



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, December 11, 2017
7:30 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting minutes of November 27th, 2017
- Budget Meeting Minutes from November 15th & 20th, 2017

IV. COMMENDATIONS

- Officer Kiefer & Officer Feldman
- Detective Osmer & Detective Schlueter
- Detective Schlueter & Officer Malik

V. EDDIES HEROS

- Erin Schwartz

VI. LEGISLATIVE UPDATE

- Tim Green

VII. CERTIFICATE OF APPRECIATION

- Ken Fowler
 - Photo opportunity for 1/2 century of representation for Ward 3.

VIII. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

IX. COMMUNICATIONS

X. PUBLIC HEARINGS

17-12-029 Ward 5 Application Staff Rpt Plans	Request to issue an amendment to B-5 Ordinance No. 7674 to allow for an addition of the Siteman Cancer Center and parking in an existing B-5 Zoning District located at 1225 Graham Road. (Planning and Zoning Commission recommended approval on 11/20/17)	George Stock
17-12-030 Ward 3 Application Staff Rpt Plans	Request to authorize a Special Use Permit to Abdeen, LLC d/b/a Sahara Mediterranean Grill to allow for the operation of a restaurant in a B-3 Zoning District for the property located at 472 Howdershell Road. (Planning and Zoning Commission recommended approval on 11/20/17)	Waseem Abdeen

XI. OLD BUSINESS

A. SECOND READINGS

9318	Ordinance Amending Article XVII "Residential Rental Real Estate." (Postponed to this date on October 23, November 13 & 27th, 2017)	2 nd Reading Pagano
9334	Ordinance to authorize a Special Use Permit to Five Aces Bar-B-Que, LLC d/b/a Five Aces Bar-B-Que to allow for the operation of a restaurant located at 1752-1754 N. New Florissant Rd.	2 nd Reading Henke

XII. VETOED BILLS

9326	Ordinance authorizing a one-time retirement incentive opportunity for City of Florissant Full-time employees who qualify. (Vetoed by Mayor Schneider on 12/6/17)	2 nd Reading Council as a whole
------	--	--

XIII. NEW BUSINESS

A. BOARD APPOINTMENTS

B. REQUESTS

Ward 9	Request for a transfer of Special Use Permit no. 7592 from Gamvil, Inc. d/b/a Little Caesars Pizza to the Beck Group LLC d/b/a Little Caesars Pizza located at 2632 N. Hwy 67 for the operation of a carry-out restaurant.	Dale Beck
Ward 6	Request for a Full Liquor by the Drink license for Five Aces Bar-B-Que, LLC d/b/a Five Aces Bar-B-Que located at 1752-1754 N. New Florissant Rd.	Antonio & Latoshia Ellis

C. RESOLUTION

1000	Resolution of the City of Florissant adopting the St. Louis Regional All-Hazard Mitigation Plan.	Council as a Whole
------	--	--------------------

D. BILLS FOR FIRST READING

9339	Ordinance authorizing an amendment to B-5 Ordinance No. 7674 to allow for an addition of the Siteman Cancer Center and parking in an existing B-5 Zoning District located at 1225 Graham Road.	Schildroth
------	--	------------

9340	Ordinance to authorize a Special Use Permit to Abdeen, LLC d/b/a Sahara Mediterranean Grill to allow for the operation of a restaurant in a B-3 Zoning District for the property located at 472 Howdershell Road.	Eagan
------	---	-------

9341	Ordinance to authorize transfer of Special Use Permit no. 7592 from Gamvil, Inc. d/b/a Little Caesars Pizza to the Beck Group LLC d/b/a Little Caesars Pizza located at 2632 N. Hwy 67 for the operation of a carry-out restaurant.	Siam
------	---	------

XIV. COUNCIL ANNOUNCEMENTS

XV. MESSAGE FROM THE MAYOR

XVI. ADJOURNMENT

HAPPY HOLIDAYS
FROM THE CITY OF FLORISSANT!!!

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL DECEMBER 8, 2017 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK'S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, DECEMBER 11, 2017.

CITY OF FLORISSANT



COUNCIL MINUTES

November 27, 2017

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, November 27, 2017 at 7:30 p.m. with Council President Pagano presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Eagan, Caputa, Schildroth, Henke, Pagano, Parson, Siam, Lee and Jones. Also present was Mayor Thomas P. Schneider, City Attorney John Hessel and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Lee moved to approve the Meeting Minutes of November 13, 2017, seconded by Henke. Motion carried.

The Chair stated the next item on the agenda was Hearing from Citizens.

John Engelmeyer, 1281 Graham Rd., discussed the city's budget and a 10 year operating plan.

The next item on the Agenda was Communications of which there were none.

The next item on the Agenda was Public Hearings.

The City Clerk reported that Public Hearing #17-11-028 to be held this night on a Request to authorize a Special Use Permit to Five Aces Bar-B-Que, LLC d/b/a Five Aces Bar-B-Que to allow for the operation of a restaurant located at 1752-1754 N. New Florissant Road had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

Mr. Antonio Ellis, owner, stated that he hoped to open a bar-b-que restaurant in Florissant. He owns two other restaurants, one near Shaw's Garden. His partner, Florissant resident Chris Alexander, also appeared before the council. Mr. Ellis displayed the various specs and stated that there

32 would be a 17' long bar, an enlargement of the kitchen and 2 ADA bathrooms. There are trash
33 dumpsters provided at the rear of the building. They will meet all code requirements of Florissant and
34 St. Louis County. The BBQ pit will be located in the rear and will be surrounded by fencing and will
35 be guarded by an employee at all times. The pit will be located on a trailer and will be pulled away
36 every evening.

37 Mr. Ellis hoped to network with other Florissant businesses and organizations. The restaurants
38 will provide both dine-in and carry-out services. Besides old fashioned BBQ items, they will also
39 provide healthy foods, like chicken, in order to provide a diverse menu.

40 Councilman Jones asked the petitioner to keep the area around the restaurant trash free and
41 place a trash can at the front door. There will be no grease pit or deep frying. Hours of operation for
42 serving will be from 11 am to 1 am. Alcohol will be served. Councilman Eagan asked the petitioner to
43 be respectful of the neighbors if they had a band performing. Mr. Ellis stated that if they did have a
44 band, it would be a jazz band and not a loud band. The doors will be closed if necessary. Councilman
45 Caputa asked if there would be a cover over the pit to keep out the elements. Mr. Ellis stated that the
46 pit was custom made in Texas and is similar to Dierberg's BBQ. The doors swing open, the food is
47 protected, and the elements are prevented from getting in. In response to Councilman Parson's
48 questions, the petitioner stated that the fencing would match the building. Councilman Lee stated that
49 he thought St. Louis County required a variance for outside food preparation. He encouraged Mr. Ellis
50 to contact St. Louis Co. Health Department, to which Mr. Ellis said that he had.

51 Councilman Siam asked if the city could require that the dumpster be enclosed. Councilman
52 Parson stated that he wasn't sure that emergency vehicles could navigate behind the building if trash
53 enclosures were required. Councilwoman Pagano stated that the Council had time to consult with
54 Public Works in order to get an answer to the question by the next meeting.

55 The Chair asked if there were any citizens who would like to speak on said public hearing.

56 Kevin O'Donnell, 512 Rancho Lane, stated that there are many shopping centers in the city that
57 do not have their trash dumpsters enclosed. He thought it was only required for free standing
58 buildings. Being no other citizens who wished to speak, Councilman Siam moved to close P.H. #17-
59 11-028 seconded by Caputa. Motion carried.

60 Councilman Jones moved that Substitute Bill No. 9318 Ordinance amending Article XVII
61 "Residential Rental Real Estate" be postponed to 12/11/2017, seconded by Eagan. Motion carried.

62 Councilman Eagan moved that Bill No. 9322 An Ordinance amending Ord. No. 6830 to allow
63 for a restaurant with outdoor dining for the property located at 8180 N. Lindbergh be read for a second
64 time, seconded by Parson. Motion carried and Bill No. 9322 was read for a second time. Councilman
65 Eagan moved that Bill No. 9322 be read for a third time, seconded by Caputa. Motion carried and Bill
66 No. 9322 was read for a third and final time and placed upon its passage.

67 Before the final vote all interested persons were given an opportunity to be heard. On roll call
68 the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam
69 yes, Lee yes and Jones yes. Whereupon the Chair declared Bill No. 9322 to have passed and said Bill
70 became Ordinance No. 8362.

71 Councilman Henke moved that Bill No. 9323 An Ordinance authorizing a transfer of Special
72 Use Permit No. 8163 from HRLH, Inc. d/b/a Viet Thai to Ou Leng LLC d/b/a Thai Kitchen for the
73 operation of a sit-down, carry-out restaurant located at 8458 N. Lindbergh be read for a second time,
74 seconded by Pagano. Motion carried and Bill No. 9323 was read for a second time. Councilman
75 Eagan moved that Bill No. 9323 be read for a third time, seconded by Henke. Motion carried and Bill
76 No. 9323 was read for a third and final time and placed upon its passage.

77 Before the final vote all interested persons were given an opportunity to be heard. On roll call
78 the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam
79 yes, Lee yes and Jones yes. Whereupon the Chair declared Bill No. 9323 to have passed and said Bill
80 became Ordinance No. 8363.

81 Councilwoman Pagano moved that Bill No. 9324 An Ordinance approving the Community
82 Development Block Grant (CDBG) FY2018 Annual Action Plan for the City of Florissant, Missouri
83 and authorizing and directing the Mayor to submit such plan to the United States Department of
84 Housing and Urban Development be read for a second time, seconded by Jones. Motion carried and
85 Bill No. 9324 was read for a second time. Councilwoman Pagano moved that Bill No. 9324 be read
86 for a third time, seconded by Lee. Motion carried and Bill No. 9324 was read for a third and final time
87 and placed upon its passage.

88 Before the final vote all interested persons were given an opportunity to be heard. On roll call
89 the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam
90 yes, Lee yes and Jones yes. Whereupon the Chair declared Bill No. 9324 to have passed and said Bill
91 became Ordinance No. 8364.

92 Councilman Lee moved to accept Substitute Bill No. 9325 An Ordinance adopting the budget
93 for the City of Florissant for the fiscal year commencing on December 1, 2017 and ending on
94 November 30, 2018 and providing for its effective date, seconded by Eagan. Motion carried.

95 Councilman Lee moved that Substitute Bill No. 9325 be read for a second time, seconded by
96 Caputa. Motion carried and Substitute Bill No. 9325 was read for a second time. Councilman Lee
97 moved that Substitute Bill No. 9325 be read for a third time, seconded by Siam. Motion carried and
98 Substitute Bill No. 9325 was read for a third and final time and placed upon its passage.

99 Before the final vote all interested persons were given an opportunity to be heard. John
100 Engelmeyer, 1281 Graham Rd., stated that the Council did an excellent job at the budget meeting in
101 attempting to work out the details of the upcoming budget. That being said, providing the necessary
102 information to make intelligent decisions was treated more like a football between the administration
103 and Council. He questioned the final decision made on bank fees, lobbyist Tim Green, fees for North
104 Co., Inc. He also asked about increasing the business license fees and enforcement of conflict of
105 interest laws.

106 John Hessel, City Attorney, explained the Hancock Amendment which precluded any increase
107 of any fees, licenses or taxes of any kind. Change in fees, unlike business licenses, do not go to the
108 vote of the people. Fees for services, for example the use of civic centers, pools, weight rooms etc. are
109 services that a resident will receive something in return. Each fee must be looked at individually to
110 determine whether, under the Supreme Court decision, the fee is determined to be a tax. If determined
111 to be so, it would require voter approval. Business license fees have been determined to be a tax.

112 Before the final vote all other interested persons were given an opportunity to be heard.

113 On roll call the Council voted: Eagan yes, Caputa no, Schildroth yes, Henke yes, Pagano yes,
114 Parson yes, Siam yes, Lee yes and Jones no. Whereupon the Chair declared Substitute Bill No. 9325 to
115 have passed and said Bill became Ordinance No. 8365.

116 Councilman Lee moved that Bill No. 9326 An Ordinance authorizing a one-time retirement
117 incentive opportunity for City of Florissant full-time employees who qualify be read for a second time,
118 seconded by Eagan. Motion carried and Bill No. 9326 was read for a second time.

119 Councilman Eagan moved to amend in Section 1, to change 15 years of service to 20 years of
120 service, seconded by Henke. On roll call the Council voted: Eagan yes, Caputa no, Schildroth no,
121 Henke yes, Pagano no, Parson yes, Siam no, Lee no and Jones no. Motion failed.

122 Councilman Eagan moved to amend in Section 1, to change 50% of accrued sick time to 25 %
123 accrued sick time, seconded by Schildroth. Motion carried.

124 Councilman Eagan moved to amend in Section 2, Subsection 5, to change the word “will”
125 to “may”, seconded by Henke. On roll call the Council voted: Eagan yes, Caputa no, Schildroth no,
126 Henke yes, Pagano no, Parson yes, Siam no, Lee no and Jones no. Motion failed.

127 Councilman Lee moved to amend in Section 2, Subsection 5, to change the word “will” to
128 “shall”, seconded by Jones. Councilman Parson asked Mr. Hessel if this was a conflict with the
129 Charter. Mr. Hessel stated that he was more comfortable with the word “will.” Councilman Lee
130 moved to withdraw his motion.

131 On the motion for a second reading, motion carried and Bill No. 9326 was read for a second
132 time. Councilman Lee moved that Bill No. 9326 be read for a third time, seconded by Jones. Motion
133 carried and Bill No. 9326 was read for a third and final time and placed upon its passage.

134 Before the final vote all interested persons were given an opportunity to be heard.

135 Kevin O’Donnell, 512 Rancho Lane, asked if this Ordinance provided a one-time offer, to
136 which Ms. Pagano stated that the ordinance was an offer for 2018.

137 Before the final vote all other interested persons were given an opportunity to be heard.

138 On roll call the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes,
139 Parson yes, Siam yes, Lee yes and Jones yes. Whereupon the Chair declared amended Bill No. 9326 to
140 have passed and said Bill became Ordinance No. 8366.

141 Councilman Schildroth moved to accept Substitute Bill No. 9328 An Ordinance amending
142 Section 125.065.A “Job Classification and Grade Level” by adding and deleting certain job
143 classifications seconded by Parson. Motion carried.

144 Councilwoman Pagano moved that Substitute Bill No. 9328 An Ordinance amending Section
145 125.065.A “Job Classification and Grade Level” by adding and deleting certain job classifications be
146 read for a second time, seconded by Siam. Motion carried and Substitute Bill No. 9328 was read for a
147 second time. Councilwoman Pagano moved that Substitute Bill No. 9328 be read for a third time,
148 seconded by Siam. Motion carried and Substitute Bill No. 9328 was read for a third and final time and
149 placed upon its passage.

150 Before the final vote all interested persons were given an opportunity to be heard.

151 On roll call the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes,
152 Parson yes, Siam yes, Lee yes and Jones yes. Whereupon the Chair declared Substitute Bill No. 9328 to
153 have passed and said Bill became Ordinance No. 8367.

154 Councilman Schildroth moved that Bill No. 9329 An Ordinance amending Ord. No. 8182
155 which established compensation plan for part-time employees of the City of Florissant and which
156 contains an effective date clause be read for a second time, seconded by Henke. Motion carried and
157 Bill No. 9329 was read for a second time. Councilman Schildroth moved that Bill No. 9329 be read
158 for a third time, seconded by Henke. Motion carried and Bill No. 9329 was read for a third and final
159 time and placed upon its passage.

160 Before the final vote all interested persons were given an opportunity to be heard. On roll call
161 the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam
162 yes, Lee yes and Jones yes. Whereupon the Chair declared Bill No. 9329 to have passed and said Bill
163 became Ordinance No. 8368.

164 Councilman Siam moved that Bill No. 9330 An Ordinance amending Ord. No. 8182
165 establishing a length of service plan for part-time employees by adding the position of “Economic
166 Development Coordinator” be read for a second time, seconded by Jones. Motion carried and Bill No.
167 9330 was read for a second time. Councilman Jones moved that Bill No. 9330 be read for a third time,
168 seconded by Siam. Motion carried and Bill No. 9330 was read for a third and final time and placed
169 upon its passage.

170 Before the final vote all interested persons were given an opportunity to be heard. On roll call
171 the Council voted: Eagan yes, Caputa yes, Schildroth no, Henke yes, Pagano yes, Parson yes, Siam
172 yes, Lee yes and Jones yes. Whereupon the Chair declared Bill No. 9330 to have passed and said Bill
173 became Ordinance No. 8369.

174 The next item on the Agenda was Board Appointments of which there were none.

175 Councilman Schildroth moved to approve the request for Patrick Kelly for a permit to keep 2
176 hens located at 1215 Patrice Lane seconded by Pagano. Motion carried.

177 Councilman Lee moved to approve the request for Joseph and Susan Geerling for a permit to
178 keep 4 hens located at 1575 Harkee, seconded by Jones. Motion carried.

179 Councilwoman Pagano introduced Bill No. 9332 An Ordinance to repeal selected sections of
180 Ordinance No. 8318 and all ordinances in conflict therewith pertaining to wage range and job
181 classification for full time uniformed employees and containing an effective date clause and said Bill

182 was read for the first time. Councilman Schildroth moved that Bill No. 9332 be read for a second
183 time, seconded by Eagan. Motion carried and Bill No. 9332 was read for a second time.
184 Councilman Schildroth moved that Bill No. 9332 be read for a third time, seconded by Eagan. On
185 roll call the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Schmidt
186 yes, Siam yes, Lee yes and Jones yes. Having received the unanimous vote of all members present
187 Bill No. 9332 was read for the third and final time and placed upon its passage.

188 Being no persons who wished to be heard, on roll call the Council voted: Eagan yes, Caputa
189 yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes. Whereupon
190 the Chair declared Bill No. 9332 to have passed and said Bill became Ordinance No. 8370.

191 Councilwoman Pagano introduced Bill No. 9333 An Ordinance authorizing an appropriation of
192 \$13,000 to Acct. No. 4110 "Municipal Court Salaries" to cover salaries through the balance of the
193 fiscal year and said Bill was read for the first time. Councilman Schildroth moved that Bill No. 9333
194 be read for a second time, seconded by Pagano. Motion carried and Bill No. 9333 was read for a
195 second time. Councilman Schildroth moved that Bill No. 9333 be read for a third time, seconded by
196 Pagano. On roll call the Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano
197 yes, Parson yes, Siam yes, Lee yes and Jones yes. Having received the unanimous vote of all
198 members present Bill No. 9333 was read for the third and final time and placed upon its passage.

199 Being no persons who wished to be heard, on roll call the Council voted: Eagan yes, Caputa
200 yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes. Whereupon
201 the Chair declared Bill No. 9333 to have passed and said Bill became Ordinance No. 8371.

202 Councilwoman Pagano introduced Bill No. 9334 An Ordinance to authorize a Special Use
203 Permit to Five Aces Bar-B-Que, LLC d/b/a Five Aces Bar-B-Que to allow for the operation of a
204 restaurant located at 1752-1754 N. New Florissant Road and said Bill was read for the first time by
205 title only.

206 Councilwoman Pagano introduced Bill No. 9335 An Ordinance authorizing the City of
207 Florissant to accept ownership of real estate property located at 3115 Parker Road gifted to the city
208 through a general warranty deed and said Bill was read for the first time. Councilwoman Pagano
209 moved that Bill No. 9335 be read for a second time, seconded by Schildroth. Motion carried and Bill
210 No. 9335 was read for a second time. Councilwoman Pagano moved that Bill No. 9335 be read for a
211 third time, seconded by Schildroth. On roll call the Council voted: Eagan yes, Caputa yes,
212 Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes. Having

213 received the unanimous vote of all members present Bill No. 9335 was read for the third and final time
214 and placed upon its passage.

215 Being no persons who wished to be heard, on roll call the Council voted: Eagan yes, Caputa
216 yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes. Whereupon
217 the Chair declared Bill No. 9335 to have passed and said Bill became Ordinance No. 8372.

218 Councilwoman Pagano introduced Bill No. 9336 An Ordinance amending Title II, Item Nos.
219 24 and 27, Chapter 245 “Parks and Recreation,” Article 1, Section 245.180 of the Florissant City
220 Code, “Fees for Use,” to adjust fees for summer camp and identification cards and said Bill was read
221 for the first time. Councilman Schildroth moved that Bill No. 9336 be read for a second time,
222 seconded by Siam. Motion carried and Bill No. 9336 was read for a second time. Councilman
223 Schildroth moved that Bill No. 9336 be read for a third time, seconded by Henke. On roll call the
224 Council voted: Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes,
225 Lee yes and Jones yes. Having received the unanimous vote of all members present Bill No. 9336
226 was read for the third and final time and placed upon its passage.

227 Being no persons who wished to be heard, on roll call the Council voted: Eagan no, Caputa yes,
228 Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes. Whereupon the
229 Chair declared Bill No. 9336 to have passed and said Bill became Ordinance No. 8373.

230 Councilwoman Pagano introduced Bill No. 9337 An Ordinance transferring the sum of
231 \$13,900 from Acct. No. 0350 “Professional Services” to Acct. No. 0329 “Building Maintenance” for
232 the purpose of covering the cost of the Council Chambers speaker said Bill was read for the first time.
233 Councilman Schildroth moved that Bill No. 9337 be read for a second time, seconded by Pagano.
234 Motion carried and Bill No. 9337 was read for a second time. Councilman Schildroth moved that
235 Bill No. 9337 be read for a third time, seconded by Pagano. On roll call the Council voted: Eagan
236 yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes.
237 Having received the unanimous vote of all members present Bill No. 9337 was read for the third and
238 final time and placed upon its passage.

239 Being no persons who wished to be heard on roll call the Council voted: Eagan yes, Caputa yes,
240 Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Lee yes and Jones yes. Whereupon the
241 Chair declared Bill No. 9337 to have passed and said Bill became Ordinance No. 8374.

242 Councilman Lee introduced Bill No. 9338 An Ordinance authorizing the Mayor to enter into a
243 lease agreement with Yamaha Motor Finance Corporation, U.S.A. for the lease of golf cars supplied

244 by TNT Golf Car & Motorsports and said Bill was read for the first time. Councilman Lee explained
245 that the current golf car lease expires on 12/31/17 and there was some urgency in order to pass this
246 bill. He noted that this contract came in approximately \$12,000 under budget. Councilman Eagan
247 stated that he was uncomfortable with passing this bill tonight because the Council just received a
248 copy of the contract at 5:30 this evening and he hasn't had enough time to look it over.

249 Todd Schmidt, Director of Parks and Recreation appeared before the Council. He stated that
250 he had received the contract at 5:30 this evening also and he forwarded it on to the City Clerk as soon
251 as he received it. In regards to the contract copy which the council received, he has no idea why some
252 of the pages are missing. They are not missing in his copy.

253 The city attorney, Mr. Hessel, stated that he too had just received a copy of the contract, but
254 after a cursory look it appeared very similar to the sample contract that was attached and delivered
255 with the council's packets. From a legal standpoint, the contract was not concerning and he didn't see
256 anything unusual about it. Again, he stated that he had just been given a copy of it.

257 Councilman Eagan asked Mr. Hessel if a vote to abstain would kill three readings of the bill.

258 Councilman Henke asked why three readings were necessary this evening. He asked if they
259 could wait until December and get the details of the contract ironed out before it was passed.
260 Councilman Lee stated that this company would not move forward until they have a Council approved
261 contract. The Mayor stated that he would not sign the contract until they were all on the same page.
262 Councilman Parson asked why they would pass the bill tonight if it could be reconsidered at the next
263 meeting. Mr. Schmidt stated that it takes a minimum of 4 weeks to get a fleet of cars ready and
264 shipped. The RFP was sent out in late September. Councilman Parson asked for reassurance that the
265 Council would receive a final version of the contract with all the revisions.

266 Councilman Schildroth stated that the Golf Committee called several courses that used the
267 services of Yamaha and he is fully confident in this company. Considerable discussion was had.

268 Mr. Hessel indicated that the Charter stated that all members present must vote to approve
269 three readings of the bill in order to pass the bill in one night. If the Councilman who was casting the
270 dissenting vote was not in the room at the time of the final vote, and the remaining members all voted
271 in favor, the bill would pass for three readings.

272 Councilman Lee moved that Bill No. 9338 be read for a second time, seconded by Schildroth.
273 Motion carried and Bill No. 9338 was read for a second time. Councilman Lee moved that Bill No.
274 9338 be read for a third time, seconded by Schildroth. On roll call the Council voted: Eagan absent,

275 Caputa no, Schildroth yes, Henke no, Pagano no, Parson yes, Siam yes, Lee yes and Jones no. Motion
276 for a third reading failed.

277 The next item on the Agenda was Council Announcements.

278 Councilman Schildroth thanked all the residents for their patience with the Graham Road MSD
279 Project.

280 Councilman Parson reminded residents that on December 10th from 9-11 a.m. the Kwesi Prince
281 Foundation will be hosting a free pancake breakfast at the Eagan Center and he encouraged everyone to
282 attend. They will be taking donations for the prevention of pediatric cancer.

283 Councilman Jones encouraged everyone to donate and volunteer for TEAM. He recently
284 attended the Port Authority meeting at Christian Hospital. The Port Authority now owns Jamestown
285 Mall and public comment was being encouraged.

286 Councilman Eagan announced that Atonement Lutheran Men's Club Christmas Tree Lot was
287 now open. Cooper Tracy is the recipient of this year's St. Ferdinand Tournament, beginning in March.

288 Councilman Caputa reminded residents to keep their firearms secured. He encouraged residents
289 to join their local Neighborhood Watch Program.

290 The next item on the Agenda was Mayor Announcements.

291 Mayor Schneider also commented on the Jamestown Mall meeting. He stated that it was well
292 attended by many public officials. He commended the County Council for addressing the blighted
293 nature of the site and he encouraged the public to express their concerns to the Port Authority. Steve
294 Weiersmueller has been appointed the new Director of Information Technology for the city, effective
295 December 1. MSD is asking residents to remember the word FOG in order to remind them not to put
296 fat, oil or grease into the sewer system because it creates many problems. The Mayor reminded drivers
297 to stop texting while driving.

298 The "Letters to Santa" program has now begun. Contact the JFK Center if you would like to
299 participate. Santa will be at the Sunset Nature Lodge on 12/9 from 9:00 until 11:00. Contact the civic
300 centers or city hall if you would like to participate in "The Christmas House Decorating Contest."
301 Santa's helpers will be at the Eagan Center on Dec. 16th to provide child care while parents shop.
302 Christmas with Santa in Old Town will be held on December 2 from 2-4:30 and the tree lighting at
303 5:15. Project Liftoff will be held afterwards at the Eagan Center. Winter Break Camp is scheduled for
304 children around the holidays and urged parents to call the civic centers for more information. The Ice
305 Rink is now open with a free skate on New Year's Eve.

306 The Council President announced that the next regular City Council Meeting was scheduled for
307 Monday, December 11, 2017 at 7:30 pm.

308 Councilman Eagan moved to adjourn the meeting, seconded by Jones. Motion carried. The
309 meeting was adjourned at 9:26 p.m.

