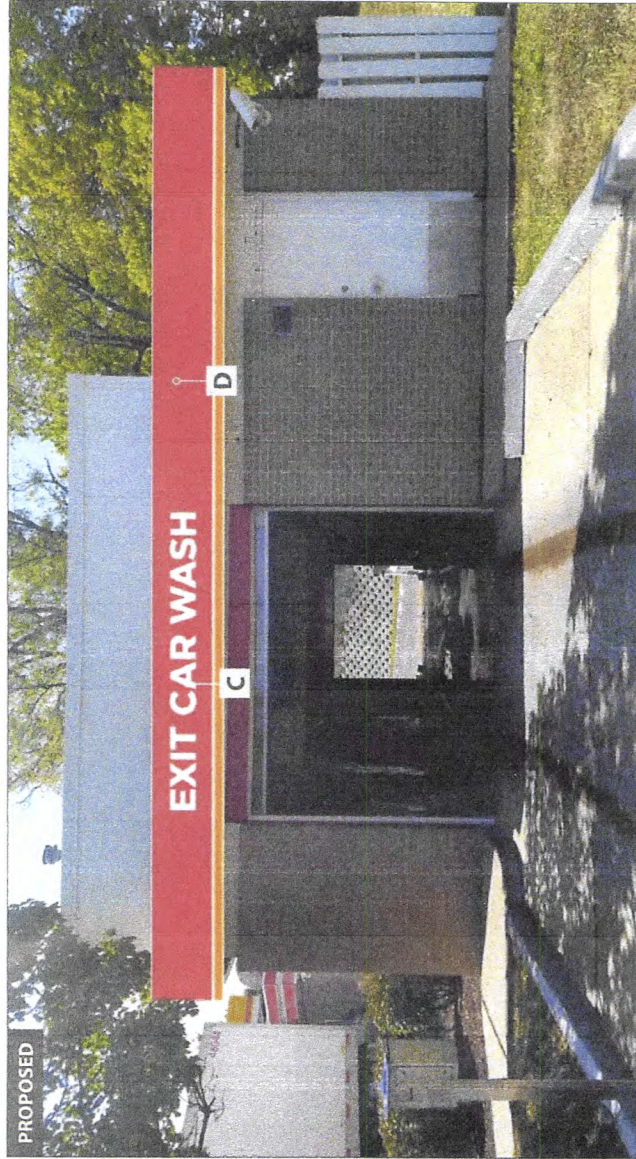
SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N Elston Ave.
Chicago, IL 60630
P: 773-763-9600 | F: 773-763-9606
www.corporateidsolutions.com

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SIGNATURE

DATE

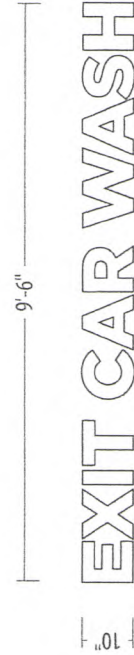


ARTWORK REFLECTS CURRENT SURVEY

BUILDING INFO	HEIGHT	ENTER/EXIT	DEPTH
FASCIA INFO	14'-0"	25'-0"	48'-0"
	2'-0"	25'-0"	48'-0"

SIGN DESCRIPTION	QTY	SIZE	AREA
A Vinyl Circle K Decal	1	13 1/2" x 4'-4 3/4"	4.9 SF
B Vinyl Car Wash Decal	1	7 3/8" x 4'-9 1/8"	2.9 SF
C Vinyl Exit Car Wash Decal	1	10" x 9'-6"	7.9 SF
D Fascia Bands	1	2'-0" high	98 LF

CIRCLE K VINYL COLORS
 3M 3630-33 Red
 3M 3630-3540 Tangerine



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
 Circle K
 SITE NUMBER
 1622

LOCATION
 Florissant, MO
 ACCOUNT REP
 Ben DeHayes

CORPORATE ID SOLUTIONS
 5563 N Elston Ave.
 Chicago, IL 60630
 P: 773-763-9600 | F: 773-763-9606
 www.corporateidsolutions.com