310

311

312

Karen Goodwin, City Clerk

313 The following Bills were signed by the Mayor:

314 Bill No. 9322 Ord. 8362

315 Bill No. 9323 Ord. 8363

316 Bill No. 9324 Ord. 8364

317 Sub Bill No. 9325 Ord. 8365

318 Bill No. 9326 Ord. 8366

319 Sub Bill No. 9328 Ord. 8367

320 Bill No. 9329 Ord. 8368

321 Bill No. 9330 Ord. 8369

322 Bill No. 9332 Ord. 8370

323 Bill No. 9333 Ord. 8371

324 Bill No. 9335 Ord. 8372

325 Bill No. 9336 Ord. 8373

326 Bill No. 9337 Ord. 8374

327



CITY OF FLORISSANT
BUDGET MINUTES
NOVEMBER 15, 2017



The City Council met on Wednesday, November 15th, 2017 for a budget work session on the FY 2017-18 proposed Budget at 6:00 pm in the Council Chambers at 955 rue St. Francois. Council members in attendance included: Schildroth, Henke, Pagano, Parson, Siam, Lee, Eagan, Caputa and Jones. Also in attendance were Mayor Thomas P. Schneider, Director of Finance Randy McDaniel and City Clerk Karen Goodwin. Council President Pagano stated that a quorum was present and the meeting was brought to order.

Councilwoman Pagano asked the Mayor for the 10% Budget Cuts from Department Heads which the Council had been asking the Mayor for.

Public Works

Lou Jearls, Public Works Director, reviewed the changes in the Health Department budget.

Mr. Jearls stated that he could delete summer part-time help in the Street Department and replace with a permanent, part-time position. This would save the city approximately \$11,000. If any more was cut from the PW budget, he felt services to the residents would be cut.

Councilwoman Pagano stated that she and Councilman Jones were brought up to date on the A & R funds today by staff. She suggested leaving it "as is" and postponing it until January.

Councilman Henke asked Mr. Jearls about the ice and snow removal account. Mr. Jearls stated that they guess for approximately 5 storms a year, but it is hard to predict. They could have more. Councilman Caputa asked if the City had ever shared salt reserves with other cities to which Mr. Jearls responded yes, but not often.

Parks

Todd Schmidt, Director of Parks, stated that he had already cut his budget by ¼ million dollars. He suggested the possibility of raising revenue by increasing the charge for the summer playground program which would generate \$36,000 and raise the cost of photo ID cards.

**Councilwoman Pagano moved to increase the fee for resident cards, seconded by Caputa. On roll call the council voted: Lee no, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan no and Jones no. Motion carried.

**Councilwoman Pagano moved to increase the fee for summer playground program, seconded by Schildroth. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan yes and Jones yes. Motion carried.

Golf

Mr. Schmidt suggested reducing the funds in Golf Course Concessions by \$10,000 and increasing utilities by \$10,000. There would be no additional funding required. He also stated that he had an excess amount in the Gas & Oil Account and would like to reduce that account by \$5,000. At the same time he would like to increase the Golf Building Maintenance Acct. by \$5,000. Again, no additional funding would be required.

**Councilman Henke moved to transfer the funds in Golf Course Concessions by \$10,000 and increasing utilities (water) by \$10,000, seconded by Eagan. Motion carried.

**Councilman Jones moved to reduce the Gas & Oil Acct by \$5,000 and increase the Golf Building Maintenance and Supply Acct. by \$5,000, seconded by Henke. Motion carried.

Public Works

**Councilman Lee moved to add Building Permit fees of \$215,000 into the Budget, seconded by Henke. Motion carried.

**Councilman Eagan moved to eliminate the part/time seasonal street department employee (s) and replace with a permanent part/time employee, seconded by Henke. Motion carried.

Justice Center

Councilman Eagan stated that they had received information regarding a proposed shortfall of \$340,000 on the completion of the Justice Center, including furnishings. Chief Lowery stated that it was important that the Justice Center opened on time. He stated that the motorcycle, license plate reader and drone items, totaling \$45,000, could be put off until next year in order to allow helping for the completion of the Justice Center.

The Chief provided the Council with a complete Police Budget Reduction List FY 2018. Councilman Lee suggested leaving the items in the budget with the assurance that the necessary funds will be provided in order to get the Justice Department up and running.

There is currently approximately \$224,000 available to finish the project, but there is no guarantee that those funds won't be needed or used for something else in the interim. Mr. Jearls stated that change orders come through on a frequent basis when something needs to be done. The numbers change weekly.

Councilman Lee asked if the Safe Room and gate were still in the Budget. The Chief stated that he thought the Safe Room had already been built and it was doubling as a break room. The Judge had requested the Safe Room. Most of the surveillance cameras were up and the building was secure.

Councilman Lee asked Lou Jearls to send him the information as to whether or not a Safe Room is required according to the Building Codes.

**Councilman Lee moved to remove the gate, seconded by Eagan. Motion carried.

Councilman Caputa asked the Chief if he would like a License Plate Reader and the Chief stated that it would be beneficial and a good tool.

** Councilman Eagan moved to accept the “Police Department’s Reductions List FY 2018” in order to have a cushion and reduce his budget out of Prop P, seconded by Parson. On roll call the Council voted: Lee no, Caputa no, Schildroth no, Henke no, Pagano no, Parson yes, Siam no, Eagan yes and Jones no. Motion failed.

**Councilman Caputa moved to amend the motion to add the License Plate Reader back into the police budget, seconded by Pagano. On roll call the council voted: Lee no, Caputa yes, Schildroth no, Henke no, Pagano yes, Parson no, Siam yes, Eagan no and Jones yes. Motion failed.

Councilman Caputa asked Mr. Jearls for dated copies of the Justice Department change orders including any previous ones.

Recess at 7:30.

Golf Cart Lease

Mr. Schmidt stated that the proposals have been received for the Golf Cart Lease, but have not been awarded. He does have a recommendation based on the information submitted. Councilman Lee stated that he would meet with the Golf Sub Committee to discuss the lease options.

Justice Center

Councilman Lee stated that the funds from the \$10 court house fee account should be used to help finish and pay for the building. If, in the future, there are cross over expenditures, the funds would be available to use. Once the building is built, the city can begin to pay itself back. Otherwise the city will always be short during this construction period due to cost overruns.

The Mayor stated that would exacerbate the General Fund.

Mr. McDaniel stated that the funds are used to pay back the principal and interest as an advance on the building construction costs. He stated that if used Mr. Lee's suggestion, they would never end up paying the advance back. There are always going to be ongoing expenses. The funds were advanced to the City.

**Councilman Lee moved to use the funds generated from the \$10 fee for the court building fund be put into the court building fund rather than being used to pay back the advance of the initial purchase price, seconded by Jones. On roll call the Council voted: Lee yes, Caputa no, Schildroth yes, Henke no, Pagano no, Parson no, Siam yes, Eagan no and Jones yes. Motion failed.

Amendments - Administration

Lee stated that time and again the Council has asked the Mayor to have the Department Heads cut their budgets by 10% but to no avail – other than the Parks Department. Randy confirmed that the city is approximately \$2.7 million in the reserves. Lee feels that cuts need to be made and will introduce a series of amendments to cut expenses by 10%.

**Councilman Lee moved to amend the budget on page 9, Legislative Department, to reduce Acct. 3842- Council Expenses by 15%. Councilman Lee moved to amend his motion to make the amount be reduced by \$4000, seconded by Jones. Motion carried.

Mr. McDaniel explained that there was already an account for Council Expenses with 9 sub accounts for each ward. He would send out a breakdown of that account to the Council.

**Councilman Lee moved to amend the budget on page 18, Legislative Department, to reduce Acct. 4041- Mayor's Expenses to \$5,000, motion failed for lack of a second.

**Councilman Henke moved to amend the amended motion on page 18, Legislative Department, to reduce Acct. 4041-Mayor's Expense Acct. to \$7500, seconded by Eagan. On roll call the council voted: Lee no, Caputa yes, Schildroth no, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan yes and Jones no. Motion carried.

**Parson moved to amend Lee's motion on page 16, Administrative Department, to review each account line by line, seconded by Pagano. On roll call the council voted: Lee no, Caputa no, Schildroth no, Henke yes, Pagano yes, Parson yes, Siam no, Eagan yes and Jones no. Motion failed.

**Lee moved to amend the budget on page 16, Administrative Department, to cut all administrative accounts by 10%, except for the overtime account and the Mayors expense acct. which have already been cut, seconded by Jones. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke no, Pagano no, Parson no, Siam yes, Eagan no and Jones yes. Motion passed.

Lee stated that this will save \$313,500 in General Revenue. The administration can determine how to implement those cuts.

Henke stated that he could not support this cut because it was too drastic and fell on the backs of the employees.

Eagan stated that the cuts were dangerous and could affect the health and safety of the residents. He would not support this amendment.

Parson expressed concern about the city's ability to reduce liability insurance. He asked if it would be possible to look at each account line by line.

Lee stated that the early retirement incentive might reduce costs.

Caputa stated that if the administration had instructed the department heads to look at possible areas to cut, as the council had asked them to do, they would not be in this difficult situation.

The Mayor stated that the administration officially objects to this proposal. The Mayor has sent many memo's to the Council explaining the administration's position.

Public Works

**Lee moved to amend the budget on page 45, Public Works Department, to cut all accounts by 10%, except for the overtime account which has already been cut, seconded by Jones. On roll call the council voted: Lee yes, Caputa no, Schildroth yes, Henke no, Pagano no, Parson no, Siam yes, Eagan no and Jones yes. Motion failed.

**Jones moved to amend the budget on page 45, Public Works Department, to cut all accounts by 5%, except for the overtime account which has already been cut, seconded by Lee. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke no, Pagano no, Parson no, Siam yes, Eagan no and Jones yes. Motion passed.

Health

For the record, Councilman Henke stated that he would recuse himself from voting on Health Department issues due to the fact that a relative worked part time as a bus driver in the Health Department. Councilwoman Pagano stated that unless the position of FLERT bus driver comes up, she does not think that he has to recuse himself. She has asked the question before due to similar circumstances.

**Lee moved to amend the budget on page 25, Health Department, to cut all accounts by 10%, seconded by Jones. No vote.

Eagan stated that he would be voting against this amendment. Mr. Jearls stated that he needed to review the line by line cuts with staff and he felt this was wrong.

**Pagano moved to amend the amended motion to cut accounts 4221 through 4242 line by line, seconded by Parson. On roll call the council voted: Lee no, Caputa yes, Schildroth no, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan yes and Jones no. Motion passed.

**Parson moved to cut line 4221, uniforms, by \$1800, seconded by Lee. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke no, Pagano yes, Parson yes, Siam yes, Eagan no and Jones yes. Motion passed.

**Parson moved to cut line 4226, utilities, by \$2000 seconded by Lee. On roll call the council voted: Lee yes, Caputa no, Schildroth yes, Henke no, Pagano no, Parson yes, Siam yes, Eagan no and Jones yes. Motion passed.

**Parson moved to cut line 4227, gas, by \$8,000, seconded by Lee. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan yes and Jones yes. Motion passed.

**Lee moved to cut line 4229, building, by \$10,000, seconded by Jones. On roll call the council voted: Lee yes, Caputa no, Schildroth yes, Henke no, Pagano yes, Parson yes, Siam yes, Eagan no and Jones yes. Motion passed.

**Lee moved to cut line 4232, office, by \$2,000, seconded by Siam. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan yes and Jones yes. Motion passed.

**Pagano moved to cut line 4242, dues, by \$2,500, seconded by Lee. On roll call the council voted: Lee yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Eagan no and Jones yes. Motion passed.

After going through a years' worth of reports, Lee stated the Sunday FLERT bus services only went to four churches and the maximum number of riders was ten. He suggested asking the churches to set up a program where church parishioners picked up the small number of seniors for church. He asked the administration about cutting that service and whether the service is worth the cost.

Lee also asked the administration to look into the possibility of chartering school buses for transporting the summer Day Camp Riders and for senior trips. He felt would be more effective for offsetting the cost. The regular Senior FLERT Bus Program is excellent and a great service to our seniors.

Caputa asked if the cost per dog at the pound was \$10 a day and included everything. Lou responded yes and they have recommended raising several of the fees. St. Louis Co. is \$25 a day. Caputa asked Lou to send that information to Council.

Lee stated the he would make himself available to the administration anytime in a professional if the Mayor would like to discuss any more possible cuts. The Mayor stated that he has made his position clear.

There being no further business to discuss, Councilman Eagan moved to adjourn meeting, seconded by Henke. Motion carried. Meeting adjourned at 9:59 pm.

Anita Moore
Deputy City Clerk

**Motions made



CITY OF FLORISSANT
BUDGET MINUTES
NOVEMBER 20, 2017



The City Council met on Wednesday, November 20th, 2017 for a budget work session on the FY 2017-18 proposed Budget at 7:00 pm in the Council Chambers at 955 rue St. Francois. Council members in attendance included: Schildroth, Henke, Pagano, Parson, Siam, Lee, Eagan, Caputa and Jones. Also in attendance were Mayor Thomas P. Schneider, Director of Finance Randy McDaniel and City Clerk Karen Goodwin. Council President Pagano stated that a quorum was present and the meeting was brought to order.

Councilwoman Pagano stated that she hopes to finish the budget process at this meeting.

Judge Boyle stated that they reviewed their budget and spoke about 4150 "Professional services". The \$50,000 budgeted for REGIS this line item can be reduced to \$40,000.

**Councilman Eagan moved to reduce 4150 "Professional Services" line #2. From \$50,000 to \$40,000. On voice vote motion carried.

Senior Department

Mr. McDaniel stated that they could make the following cuts in the Senior Department:

Uniforms from \$200-\$100
3939 building maintenance to \$6700
Office supplies to \$1600

**Councilman Henke moved to accept changes for Senior Department, seconded by Parson...motion carried

Media Department

Randy McDaniel stated that the following cuts could be made in the Media Department:

Travel and training – 7042 – from \$3000 -\$2000.
Account no. 7030 - From \$8000 to \$3000

**Councilwoman Pagano moved to accept the Media Department cuts, seconded by Caputa – on voice vote motion carried.

Park Department

Todd Schmidt stated that along with existing reductions they could go without the John Dere backhoe on page 82 for \$62,000.

**Councilman Henke moved to accept recommendation, seconded by Parson, on voice vote motion carried.

Housing Department –

Mr. McDaniel stated that the following reductions could be made in the Housing Department budget:

Pg 8 – eliminate office supplies and dues travel and training – \$3,742 -\$2,000
Reduce salaries by \$6,000. (Community development funds to be used).

**Councilman Parson moved to accept changes, Pagano seconded. On voice vote motion carried.

Information Technology Department

Mr. McDaniel proposed the following reductions in the Information Technology Department budget:

Account no. 3624 – telephones reduce to \$147,000
Account no. 3632 - Office Supplies - reduce to \$16,000
Account no. 3633 –Materials and Supplies reduce to \$6,500
Account no. 3642 -Dues travel and training reduce to \$2,200
Account no. 0361 - Capital additions reduce the network switches to \$4,500

**Councilwoman Pagano moved to accept changes to the Information Technology budget, seconded by Siam, on voice vote motion carried.

**Council discussed the recommendation of the salary committee to make the IT Director position grade 12 level 6, no car, no overtime. Henke moved to approve this change, seconded by Eagan, motion carried.

Mr. McDaniel stated that the total budget reduction so far is \$92,200

Public Works

Account no. 4810 – 1 C man has been eliminated and part time summer laborers.

Mr. Jearls stated that they have a part time inspector and a part time permit clerk that they will not fill.

Account no. 4821 - Uniforms – reduce from \$9,900 to \$8,900
Account no. 4826 -Utilities – from \$101,000-\$96,000
Account no. 4827 - Gasoline – from \$78,000 to \$70,000
Account no. 4832 – Office supplies and maintenance – no change
Account no. 4839 – Ice and snow removal – from \$117,750-\$112,000

Account no. 4842 – dues travel training- from \$31,006 – \$27,000
Account no. 4850 – Professional Services - no reductions – public works database
Account no. 4875 - Gasoline control account – from \$25,000-\$20,000
Total reductions approximately \$35,100

Councilman Lee agreed that the dues travel and training should not be reduced. Council discussed proposed reductions.

**Councilman Lee moved to accept the proposed cuts for public works excluding the Dues Travel training seconded by Henke. On voice vote motion carried.

**Councilman Henke moved to restore the 4810 -Salaries and 4813- benefits to the proposed budget amounts. Seconded by Eagan, motion carried.

Councilman Eagan, moved to restore the amounts to the original budget Administrative department account numbers for 4010-Salaries, 4013-Benefits, 4055-Insurance, seconded by Henke... Councilman Eagan and Henke withdrew their motions.

**Councilman Parson moved to go line by line in the administration budget, seconded by Pagano, motion carried.

4014 – Residency incentive – administration recommended 102,000. Councilman Lee moved to reduced the residency incentive by \$7,200 and also discontinue the residency incentive for anyone hired after 2017, seconded by Schildroth – motions withdrawn.

**Councilman Jones moved to reduce the residency incentive to \$102,000 seconded by Henke, motion carried.

The following recommendations for reductions was presented:

- 4015 Unemployment Claim Reserve – cut by \$1,500 to \$13,500
- 4021 – Uniforms (no change)
- 4023 - Postage and printing – reduce \$6000 from \$60,000 – \$54,000
- 4031 – Supplies city functions reduce to \$1,500
- 4032 – Office supplies – reduced by \$5,450 – reduce to \$44,500
- 4033- Copy equipment rental & supplies – reduce by \$4,740
- 4041 –Mayor’s Expenses (no additional changes)
- 4042 - Travel and training reduce by \$1,080
- 4050 – Professional services –** Councilman Lee moved to reduce the public relations consultant eliminating 12,000 from the budget. Seconded by Siam. Mayor discussed the need for a public relations consultant. Access to media outlets. Motion carried on roll call vote – unanimous
- 4053 – Legal notices – reduce \$1,000
- 4054 – Service awards – total of \$4000

4056 organization dues –no changes
4058- Boards and Commission – reduce \$200
4059- Election Expense – no change.

Total reduction \$38,000.

**Councilman Henke moved to accept administration changes, Lee seconded, motion carried on voice vote.

**Eagan moved to restore 4010-Salaries, 4013-Benefits & 4055-Insurance to original proposal, seconded by Henke, motion carried on voice vote.

**4050 Professional services – Legislative consulting services – Councilman Schildroth moved to cut from 24,000 to 20,000, seconded by Caputa, discussion: the Mayor discussed the benefits of this position. He asked the council to assist in getting other municipalities to pitch in for his pay. Councilman Schildroth amended the number to \$20,004... motion carried unanimously.

Councilman Jones asked about fee increases... do we have a number from all of the fee increases that have been proposed.

Health Department

Councilman Caputa stated that he discussed the Health Department fees with Mr. Jearls. He discussed the increases and the amounts that the fees would result in revenue. Councilman Caputa continued to discuss the increases in health department fees.

4227–Gas/oil – Mayor said they are concerned about this number and 4233 because of mosquito fogging.

4229 Building/ Maintenance Health – Mr. Jearls stated that this may be an issue if the old building has issues.

4242 – Dues travel and training – no changes

4250 Professional services – Mr. Jearls stated that it has already been reduced an additional reduction could make it difficult to keep up on grass cutting.

Councilman Henke stated that he is comfortable with the original cuts.

Councilman Lee asked about reducing the professional services another 10,000 and asked about the contractor. Councilwoman Pagano stated that she feels some of that money could be taken out of the. A&R fund.

Councilwoman Pagano made a statement regarding the budgeting process. She stated that she would like to set a budget sub-committee to meet monthly to look at the priorities of the city and

what future plans should be. She suggested a survey to see how the residents viewed the services as essential or not.

Budget Sub-Committee appointed.

Councilman Parson, Councilman Jones, Councilwoman Pagano, Councilman Lee

**Councilman Eagan moved to add \$5000 to the budget for postage and printing for a survey of city services, seconded by Lee, motion carried.

John Engelmeyer – disagrees with paying for the lobbyist. He is also surprised with the banks fees and feels they could be negotiated. The Flert Bus is expensive and not needed. Public Relations is a waste of money. NCI does nothing for North County. He feels North County has been neglected in the road work. Feels the tags for the animals are a waste of money.

Keven O'Donnell is concerned about the lobbyist. Mark Brets the PR consultant has been complained about on facebook.

Excel spreadsheet on a screen to follow along with the budget meetings was suggested by Ben Hammond.

There being no further business to discuss, Councilman Parson moved to adjourn meeting, seconded by Henke. Motion carried. Meeting adjourned at 9:18 pm.

Karen Goodwin
City Clerk

**Motions made

Officer Kiefer & Officer Feldmann

On December 9, 2016 Officer Kiefer and Officer Feldmann were given a follow-up investigation of a Leaving the Scene Accident where one of the drivers fled the scene on foot. As a result of that accident one of the people involved in the accident died as a result of their injuries two months later.

As both officers conducted detailed interviews with witnesses and other drivers they were able to identify the suspect that fled the scene. The suspect was subsequently arrested and charged with Leaving the Scene of a Motor Vehicle Accident. As their investigation continued they were able to supply a Grand Jury with sufficient evidence that an indictment was returned charging the suspect with Second Degree Involuntary Manslaughter.

Due to their diligent and determined investigation a dangerous driver has been removed from the streets. They are hereby officially commended.

Detective Osmer & Detective Schlueter

On October 26, 2017 Detective Osmer and Detective Schlueter were conducting a close patrol near Lindbergh and New Halls Ferry Road where they observed a narcotics transaction. Following an investigative stop of the suspects in a vehicle near New Halls Ferry and Dunn Road the detectives observed the driver to have a handgun. When he was ordered to drop the weapon, he threw the weapon to the passenger who also dropped the weapon and both suspect fled on foot. Following a short foot pursuit both suspects were taken into custody. A search of the vehicle revealed heroin, approximately 28 ounces of ecstasy and a loaded Smith & Wesson handgun. One of the suspects was found to be a convicted felon. Due to their excellent police work two dangerous, armed drug dealers have been removed from the streets of Florissant. They are hereby officially commended.

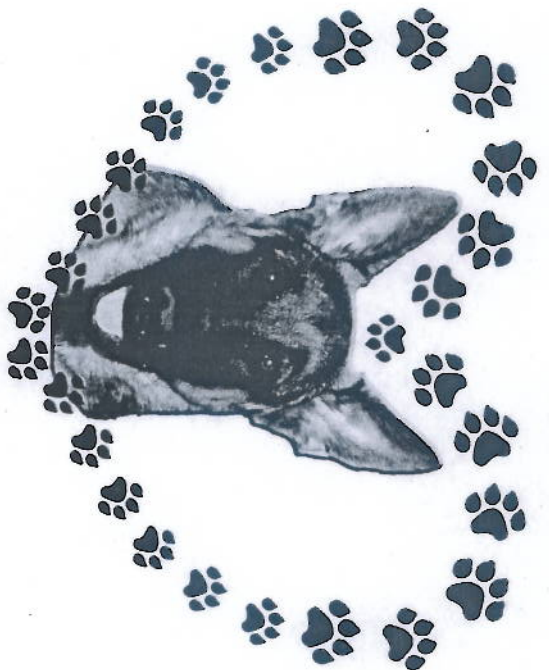
Detective Schlueter & Officer Mobin Malik

On July 16, 2017 Detective Schlueter and Officer Malik were assigned a 911 call of a careless and imprudent driver near Lindbergh and New Halls Ferry Road. The vehicle became involved in an injury accident and fled the scene. The officers observed the vehicle and attempted to stop the vehicle that was driving into oncoming traffic. The vehicle struck another vehicle head on where another driver was injured. As they attempted to arrest the erratic driver he resisted and pulled a handgun from his waistband intending to shoot both officers. Both the officers were able to disarm him and it was necessary to utilize a Taser to finally subdue the suspect. Their follow-up investigation revealed that the vehicle he was driving was reported stolen to another department. They also discovered that the suspect was a convicted felon and was in possession of crack cocaine, heroin and marijuana. The case was presented to the U. S. Attorney's Office for federal criminal prosecution.

Because of your quick thinking and actions a dangerous armed felon was removed from the streets of Florissant. For Det. Schlueter and Officer Malik's excellent police work in a stressful and dangerous situation they are hereby commended.



EDDIE'S HEROES



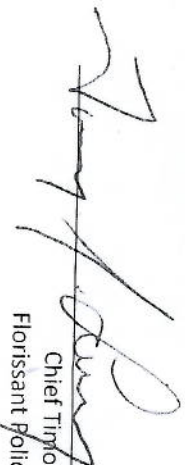
November 30, 2017

FLORISSANT POLICE DEPARTMENT

It is with great honor that the Florissant Police Department recognizes

ERIN SCHWARTZ

Erin is a server at Sacred Heart Parish. She is active in Girl Scouts and has collected for April Showers, TEAM and Scouting for Food for the last 4 years. Erin participates in the North County Choir, singing at the St. Ferdinand Shrine and the V.A. Home. She has volunteered with her family at Cosgroves Soup Kitchen in East St. Louis for the last 3 Christmas Dinners. Erin has the reputation as always being the first to help when someone is in need or hurt and is known for her generosity and thoughtfulness.


Chief Timothy Lowery
Florissant Police Department

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, December 11, 2017 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 7674 to allow for an addition of the Siteman Cancer Center and parking in an existing B-5 Zoning District located at 1225 Graham Road (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1225 Graham Road, Florissant, MO 63031

Property Owners Name: Christian Hospital Northeast-Northwest Phone #: (314) 653-5034
(Mr. Rick Stevens - President of Christian Hospital)

Property Owners Address: 1225 Graham Road, Florissant, MO 63031

Business Owners Name: Christian Hospital Northeast-Northwest Phone #: (314) 653-5034

Business Owners Address: 1225 Graham Road, Florissant, MO 63031

DBA (Doing Business As) Siteman Cancer Center on Lot 2 of Christian Hospital Northwest P.B. 9111, pg. 2145-2148

Authorized Agents Name: George Stock & Kate Stock Gitto CO. Name: Stock & Associates Consulting Engineers, Inc.
(Authorized Agent to Appear Before The Commission)

Agents Address: 257 Chesterfield Business Parkway, Chesterfield, MO 63005 Phone #: (636) 530-9100

Request: to amend existing ordinance 7674 to allow for the construction of the Siteman Cancer Center and associated parking on the Christian Hospital Northwest campus.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

10/31/17
Date

Received by: JR Receipt # 604560 OFFICE USE ONLY Amount Paid: 125.00 Date: 11-1-17

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: 11/15/17
per

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

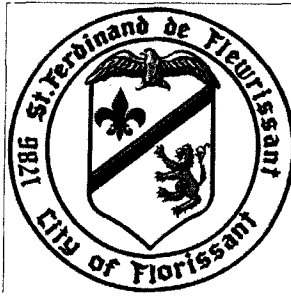
COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature]

DATE: 11/20/2017

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE**



PLANNING & ZONING ACTION:

Address of Property:

1225 Graham Road, Florissant, MO 63031

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 5 Zoning B-5

SIGN.