REVISION
 01
 SCALE
 NTS

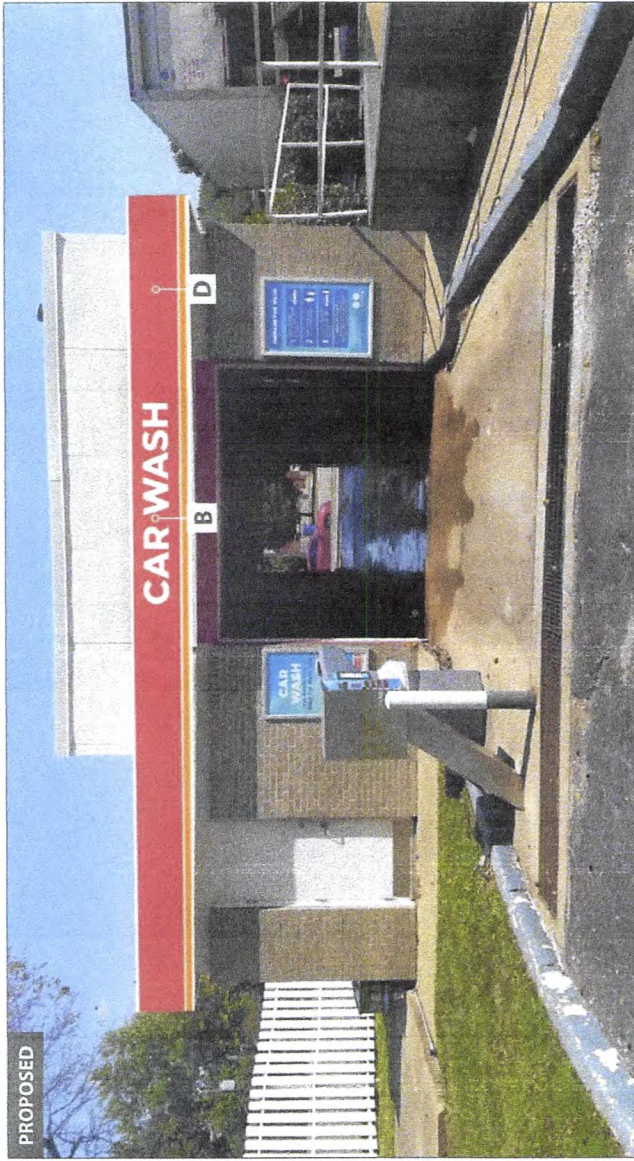
DRAWN BY
 SW
 DATE
 10/31/17

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SIGNATURE _____ DATE _____



EXISTING



PROPOSED

ARTWORK REFLECTS CURRENT SURVEY

	BUILDING INFO	HEIGHT	ENTER/EXIT	DEPTH
	14'-0"	25'-0"	48'-0"	
	2'-0"	25'-0"	48'-0"	

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Vinyl Circle K Decal	1	13 1/2" x 4'-4 3/4"	4.9 SF
B	Vinyl Car Wash Decal	1	7 3/8" x 4'-9 1/8"	2.9 SF
C	Vinyl Exit Car Wash Decal	1	10" x 9'-6"	7.9 SF
D	Fascia Bands	1	2'-0" high	98 LF

CIRCLE K VINYL COLORS
 3M 3630-33 Red
 3M 3630-3540 Tangerine

CAR WASH

7 3/8" | 4'-9 1/8"



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
 Circle K
 SITE NUMBER
 1622

LOCATION
 Florissant, MO
 ACCOUNT REP
 Ben DeHayes

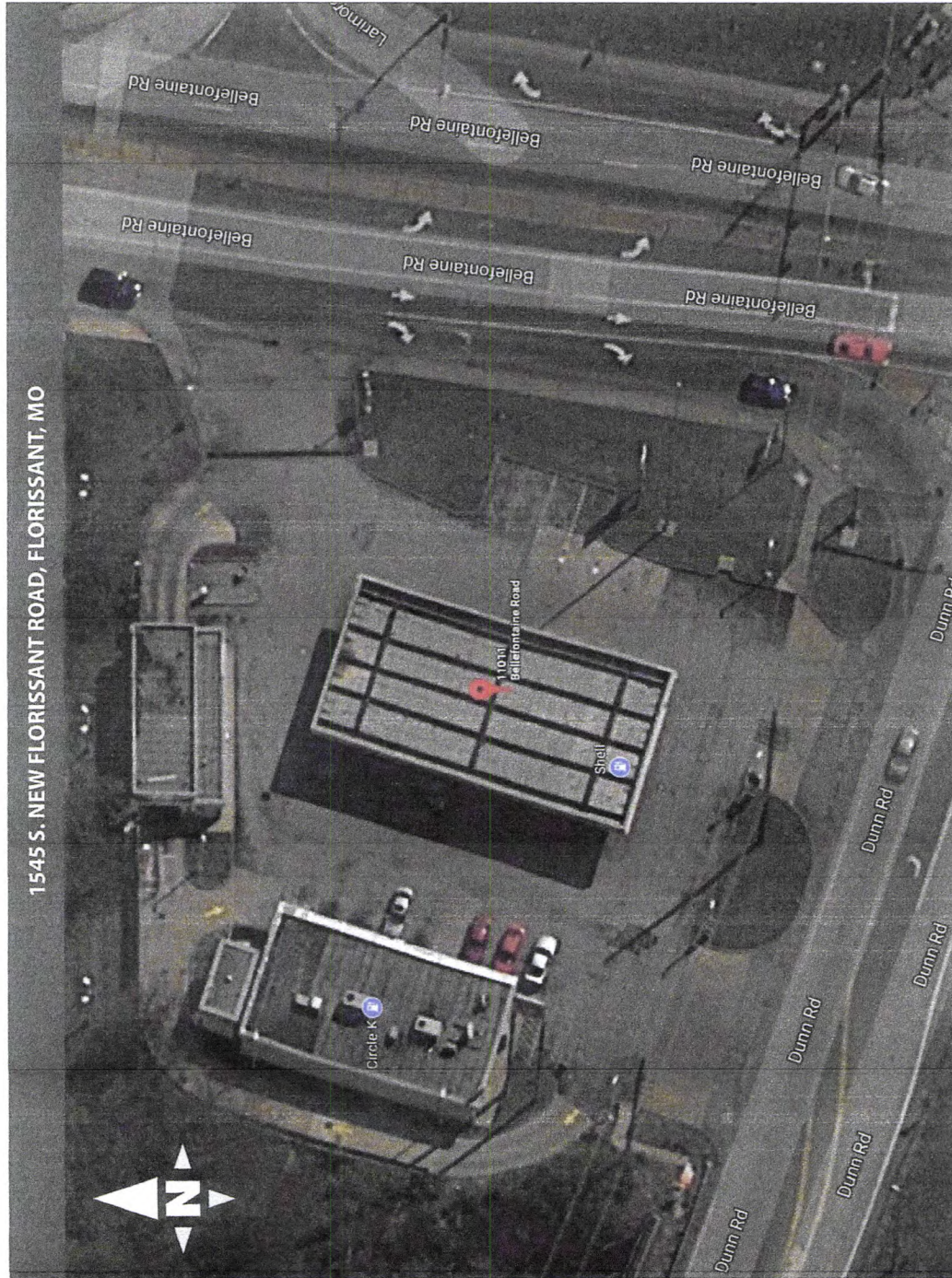
CORPORATE ID SOLUTIONS
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REVISION
 01
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 NTS

DRAWN BY
 SW
 DATE
 10/31/17

CUSTOMER ACCEPTANCE
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SIGNATURE _____ DATE _____



EXISTING



EXISTING



EXISTING



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
Circle K
SITE NUMBER
1622

LOCATION
Florissant, MO
ACCOUNT REP
Ben DeHayes

DRAWN BY
SW
DATE
10/31/17

REVISION
01
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SIGNATURE

DATE

CITY OF FLORISSANT

955 rue St. Francois
Phone: 314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- () Full Liquor by the Drink
- () Malt Liquor & Wine by the Drink
- () Full Liquor by Drink (Non-Profit)
- () Full Package Liquor
- () Malt Liquor & Wine Package
- () Consumption of Liquor
- () Tasting

To the City Clerk, City of Florissant, St. Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF OPERATION:

- (Individual) () Partnership () Corporation - Attach list of officers, addresses, phone no. () Limited Liability Corp
- (Attach list of Partners)

Name of Business Valley Clubhouse, LLC

Business Address 1703 Dann Rd., Florissant MO 63033 Phone 314-838-7141

Names of Applicant, Corporation, or LLC S/A

Address of Owner S/A Phone _____
Street City State Zip

Name of Managing Officer Charles E. Rideout, Jr.

Home Address #2 St. Margaret, Florissant, MO 63031 Years at address 33
Street City/State Zip Home Phone 314-504-6386

Managing Officer Date & Place of Birth _____ Lebanon, IL Cell Phone 314-504-6386

Managing Officer Driver's License No. S 035265042 Social Security Number* _____
(Provide a copy of driver's license) * Social Security Number will be used for purposes of identification in running record check.