[Handwritten Signature]

DATE: 11/20/2017

Initial Date Petitioner Filed 11/11/17
**Building Commissioner to complete
ward, zone & date filed**

PETITION TO AMEND B-5 ORDINANCE # 7674

Enter ordinance number or number requesting to amend.

1) Comes Now Christian Hospital Northeast-Northwest
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Owner of property
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 18.1 Acres

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for Parking for existing Christian Hospital Northwest and vacant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
We respectfully request to amend existing Ord. 7674 to allow for the construction of a the Siteman
Cancer Center with future expansion associated parking on the Christian Hospital Northwest
Campus.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Rick Stevens, President of Christian Hospital

PETITIONER(S) SIGNATURE (S) 
Print Name

FOR Christian Hospital Northeast-Northwest
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
 I (we) have a legal interest in the herein above described property.
 I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

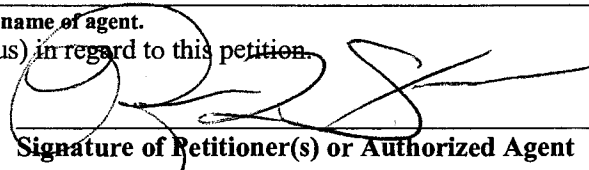
Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE 

ADDRESS 257 Chesterfield Business Parkway Chesterfield MO 63005
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER (636) 530-9100

I (we) the petitioner (s) do hereby appoint BUSINESS George Stock (Stock & Associates Consulting Engineers, Inc. as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.


Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Christian Hospital Northeast-Northwest
- (2) Telephone numbers (314) 653-5034
- (3) Business address 1225 Graham Road, Florissant MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Siteman Cancer Center
Address 1225 Graham Road, Florissant MO 63031
Property Owner Christian Hospital Northeast-Northwest
Location of property 1225 Graham Road, Florssiant MO 63031
Dimensions of property approximately 715' x 1000'
Property is presently zoned B-5 per ordinance # 7674
Current & Proposed Use of Property Currently parking for Christian Hospital Northwest & vacant, propped
Medical office building.
Type of Sign TBD Height 31' at the tallest point
Type of Construction VB Number Of Stories 1 story
Square Footage of Building 36,232 s.f. Number of Curb Cuts 0, using existing curb cut
Number of Parking Spaces Existing + proposed = 579 Sidewalk Length 1070 feet
Landscaping: No. of Trees please see Landscape plans Diameter please see landscape plans
No. of Shrubs please see Landscape plans Size please see Landscape plans
Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

A tract of land being the Consolidated Lot 1 of "Northwest Healthcare Subdivision" according to the plat thereof recorded in Plat Book 357, page 475 of the St. Louis County, Missouri Records and being part of Lot 100 of the St. Ferdinand Commons in Township 47 North, Range 6 East of the Fifth Principal Meridian, City of Florissant, St. Louis County, Missouri and being further described as follows:

Beginning at the Northeast corner of the Consolidated Lot 1 of "Northwest Healthcare Subdivision" according to the plat thereof recorded in Plat Book 357, Page 475 of the St. Louis County Records, said point being on the Western right-of-way line of Graham Road; thence along said Western right-of-way line South 00 degrees 23 minutes 21 seconds East, 972.87 feet to a point of curvature; thence along a curve to the left having a radius of 1959.86 feet an an arc length of 136.02 feet to the Southeast corner of said Consolidated Lot 1; thence leaving said right-of-way line along the Southern line of said Consolidated Lot 1 South 89 degrees 48 minutes 00 seconds West, 717.48 feet to the Southwest corner thereof; thence along the Western line of said Consolidated Lot 1 North 00 degrees 12 minutes 33 seconds West, 1108.40 feet to the Northwest corner thereof; thence along the Northern line of said Consolidated Lot 1 North 89 degrees 46 minutes 16 seconds East, 709.28 feet to the point of Beginning and containing 788,430 square feet or 18.10 acres more or less.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL SITEMAN CANCER CENTER

- 1) a. Uses - Are uses stipulated Yes No
- b. What current District would this proposal be a permitted use: 'B-5'
- c. Proposed uses for out lots: N/A

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No ✓
- b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No ?
- c) Odor is there any foreseen problem with odor? Yes / No ✓
- d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No ✓
- e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No ✓
- f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No ✓
- g) Is there any dangerous amount of radiation produced from the operation? Yes / No ✓
- h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No ✓
- i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? ✓ Yes / No
- j) Is buildings screened from adjoining residential? ✓ Yes / No

3) Are height of structures shown? ✓ Yes / No

4) Are all setbacks shown? ✓ Yes / No

5) Are building square footages shown? ✓ Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? ✓ Yes / No

8) Parking:

- a) Does parking shown meet the ordinance? ✓ Yes / No
- b) Is a variance required in accordance with the ordinance? Yes / No ✓
- c) Ratio shown 4.5 to 1000
- d) Total Number 579
- e) Will cross access and cross parking agreements be required? Yes / No ✓
- f) Is the parking lot adequately landscaped? ✓ Yes / No

9) Are there any signs? Yes / No ✓

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? ✓ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? ✓ Yes / No

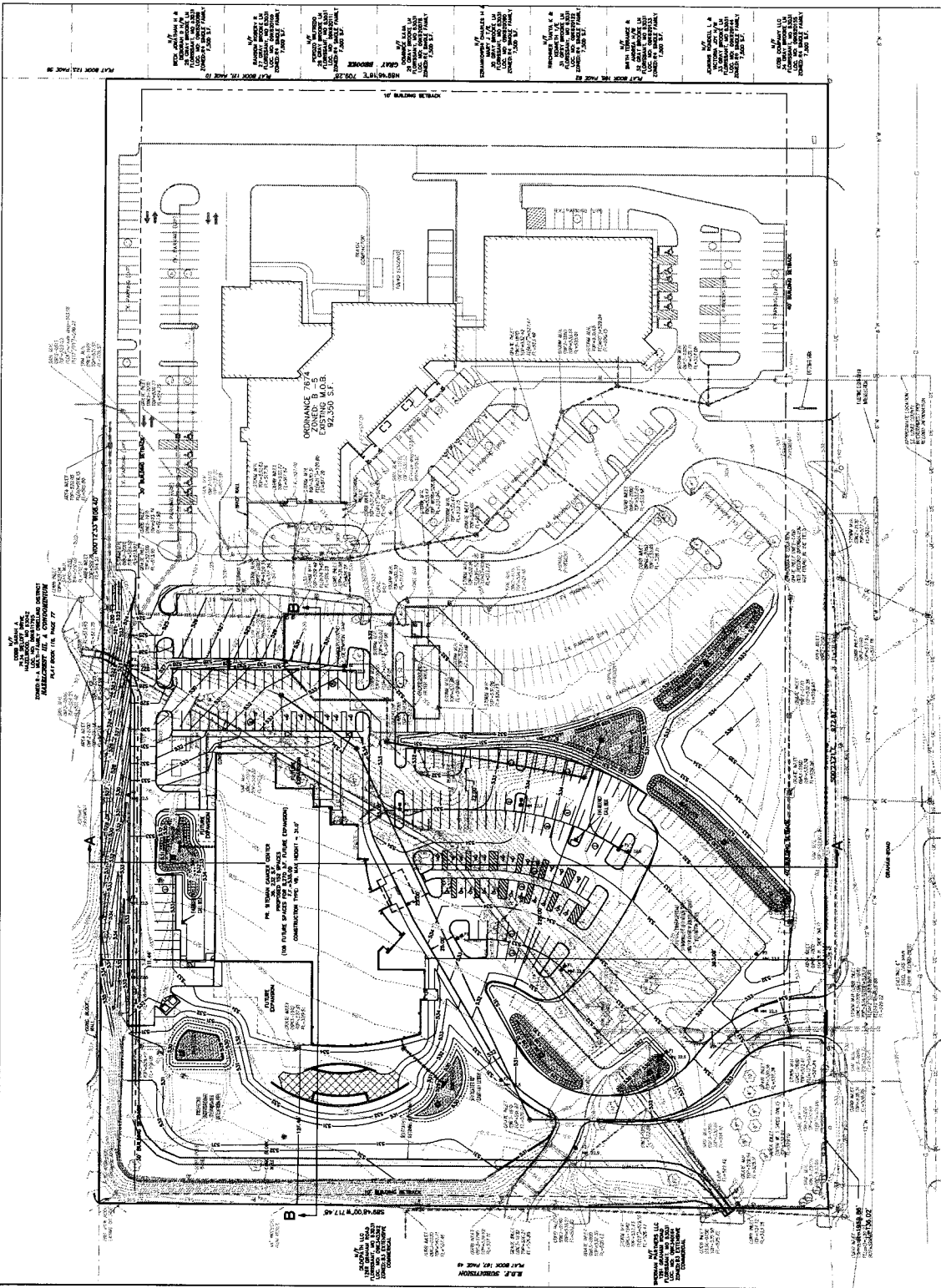
11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? ✓ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? ✓ Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? ✓ Yes / No
- 14) Was a traffic study submitted? Yes / No ✓
Does the City Staff recommend a traffic study? Yes / No ✓
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? ✓ Yes / No
- 16) Is a legal description of the property shown? ✓ Yes / No
Does legal description appear to be proper? ✓ Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No *N/A previous*
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? ✓ Yes / No
- 20) Are new walkways required? Yes / No ✓
- 21) Is there sufficient handicapped access? ✓ Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No ✓
b) Do the curb-cuts meet the City ordinances? Yes / No *N/A*
- 23) Will this project require any street improvements? Yes / No ✓
- 24) Staff recommendations for site development plans: see staff report

- 25) Staff Comments: see staff report
-
-
-
-

11/15/17
Date Application reviewed
Philip E. [Signature]
Building Commissioner or Staff Signature

PRELIMINARY PLAN FOR THE PROPOSED SITEMAN CANCER CENTER AT CHRISTIAN HOSPITAL NORTHWEST
B-5 ZONING AMENDMENT
 A TRACT OF LAND BEING THE CONSOLIDATED LOT 1 OF NORTHWEST HEALTHCARE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 357, PAGE 476 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS AND BEING PART OF LOT 100 OF THE ST. FERDINAND COMMONS IN TOWNSHIP 47 NORTH, RANGE 8 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF FLORENCE, ST. LOUIS COUNTY, MISSOURI. ORDINANCE NO. 18771
 ZONED: B-5 PLANNED COMMERCIAL DISTRICT



GENERAL NOTES:

- ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE UTILITIES SHOWN AND HAS FOUND THEM TO BE CORRECT. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE UTILITIES SHOWN AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE UTILITIES SHOWN.
- NO SHIELD SHALL EXCEED 31 INCHES.
- CONCRETE AND STEEL SHALL BE PERMANENTLY MARKED AND THE CITY OF FLORENCE SHALL BE NOTIFIED OF ANY CHANGES TO THE MARKING.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.

BETTER COUNTY BENCHMARK:

STATIONED AT THE CORNER OF THE SECTION 36, TOWNSHIP 47 NORTH, RANGE 8 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF FLORENCE, ST. LOUIS COUNTY, MISSOURI. THE BENCHMARK IS A CONCRETE PILE DRIVEN TO A DEPTH OF 10 FEET INTO THE GROUND. THE BENCHMARK IS 1.5 FEET IN DIAMETER AND IS 1.5 FEET ABOVE THE FINISHED GRADE. THE BENCHMARK IS 1.5 FEET FROM THE CORNER OF THE SECTION.

GRAPHIC SCALE:
 1 inch = 40 ft.

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/15/2024	ISSUED FOR PERMIT
2	02/15/2024	REVISED TO SHOW CHANGES TO THE PARKING LOTS AND DRIVEWAYS.
3	03/15/2024	REVISED TO SHOW CHANGES TO THE SETBACKS AND EASEMENTS.
4	04/15/2024	REVISED TO SHOW CHANGES TO THE UTILITIES AND MARKING.

STUCK & PARTNERS
 Consulting Engineers, Inc.
 2100 North Grand Blvd., Suite 1000
 St. Louis, MO 63103
 Phone: (314) 433-3333
 Fax: (314) 433-3334
 Website: www.stuck.com

Steman Cancer Center
 1225 Graham Road
 Florissant, MO 63031

HealthCare

PRELIMINARY PLAN

C0.10

LOCATION MAP
 (SEE TO SCALE)

PERMIT DATA

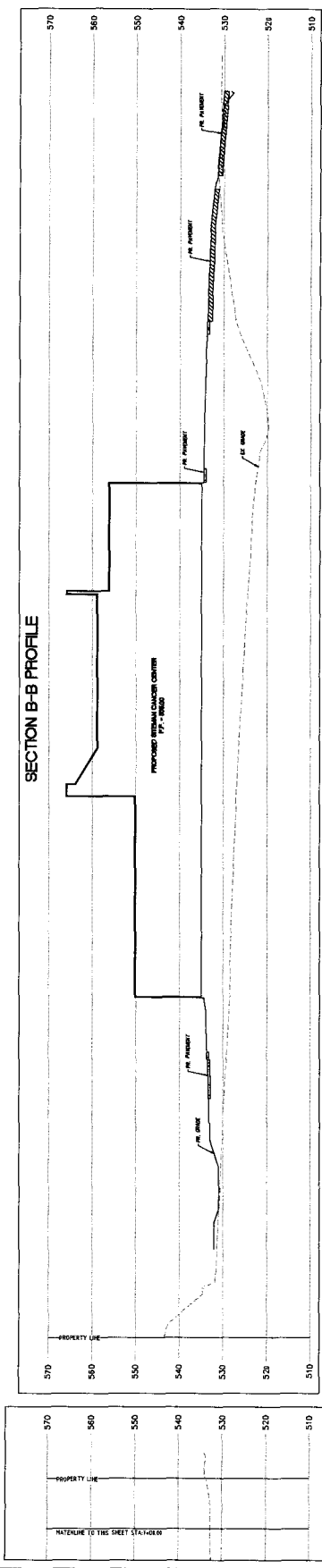
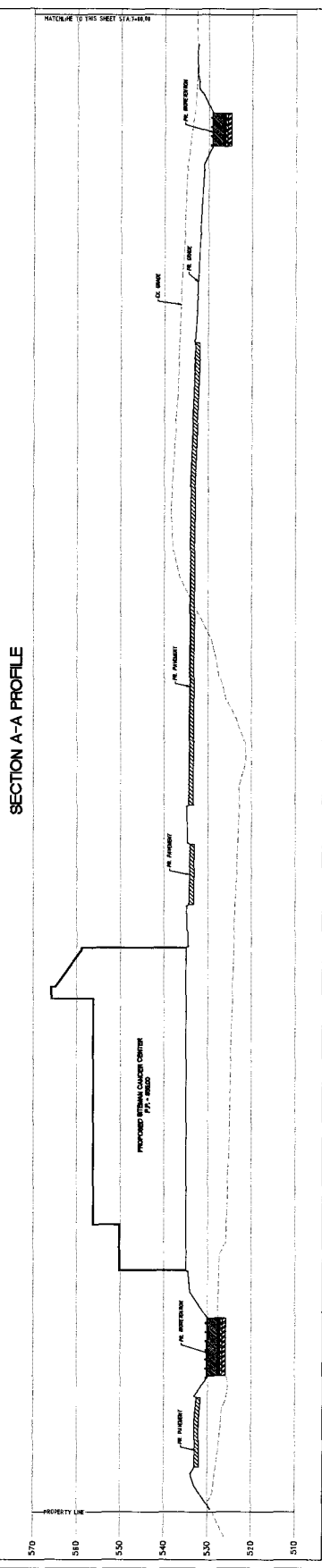
SETBACK REQUIREMENTS

LEGEND

ABBREVIATIONS

PARKING CALCULATIONS

PROPOSED PARKING DETAILS (1:1)



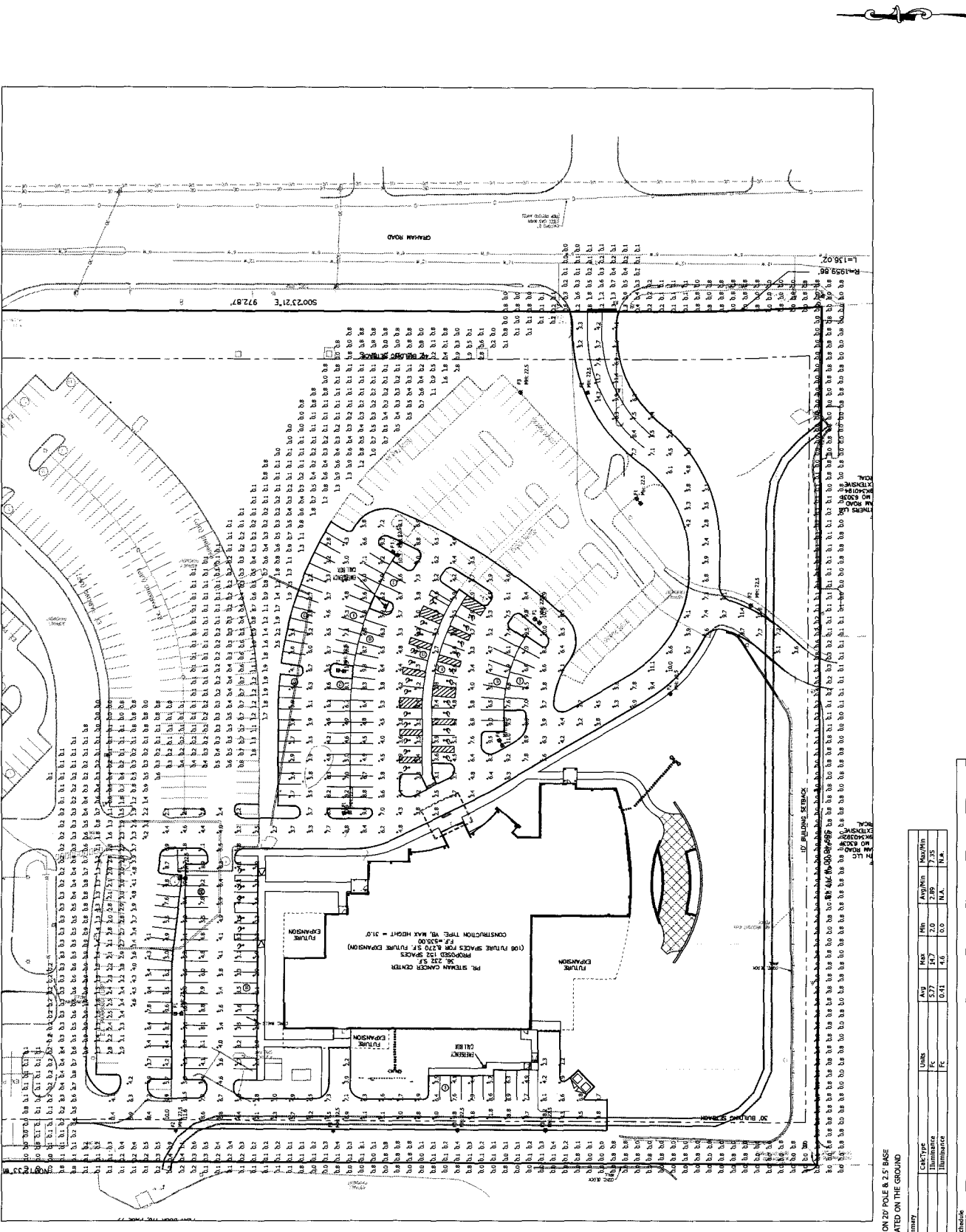
SITE SECTIONS
SCALE: 1" = 10' VERT

BIC HealthCare
 1225 Graham Road
 Fossitt, MO 63093
 BIC Project No. 160098
 Title: Design Development / GMP

Stleman Cancer Center
 Christian Hospital Northwest
 Fossitt, MO 63093

STUCK & PARTNERS
 Consulting Engineers, Inc.
 217 Darnold Business Center
 St. Louis, MO 63103 (314) 388-1100
 Email: greg@stuckpartners.com
 Web: www.stuckpartners.com

Architects, Inc.
 TTD
 8000 S. Brentwood Blvd. Suite 100
 Fossitt, MO 63093
 (636) 271-8800
 www.ttdinc.com



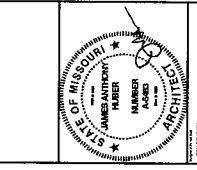
Calculations Summary		Luminaire Schedule		Lum. Warrs		Lum. Warrs		Description	
Calculation	Value	Symbol	Qty	Arrangement	Symbol	Qty	Arrangement	Symbol	Qty
Lumen	1045	F1	4	BACK-TO-BACK	0.512	1760	4	GLENN AF-07-LED-E-3WQ TWIN	4
Site	1045	F2	4	SINGLE	0.512	1760	4	GLENN AF-06-LED-E-5L3	4
Spill Light	1045	F3	4	SINGLE	0.512	1760	4	GLENN AF-06-LED-E-5L3HS	4
Avg	0.41	Max	4.6	Avg/Min	2.0	Max/Min	7.35	N/A	N/A

FIXTURES MOUNTED ON 20' POLE & 2.5' BASE
 LIGHT LEVEL CALCULATED ON THE GROUND

NOTES: 1. ALL LIGHT LEVELS ARE CALCULATED ON THE GROUND. 2. ALL LIGHT LEVELS ARE CALCULATED ON THE GROUND. 3. ALL LIGHT LEVELS ARE CALCULATED ON THE GROUND. 4. ALL LIGHT LEVELS ARE CALCULATED ON THE GROUND. 5. ALL LIGHT LEVELS ARE CALCULATED ON THE GROUND.

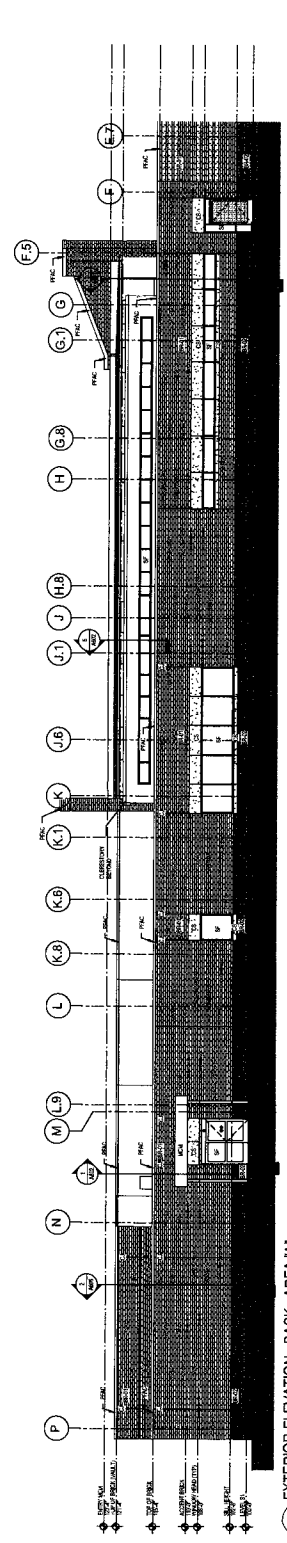
Archimages
43 West Chalmers Rd
P.O. Box 1577
Florence, Mo 63033
P: 314-662-7848 F: 314-662-7417
www.archimages.com
info@archimages.com

Kochman, Inc.
Yorkville Corporation
Stacy & Associates
Tanner Meeks & Associates
KOT Construction & Build

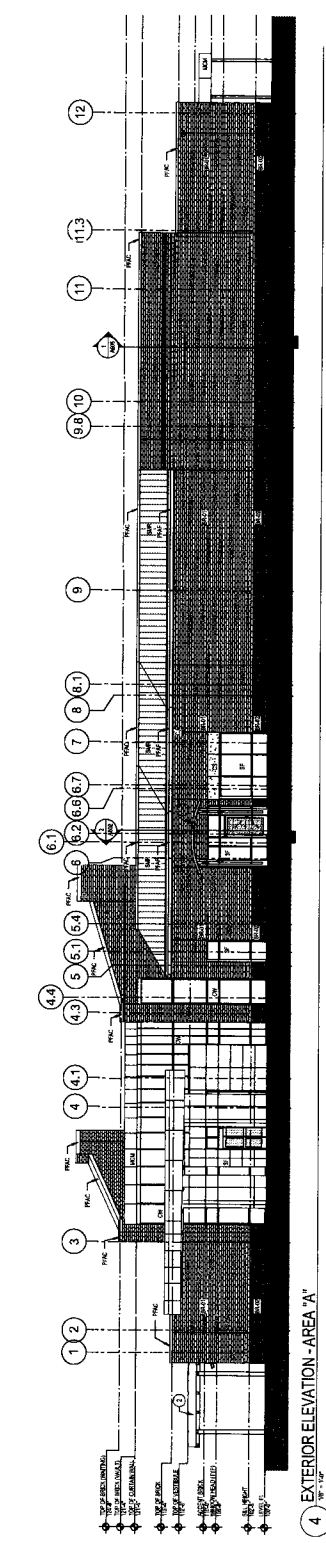


Steman Cancer Center
Christian Hospital Northwest Campus
Florence, Mo 63033
B/C Project No. 16208
Title: Design Development / C/M/P

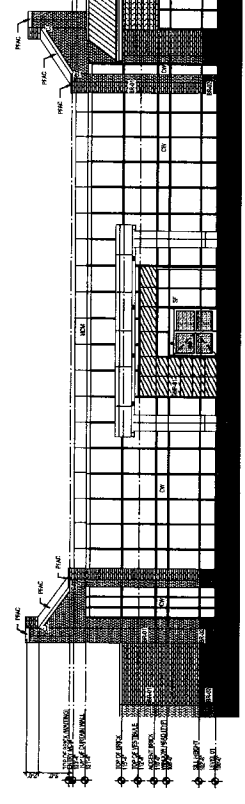
B/C HealthCare	
NO. OF SHEETS	17
SHEET NO.	501
TITLE	EXTERIOR ELEVATIONS
DATE	11/20/18
DESIGNED BY	JOHN PETERSON
DRAWN BY	JOHN PETERSON
CHECKED BY	JOHN PETERSON
DATE	11/20/18
SCALE	
PROJECT NO.	16208
PROJECT NAME	Steman Cancer Center
PROJECT ADDRESS	Christian Hospital Northwest Campus
PROJECT CITY	Florence, Mo 63033
PROJECT STATE	MO
PROJECT ZIP	63033
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT CLIENT	B/C HealthCare
PROJECT ARCHITECT	Kochman, Inc.
PROJECT ENGINEER	James Anthony Fisher
PROJECT CONTRACTOR	
PROJECT SUBMITTER	
PROJECT DATE	11/20/18
PROJECT SCALE	
PROJECT STATUS	
PROJECT PHASE	
PROJECT DESCRIPTION	
PROJECT COMMENTS	
PROJECT NOTES	
PROJECT HISTORY	
PROJECT RECORDS	
PROJECT REFERENCES	
PROJECT SOURCES	
PROJECT CONTACTS	
PROJECT DISTRIBUTION	
PROJECT LEGAL	
PROJECT FINANCIAL	
PROJECT ADMINISTRATION	
PROJECT GENERAL	
PROJECT SPECIFIC	
PROJECT DETAILED	
PROJECT FINAL	
PROJECT AS-BUILT	
PROJECT RECORDS	
PROJECT REFERENCES	
PROJECT SOURCES	
PROJECT CONTACTS	
PROJECT DISTRIBUTION	
PROJECT LEGAL	
PROJECT FINANCIAL	
PROJECT ADMINISTRATION	
PROJECT GENERAL	
PROJECT SPECIFIC	
PROJECT DETAILED	
PROJECT FINAL	
PROJECT AS-BUILT	