Managing Officer Personal Property Taxes 2017 Paid? () Yes () No (Attach most recent copy)

Managing Officer Register Voter of Missouri? () Yes () No (Attach a Voter Registration Certificate)

Have you ever been arrested?: Yes What Charge? DWI
Where? Florissant & STL Co., STL City Disposition? Flor. - STL Co. - BES STL City - S1

Citizen of U.S.A.? () Yes () No Naturalized? () Yes Date _____ () No
If Naturalized, Give Number: _____ Dist. _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? No
If so, give details _____
7/5/18 cc to Council Hessel & Mayor

Have you previously held a liquor license of any type? No
If so, when and where _____

Have you ever had a liquor license suspended or revoked? No
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? No
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? No
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? No
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? Yes
If so, state name Valley Clubhouse LLC

Is the location within 200 feet of property used for church, school or public playground? No

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

Valley Clubhouse LLC
Trade Name
[Signature]
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

Charles E. Rideout, Jr., of lawful age, being first duly sworn upon his oath
(Individual or **Managing Officer**)

deposes and states that he/she is the (~~applicant~~) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

[Signature]
Signature of Individual or **Managing Officer**

Subscribed and sworn to before me this 21st day of Jan., 2018.



JACQUELINE C. COX
My Commission Expires
August 10, 2021
St. Louis County
Commission #13436000

Jacqueline C. Cox
Notary Public

My Commission Expires: _____

NOTE: APPLICATION MUST BE SWORN TO BEFORE A NOTARY PUBLIC

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY ~~Bob~~ Fu-Yuan Property PHONE 314-640-1069 (Bob)
ADDRESS 2263 Sycamore Dr. CITY Chesterfield STATE MO ZIP 63017

NAME OF BUSINESS Valley Clubhouse, LLC PHONE 314-838-7141
ADDRESS 1703 Dunn Rd. CITY Florissant STATE MO ZIP 63033

BUSINESS HOURS 12:00 pm to 1:30 Am Mon-Sat 12:00pm to 12:00Am Sun.

OWNER/MANAGER Charles Rideout, Jr. PHONE 314-504-6382

HOME ADDRESS #2 St. Margaret CITY Florissant STATE MO ZIP 63031

PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE.

CONTACT #1

NAME Charles Rideout, Jr. ADDRESS #2 St. Margaret
CITY & STATE Florissant MO ZIP 63031 PHONE 314-504-6382
HAS KEY: YES () NO ()

CONTACT #2

NAME Dave Woodruff ADDRESS 325 Larry Dr.
CITY & STATE Florissant MO ZIP 63033 PHONE 314-503-7099
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES () NO ()
IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO ()
IF YES, WHO: Jewells Crist (cleaning lady) comes in Am
ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO ()
DESCRIBE: _____

(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES () NO ()

IF YES, WHERE IS IT LOCATED: in the office

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO ()

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES () NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____ DATE _____

TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:

1. FULL NAME Charles E. Rideout, Jr.
SOC. SEC. NO. _____ PLACE OF BIRTH Lebanon, IL
DATE OF BIRTH _____ SEX M
PHONE NUMBER 314-504-6382
ADDRESS #2 St. Margaret, Florissant MO 63031
LAST PREVIOUS ADDRESS 8 N. Duschene, Florissant
NO. OF YRS. 33 @ St. Margaret

2. FULL NAME David W. Woodruff
SOC. SEC. NO. _____ PLACE OF BIRTH St. Louis, MO
DATE OF BIRTH _____ SEX M
PHONE NUMBER 314-503-7099
ADDRESS 325 Larry Dr. Florissant MO 63033
LAST PREVIOUS ADDRESS 2 Sitation Flo, Florissant
NO. OF YRS. 20 @ Larry Dr.

3. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YRS. _____

4. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YRS. _____



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 07/05/2018

Name (1): CHARLES RIDEOUT

Name (2):

Name (3):

Date Of Birth: 07/05/1960

SSN: xxx-xx-3840

Control Number: 4283260

If you have any questions, please do not hesitate to contact our office at 573-526-6312.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102

TEAR HERE AND RETURN LOWER PORTION WITH PAYMENT

2017

ACCOUNT NUMBER 871386589	SCHOOL/SUB 111UU	CITY CODE 024	SITE CODE 0551	REG	ST LOUIS COUNTY, MISSOURI PERSONAL PROPERTY TAX BILL	10/20/2017	PIN 6577					
VALUATION	TYPE	X	RATE	PER \$100 =	CURRENT TAX	+	INTEREST	+	PENALTIES	+	TOTAL FEES =	PAY THIS AMOUNT \$265.13
2,640	PERSONAL		10.0424		265.13		0.00		0.00		0.00	

Make check payable to: COLLECTOR OF REVENUE

PRINT
MAILING
ADDRESS
CHANGE

RIDEOUT CHARLES E JR
2 SAINT MARGARET CT
FLORISSANT, MO 63031-8128

DESCRIPTION OF PROPERTY					VEH FEE	VALUATION
000711	T	08	CHEV	SILVERADO 1/		2,640

12/12/17 ST. LOUIS CO.
COLLECTOR OF REVENUE
PAID

AY174000011 XA1871386589CCCC UD0000026513 CX1113434 8

State of Missouri



Robin Carnahan
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

*VALLEY CLUBHOUSE L.L.C.
LC078857C*

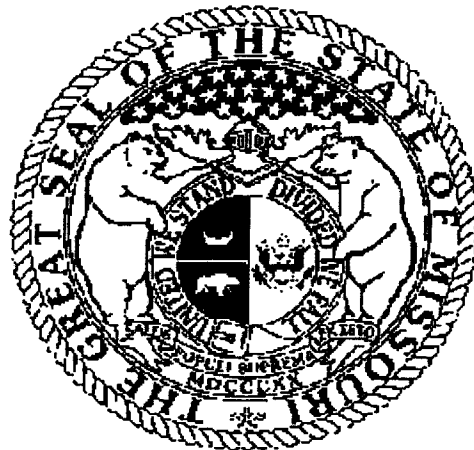
filed its Articles of Organization with this office on the 11th day of January, 2007, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, ROBIN CARNAHAN, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 11th day of January, 2007, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 11th day of January, 2007.

Robin Carnahan

Secretary of State





State of Missouri
Robin Carnahan, Secretary of State

Corporations Division
P.O. Box 778 / 600 W. Main Street, Rm 322
Jefferson City, MO 65102

File Number: 200701161308
LC0788570
Date Filed: 01/11/2007
Robin Carnahan
Secretary of State

Articles of Organization

(Submit with filing fee of \$105)

1. The name of the limited liability company is:

VALLEY CLUBHOUSE LLC

(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "L.L.C.," or "LLC")

2. The purpose(s) for which the limited liability company is organized: TAVERN

3. The name and address of the limited liability company's registered agent in Missouri is:

James C. Hunt 3045 Newgate, Florissant, Mo. 63033
Name Street Address: May not use P.O. Box unless street address also provided City/State/Zip

4. The management of the limited liability company is vested in: managers members (check one)

5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: PERPETUAL

(The answer to this question could cause possible tax consequences, you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer (P.O. Box may only be used in addition to a physical street address):

(Organizer(s) are not required to be member(s), manager(s) or owner(s))

James C. Hunt, 3045 Newgate, Florissant, Mo. 63033
DAVID W. WOODROFF - 325 LARRY DR. FLORISSANT MO 63033

7. The effective date of this document is the date it is filed by the Secretary of State of Missouri, unless you

indicate a future date, as follows: _____

(Date may not be more than 90 days after the filing date in this office)

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

James C. Hunt
Organizer Signature
David W. Woodroff
Organizer Signature
Organizer Signature

James C. Hunt
Printed Name
DAVID W. WOODROFF
Printed Name
Date
Date
Date

Name and address to return filed document:
Name: James C. Hunt
Address: 3045 Newgate
City, State, and Zip Code: FLORISSANT, MO. 63033

State of Missouri
Creation - LLC/LP 1 Page(s)



T0701155825



State of Missouri
John R. Ashcroft, Secretary of State

Corporations Division
PO Box 778 / 600 W. Main St., Rm. 322
Jefferson City, MO 65102

Statement of Change of Registered Agent and/or Registered Office
By a Foreign or Domestic For Profit or Nonprofit Corporation or a Limited Liability Company

Instructions

1. This form is to be used by either a for profit or nonprofit corporation or a limited liability company to change either or both the name of its registered agent and/or the address of its existing registered agent.
2. There is a \$10.00 fee for filing this statement.
3. PO Box may only be used in conjunction with a physical street address.
4. Agent and address must be in the State of Missouri.
5. The corporation may not act as its own agent.

Charter #: LC0788570

1. The name of the business entity is Valley Clubhouse, LLC

2. The address, including street and number, of its present registered office (before change) is
3045 Newgate, Florissant, MO 63033

Address

City/State/Zip

3. The address, including street and number, of its registered office is hereby changed to:
#2 St. Margaret Ct., Florissant, MO 63031

Address (PO Box may only be used in conjunction with a physical street address)

City/State/Zip

4. The name of its present registered agent (before change) is: James C. Hunt

5. The name of the new registered agent is: Charles E. Rideout, Jr.

Authorized signature of new registered agent must appear below:

(May attach separate originally executed written consent to this form in lieu of this signature)

6. The address of its registered office and the address of the business office of its registered agent, as changed, will be identical.