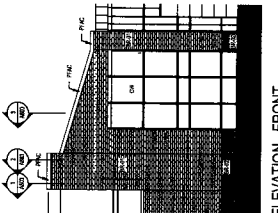
5 EXTERIOR ELEVATION - BACK - AREA "A"
SCALE: 1/8" = 1'-0"



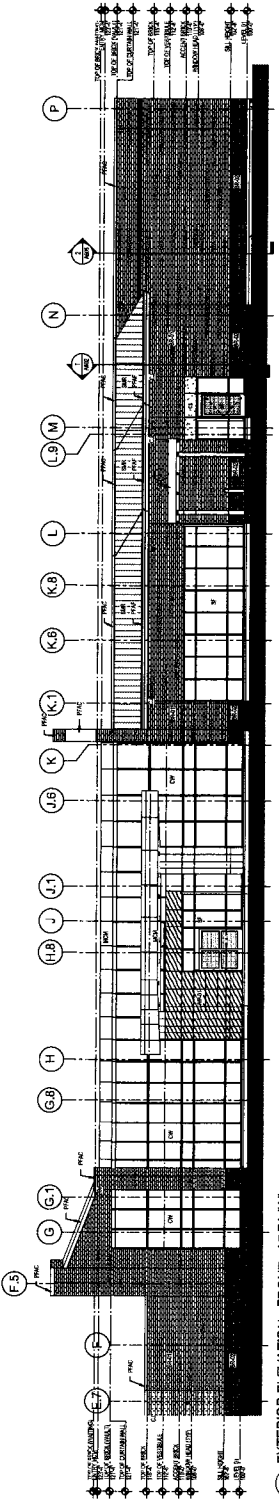
4 EXTERIOR ELEVATION - AREA "A"
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WAITING ROOM - FRONT
SCALE: 1/8" = 1'-0"



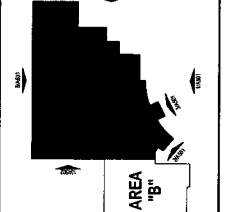
2 EXTERIOR ELEVATION - FRONT
SCALE: 1/8" = 1'-0"

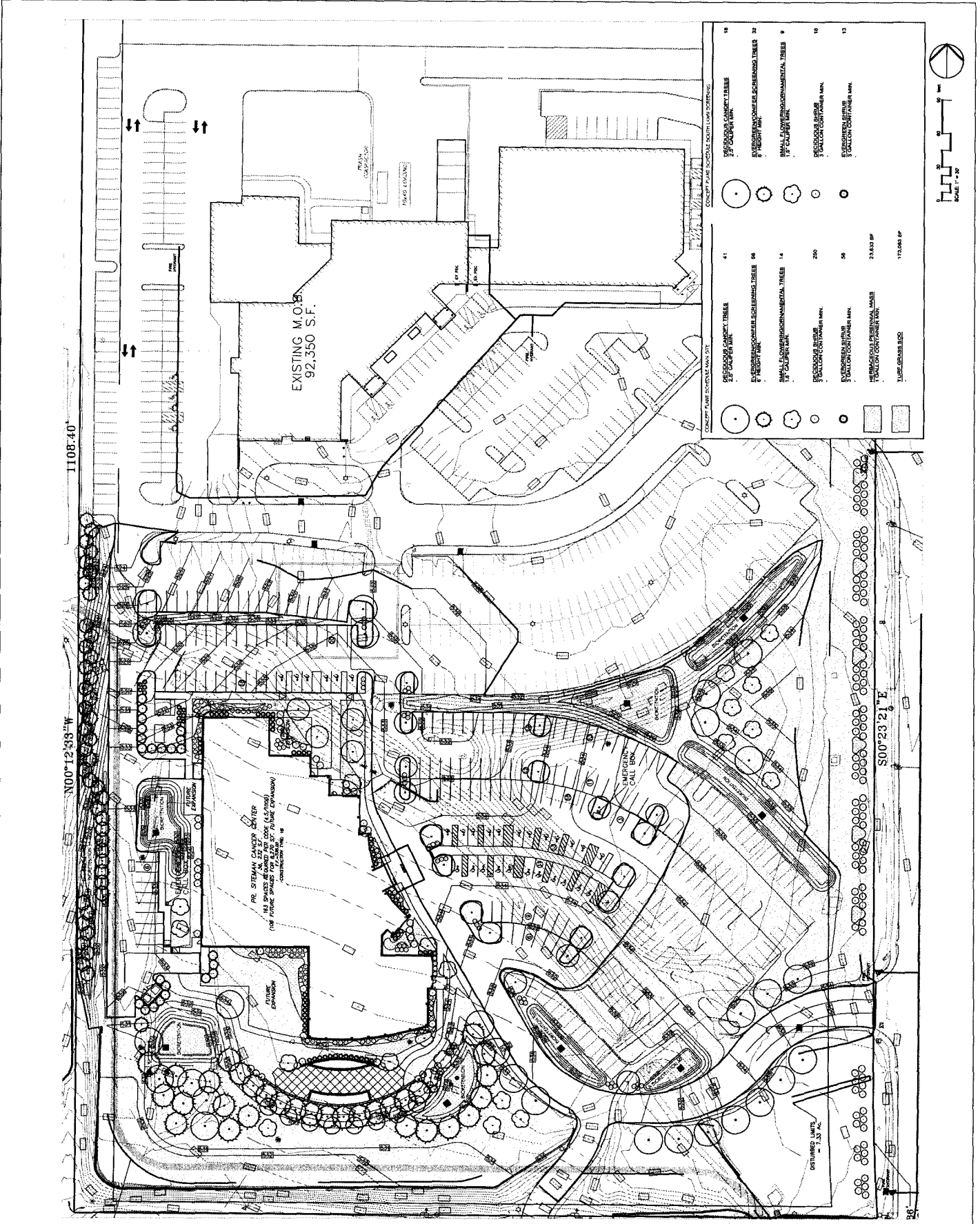


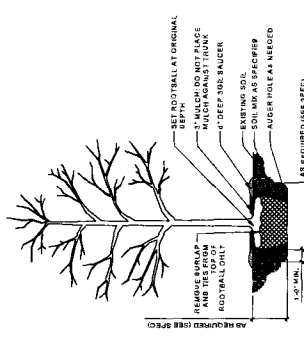
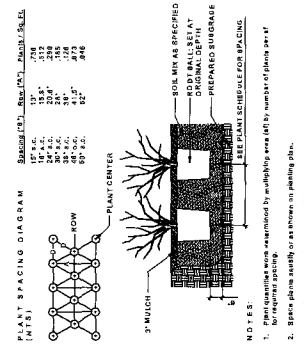
1 EXTERIOR ELEVATION - FRONT - AREA "A"
SCALE: 1/8" = 1'-0"

MARK	DESCRIPTION
①	ALUMINUM WINDOW WITH SHUTTER
②	TINE STEEL LADDER WITH FRONT ON STEEL ANGLE

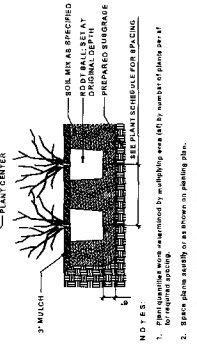
MARK	DESCRIPTION
MP1	RED BURNED ENAMEL COMPANY
MP2	ACCENT BRICK COLOR TIRE
MP3	CASE TONE BRICK TIRE
MP4	WHITE BRICK
MP5	WHITE BRICK
MP6	WHITE BRICK
MP7	WHITE BRICK
MP8	WHITE BRICK
MP9	WHITE BRICK
MP10	WHITE BRICK
MP11	WHITE BRICK
MP12	WHITE BRICK
MP13	WHITE BRICK
MP14	WHITE BRICK
MP15	WHITE BRICK
MP16	WHITE BRICK
MP17	WHITE BRICK
MP18	WHITE BRICK
MP19	WHITE BRICK
MP20	WHITE BRICK



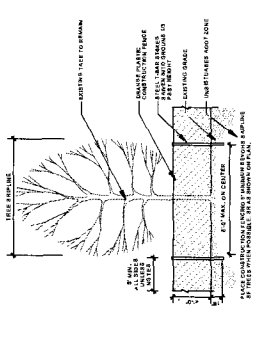




1 TREE PLANTING DETAIL



2 SHRUB - PERENNIAL PLANTING



3 TREE PROTECTION DETAIL

CONCEPT PLANTING	QUANTITY	CONCEPT PLANTING	QUANTITY
SECURUS CANDLE TREE 2.5" CALIPER MIN.	41	SECURUS CALOPT TREE 2.5" CALIPER MIN.	18
SHADY BARK TREE 1.5" CALIPER MIN.	48	SPYRAL COMER TREKING LINEE 1.5" CALIPER MIN.	32
SMALLER PERENNIAL TREE 1.5" CALIPER MIN.	14	SMALL PERENNIAL TREE 1.5" CALIPER MIN.	8
SECURUS BARK 3" GALLON CONTAINER MIN.	206	SECURUS BARK 3" GALLON CONTAINER MIN.	18
SHADY BARK 3" GALLON CONTAINER MIN.	88	SHADY BARK 3" GALLON CONTAINER MIN.	13
SMALLER PERENNIAL TREE 1.5" CALIPER MIN.	20 813 SF		
SMALLER PERENNIAL TREE 1.5" CALIPER MIN.	112 863 SF		

GREEN OPEN SPACE CALCULATIONS	
Per City of Florissant, MO Code - Section 405.245	
GROSS AREA	GREEN SPACE PROVIDED
12.47 ACRES	48.8%
(543,193 SQ. FT.)	(108,639 SQ. FT.)
	(265,186 SQ. FT.)

TREE CALCULATIONS	
Per City of Florissant, MO Code - Section 405.245	
PARKING SPACES	2.5" TREES REQUIRED
163	(163 / 19 = 10.68)
	60 (ADJACENT TO PARKING)
	11

BUILDING PLANTINGS CALCULATIONS	
Per City of Florissant, MO Code - Section 405.245	
LINEAL FEET OF EXTERIOR WALLS	PLANT MATERIAL REQUIRED
1,036	(1,036 / 5 = 207.2)
	208
	1,100 (ADJACENT TO BUILDING)

dg2

DG2 Design
Landscape Architecture

4850 W. 121st St. Suite 100
Florissant, MO 63031

DAVID H. MASON
REGISTERED PROFESSIONAL ENGINEER
NO. 101207

Steman Cancer Center
Christian Hospital Northwest
1225 Gratiot Road
Florissant, MO 63031

Proj. Design Development / GMP
Proj. No. 160098

HealthCare

BIC

PRELIMINARY LANDSCAPE DETAILS & SCHEDULES

L7.10







CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: November 20, 2017

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr.- P.E., PWLF
Director of Public Works
Applicant
File

Subject: Request Recommended Approval to amend Ordinance #7647 to allow for Additions at 1225 Graham Road within an existing B-5 Zoning District.

STAFF REPORT
CASE NUMBER PZ-112017-1

I. PROJECT DESCRIPTION:

This is a request to Recommend Approval to amend Ordinance #7647 to allow for Additions at 1225 Graham Road within an existing B-5 Zoning District for a proposed Siteman Cancer Center. The structure is proposed in an open area of the site at the South protion of the existing campus.

II. SITE CONDITIONS:

The existing property at 1225 Graham Road is a consolidated existing site. This Commission voted to recommend approval of the Plat Plan on March 7, 2005 and was consolidated into one lot of 18.1 acres.

There is an existing Medical Offices building of 92,350 square feet with Emergency Room Services below. There is an Emergency Room drive along the north side of the property with an existing 15' landscape buffer. The proposed structure is proposed 32,232 s.f. new building with future expansion of an additional 8270 s.f. Staff has determined that the setbacks are met by the new structure and parking spaces proposed. The building is approximately 111' from the West Property line and about 157 feet from the South property line and about 393 feet from the East property line.

40 There are 579 required and proposed off street parking spaces. Parking is sized for
41 occupancy of both the proposed building and future expansion.
42
43

44 **III. SURROUNDING PROPERTIES:**
45

46 The property to the west is also bounded by a portion of a residential District in the City
47 of Hazelwood. The property to the North is one house lot in an R-4 Single Family
48 Dwelling District. There are two properties to the South, 1265 Graham Road which is a
49 privately owned Medical Office in a B-3 District and a Starbucks restaurant at 1261
50 Graham Road in a B-3 District.
51
52

53 **IV. STAFF ANALYSIS:**
54

- 55 1. The application is accompanied by professionally completed Civil, architectural
56 plans Landscape and photometric drawings as follows:
 - 57 a. CO.10, CO.20 and CO.30 dated 10/6/17 by Stock & Associates
 - 58 b. A501 & A502 dated 10/31/17 by Archimages
 - 59 c. L1.10 & L7.10 dated 10/31/17 by DG2.
 - 60 d. Color Renderings.
- 61
62 2. CO.10 Comments: This plan identifies the new facilities including size, locations
63 setbacks and has parking calculations meeting the parking ordinance:
 - 64 a. Drainage concept shown includes underground detention front and rear
65 and several bioretention areas.
 - 66 b. Loading and trash enclosure is shown at the rear, Western location.
 - 67 c. Vehicular traffic connects to the existing curb cut on Graham Road and
68 the MOB drive to the South.
- 69
70 3. CO.20 Comments: This plan meets the requirement of 2 site sections indicating
71 grades and the structures do not exceed height limits of the zoning district.
72
- 73 4. CO.30 Comments: This drawing indicates photometrics. Lighting levels of new
74 parking areas and zero lighting at residential abutments.
75
- 76 5. A501 & A502 Comments: The building is predominantly brick and curtainwall.
77 Brick is either BR1 or BR2. There is a small amount of Cast Stone noted 'CS'
78 located above openings in the brick at windows and doors, which is not 'masonry'
79 as defined in 500.040".
80
- 81 6. L1.10 & L7.10 Comments: There appears to be adequate landscaping to meet
82 code required minimums:
 - 83 a. Frontage plantings include conifers that form a barrier and perennial
84 masses.
 - 85 b. All parking islands are planted.

- 86 c. Large outdoor patio is well planted along the South property line.
- 87 d. Greenspace is calculated at 48.8 percent.
- 88 e. Parking lot trees: Landscape states 11 required areas, 60 trees provided.
- 89 f. Building Plantings: 208 required, 1100 provided adjacent to building.
- 90
- 91

92 **VI. STAFF RECOMMENDATIONS:**

93
 94 The development proposed meets the requirements of the B-5 District for building and
 95 parking additions, with the minor exception of cast stone in the exterior walls at doors
 96 and windows. Staff recommends the Commission entertain a Recommendation for
 97 Approval of amending ordinance #7647 regarding this development. The Commission
 98 can add any other stipulations, suggested motion:
 99

100 **I move to recommend approval to amend ordinance, no. 7674 as follows, to**
 101 **allow for additions for the new Siteman Cancer Center at 1225 Graham**
 102 **Road, subject to the conditions set forth below with these conditions being**
 103 **part of the record:**

104
 105 **1. PERMITTED USES**

106 The uses permitted for this property shall be limited to a Health Care
 107 Facility with a maximum of 128,582 square feet. Other uses than those
 108 permitted shall require approval by amendment to this B-5 Ordinance.
 109

110 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**
 111 **(No change)**

112
 113 **3. PERFORMANCE STANDARDS**
 114 **(No change)**

115
 116 **4. TRASH ENCLOSURES**
 117 Trash enclosures shall be as indicated on attached plan **CO.10 dated**
 118 **10/6/17, by Stock & Associates.**
 119

120 **5. PLAN SUBMITTAL REQUIREMENTS**

121 A final site development plan shall be submitted to the Building
 122 Commissioner to review for compliance to this ordinance and other
 123 city ordinances prior to issuance of land disturbance permits or
 124 building permits. Final Development Plan shall include improvements
 125 as shown on attached drawings:

- 126 **1. CO.10, CO.20 and CO.30 dated 10/6/17 by Stock &**
- 127 **Associates**
- 128 **2. A501 & A502 dated 10/31/17 by Archimages**
- 129 **3. L1.10 & L7.10 dated 10/31/17 by DG2.**
- 130 **4. Color Renderings.**
- 131

132 3. SITE DEVELOPMNT PLAN CRITERIA:

133
134 a. Structure Setbacks:
135 (No change)

136
137 b. Internal Drives:

- 138
139 (1) There shall be parking modifications as shown on **CO.10 dated**
140 **10/6/17, by Stock & Associates** to be indicated on the Final
141 Development Plan.

142
143 c. Minimum Parking/Loading Space Requirements.

- 144
145 (1) There shall be a minimum of **579** parking spaces provided on the
146 property.

147
148 d. Road Improvements, Access and Sidewalks
149 (No change)

150
151 e. Lighting Requirements.

152
153 Lighting of the property shall comply with the following standards and
154 requirements:

- 155
156 (1) All additional site lighting shall be as shown in accordance with the
157 lighting plan marked **CO.30 dated 10/6/17, by Stock & Associates.**
158
159 (2) All site lighting and exterior building lighting shall be directed down
160 and inward.

161
162 f. Sign Requirements.
163 (No change)

164
165 g. Landscaping and Fencing.

- 166
167 (1) Additional Landscaping shall be in accordance with the landscaping
168 plans **L1.10 & L7.10 dated 10/31/17 by DG2**, except as modified
169 herein.
170
171 (2) Any modifications to the landscaping plan shall be reviewed and
172 approved by the Planning and Zoning Commission.

173
174 h. Storm Water: Add the following paragraph:

- 175 (3) **All storm water and drainage facilities shall be constructed in**
176 **accordance with the concept plan shown on attached plan, CO.10**
177 **dated 10/6/17 by Stock & Associates.**

178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195

i. Miscellaneous Design Criteria.
(No change)

7. FINAL SITE DEVELOPMENT PLAN
(No change)

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:
(No change)

9. PROJECT COMPLETION.

Construction shall start within 120 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 18 months of start of construction.

(end report and suggested motion)

1 I move to recommend approval to amend ordinance, no. 7674 as follows, to allow for
2 additions for the new Siteman Cancer Center at 1225 Graham Road, subject to
3 the conditions set forth below with these conditions being part of the record:
4

5 1. PERMITTED USES

6 The uses permitted for this property shall be limited to a Health Care
7 Facility with a maximum of 138,000 square feet. Other uses than those
8 permitted shall require approval by amendment to this B-5 Ordinance.
9

10 2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

11 (No change)

12 13 3. PERFORMANCE STANDARDS

14 (No change)

15 16 4. TRASH ENCLOSURES

17 Trash enclosures shall be as indicated on attached plan CO.10 dated
18 10/6/17, by Stock & Associates.
19

20 5. PLAN SUBMITTAL REQUIREMENTS

21 A final site development plan shall be submitted to the Building
22 Commissioner to review for compliance to this ordinance and other
23 city ordinances prior to issuance of land disturbance permits or
24 building permits. Final Development Plan shall include improvements
25 as shown on attached drawings:

- 26 1. CO.10, CO.20 and CO.30 dated 10/6/17 by Stock &
27 Associates
- 28 2. A501 & A502 dated 10/31/17 by Archimages
- 29 3. L1.10 & L7.10 dated 10/31/17 by DG2.
- 30 4. Color Renderings.

31 32 3. SITE DEVELOPMNT PLAN CRITERIA:

33 34 a. Structure Setbacks:

35 (No change)

36 37 b. Internal Drives:

- 38
39 (1) There shall be parking modifications as shown on CO.10 dated
40 10/6/17, by Stock & Associates to be indicated on the Final
41 Development Plan.
42

43 c. Minimum Parking/Loading Space Requirements.

- 44
45 (1) There shall be a minimum of 579 parking spaces provided on the
46 property.

47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90

d. Road Improvements, Access and Sidewalks
(No change)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) All additional site lighting shall be as shown in accordance with the lighting plan marked **CO.30 dated 10/6/17, by Stock & Associates.**
- (2) All site lighting and exterior building lighting shall be directed down and inward.

f. Sign Requirements.
(No change)

g. Landscaping and Fencing.

- (1) Additional Landscaping shall be in accordance with the landscaping plans **L1.10 & L7.10 dated 10/31/17 by DG2**, except as modified herein.
- (2) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water: Add the following paragraph:

- (3) **All storm water and drainage facilities shall be constructed in accordance with the concept plan shown on attached plan, CO.10 dated 10/6/17 by Stock & Associates.**

i. Miscellaneous Design Criteria.
(No change)

7. FINAL SITE DEVELOPMENT PLAN
(No change)

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:
(No change)

9. PROJECT COMPLETION.

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 JANUARY 11, 2010

3
4 BILL NO. 8592

ORDINANCE NO. 7674

5
6 AN ORDINANCE AMENDING B-5 ORDINANCE NO. 7647 FOR BJC
7 HEALTH CARE TO ALLOW FOR AN ADDITION TO THE EXISTING
8 BUILDING FOR THE PROPERTY LOCATED AT 1225 GRAHAM
9 ROAD.

10
11 WHEREAS, an application has been filed by BJC Health Care to amend Ordinance No.
12 7647 to allow for an addition to the existing building for the property located at 1225 Graham
13 Road; and

14 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
15 meeting of December 21, 2009 recommended that such amendment be approved; and

16 WHEREAS, the Council, after due and careful consideration has concluded that the
17 amendment of Ordinance No. 7647 to allow for a modification to the signage, would be in the
18 best interest of the City of Florissant.

19 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
20 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

21
22 Section 1: Ordinance No. 7647, heretofore granted to the BJC Health Care for a B-5

23 Planned Commercial District Development is hereby amended by adding the following
24 specifications with regard to this addition:

25 **1. PERMITTED USES**

26
27 The uses permitted for this property shall be limited to a Health Care Facility with a
28 maximum of 126,800 square feet. Other uses than those permitted shall require
29 approval by amendment to this B-5 Ordinance.

30
31 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

32 (No change)

33
34 **3. PERFORMANCE STANDARDS**

35 (No change)

36
37 **4. TRASH ENCLOSURES**

38 (No change)

39

40 5. PLAN SUBMITTAL REQUIREMENTS

41 A final site development plan shall be submitted to the Building Commissioner to
42 review for compliance to this ordinance and other city ordinances prior to
43 issuance of land disturbance permits or building permits. Final Development
44 Plan shall include improvements as shown on Elevation Views entitled BJC
45 Northwest Healthcare, Emergency Department Expansion, dated November 6,
46 2009, sheets 2 and 3 of 3 dated 12/03/09, Landscape Plan entitled NWHC ED
47 Expansion dated 12/03/09 and E0.1 by ACI Boland, all to be indicated on the
48 Final Development Plan.
49

50
51 6. SITE DEVELOPMENT PLAN CRITERIA:

52
53 a. Structure Setbacks:

54
55 1. Building and structural setbacks shall be as stated in section 2 of this
56 ordinance.
57

58 b. Internal Drives:

59
60 (1) There shall be parking modifications as shown on sheet 2 of 3 dated 12/03/09
61 to be indicated on the Final Development Plan.
62

63 c. Minimum Parking/Loading Space Requirements.

64
65 (1) There shall be a minimum of 453 parking spaces provided on the property.
66

67 d. Road Improvements, Access and Sidewalks

68
69 e. Lighting Requirements.

70
71 Lighting of the property shall comply with the following standards and
72 requirements:
73

74 (1) All additional site lighting shall be as shown in accordance with the lighting
75 plan marked E0.1.
76

77 (2) The maximum height of site lighting, including base, light fixture and light
78 standard, shall be 25 feet above grade.
79

80 (3) All site lighting and exterior building lighting shall be directed down and
81 inward.
82

83 f. Sign Requirements.
84

85 (1) All signage shall comply with the City of Florissant sign ordinance for commercial
86 districts.

87
88 (2) The free standing entrance sign existing shall remain.
89

90 g. Landscaping and Fencing.
91

92 (1) Additional Landscaping shall be in accordance with the landscaping plan
93 dated 12/03/09 except as modified herein.
94

95 (3) Trees along the North property line shall be spaced no farther apart than 10
96 feet on center and achieve elevation to obscure the building addition.
97

98 (3) Any modifications to the landscaping plan shall be reviewed and approved by
99 the Planning and Zoning Commission.
100

101 h. Storm Water.
102

103 Storm Water and drainage facilities shall comply with the following standards and
104 requirements:
105

106 (1) The Director of Public Works shall review the storm water plans to assure that
107 storm water flow will have no adverse affect the neighboring properties.
108

109 (2) No building permits shall be issued until the storm water plan has been
110 approved by the St. Louis Metropolitan Sewer District.
111

112 i. Miscellaneous Design Criteria.
113

114 (1) All applicable parking, circulation, sidewalks, and all other site design features
115 shall comply with the Florissant City Code.
116

117 (2) All dumpsters and grease containers shall be contained within a trash
118 enclosure constructed of clay fired brick with solid metal or vinyl gates or
119 metal picket type gates with spacing of the pickets being no more than two
120 inches apart.. The emergency generator shall be tested for noise propagation
121 and mitigated so as to prohibit noise at the property line.
122

123 (3) All storm water and drainage facilities shall be constructed, and all
124 landscaping shall be installed, prior to occupancy of the building, unless
125 remitted by the Director of Public Works due to weather related factors.
126

127 (4) All mechanical equipment, electrical equipment, and communication
128 equipment shall be screened in accordance with the Florissant Zoning Code.
129

130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175

(5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.

(6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. FINAL SITE DEVELOPMENT PLAN

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must make a determination as to the extent of the changes per the following procedure:

1. The property owner or designated representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the city council.
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the building commissioner may approve said changes.
5. Determination of major changes: If the building commissioner determines that an amendment to the special use permit is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the planning and zoning commission.

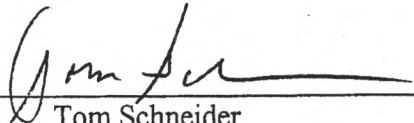
9. PROJECT COMPLETION.

Construction shall start within 120 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

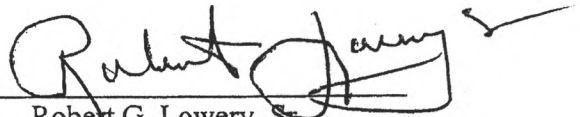
176 Section 2: All of the other terms and provisions of Ordinance 7647, shall remain
177 in full force and affect.

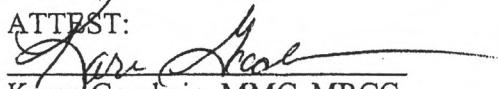
178 Section 3: This ordinance shall become in full force and effect immediately upon
179 its passage and approval.