7. The change was duly authorized by the business entity named above.

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

James C. Hunt
Authorized signature of officer, member, manager or, if applicable, chairman of the board

James C. Hunt

James C. Hunt
Printed Name

Organizer

Title

Date

12-12-13

JAMES C HUNT

Name and address to return filed document:

Name: Charles E. Rideout, Jr.

Address: #2 St. Margaret Ct.

City, State, and Zip Code: Florissant, MO 63031

ORI-12202017-1316 State of Missouri

ORI-01082018-1021 State of Missouri

No of Pages 1 Page



Change Agent/Address

COPY

BILL OF SALE OF MEMBERSHIP INTEREST IN

VALLEY CLUBHOUSE, LLC

The undersigned sold the following membership interest in the LLC in exchange for the following amounts:

<u>Membership Interests:</u>	<u>Value:</u>
James Hunt, 50%	\$20,000.00

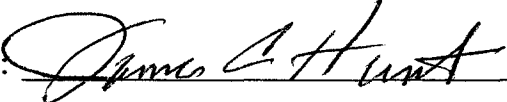
The new assignee of the LLC membership interests agree to take full responsibility of the previous member's duties as a member in the named LLC.

The membership interests are sold as is and where is with no guarantees. The LLC membership interests are free of any encumbrances.

Total value: \$20,000.00

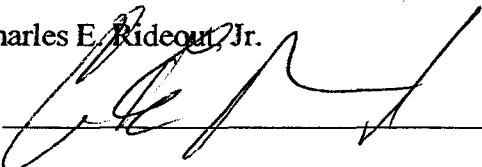
Total membership interest percentage: 50%

Seller Name: James Hunt

Seller Signature:  Dated: 5-20-17

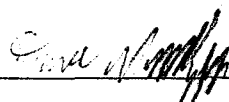
****Failure to have all current members sign this agreement granting new owner full membership benefits does not grant new member full benefits.**

Buyer Name: Charles E. Rideout, Jr.

Buyer Signature:  Dated: 5-20-17

All current members authorize the sale of the membership interest to the named buyer in this agreement and agree to grant full member benefits according to the LLC operating agreement to the new owner of the membership interests.

Current Member: David Woodruff

Current Member Signature:  Dated: 5-20-17

RICHARD H. KELLETT
Chairman

TRUDI MCCOLLUM FOUSHEE
Commissioner

ERIC FEY
Director of Elections

Saint Louis
COUNTY
ELECTION BOARD

JOHN W. MAUPIN
Secretary

vacant
Commissioner

RICK STREAM
Director of Elections

CERTIFICATE OF REGISTRATION

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)



This is to certify that CHARLES E. RIDEOUT JR. is a resident and registered voter in
Precinct 7 of FLORISSANT Township of the County of St. Louis and the
State of Missouri having registered on 12/5/17 .

I do hereby certify the following to be true and correct information obtained from the voter registration
file and verified by the applicant.

Current Address: 2 ST. MARGARET CT.

City/State/Zip: FLORISSANT, MO 63031

Date of Birth: 7/19/62

U. S. Citizen: YES

IN WITNESS WHEREOF, I hereunto set my hand and the seal of said Board of Election
Commissioners located in St. Louis County, Missouri, this 17 Day of January,
2018.

Signature of Election Board Official

(Seal)

PETITION

WHEREAS, Sec. 600.060 of the Florissant City Code provides that "No license for the sale of intoxicating liquors of any kind at retail by the drink for consumption on the premises where sold shall be issued unless a petition approving such issuance shall be filed with the application for license and which petition shall be signed by two-thirds of the assessed taxpaying citizens owning property and also two-thirds of the persons occupying, owning or conducting any business on the main or ground floor of buildings within a distance of two hundred (200) feet of the applicant's place of business in all directions."

NOW, THEREFORE, we the undersigned, do hereby approve the issuance of a license to

Valley Clubhouse

NAME OF BUSINESS

to sell intoxicating liquors of all kinds by the drink and for the consumption on the premises located at:

1703 DUNN Rd

BUSINESS ADDRESS

NAME

ADDRESS

PHONE

<u>NAME</u>	<u>ADDRESS</u>	<u>PHONE</u>
<u>ATIF AUN</u>	<u>1711 DUNN RD.</u>	<u>717-460-6476</u>

I hereby certify that the foregoing petition contains the signatures of two-thirds of the assessed taxpaying citizens owning property and also two-thirds of the persons occupying, owning or conducting any business on the main or ground floor of buildings within a distance of two hundred (200) feet of the applicant's place of business in all directions.

Signature of Applicant
(Individual or Managing Officer)

Subscribed and sworn to before me this 5 day of July, 2018.

Patricia Hummert

Notary Public

My Commission Expires: 4-9-2019



INTRODUCED BY COUNCIL AS A WHOLE
JULY 9, 2018

RESOLUTION NO. 1003

**RESOLUTION OF THE CITY COUNCIL AND MAYOR OF THE CITY
OF FLORISSANT MISSOURI EXPRESSING THEIR OPPOSITION TO
PROPOSITION A “RIGHT TO WORK”**

WHEREAS, the NAACP, Faith Leaders and Labor organizations throughout the state have voiced opposition to Prop A; and

WHEREAS, of the 25 of the worst states for Education 17 are Right to Work states; and

WHEREAS, of the 25 of the worst states for the overall safety of children in public schools, 18 of them are Right to Work states; and

WHEREAS, of the 25 worst states for Health Insurance, 19 are Right to Work states; and

WHEREAS, of the 25 worst states for Workplace Safety, Emergency Preparedness, Personal and Residential Safety, 19 are Right to Work states; and

WHEREAS, Right to Work states have seen a 24% increase in workplace fatalities; and

WHEREAS, Workers in Right to Work states earn more than \$8,000 less in wages than non-Right to Work states; and

NOW, THEREFORE BE IT RESOLVED

That the City Council of the City of Florissant, Missouri, expresses their opposition to Proposition A “Right To Work” and encourages all residents to research the issues exercise your right to vote.

Passed and resolved this 9th day of July, 2018.

Jeff Caputa
President of the Council

Thomas P. Schneider
Mayor

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN JONES
2 JULY 9, 2018

3
4 BILL NO. 9401

ORDINANCE NO.

5
6
7 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO SPECIAL USE**
8 **PERMIT NO. 4879, AS AMENDED, FOR BENTWOOD NURSING AND**
9 **REHAB TO ALLOW FOR AN EXPANSION OF A NURSING HOME**
10 **LOCATED AT 1501 CHARBONIER ROAD.**
11

12
13 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
14 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
15 operation of a nursing home; and

16 WHEREAS, the Florissant City Council originally granted Special Use Permit no. 4879
17 to Bentwood Nursing and Rehab to allow for a nursing home located at 1501 Charbonier Road;
18 and

19 WHEREAS, Ordinance no. 5969 was passed on May 27, 1997 and amended ordinance
20 no. 4879 to allow for six additional beds and an increase to the dining center, recreation and
21 physical therapy rooms; and

22 WHEREAS Ordinance no. 7264 was passed on February 13, 2006 to allow for the
23 installation of two additions to the existing nursing home; and

24 WHEREAS Bentwood Nursing and Rehab has applied to further amend ordinance no.
25 4879 to allow for an additional expansion of the nursing home located at 1501 Charbonier; and

26 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
27 meeting of June 18, 2018 has recommended that the said Special Use Permit be amended; and

28 WHEREAS, due notice of public hearing no. 18-07-024 on said application to be held on
29 the 9th day of July, 2018 at 7:30 P.M. by the Council of the City of Florissant was duly
30 published, held and concluded; and

31 WHEREAS, the Council, following said public hearing, and after due and careful
32 consideration, has concluded that the granting of an amendment to the Special Use Permit
33 authorized by Ordinance No. 4879 as amended, as hereinafter provided would be in the best
34 interest of the City of Florissant.

35
36 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
37 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

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2
3 Section 1: Ord. No. 4879 (as amended by Ord. Nos. 5969 and 7264) in an R-4 Zoning
4 District at 1501 Charbonier Rd. (Bentwood Nursing Home) is hereby amended according to the
5 proposal prepared by the petitioner as described in related documents presented and according to
6 the attached drawings C2, dated May 15, 2018, C5 Photometric, dated May 15, 2018, Surveyed
7 Plat, Floor Plans A100, A101 & A102, dated 5/11/18 and Elevations A200 and A201, dated
8 5/11/18. Approval is subject to the regulations of ordinances, and the following additional
9 requirements:

- 10 1. Previous amendment rescinded.
11 The Special Use amendment previously approved, Ord. No. 8140, shall hereby be
12 rescinded.
- 13 2. Parking modification.
14 The Commission accepts the documentation of a parking problem on-site as
15 reported by the owner, engineer's letter and Commissioner Minks as sufficient
16 study, illustrating the need for and recommends the number of parking spaces
17 proposed (79).
- 18 3. Retention Area Protection.
19 48" commercial grade ornamental fencing on all 4 sides.
- 20 4. GENERAL DEVELOPMENT CONDITIONS.
21 a. Unless, and except to the extent otherwise specifically provided herein,
22 development shall be effected only in accordance with all ordinances of the City
23 Of Florissant.
24 b. The Department of Public Works shall enforce the conditions of this ordinance
25 in accordance with the Site Development Plan approved and all other ordinances
26 of the City of Florissant.
- 27 5. PROJECT COMPLETION.
28 Construction shall start within 90 days of the issuance of building permits for the
29 project and shall be developed in accordance of the approved final development
30 plan within 18 months of start of construction.