180
181 Adopted this 25 day of January, 2010.

182
183
184
185 
186 Tom Schneider
187 President of the Council

188
189 Approved this 27 day of January, 2010.

190
191
192
193 
194 Robert G. Lowery, Sr.
195 Mayor, City of Florissant

196 ATTEST:
197 
198 Karen Goodwin, MMC, MRCC
 City Clerk

GRIMES CONSULTING, INC.
 (An Engineering & Surveying Service)
 1225 GRAHAM ROAD
 FLOESSANT, ST. LOUIS COUNTY, MO. 63031

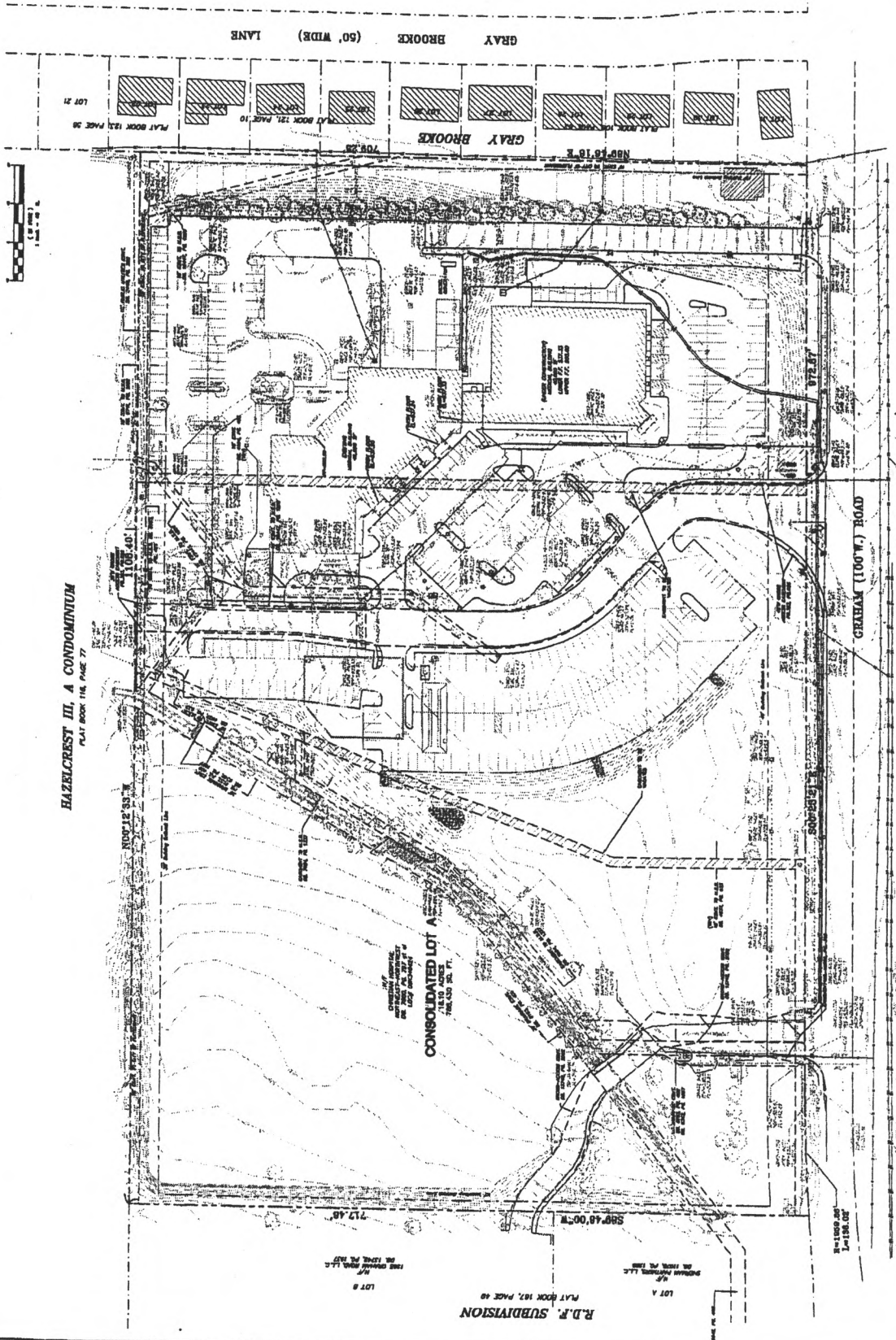
**PRELIMINARY DEVELOPMENT PLAN FOR
 Northwest HealthCare
 Emergency Department Expansion**

EXISTING SITE
 PLAN

10f3

M.S.D. BASE MAP K-9
 LOC. NO. 09K34 0226
 ZIP CODE 63031

7674



HAZELCREST III, A CONDOMINIUM
 PLAT BOOK 116, PAGE 77

CONSOLIDATED LOT A
 18.10 ACRES
 786,430 SQ. FT.

R.D.P. SUBDIVISION
 PLAT BOOK 107, PAGE 40

GRAHAM (100' W.) ROAD

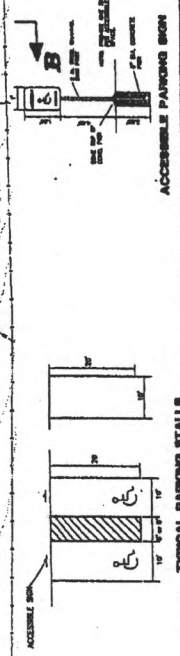
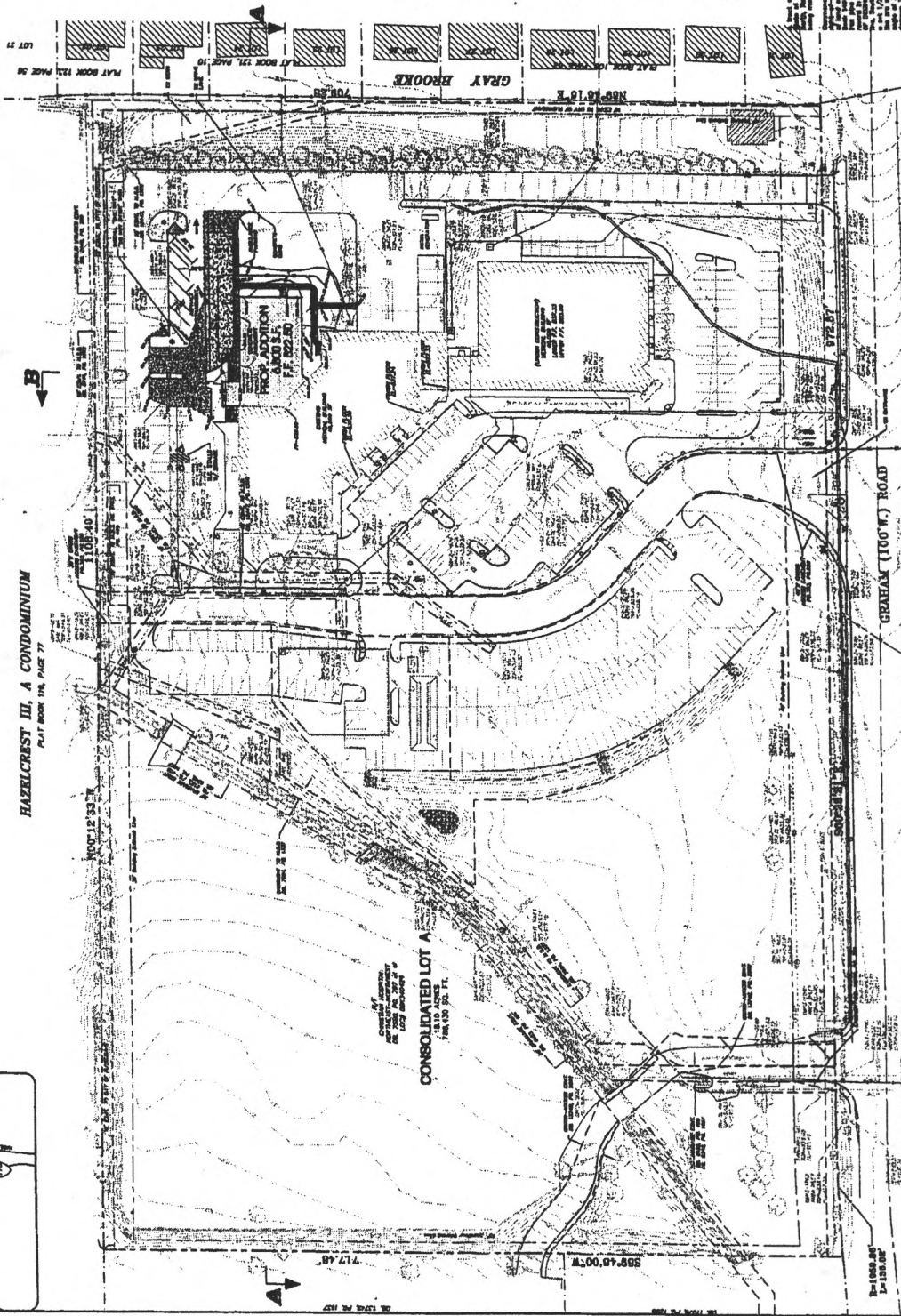
GRAY BROOKE (60' WIDE) LANE

PREPARED FOR:
 BAC HEALTHCARE
 1225 GRAHAM ROAD
 FLOESSANT, MO 63031
 TEL: (314) 981-1800
 FAX: (314) 981-1800

**PRELIMINARY DEVELOPMENT PLAN
NORTHWEST HEALTHCARE**
PART OF LOT 100 OF ST. FERDINAND COMMONS, TOWNSHIP 47 NORTH, RANGE 6 EAST
CITY OF FLOISSANT, ST. LOUIS COUNTY, MISSOURI



HAZELCREST III, A CONDOMINIUM
PLAT BOOK 176, PAGE 77



ACCESSIBLE PARKING

SEE EACH SIDE - 2' TO 3' IN THE CASE OF SIDE-ENTRY PARKING

SEE EACH SIDE - 2' TO 3' IN THE CASE OF SIDE-ENTRY PARKING

SEE EACH SIDE - 2' TO 3' IN THE CASE OF SIDE-ENTRY PARKING

SEE EACH SIDE - 2' TO 3' IN THE CASE OF SIDE-ENTRY PARKING

SEE EACH SIDE - 2' TO 3' IN THE CASE OF SIDE-ENTRY PARKING

PREPARED FOR:
BAC HEALTHCARE
1255 GRAHAM ROAD, SUITE 270
FLOISSANT, MISSOURI 63027
PH: (314) 953-1591
FAX: (314) 953-1592

SETBACK REQUIREMENTS

SEE CITY ORDINANCES AND SUBMITTALS TO THE CITY OF FLOISSANT FOR THE LATEST REQUIREMENTS.

PERTINENT DATA

SEE CITY ORDINANCES AND SUBMITTALS TO THE CITY OF FLOISSANT FOR THE LATEST REQUIREMENTS.

PARKING CALCULATIONS

SEE CITY ORDINANCES AND SUBMITTALS TO THE CITY OF FLOISSANT FOR THE LATEST REQUIREMENTS.

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
3. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
4. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
5. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

BOUNDARY DESCRIPTION

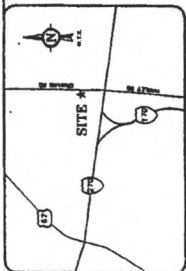
The land shown on this plan is bounded on the north by the City of Floissant, Missouri, on the east by the City of Floissant, Missouri, on the south by the City of Floissant, Missouri, and on the west by the City of Floissant, Missouri.

**PRELIMINARY DEVELOPMENT PLAN FOR
Northwest HealthCare
Emergency Department Expansion**

SITE PLAN

DATE	2/20/22
DRAWN BY	J.W.
CHECKED BY	J.W.
SCALE	AS SHOWN
PROJECT	2702

2 of 3



PRELIMINARY DEVELOPMENT PLAN
NORTHWEST HEALTHCARE
 PART OF LOT 100 OF ST. FERDINAND COMMONS, TOWNSHIP 47 NORTH, RANGE 6 EAST
 CITY OF FLOISSANT, ST. LOUIS COUNTY, MISSOURI

GRUBBS CONSULTING, INC.
 1101 Greenwood & Anthony Streets
 St. Louis, MO 63104
 Phone: (314) 435-1000
 Fax: (314) 435-1001
 E-mail: info@grubbs.com

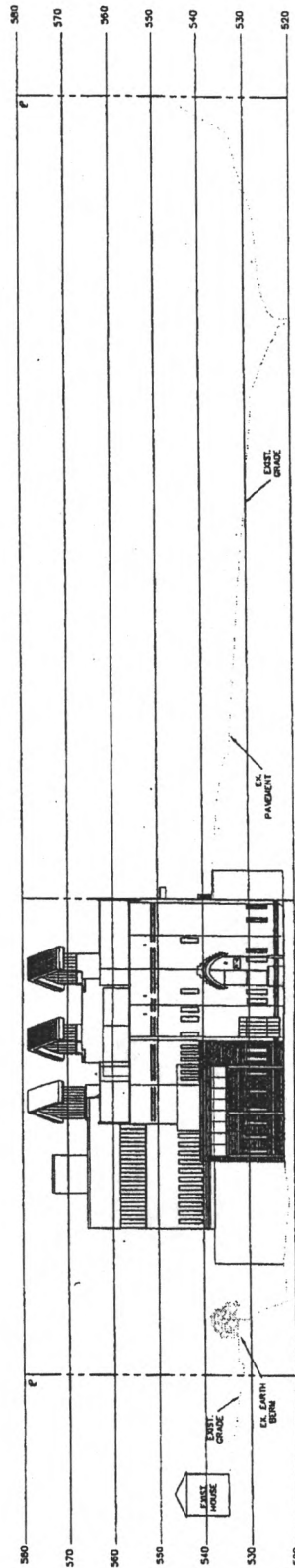
PRELIMINARY DEVELOPMENT PLAN FOR
 Northwest HealthCare
 Emergency Department Expansion
 1225 GRAHAM ROAD
 FLOISSANT, ST. LOUIS COUNTY, MO. 63031

SITE SECTIONS

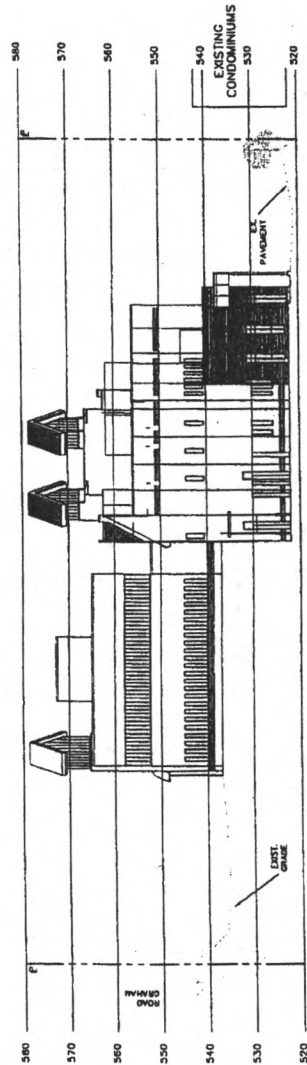
DATE: 12/02/09
 DRAWN BY: JLM
 CHECKED BY: JLM
 PROJECT NO.: 2892

M.S.D. BASE MAP K-9
 LOC. NO. 09K3.4 0226
 ZIP CODE 63031

30f3



SECTION A-A



SECTION B-B

PREPARED FOR:
 BAC HEALTHCARE
 13430 S. OUTER FORTY DRIVE, SUITE 270
 FLOISSANT, MISSOURI 63031
 PH: (314) 853-1531
 FAX: (314) 853-1530

NWHC - ED EXPANSION

PROJECT # 010203

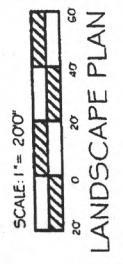
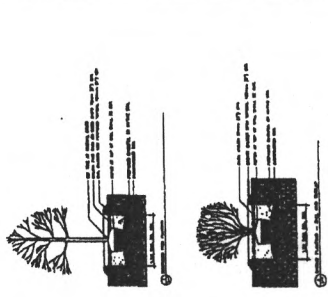
Landscape Guidelines & Requirements

Description:	Required:	Provided:
Building plantings shall be planted & maintained at the north side of the ED Addition for every linear foot of exterior wall. ED Addition has 2504' of exterior walls. ED Addition has 2504' of exterior walls. ED Addition has 2504' of exterior walls.	36 6 plants	31 plants
A minimum 15' x 15' tree pit shall be provided for new ED Addition and parking.		
New islands & planting beds on the north side of the ED Addition shall be provided with a minimum 15' x 15' tree pit.		
For all buildings, there shall be one (1) 2.5' x 1.5' x 1.5' parking spaces. There are 0 new parking spaces. However one (1) existing tree (S) 2.5' x 1.5' x 1.5' parking spaces located in the open yard area on the north side of the new ED Addition.	0 trees	9 trees
Traces shall be spaced no greater than fifty (50) feet on center across all front yards. ED Addition has 0' L.F. of frontage therefore the above does not apply.		

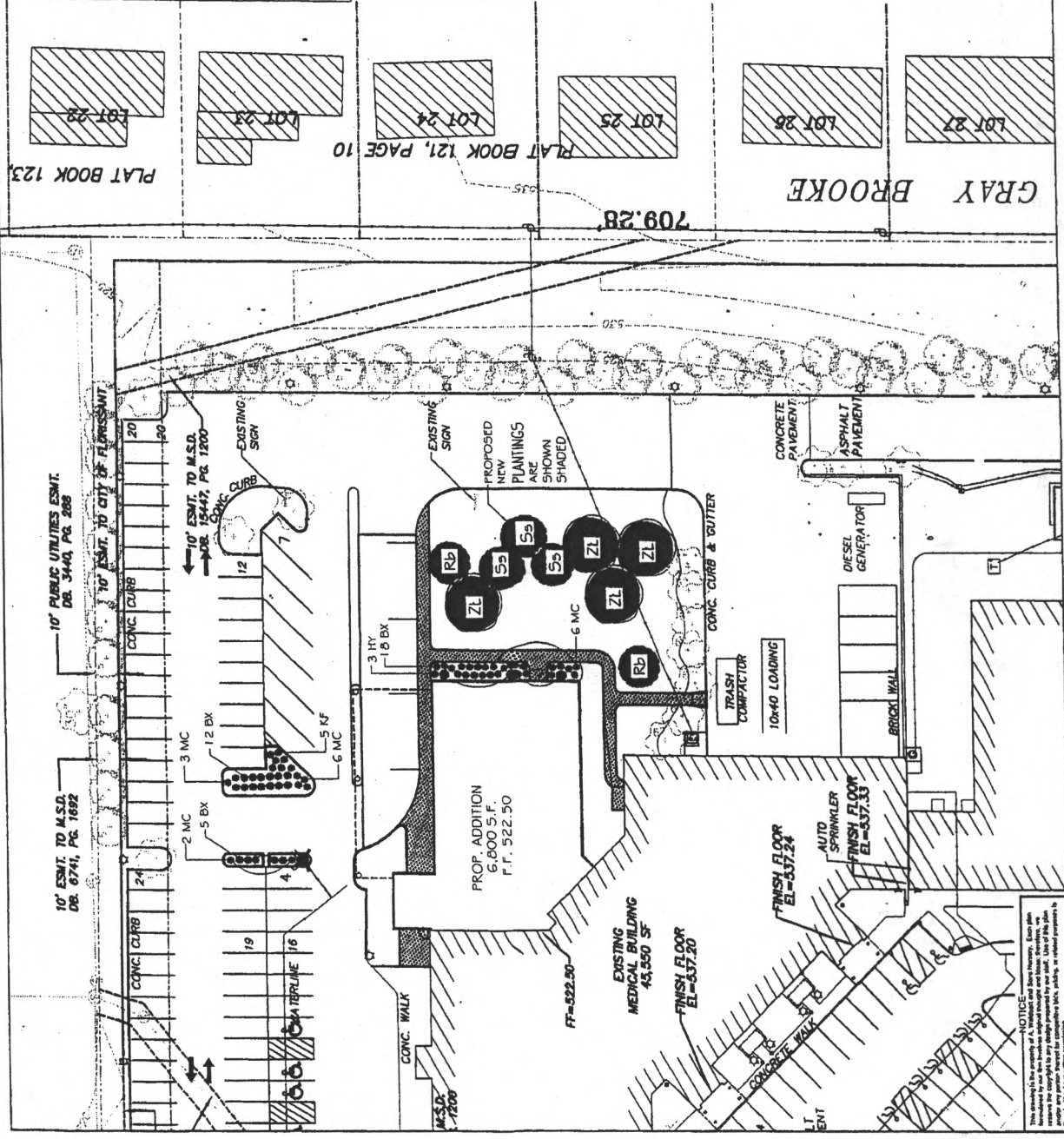
PLANT MATERIAL LIST:

QTY.	SYM.	COMMON NAME	SIZE
4	ZL	ZELKOVA	2.5' Cal. / 12.14' Ht
3	Ss	SPRING SNOW CRAB	2.5' Cal. / 8'10" Ht
2	Rb	REDDUD	2.5' Cal. / 8'10" Ht
36	Bx	WINTERGREEN BOXWOOD	3 Gal. Cont. / 18.24' Ht
3	Hy	LIMELIGHT HYDRANGEA	3 Gal. Cont. / 15.18' Ht
17	KF	MAGIC CARPET SPIRKEA	3 Gal. Cont. / 15.18' Ht
5	MC	KARL FORSTER REED GRASS	5 Gal. Cont. / 18.24' Ht
12		BARK MULCH	Come Yard

Note: All Disturbed Areas To Be Sodded/Seeded. Lawn Irrigation is by Others. Note: All proposed new plantings are shown shaded.



LANDSCAPE PLAN



PLAT BOOK 123

PLAT BOOK 121, PAGE 10

GRAY BROOKE

709.28

REVISED CD
 1. ALL DIMENSIONS TO BE SHOWN IN
 FEET AND INCHES TO NEAREST 1/8"
 2. ALL DIMENSIONS TO BE SHOWN IN
 FEET AND INCHES TO NEAREST 1/8"

ACI BOLAND
 ARCHITECTS PLANNERS INTERIOR DESIGNERS
 1421 E. 10th Street
 Anchorage, Alaska 99501
 (907) 562-1000
 (907) 562-1001
 (907) 562-1002
 (907) 562-1003
 (907) 562-1004
 (907) 562-1005
 (907) 562-1006
 (907) 562-1007
 (907) 562-1008
 (907) 562-1009
 (907) 562-1010

Northwest HealthCare
 Emergency Department Expansion
 1421 E. 10th Street
 Anchorage, Alaska 99501
 (907) 562-1000
 (907) 562-1001
 (907) 562-1002
 (907) 562-1003
 (907) 562-1004
 (907) 562-1005
 (907) 562-1006
 (907) 562-1007
 (907) 562-1008
 (907) 562-1009
 (907) 562-1010

Northwest HealthCare
 Emergency Department Expansion

Northwest HealthCare

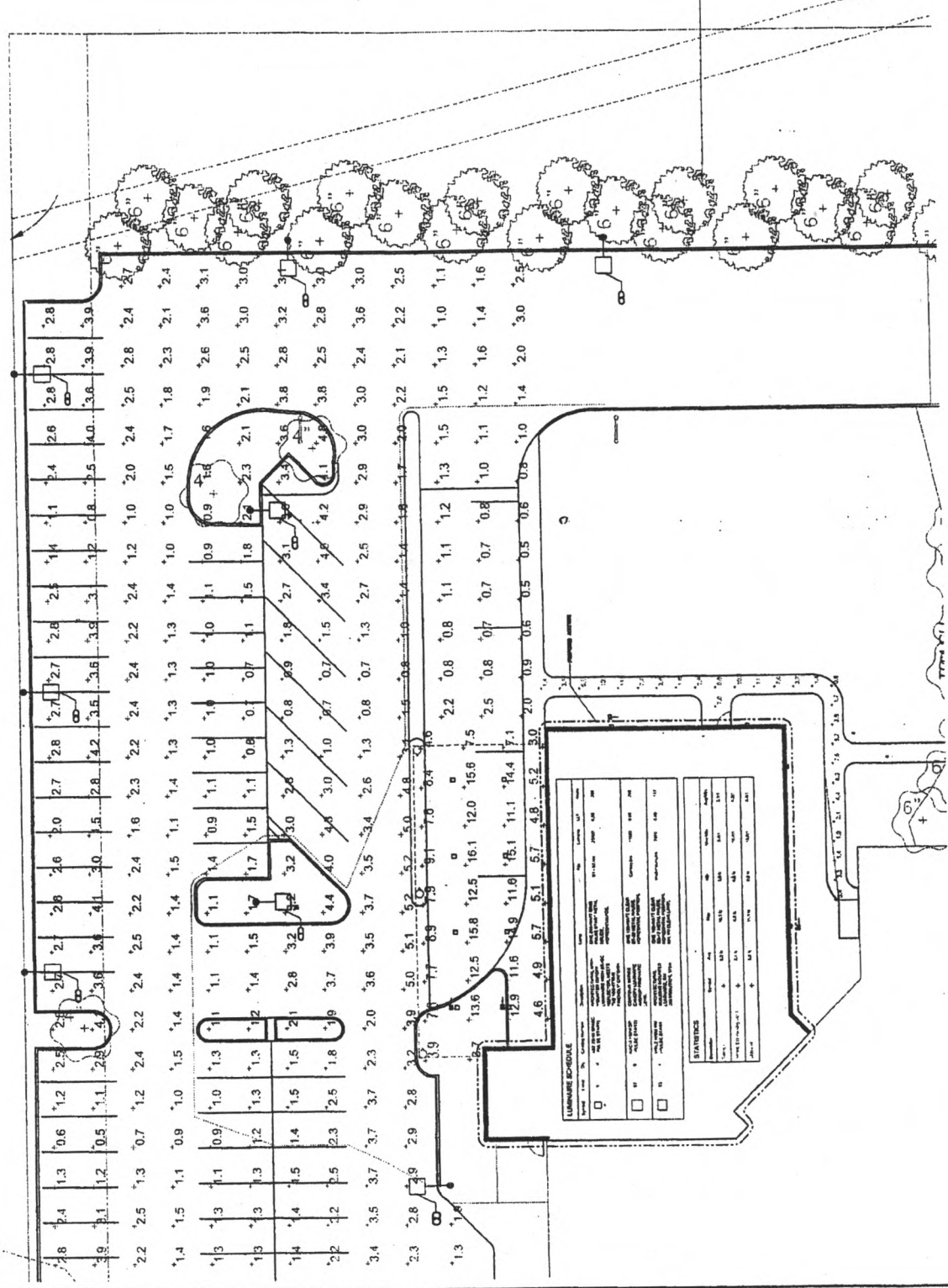
Project No. 2007-08
 Date: 08/14/07
 Scale: 1/8" = 1'-0"
 Drawing No. E0.1
 Revision: 1.0

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

1. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 2. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 3. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 4. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 5. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 6. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 7. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 8. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 9. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"
 10. ALL DIMENSIONS TO BE SHOWN IN FEET AND INCHES TO NEAREST 1/8"

7674

30' ±



LUMINAIRE SCHEDULE

Symbol	Manufacturer	Model	Wattage	Beam Angle	Height
□	OSRAM	PAR 38	35W	40°	10'
□	OSRAM	PAR 38	50W	40°	10'
□	OSRAM	PAR 38	75W	40°	10'
□	OSRAM	PAR 38	100W	40°	10'
□	OSRAM	PAR 38	150W	40°	10'
□	OSRAM	PAR 38	200W	40°	10'
□	OSRAM	PAR 38	250W	40°	10'
□	OSRAM	PAR 38	300W	40°	10'
□	OSRAM	PAR 38	350W	40°	10'
□	OSRAM	PAR 38	400W	40°	10'
□	OSRAM	PAR 38	450W	40°	10'
□	OSRAM	PAR 38	500W	40°	10'
□	OSRAM	PAR 38	550W	40°	10'
□	OSRAM	PAR 38	600W	40°	10'
□	OSRAM	PAR 38	650W	40°	10'
□	OSRAM	PAR 38	700W	40°	10'
□	OSRAM	PAR 38	750W	40°	10'
□	OSRAM	PAR 38	800W	40°	10'
□	OSRAM	PAR 38	850W	40°	10'
□	OSRAM	PAR 38	900W	40°	10'
□	OSRAM	PAR 38	950W	40°	10'
□	OSRAM	PAR 38	1000W	40°	10'

1 SITE PLAN - ELECTRICAL

CITY OF FLORISSANT

Public Hearing

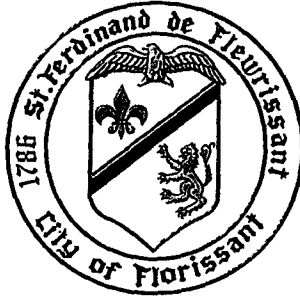


In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, December 11, 2017 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to Abdeen, LLC d/b/a Sahara Mediterranean Grill to allow for the operation of a restaurant in a B-3 Zoning District for the property located at 472 Howdershell Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 472 Howdershell Rd Florissant MO 63031

Property Owners Name: Kabul v Center Phone #: (314) 317-8999

Property Owners Address: 119 Church St suite 04 Ferguson MO 63135

Business Owners Name: Waseem Abdeen Phone #: (314) 610-0835

Business Owners Address: 217 Camelwoods Dr Ellisville MO 63021

DBA (Doing Business As) Sahara Mediterranean Grill

Authorized Agents Name: _____ CO. Name: _____
(Authorized Agent to Appear Before The Commission)

Agents Address: _____ Phone #: _____

Request recommended approval of a Special Use Permit to allow for a restaurant in a 'B-3' Zoning District
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

10/2/2017
Date

Received by: dl Receipt # 604578 OFFICE USE ONLY Amount Paid: _____ Date: _____

STAFF REMARKS: _____ COMMISSION ACTION TAKEN: _____

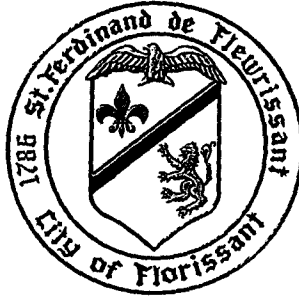
DATE APPLICATION REVIEWED: 11/15/17

SIGNATURE OF STAFF WHO REVIEWED APPLICATION [Signature]

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 11/20/2017

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION



City Of Florissant – Public Works
314-839-7648

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL

Council Ward 3 Zoning BB

PLANNING & ZONING

Initial Date Petitioner Filed _____

CHAIRMAN

Building Commissioner to complete
ward, zone & date filed

SIGN.