31
32 Section 2: Said Special Permit shall be conditioned on and shall remain in full force
33 and effect so long as the conditions set out in Ordinance no. 4879 as amended, as now further
34 amended, are adhered to.

35 Section 3: This ordinance shall become in force and effect immediately upon its passage
36 and approval.

1 Adopted this ____ day of _____, 2018.

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10 Approved this _____ day of _____, 2018.

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Jeff Caputa
President of the Council
City of Florissant

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN JONES
2 JULY 9TH, 2018

3
4 BILL NO. 9402

ORDINANCE NO.

5
6 **ORDINANCE TO ISSUE AN AMENDMENT TO B-5 ORDINANCE NO.**
7 **8016 TO ALLOW FOR THE EXPANSION OF THE VACUUM AREA FOR**
8 **THE CARWASH (BRITE WORX) FOR THE PROPERTY LOCATED AT**
9 **475 N. HWY 67.**

10
11 WHEREAS, the Wallis Energy Group has applied to allow for a vacuum area expansion
12 for the car wash located at 475 N. Hwy 67; and

13 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
14 recommended to the City Council at their meeting of June 16th, 2018 that Ordinance No. 8016 be
15 amended to allow for the expansion of the vacuum area; and

16 WHEREAS, due and lawful notice of public hearing no. 18-07-025 on said proposed
17 change was duly published, held and concluded on 9th day of July, 2018 by the Council of the
18 City of Florissant; and

19 WHEREAS, the Council, following said public hearing, and after due and careful
20 deliberation, has concluded that the amendment of Ordinance No. 8016, as hereinafter set forth,
21 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

22
23 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
24 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

25
26 Section 1: B-5 Ordinance No. 8016, as depicted by the attached drawing plans SP01,
27 SP02 dated 6/6/18, subject to the regulations of the B-5 Planned Commercial District and the
28 following additional requirements:

29 1.Change the legal description to add the Goodwill tract to this property per description
30 found on attached SP01 dated 6/6/18.

31 2.PROJECT COMPLETION.

32 Construction shall start within 90 days of the issuance of building permits for the project
33 and shall be developed in accordance of the approved final development plan within 12 months
34 of start of construction.

35 Section 2: Except as herein amended Ordinance No.6830 shall remain in full force and
36 effect.

37 Section 3: This ordinance shall become in full force and effect immediately upon its
38 passage and approval.

39
40 Adopted this _____ day of _____, 2018.

41
42
43 _____
44 Jeff Caputa
45 President of the Council

46
47 Approved this _____ day of _____, 2018.

48
49
50 _____
51 Thomas P. Schneider
52 Mayor, City of Florissant

53 ATTEST:
54
55 _____
56 Karen Goodwin, MMC/MRCC
57 City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA
2 JULY 9, 2018

3
4 BILL NO. 9403

ORDINANCE NO.

5 **ORDINANCE AUTHORIZING AN AMENDMENT TO CHAPTER 100**
6 **“GENERAL PROVISIONS, SECTION 100.080 “GENERAL PENALTY**
7 **– CONTINUING VIOLATIONS” SUBSECTION B BY CHANGING**
8 **\$300 TO \$225.**

9 WHEREAS RSMo 479.353 states that the current maximum fine for minor traffic
10 violations is \$225.00 per offense; and

11 WHEREAS the Florissant City Code should be consistent with the state statutes.

12 BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT MISSOURI,
13 AS FOLLOWS:

14 Section 1. Chapter 100.080 “General Penalty – Continuing Violations” subsection B is
15 hereby amended by changing the maximum violation amount from \$300 to \$225.

16 Section 2. This ordinance shall be in full force and effect from and after the date of this
17 passage.

18
19
20 Adopted this ____ day of _____, 2018.

24 Jeff Caputa
25 President of the Council
26 City of Florissant

27
28 Approved this ____ day of _____, 2018.

31 Thomas P. Schneider
32 Mayor, City of Florissant

33 ATTEST:

34
35 _____
36 Karen Goodwin, MMC/MRCC
37 City Clerk