[Handwritten Signature] DATE: 11/20/2017

SPECIAL PERMIT FOR

Restaurant

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant.)

AMEND SPECIAL PERMIT #-x

TO ALLOW FOR x

ordinance #

Statement of what the amendment is for.

LOCATION

472 Hardsshell Rd Florissant MO 63031

Address of property.

1) Comes Now x

Salma Mediterranean Grill

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property)

lease

State legal interest in the property. (i.e., owner of property, lease.

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for _____ and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) can comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, List in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and / or site plans (preliminary and / or final), plan approval for sign, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets may be attached)

Wahsan Abdouen _____ 10/2/17
 PRINT NAME SIGNATURE

FOR Sahara Mediterranean Grill
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that (indicate one of the following):
 - I (we) have a legal interest in the herein above described property.
 - I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in below, and provide address and telephone number

SIGNATURE _____

ADDRESS _____
 STREET CITY STATE ZIP CODE

TELEPHONE NUMBER _____
 BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

 Petitioner or authorized agent's signature

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council.

IF DESCRIPTIONS OF PLATS OR SURVEYS ARE INCORRECT, OR IF THE PETITION FORM IS NOT CORRECTLY AND COMPLETELY FILLED OUT, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS AND WILL HAVE TO BE RE-SUBMITTED.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual ~~_____~~ Partnership _____ Corporation **X** _____

(a) If an individual:

- (1) Name and Address ~~Waseem Abdeen 217 Carmelwoods Dr Ellisville MO 63032~~
- (2) Telephone Number ~~(314) 640-0035~~
- (3) Business Address ~~472 Howards Rd Florissant MO 63031~~
- (4) Date started in business ~~7/10/2017~~
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration. ~~Sahara Mediterranean Grill 6/17/2017~~

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners ^{Waseem} ~~ABDEEN~~ / 217 Carmelwoods Dr Ellisville MO 63032
- (2) Telephone numbers (314) 395-0221
- (3) Business address 472 Howards Rd Florissant MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MO
- (5) Date of Incorporation 06/09/2017
- (6) Missouri Corporate Number 82-1815069
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. ABDEEN LLC
- (8) Name in which business is operated Sahara Mediterranean Grill
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a strip center, give the dimensions of your space under square footage and do not give landscaping information.

Name _____

Address 472 Hardskell Rd Florissant MO 63031

Property Owner Kabul V Center Commercial Properties LLC

Location of property ~~Kabul V Center Commercial Properties LLC~~

Dimensions of property _____

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property _____

Type of Sign Box Height 24'

Type of Construction Block/Brick/Steel Number Of Stories 1

Square Footage of Building 28,000 Number of Curb Cuts 3

Number of Parking Spaces 1660 Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING:

- 1. Plan or drawing showing zoning of adjoining properties.
- 2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
- 3. Drawing showing measurement of tract and overall area of tract.
- 4. Plan or drawing showing proposed parking layout, landscaping, parking lighting and trash enclosure.
- 5. If Special Permit is for a sign show location of sign on plot plan.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CERTIFICATE OF ORGANIZATION


WHEREAS,

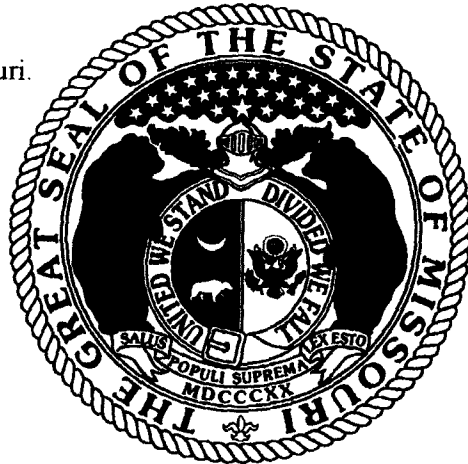
ABDEEN LLC
LC001542912

filed its Articles of Organization with this office on the 9th day of June, 2017, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 9th day of June, 2017, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 9th day of June, 2017.


Secretary of State





State of Missouri
John R. Ashcroft, Secretary of State
 Corporations Division
 PO Box 778 / 600 W. Main St., Rm. 322
 Jefferson City, MO 65102

LC001542912
Date Filed: 6/9/2017
John R. Ashcroft
Missouri Secretary of State

Articles of Organization

(Submit with filing fee of \$105.00)

1. The name of the limited liability company is
ABDEEN LLC

(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "L.L.C.," or "LLC")

2. The purpose(s) for which the limited liability company is organized:

TO OPERATE A RESTAURANT FOR PROFIT

3. The name and address of the limited liability company's registered agent in Missouri is:

WASEEM JAMAL

ABDEEN

217 Carmel Woods

Ellisville MO 63021

Name

Street Address: May not use PO Box unless street address also provided

City/State/Zip

4. The management of the limited liability company is vested in: managers members *(check one)*

5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: Perpetual

(The answer to this question could cause possible tax consequences, you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer *(PO box may only be used in addition to a physical street address):*

(Organizer(s) are not required to be member(s), manager(s) or owner(s))

Name

Address

City/State/Zip

ABDEEN, WASEEM

JAMAL

217 Carmel Woods

Ellisville MO 63021

7. Series LLC (OPTIONAL) Pursuant to Section 347.186, the limited liability company may establish a designated series in its operating agreement. The names of the series must include the full name of the limited liability company and are the following:

New Series:

The limited liability company gives notice that the series has limited liability.

New Series:

The limited liability company gives notice that the series has limited liability.

New Series:

The limited liability company gives notice that the series has limited liability.

(Each separate series must also file an Attachment Form LLC 1A.)

Name and address to return filed document:

Name: andre coffer

Address: Email: andrecoffercpa@yahoo.com

City, State, and Zip Code: _____

LLC-1 (08/2013)

8. The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated: _____

(Date may not be more than 90 days after the filing date in this office)

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

All organizers must sign:

WASEEM JAMAL ABDEEN
Organizer Signature

WASEEM JAMAL ABDEEN
Printed Name

06/09/2017
Date of Signature



State of Missouri
 John R. Ashcroft, Secretary of State
 Corporations Division
 PO Box 778 / 600 W. Main St., Rm. 322
 Jefferson City, MO 65102

X001290001
Date Filed: 6/9/2017
Expiration Date: 6/9/2022
John R. Ashcroft
Missouri Secretary of State

Registration of Fictitious Name

(Submit with filing fee of \$7.00)
(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

New Registration Renewal _____ Amendment _____ Correction _____
Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: SAHARA MEDITERRANEAN GRILL
 Business Address: 217 Carmel Woods
(PO Box may only be used in addition to a physical street address)
 City, State and Zip Code: Ellisville, MO 63021

Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
ABDEEN LLC	LC001542912	217 Carmel Woods	Ellisville, MO	63021	100.00

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

ABDEEN LLC - WASEEM JAMAL ABDEEN ABDEEN LLC - WASEEM JAMAL ABDEEN 06/09/2017
Owner's Signature or Authorized Signature of Business Entity Printed Name Date

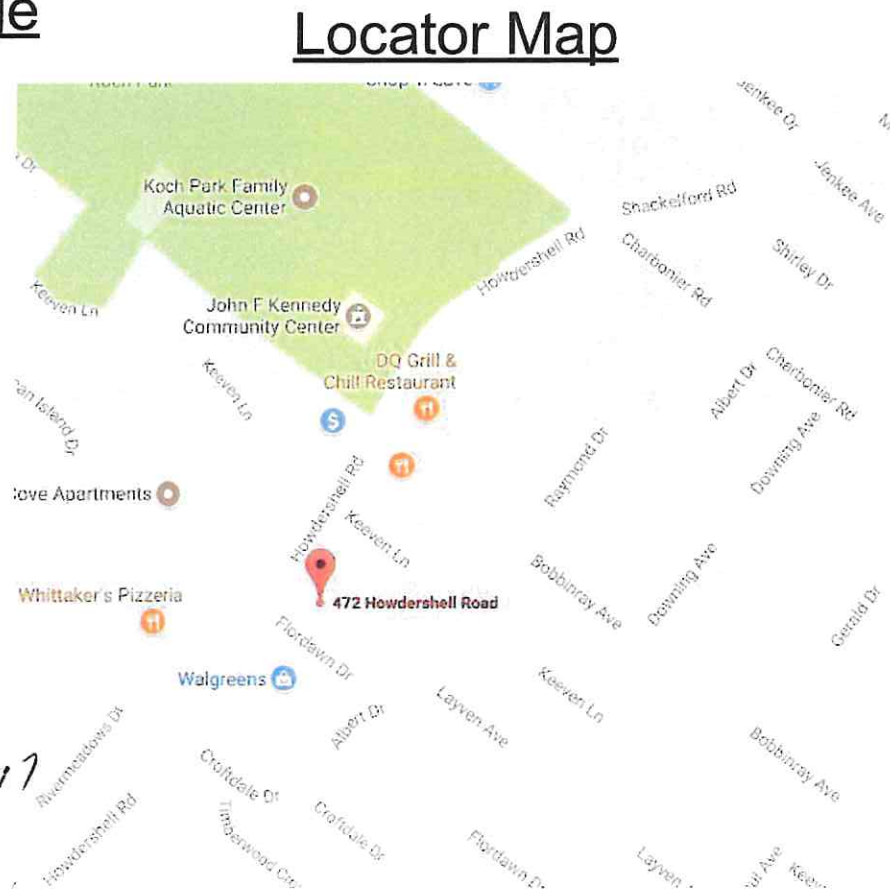
Name and address to return filed document:
 Name: andre coffer
 Address: Email: andreccoffercpa@yahoo.com
 City, State, and Zip Code: _____

Sahara Mediterranean Grill

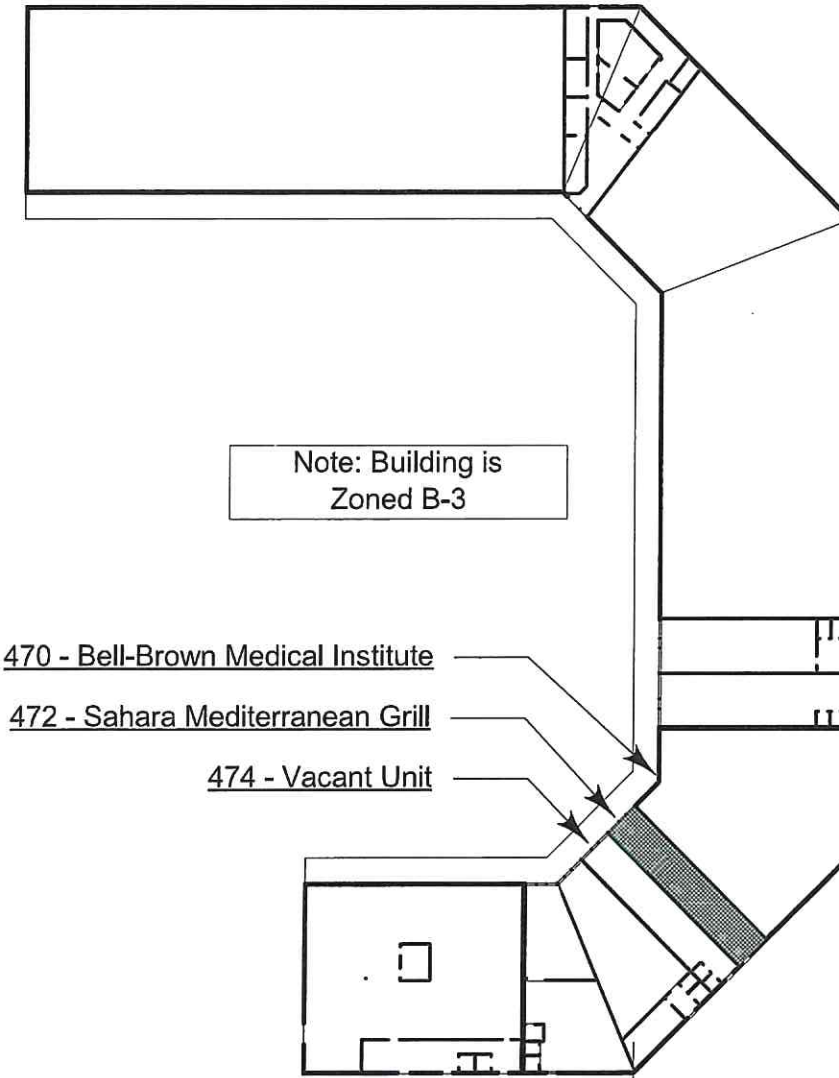
472 Howdershell, Florissant, MO 63031



Exterior Signage



Locator Map



Unit Location

Table Of Contents

1. Cover Page
2. Site Plan
3. New Floorplan, Fixture & Plumbing Key
4. Reflected Ceiling Plan & 3D Plumbing Layout
5. Food Prep Area Detail Plan & Elevations
6. Schedules: Finish, Lighting, Plumbing, & Equipment
- 7.-14. Specification Sheets

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

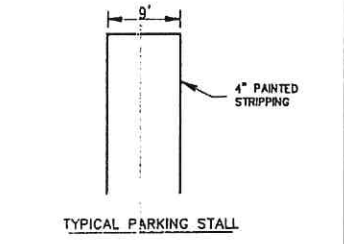
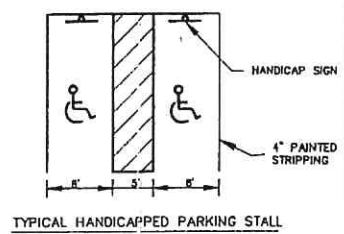
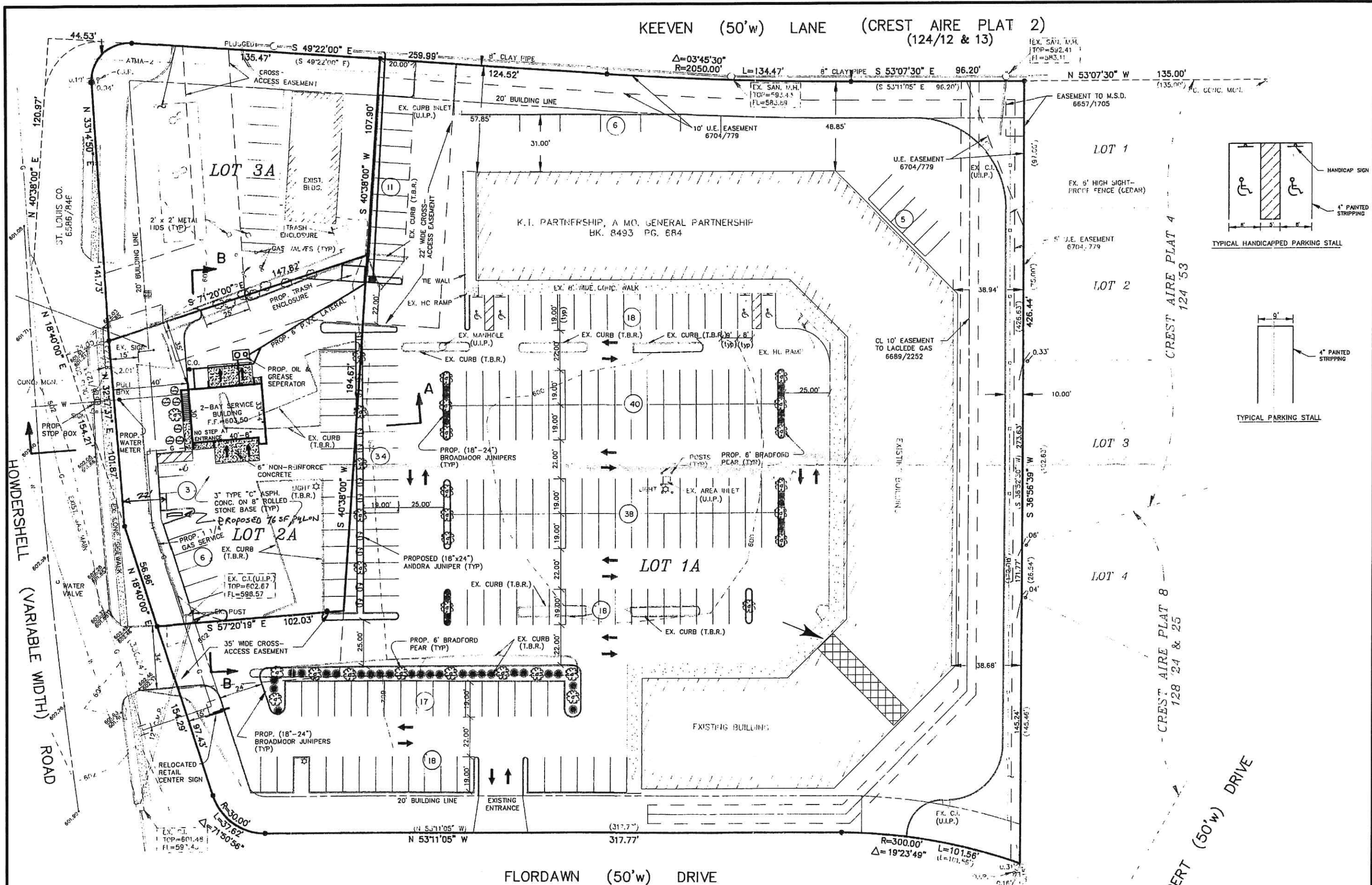
PROJECT #
DATE: 10/30/17
REVISION DATES:

SEAL IF REQUIRED
DRAWN BY: E.J.F.

1 / 14

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: *[Signature]* DATE: 11/29/2017



SITE PLAN

SCALE: 1" = 50'-0"

Packet Page 7 of 14

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #
DATE: 10/30/17
REVISION DATES:

SEAL IF REQUIRED

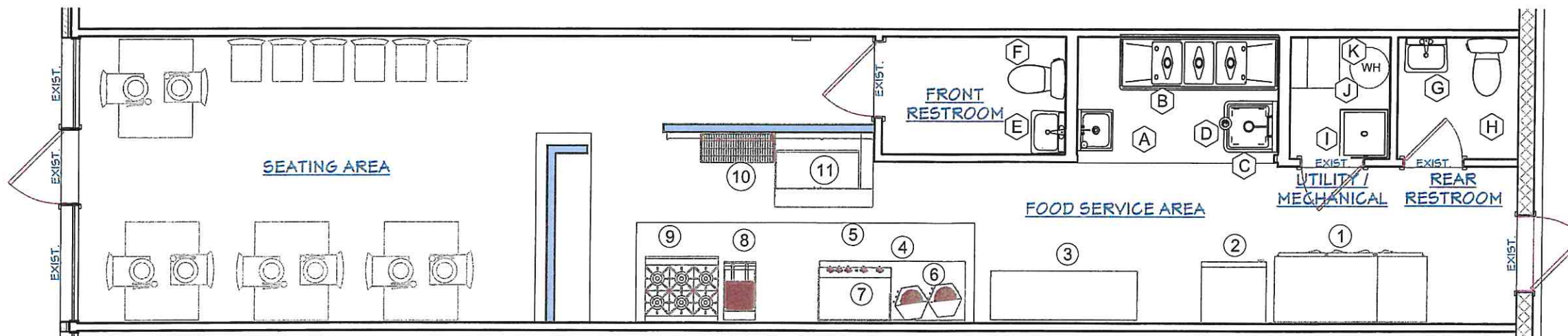
DRAWN BY: EJF

2 / 14

FIXTURE & PLUMBING KEY

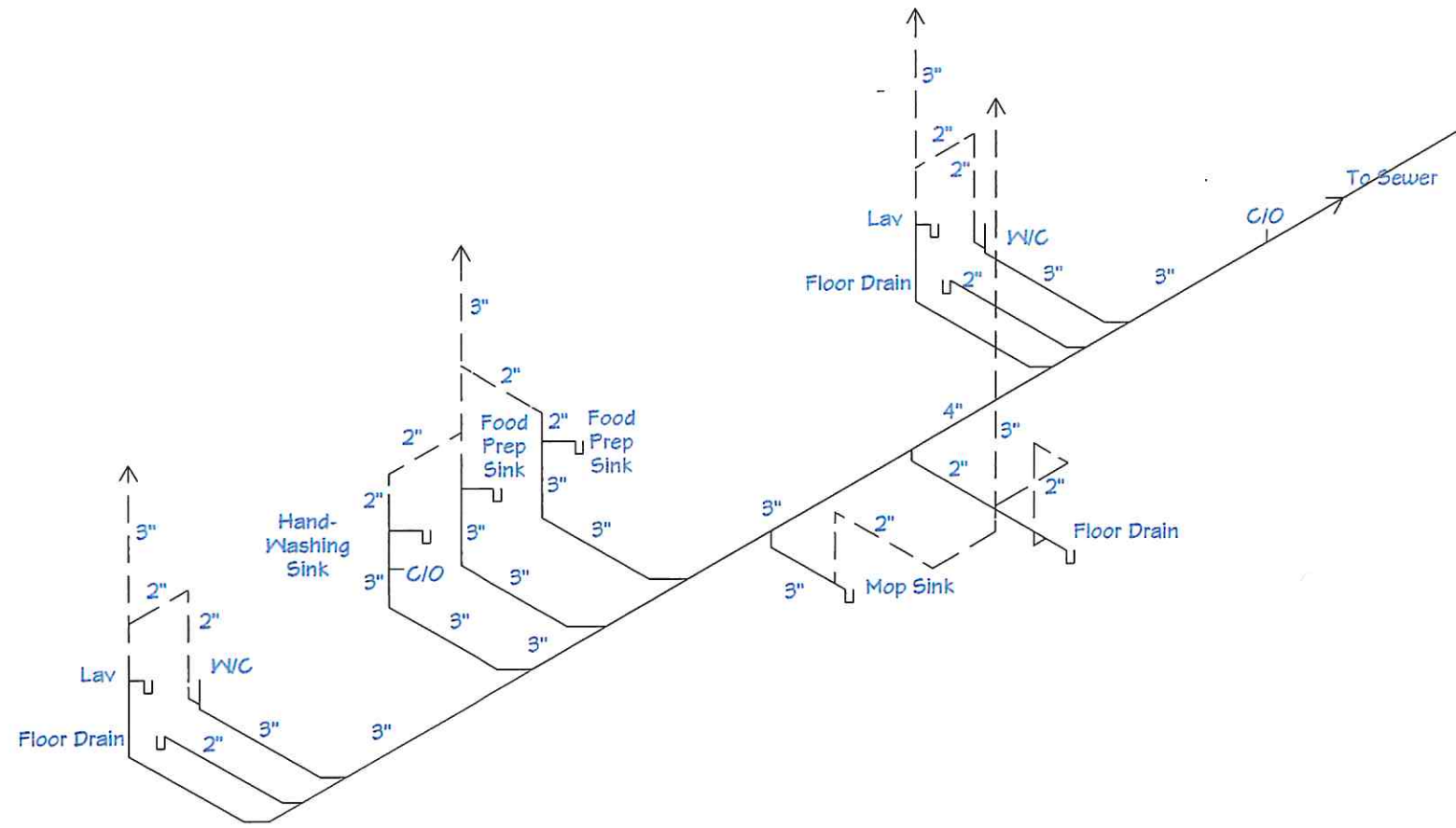
- ① Reach-In Refrigerator
- ② Single Refrigerator
- ③ Prep Table
- ④ Equipment Stand
- ⑤ Hood System
- ⑥ Automatic Vertical Broiler
- ⑦ Radiant Char-Broiler
- ⑧ Fryer
- ⑨ 36" Range
- ⑩ Adjustable Shelf
- ⑪ Food Prep Table

- A Hand Washing Sink
- B Food Prep Sink - Three Compartment
- C Food Prep Sink - Single Compartment
- D Floor Drain
- E Wall Mount Sink
- F Toilet
- G 21" Vanity Sink
- H Toilet
- I Mop Sink
- J Floor Drain
- K Water Heater

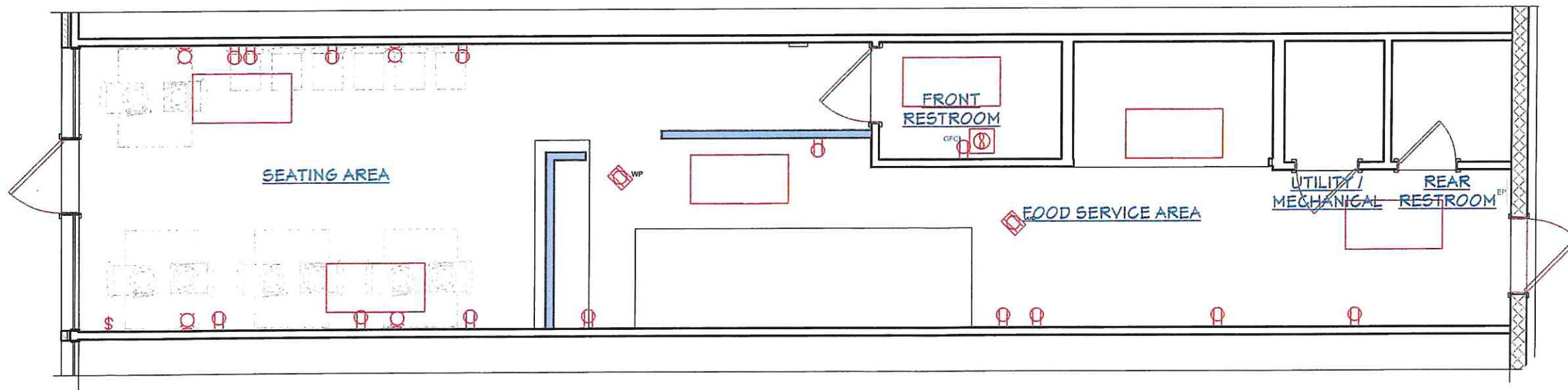


NEW FLOOR PLAN

SCALE: 3/16" = 1'-0"



THREE-DIMENSIONAL PLUMBING LAYOUT
NTS



REFLECTED CEILING PLAN

SCALE 3/16" = 1'-0"

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #
DATE: 10/30/17
REVISION DATES:

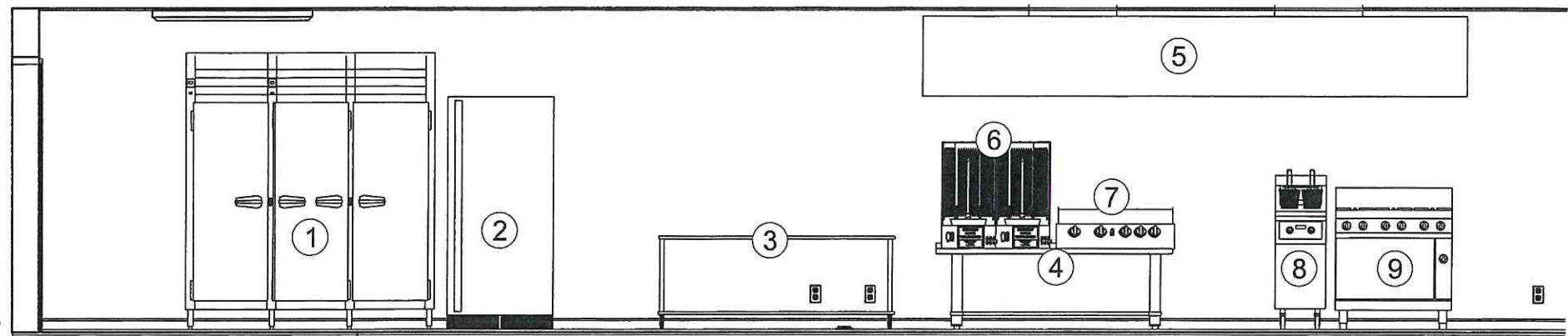
SEAL IF REQUIRED

DRAWN BY: EJJ

4 / 14

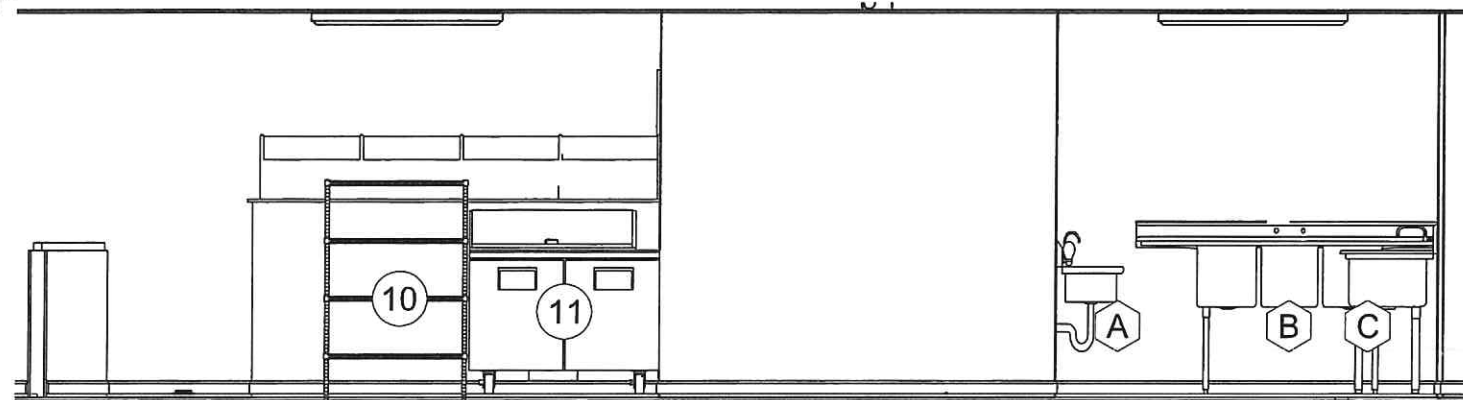
FOOD PREP FIXTURE/ PLUMBING KEY

- ① Reach-In Refrigerator
- ② Single Refrigerator
- ③ Prep Table
- ④ Equipment Stand
- ⑤ Hood System
- ⑥ Automatic Vertical Broiler
- ⑦ Radiant Char-Broiler
- ⑧ Fryer
- ⑨ 36" Range
- ⑩ Adjustable Shelf
- ⑪ Food Prep Table
- A Hand Washing Sink
- B Food Prep Sink - Three Compartment
- C Food Prep Sink - Single Compartment



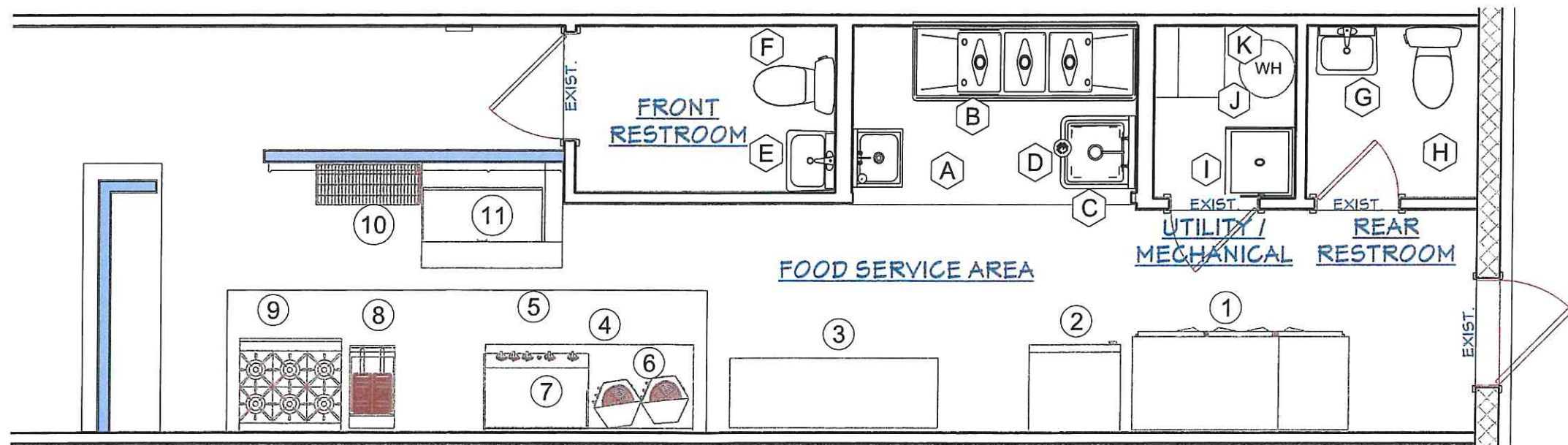
WALL ELEVATION 1 - FOOD PREP AREA

SCALE: 1/4" = 1'-0"



WALL ELEVATION 2 - FOOD PREP AREA

SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN - FOOD SERVICE AREA

SCALE: 1/4" = 1'-0"

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #
DATE: 10/30/17
REVISION DATES:

SEAL IF REQUIRED

DRAWN BY: EJF

5
14

Room Finish Schedule				
Area Name	Walls	Floors	Trim	Ceiling
Seating Area	Washable Paint On Walls	Ceramic Floor Tile / Carpet	Vinyl Cove Base	Drop Ceiling Tiles
Food Service Area	Washable Paint On Walls/Stainless Wall/Backsplash	Ceramic Floor Tile	Vinyl Cove Base	Drop Ceiling Tiles
Front Restroom	Washable Paint On Walls	Ceramic Floor Tile	Vinyl Cove Base	Drop Ceiling Tiles
Rear Restroom	Washable Paint On Walls	Vinyl Plank Flooring	Vinyl Cove Base	Drop Ceiling Tiles
Utility/Mechanical Room	Washable Paint On Walls	Concrete Floor	Vinyl Cove Base	Open Ceiling

Lighting Schedule							
Location	Description	Quantity	Intensity (In Lumens)	Color	Watts	Voltage	Type of Illumination
Seating Area	Wall Sconces	4	800	2,700k	9	120	LED
Seating Area	2x4 LED Recessed Fixture	2	4,500	4000K	40	120	LED
Food Service Area	2x4 LED Recessed Fixture	3	4,500	4000K	40	120	LED
Front Restroom	2x4 LED Recessed Fixture	1	4,500	4000K	40	120	LED
Rear Restroom	Two Bulb Sconce	1	1,600	2700K	18	120	LED
Utility/Mechanical Room	Utility Fixture	1	800	2700K	9	120	LED

Plumbing Schedule							
Key	Location	Description	Model/Make	Quantity	Width	Depth	Height
A	Food Service Area	Hand Washing Sink	Seco	1	20"	17"	41"
B	Food Service Area	Food Prep Sink - Three Compartment	Advance	1	78"	27"	45"
C	Food Service Area	Food Prep Sink - Single Compartment	Advance	1	25"	26"	45"
D	Food Service Area	Floor Drain	-	1	6"	6"	-
E	Front Restroom	Wall Mount Sink	-	1	20"	18"	36"
F	Front Restroom	Toilet	Glacier Bay	1	17.375"	28.25"	30.375"
G	Rear Restroom	21" Vanity Sink	-	1	24"	21"	34"
H	Rear Restroom	Toilet	Glacier Bay	1	17.375"	28.25"	30.375"
I	Utility/Mechanical Room	Mop Sink	-	1	24"	24"	10"
J	Utility/Mechanical Room	Floor Drain	-	1	6"	6"	n/a
K	Utility/Mechanical Room	Water Heater	XG40T06EC36U0/Rheem	1	18"	18"	59"
Gas DHW, 40 Gal, FHD: 51 GPH							

Equipment Schedule								
Key	Location	Description	Model/Make	Quantity	Width	Depth	Height	Fuel
1	Food Service Area	Reach-In Refrigerator	G30010 / Traulsen	1	76.25"	35"	83.25"	120v
2	Food Service Area	Single Refrigerator	Gibson / GFU21M4AW5	1	32"	29"	70"	120v
3	Food Service Area	Prep Table	-	1	72"	24"	34"	n/a
4	Food Service Area	Equipment Stand	600ES3072G	1	72"	30"	26"	n/a
5	Food Service Area	Hood System	CaptiveAire	1	166"	48.5	25"	120v
6	Food Service Area	Automatic Vertical Broiler	G-300 / Optimal	2	17"	17"	32.5"	120v
7	Food Service Area	Radiant Char-Broiler	Starmax	1	36"	29"	15.5"	Gas
8	Food Service Area	Fryer	Pitco	1	16"	34"	45"	Gas
9	Food Service Area	36" Range	178A19F / Imperial	1	36"	31.5"	56.5"	Gas
10	Food Service Area	Adjustable Shelf	-	1	36"	54"	14"	n/a
11	Food Service Area	Food Prep Table	TSSU-48-12 / Ture	1	48.375"	30.125"	36.75"	120v

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #

DATE: 10/30/17

REVISION DATES:

SEAL IF REQUIRED

DRAWN BY: E.J.F

6

14

SPEC SHEETS

1 Reach-In Refrigerator

Project	Quantity	Item #
Model Specified:		CSI Section 11400

Project	Quantity	Item #
Model Specified:		CSI Section 11400

G-Series Reach-In Refrigerators/ Self-Contained

Equipped with an easy to use microprocessor control.






Model G20010
Model G10010
Model G30010

One, Two & Three Section Models, 32" Deep

Aside from their anodized aluminum side and interior finishes, Traulsen's G-Series "Dealer's Choice" models meet or exceed the standard specifications and performance of most other brands top tier product offerings. Reliable, energy efficient, and durable, with large individual storage capacities, the high quality G-Series line-up includes a wide range of one, two and three section reach-in refrigerator and freezer models, built in our most popular footprints. They are available with either full or half height doors, and the added convenience of a variety of different door hings to choose from. In addition, each also includes a number of user-friendly features, making them one of the best overall equipment values in Foodservice today, and the right fit for nearly any commercial application.

AVAILABLE MODELS


Single Section		Two Section		Three Section	
Model #	Door Hinging	Model #	Door Hinging	Model #	Door Hinging
G10000	Half Right	G20000	Half Left-Right	G30000	Half Left-Right-Right
G10001	Half Left	G20001	Half Right-Left	G30001	Half Left-Left-Right
G10010	Full Right	G20002	Half Right-Right	G30002	Half Right-Right-Right
G10011	Full Left	G20003	Half Left-Left	G30003	Half Left-Left-Left
		G20010	Full Left-Right	G30010	Full Left-Right-Right
		G20011	Full Right-Left	G30011	Full Left-Left-Right
		G20012	Full Right-Right	G30012	Full Right-Right-Right
		G20013	Full Left-Left	G30013	Full Left-Left-Left

- ### Standard Product Features
- High Quality Stainless Steel Exterior Front and Door(s)
 - Corrosion Resistant Anodized Aluminum One-Piece Sides
 - Durable Anodized Aluminum Interior
 - Microprocessor Control With LED Temperature Readout
 - Top-Mounted, Balanced, Self-Contained Refrigeration System
 - Large High Humidity Evaporator Coil Outside The Food Zone
 - Load-Sure Guard Protects Against Improper Loading
 - Full or Half Length Stainless Steel Doors With Locks
 - Self-Closing Doors With Stay Open Feature At 120 Degrees
 - Guaranteed For Life Cam-Lift Hinges
 - Guaranteed For Life Horizontal Work Flow Door Handle(s)
 - Automatically Activated Incandescent Lights
 - Damage Resistant Stainless Steel Breaker Caps
 - Three (3) Adjustable Epoxy Coated Shelves Per Section, Supported On Shelf Pins (installed at the factory)
 - Energy Saving Automatic Non-Electric Condensate Evaporator
 - Magnetic Snap-In EZ-Clean Door Gaskets
 - Gasket-Protecting Anodized Aluminum Door Liner
 - Anti-Condensate Door Perimeter Heaters
 - Thermostatic Expansion Valve Metering Device Provides Quick Refrigeration Recovery Times
 - Stainless Steel One-Piece Louver Assembly
 - 9' Cord & Plug Attached
 - Set of Four (4) 6" High Casters With Locks
 - Three Year Parts And Labor Warranty
 - Five Year Compressor Warranty


- ### Optional Accessory Kits
- Additional Epoxy Coated Shelves*
 - No. 1 Type Tray Slides* To Accommodate either: (1) 18" x 26" or (2) 14" x 18" Sheet Pans, Adjustable To 2" O.C.
 - No. 4 Type Tray Slides* To Accommodate (1) 18" x 26" Sheet Pans (equips one full section)
 - Universal Type Tray Slides* To Accommodate Either (1) 18" x 26" or (2) 14" x 18" Sheet Pans, or (2) 12" x 20" Steam Table Pans, Adjustable To 4" O.C.
 - Plated Shelves* (for use in lieu of standard shelving)
 - EZ-Change Interiors (#1, universals, universal heavy duty tray slides and shelves)
 - 6" High Adjustable Legs (for use in lieu of standard casters)

*Please refer to spec sheet TR35872 for optional accessory kit details.

All optional accessory kits are shipped separately for later installation by others at the jobsite.



*** All models are ENERGY STAR® listed. Please refer to www.energystar.gov to view the most up-to-date product listing and performance data.**



Listed by Underwriters Laboratories Inc. to U.S. and Canadian safety standards and Listed by NSF International.

Approval: _____




TRAULSEN
4401 BLUE MOUND RD.
PHONE 1 (800) 825-8220
Website: www.traulsen.com

FT. WORTH, TX 76106
FAX-MKTG. 1 (817) 624-4302

Specifications

Construction, Hardware and Insulation

Cabinet exterior front, louver assembly and doors are constructed of 20 gauge stainless steel. Cabinet sides (including returns), interior and door liners are constructed of anodized aluminum. The exterior cabinet top, back and bottom are constructed of heavy gauge aluminized steel. A set of four (4) 6" high casters are included.

Doors are equipped with a gasket protecting metal door pan, removable plug cylinder locks and guaranteed for life cam-lift, gravity action, self-closing metal, glide hinges with stay open feature at 120 degrees. Hinges include a concealed switch to automatically activate the interior incandescent lighting. Guaranteed for life, work flow door handles are mounted horizontally over recess in door which limits protrusion from door face into aiseways.

Gasket profile and Santoprene® material simplify cleaning and increase overall gasket life. Anti condensate heaters are located behind each door opening.

Both the cabinet and door(s) are insulated with an average of 2" thick high density, non-CFC, foamed in place polyurethane.

Refrigeration System

A top mounted, self-contained, balanced refrigeration system using R-134a refrigerant is conveniently located behind the one piece louver assembly. It features an easy to clean front facing condenser, thermostatic expansion valve, air-cooled hermetic compressor, large, high humidity evaporator coil located outside the food zone and a top mounted non-electric condensate evaporator. A 9' cord and plug is provided. Standard operating temperature is 34 to 38°F.

Controller

The easy to use water resistant microprocessor control system is supplied standard. It includes a 3-Digit LED Display, and a Fahrenheit or Celsius Temperature Scale Display Capability.

Interior

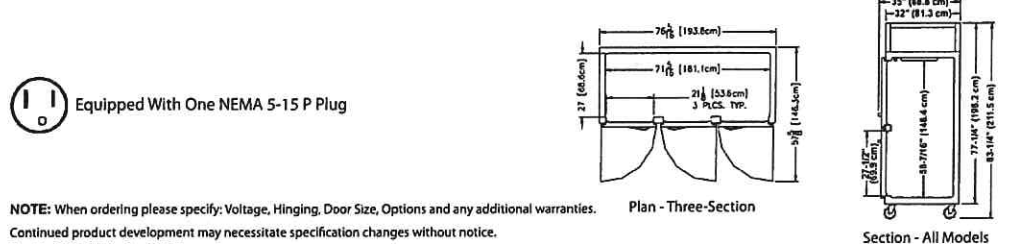
Standard interior arrangements include three (3) epoxy coated wire shelves per section, mounted on shelf pins, installed at the factory. Shelves are full-width, and do not have any large gaps between them requiring the use of "bridge" or "junior shelves." Recommended load limit per shelf should not exceed 225 lbs.

Warranties

Both a three year parts and labor warranty and a five year compressor warranty (self-contained models only) are provided standard.

DIMENSIONAL DATA	1-Section Models	2-Section Models	3-Section Models
Net capacity cu. ft.	24.2 (686 cu l)	46.0 (1303 cu l)	69.1 (1958 cu l)
Length - overall in.	29 1/2 (75.9 cm)	52 1/2 (132.4 cm)	76 1/2 (193.8 cm)
Depth - overall in.	35 (88.8 cm)	35 (88.8 cm)	35 (88.8 cm)
Depth - over body in.	32 (81.3 cm)	32 (81.3 cm)	32 (81.3 cm)
Depth - door open 90° in.	57 1/2 (146.3 cm)	57 1/2 (146.3 cm)	57 1/2 (146.3 cm)
Clear door width in.	21 1/2 (53.6 cm)	21 1/2 (53.6 cm)	21 1/2 (53.6 cm)
Clear half-door height in.	27 1/2 (69.9 cm)	27 1/2 (69.9 cm)	27 1/2 (69.9 cm)
Clear full-door height in.	57 1/2 (146.3 cm)	57 1/2 (146.3 cm)	57 1/2 (146.3 cm)
Height - overall on 6" casters ²	83 1/2 (211.5 cm)	83 1/2 (211.5 cm)	83 1/2 (211.5 cm)
No. Standard Shelves	3	6	9
Shelf area sq. ft. ¹	18.8 (1.75 sq m)	34.6 (3.21 sq m)	51.9 (4.82 sq m)
ELECTRICAL DATA			
Voltage	115/60/1	115/60/1	115/60/1
Feed wires with Ground	3	3	3
Full load amperes	5.8	7.4	8.4
REFRIGERATION DATA			
Refrigerant	R-134a	R-134a	R-134a
BTU/HR H.P. ³	1520 (1/2 HP)	2240 (1/2 HP)	4610 (1/2 HP)
SHIPPING DATA			
Length - crated in.	35 (89 cm)	63 (160 cm)	91 (231 cm)
Depth - crated in.	43 (109 cm)	43 (109 cm)	43 (109 cm)
Height - crated in.	83 1/2 (212 cm)	83 1/2 (212 cm)	83 1/2 (212 cm)
Volume - crated cu. ft.	71 (2011 cu l)	131 (3711 cu l)	189 (5354 cu l)
Net Wt. lbs.	305 (138 kg)	450 (204 kg)	610 (277 kg)
Gross Wt. lbs.	395 (179 kg)	590 (268 kg)	790 (358 kg)

NOTE: Figures in parentheses reflect metric equivalents.
1= Figure shown reflects the area of standard shelf complement plus the additional storage area available on the cabinet bottom.
2= Based on a 90 degree F ambient and 20 degree F evaporator. For remote data please refer to spec sheet TR35872.
3= 12" Top clearance preferred for optimum performance and service access.



NOTE: When ordering please specify: Voltage, Hinging, Door Size, Options and any additional warranties. Continued product development may necessitate specification changes without notice. Part No. TR35787 (revised 7/13)

TRAULSEN
4401 BLUE MOUND RD.
PHONE 1 (800) 825-8220
Website: www.traulsen.com

FT. WORTH, TX 76106
FAX-MKTG. 1 (817) 624-4302



Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

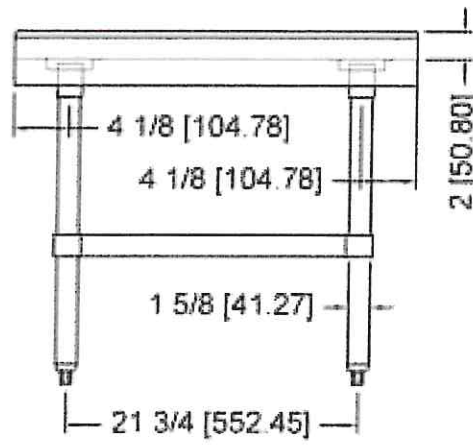
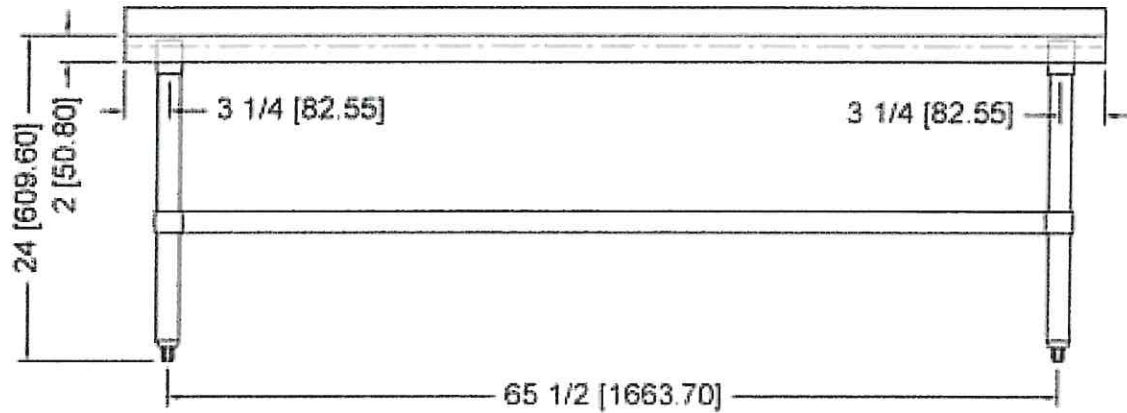
PROJECT #	
DATE:	10/30/17
REVISION DATES:	
SEAL IF REQUIRED	
DRAWN BY:	EJF
	7/14

SPEC SHEETS

④ Equipment Stand



Equipment stand 30"X72"
 16GA.304S/S top shelf
 18GA.430S/S undershelf and hat channel
 Stainless steel leg and socket, aluminum die cast on undershelf
 Stainless steel bullet foot, carton packing



Eric Fick
 6079 Country Creek Dr
 House Springs, MO 63051

Sahara Mediterranean Grill
 472 Howdershell
 Florissant, MO 63031

PROJECT #
 DATE: 10/30/17
 REVISION DATES:

SEAL IF REQUIRED
 DRAWN BY: EJF

8 / 14

SPEC SHEETS

5 CaptiveAire Hood System



The ND-2 Series is a Type I, Wall Canopy Hood for use over 450°F, 600°F and 700°F cooking surface temperatures. The aerodynamic design includes a mechanical baffle and performance enhancing lip for exceptional capture and containment.

Fully Integrated Package

CaptiveAire sells this hood as a stand-alone appliance to be integrated into a kitchen ventilation application, or provided as part of a FULLY INTEGRATED PACKAGE designed by CaptiveAire and pre-engineered for optimum performance. The package consists of the hood, an integral utility cabinet, factory pre-wired electrical controls, and a listed fire suppression system. Other options include a listed exhaust fan, a listed make-up air unit and listed, factory-built ductwork.

Advantages

- ▶ **Exhaust Flow Rates:** Superior exhaust flow rates. A 4' Hood can operate at 150 CFM/ft or 600 total CFM. Available in single or back-to-back configurations.
- ▶ **ETL Listed:** ETL Listed for use over 450°F, 600°F and 700°F cooking surface temperatures, which provides flexibility in designing kitchen ventilation systems. ETL Listed to US and Canadian safety standards, ETL Sanitation Listed and built in accordance with NFPA 96.
- ▶ **Capture and Containment:** Insulated, double-wall rigid front has aerodynamic design that reduces radiant heat into kitchen, prevents condensation and provides exceptional capture and containment of cooking vapors. This is accomplished with the signature ND-2 "mechanical baffle" on the front of the hood's capture area and the "C-shaped" design of the hood's capture area. Mechanical baffle provides a built-in wiring chase for optimal positioning of electrical controls and outlets on the front face of the hood without penetrating capture area or requiring external chase way.
- ▶ **Convenient Design:** Factory pre-wired lighting to illuminate the cooking surface is accessible from the bottom of the hood. Fitted with UL Listed, pre-wired, incandescent light fixtures and tempered glass globes to hold up to a standard 100 watt bulb. Pre-punched hanging angles on each end of hood and additional set provided for hoods longer than 12'.
- ▶ **Construction:** Polished stainless steel on the interior and exterior of the front enhance aesthetics. Fully welded and polished front corners. Fabricated from
- ▶ **Grease Extraction:** All hoods come standard with stainless steel baffle filters and a deep grease trough which allows for easy cleaning. Captrate Combo® and Captrate Solo® filters are optional. Grease drain system with removable 1/2 pint cup for easy cleaning. Standard filter stops eliminate gaps between filters.
- ▶ **Reduced Lead Times and Shipping Costs:** Produced on a high volume assembly line at one of six manufacturing facilities to reduce lead times and shipping costs.
- ▶ **Clearance to Combustibles:** Standard built in 3" rear standoff to meet NFPA 96 requirements, when installed in a wall application.
- ▶ **Controls:** Hoods can be equipped with modular utility cabinets and end standoffs. Optional listed light and fan control switches flush mounted and pre-wired through electrical chase way.
- ▶ **Optional Make-Up Air:** Make-up air can be supplied through optional front and/or side plenums (ND-2 Series with PSP or AC-PSP Accessory).
- ▶ **Optional Self Cleaning Technology:** The Self Cleaning Hood option adds a spray bar that extends the full length of the hood immediately behind the filters. The system cleans grease from the plenum and portion of the duct with the daily hot water spray cycle.
- ▶ **Optional CORE Protection:** The CORE Fire Protection System is an automatic, pre-engineered fire suppression system which is ETL listed to UL Standard

Type 430 stainless steel with option of Type 304 available.

- ▶ **Channels:** Hood comes standard with structural channels on top and wrapper channels on the bottom.
- ▶ **Reduced Weight:** Rigid single wall end panels reduce weight.

300. The CORE Protection System is designed to provide primary coverage for ventilating equipment including hoods, ducts, plenum and filters.

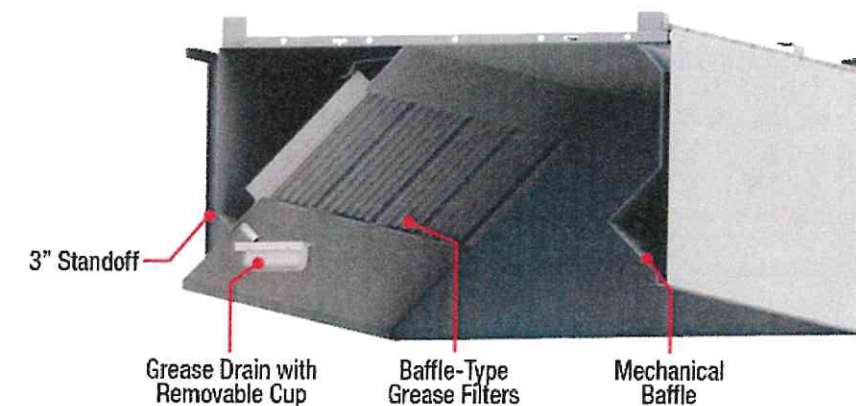
- ▶ **Optional Heat Recovery Coil:** This option is available for hoods with CORE Protection. A listed coil accessory can be added to the hood plenum to recover heat from the exhaust stream. Warm air in the exhaust stream passes over the coil and heats the cold water in the coil, acting as a preheater on the hot water supply line for the restaurant or facility.

Performance

AVG. COOKING SURFACE TEMP. (°F)	CONFIGURATION	MIN. EXHAUST CFM / FT.
450°F	Single Wall Hood 2 Wall Hoods Back-to-Back	150 300
600°F	Single Wall Hood 2 Wall Hoods Back-to-Back	200 400
700°F	Single Wall Hood 2 Wall Hoods Back-to-Back	250 500

Recommended Duct Sizing: Exhaust - Based on 1500 FPM

Features



Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #

DATE: 10/30/17

REVISION DATES:

-

-

SEAL IF REQUIRED

DRAWN BY: E.J.F.

9 / 14

SPEC SHEETS

6 Automatic Vertical Broiler



AUTODONER[®]
The Original Automatic Vertical Broiler



Meat Capacity
45 Lbs.

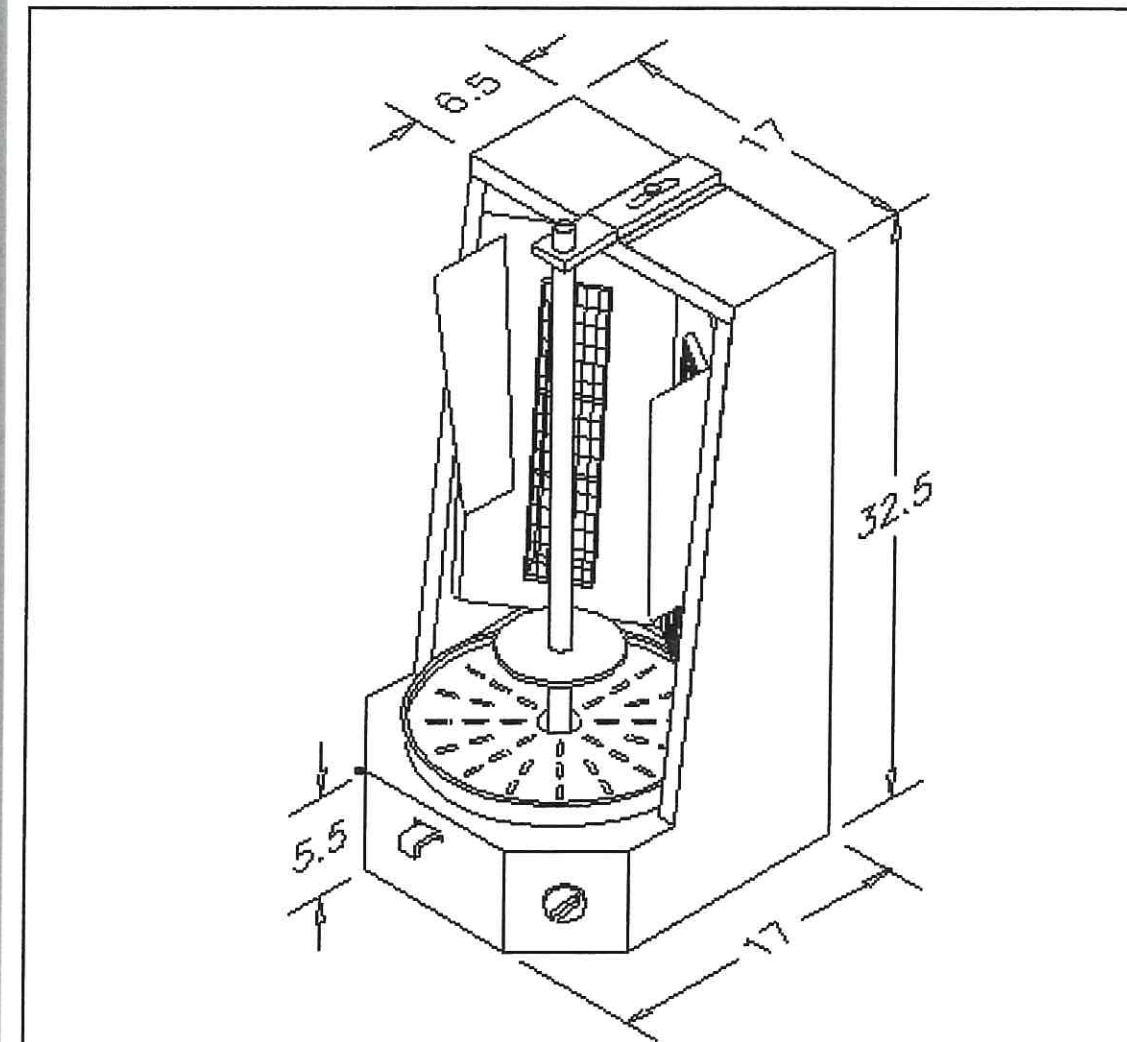
Next generation of our classic 3PG features. 2 burner controls improve temperature control and energy savings. Easier to clean. New pivot skewer holder (will not get lost). Designed for the operator using med to large cones.

MODEL# G-300
Large capacity and your choice of clean burning natural or LP gas.
30,000 BTU'S

OPTIMAL
AUTOMATICS CO.

For more information or to order, call 847-439-9110
www.optimalautomatics.com email: sales@optimalautomatics.com





Gas: 1/2" NPT rear gas connection, specify Natural or L.P. gas

Pressure: 6.1" W.C. - Natural gas
9.6" W.C. - L.P. gas

Model # G-300 Specifications

Height	Width	Depth	Electrical	Total B.T.U.	Ship Weight
32.5"	17"	17"	120V/60Hz/1AMP	30,000 BTU/Hr	75 lbs.

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #
DATE: 10/30/17
REVISION DATES:

SEAL IF REQUIRED

DRAWN BY: E.J.F.

10 / 14

SPEC SHEETS

7 Radiant Char-Broiler

Star Manufacturing

New **STAR-MAX® RADIANT STYLE GAS CHAR-BROILERS**
Models 6115RCBF, 6124RCBF, 6136RCBF & 6148RCBF

Features/Benefits:

- ★ Star-Max® radiant gas char-broilers are designed for the most demanding foodservice applications. Star-Max char-broilers deliver maximum performance and provide years of operation.
- ★ Available in 15", 24", 36" and 48" widths to fit many foodservice operation's space requirements.
- ★ NEW longer lasting, heavy-duty metal knobs.
- ★ Heavy-duty cast iron grates stand up to constant use.
- ★ All stainless steel construction and front panel for long lasting attractive appearance and ease of cleaning.
- ★ Designed with high performance 40,000 BTU H-style cast iron burners every 12" of width. Cast iron burners provide excellent broiling performance, better heat distribution and maximum sectional control.
- ★ Double wall construction and enclosed bottom helps reduce heat loss.
- ★ Heavy-duty cast iron grates can be individually positioned (flat or slanted) to accommodate a variety of broiling needs. Plus, our grates are reversible with a thin side for searing and a thick side for more delicate menu items.
- ★ Heavy gauge stainless steel radiants contoured for even heat distribution.
- ★ Large capacity stainless steel water pan for easy clean up.
- ★ Stainless steel, 2-3/4" high tapered splash guard provides maximum protection against grease and spills.
- ★ Cool-to-the-touch stainless steel bull nose front provides knob protection and comfortable work zone.
- ★ Units come with LP orifices for easy conversion. All units come with a convertible regulator to switch from natural gas to LP gas. Units are shipped Natural Gas.
- ★ Heavy-duty 4" adjustable legs to match the height of other Star-Max equipment in your line.



Model 6136RCBF

Click here to buy now!

Central
RESTAURANT PRODUCTS

1-866-285-1252

Applications:

Star-Max® radiant gas char-broilers are designed for high volume and reliability. Whether it's steak, chicken, hamburger, shish kabobs or other menu items; Star-Max char-broilers will fulfill your menu requirements and more!

Quality Construction:

Star-Max® line of radiant char-broilers feature stainless steel cool to the touch front panel, bull nose, drip pan, splash guard, and grease trough. Double wall aluminized steel side panels with cast iron burners every 12", adjustable control valves and standing pilot are standard. Radiants are contoured stainless steel providing maximum heat transfer and durability. Cooking surface consists of heavy duty, cast iron grates adjustable to flat or slanted positions. Can be converted to lava rock style in the field.

New **Warranty:**

Star-Max® gas hot plates are covered by Star's **TWO YEAR** parts and labor warranty.

Star Manufacturing - 10 Sunnen Drive - P.O. Box 430129 - St. Louis, MO 63143-3800
 Phone: (314) 678-6303 - FAX: (314) 781-5445 - www.star-mfg.com

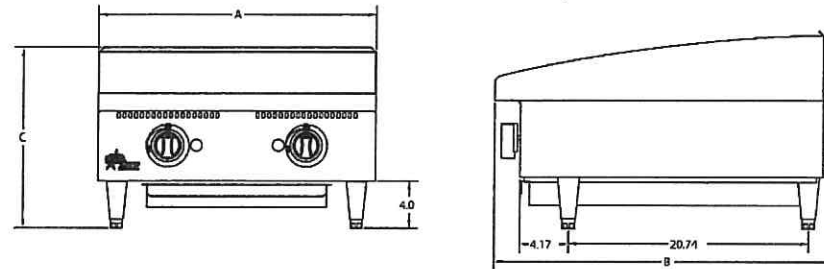
S211/1062



Central Restaurant Products

Star Manufacturing

New **STAR-MAX® RADIANT STYLE GAS CHAR-BROILERS**
Models 6115RCBF, 6124RCBF, 6136RCBF & 6148RCBF



Specifications

Model No.	Dimensions				No. Controls	BTU	Grid Area	Weight	
	(A) Width Inches (cm)	(B) Depth Inches (cm)	(C) Height Inches (cm)	(D) Leg Width Inches (cm)				Installed lbs. (kg)	Shipping lbs. (kg)
6115RCBF	15 (38.1)	29 (65.4)	15-1/2 (39.4)	12-3/4 (32.39)	1	*40,000	300 sq. in. (1935 sq. cm)	80 (36.4)	88 (40.0)
6124RCBF	24 (61.0)	29 (65.4)	15-1/2 (39.4)	20-3/4 (52.71)	2	*80,000	480 sq. in. (3097 sq. cm)	140 (63.5)	155 (70.3)
6136RCBF	36 (91.4)	29 (65.4)	15-1/2 (39.4)	32-3/4 (83.19)	3	*120,000	720 sq. in. (4645 sq. cm)	220 (100.0)	240 (109.0)
6148RCBF	48 (121.9)	29 (65.4)	15-1/2 (39.4)	44-3/4 (113.67)	4	*160,000	960 sq. in. (6194 sq. cm)	300 (136.0)	325 (147.7)

*Units operate on Natural or Propane Gas - On propane gas 35,000 BTU/HR for every 12" (30.5cm) width

Typical Specifications

Gas char-broilers are constructed with stainless steel front panel and double wall aluminized steel side panels. Units have 40,000 BTU (35,000 BTU on propane gas) cast iron burner for every 12" (30.5 cm) of width and are controlled by an adjustable valve. Two contoured stainless steel radiants per burner are provided. Cooking surface is a heavy duty cast iron grate type that is adjustable in height. A stainless steel water pan is provided. Control knobs are protected by a stainless steel bull nose front. A standing pilot is provided. Char-broilers are supplied with 4" (10.2 cm) high die cast nickel plated legs that have a 1-3/8" (3.5 cm) adjustment. Gas connection is 3/4" N.P.T. male and a convertible pressure regulator is provided. Units are UL Gas Certified for U.S. and Canada. UL sanitation approved.

Due to periodic changes in designs, methods, procedures, policies and regulations, the specifications contained in this sheet are subject to change without notice. While Star Manufacturing exercises good faith efforts to provide information that is accurate, we are not responsible for errors or omissions in information provided or conclusions reached as a result of using the specifications. By using the information provided, the user assumes all risks in connection with such use.

Star Manufacturing - 10 Sunnen Drive - P.O. Box 430129 - St. Louis, MO 63143-3800
 Phone: (314) 678-6303 - FAX: (314) 781-5445 - www.star-mfg.com

Central Restaurant Products

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #

DATE: 10/30/17

REVISION DATES:

SEAL IF REQUIRED

DRAWN BY: E.J.F

11 / 14

SPEC SHEETS

8 Pitco Fryer



**SOLSTICE Gas (SG) Series w/Options
SG14, 14R, 14T, 18 Fryer**



STANDARD FRYER FEATURES & ACCESSORIES

- Tank - stainless steel construction
- Cabinet - stainless front, door and sides
- Solstice Burner Technology, No blower or ceramics
- Patented Self Cleaning Burner & Down Draft Protection (with upgraded controls, SSTC, Digital, Computer)
- Millivolt Thermostat (T-Stat)
- High Temperature safety limit switch
- Heavy duty 3/16" bottom door hinge
- 1 1/4" (3.2 cm) Full port drain valve for fast draining
- Separate Manual gas shutoffs, for front servicing
- Integrated flue deflector
- 9" (22.9cm) adjustable legs, easier access to clean
- Tube rack, allows crumbs & debris into cool zone
- Removable basket hanger, requires no tools
- Drain Line Clean out rod
- Drain extension
- Fryer cleaner sample packet
- Choice of basket options :
 - 2-Twin Baskets
 - 1-Full Basket (not available on 14T or Basket Lifts)



Project _____
Item No. _____
Quantity _____

APPLICATION

For High Production Gas frying specify Pitco Solstice Gas Models SG14, 14R, 14T or SG18 tube fryers with the patented Solstice Burner Technology. The dependable blower free atmospheric heating system provides fast recovery to cook a variety of food products. The Solstice gas fryer comes standard with a millivolt thermostat, for melt cycle and boil mode choose the optional quick responding solid state thermostat with the matchless ignition system. The optional digital control and the elastic time computer are available and can be used with our optional labor saving highly reliable basket lift system. The patented self cleaning burner and down draft protection keeps your fryer tuned up for peak daily performance.

MODELS AVAILABLE

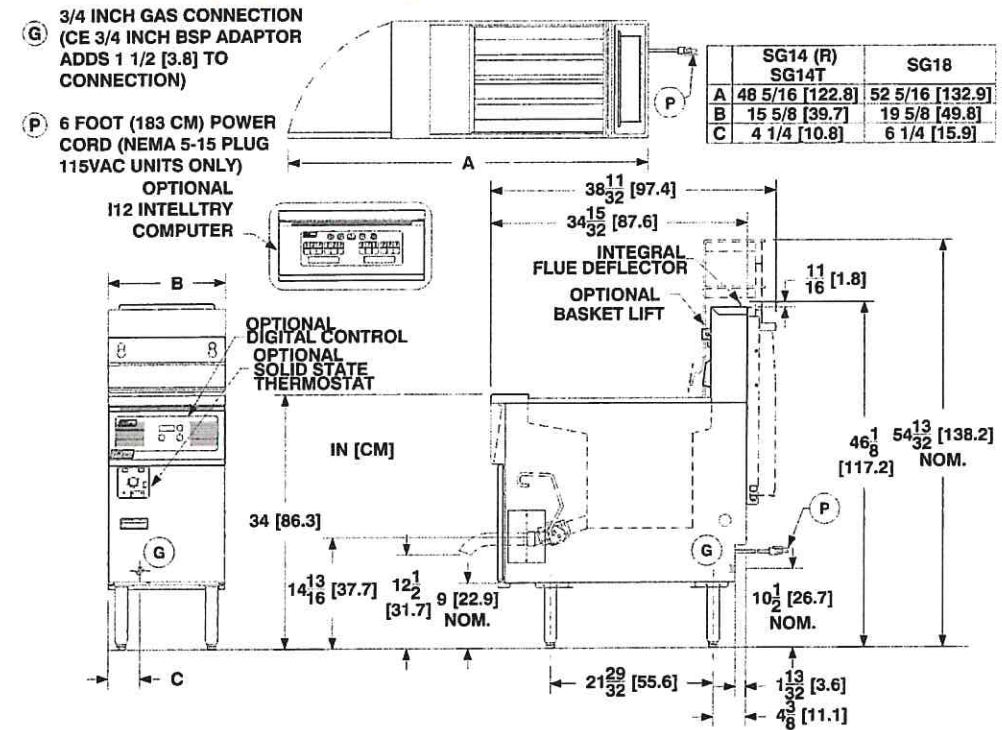
- SG14** (40-50 lbs, 14 x 14" fry area, 110 Kbtu/hr)
- SG14R** (40-50 lbs, 14 x 14" fry area, 122 Kbtu/hr)
- SG14T** (20-25 lbs, 7x 14", 50 Kbtu/hr per side for this twin tank fryer, 100 Kbtu/hr total)
- SG18** (70-90 lbs, 18 x 18" fry area, 140Kbtu/hr)

OPTIONS & ACCESSORIES (AT ADDITIONAL COST)

- Matchless Ignition with DVI drain valve interlock (included with Solid State T-Stat, Digital Control & Computer only)
- Solid State T-Stat (SSTC) (w/melt cycle & boil out mode)
- Digital Controller (2 timers w/melt cycle)
- Intellifry I-12 Computer (12 elastic timers w/melt cycle & boil out)
- Backup thermostat (only on Digital and I-12 computer)
- Basket Lift (must be ordered with Digital Control or Computer) (To meet AGACGA/CSA specification, must be ordered with casters & installed with flexible gas hose w/ restraining cable)
- Stainless Steel back (not available with basket lift)
- 9" (22.9 cm) adjustable, non-locking rear & front locking casters
- Flexible gas hose with disconnect and restraining cable
- Tank cover
- 3-Triple Baskets (not available on 14T or Basket Lifts)
- Splash Guard reversible (L/R) 6" 8" 12" 18"
- Work shelves call factory for specifications and availability.
- Fish Grids (not available on 14T)
- Institutional Prison security package
- BNB Dump Station, see BNB spec sheet for details L10-199
- Filter Options
 - Filter Drawer system see spec sheet L10-134
 - SoloFilter system see spec sheet L10-152
- SPINFRESH see Spec Sheet L10-524 for details

SOLSTICE GAS (SG) Series w/Options SG14, 14R, 14T, 18 Fryer

SOLSTICE GAS (SG) Series w/Options SG14, 14R, 14T, 18 Fryer



INDIVIDUAL FRYER SPECIFICATIONS			
Model	Frying Area	Cook Depth	Oil Capacity
SG14 & 14R	14 x 14 in (35.6 x 35.6 cm)	3-1/4 - 5 in (8.3 - 12.7 cm)	40 - 50 Lbs (18 - 23 kg)
SG14T per side	7 x 14 in (17.7 x 35.6 cm)	3-1/4 - 5 in (8.3 - 12.7 cm)	20 - 25 Lbs (9 - 11 kg)
SG18	18 x 18 in (45.7 x 45.7 cm)	3-1/4 - 5 in (8.3 - 12.7 cm)	75 Lbs (34 kg)
FRYER SHIPPING INFORMATION (Approximate)			
Model	Shipping Weight	Shipping Weight w B/L	Shipping Cube
SG14 & 14R	208 Lbs (95 kg)	308 Lbs (140 kg)	59 x 23 x 44 in (149.8 x 58.4 x 111.7 cm) 34.6 ft ³ (1.0m ³)
SG14T per side	230 Lbs (104 kg)	330 Lbs (150 kg)	
SG18	226 Lbs (103 kg)	326 Lbs (149 kg)	
INSTALLATION INFORMATION			
GAS SYSTEM REQUIREMENTS		ELECTRIC SYSTEM REQUIREMENTS (50/60 Hz)	
Gas Type	Store Supply Pressure *	Burner Manifold Pressure	Amps # of Cord 115V 208 / 220-240V
Natural	7 - 10" w.c. (17.4 mbars / 1.7 kPa)	4" w.c. (10 mbars / 1 kPa)	Fryer 1 0.7 0.4
Propane	11 - 13" w.c. (27.4 mbars / 2.7 kPa)	10" w.c. (25 mbars / 2.4 kPa)	
* Check plumbing / gas codes for proper gas supply line sizing to sustain burner pressure when all gas appliances are full on.			
CLEARANCES (Do Not Curb Mount)			
Front min.	Floor min.	Combustible material	Non-Combustible material
30" (76.2 cm)	6" (15.25 cm)	Sides min. 6" (15.2cm) Rear min. 6" (15.2cm)	Sides min. 0" Rear min. 0"
Do not block / restrict flue gases from flowing into hood or install vent hood drains over the flue.			
SHORT FORM SPECIFICATION			
Provide Pitco Solstice Gas Model (SG xxx) tube fired high production gas floor fryer. Fryer shall be xx-xx lbs oil capacity, xxx Kbtu/hr, xx" by xx" fry area, SS peened tank, stainless front, door, sides. Blower Free atmospheric burner system, with millivolt thermostat (or specify optional upgraded controls: behind the door solid state t-stat w/ melt & boil mode or digital controller or computer controls: with matchless ignition, drain valve interlock or patented self clean burner and down draft protection), separate gas shut off, 3/4" npt rear gas connect, recessed cabinet back, 1-1/4" Full port drain, 3/16" bottom hinge. Provide options and accessories as follows:			

Pitco Frialator, Inc • P.O. Box 501, Concord, NH 03302-0501 • 509 Route 3A, Bow, NH 03304
603-225-6684 • FAX: 603-225-8497 • www.pitco.com
L10-294 Rev 1 04/12 Printed in the USA

Pitco Frialator, Inc • P.O. Box 501, Concord, NH 03302-0501 • 509 Route 3A, Bow, NH 03304
603-225-6684 • FAX: 603-225-8497 • www.pitco.com L10-294 Rev 1 04/12 Printed in the USA
We reserve the right to change specifications without notice and without incurring any obligation for equipment previously or subsequently sold.

Eric Fick
6079 Country Creek Dr
House Springs, MO 63051

Sahara Mediterranean Grill
472 Howdershell
Florissant, MO 63031

PROJECT #

DATE: 10/30/17

REVISION DATES:

-

-

SEAL IF REQUIRED

DRAWN BY: EJF

12
14

SPEC SHEETS

11 Food Prep Table

 TRUE FOOD SERVICE EQUIPMENT, INC. 2001 East Terra Lane • O'Fallon, Missouri 63366-4434 • (636)240-2400 Fax (636)272-2408 • Toll Free (800)325-6152 • Intl Fax# (001)636-272-7546 Parts Dept. (800)424-TRUE • Parts Dept. Fax# (636)272-9471 • www.truemfg.com	Project Name: _____ Location: _____ Item #: _____ Qty: _____ Model #: _____	AIA # _____ SIS # _____
	Model: TSSU-48-12 Food Prep Table: <i>Solid Door Sandwich/Salad Unit</i>	



- TSSU-48-12**
- True's salad/sandwich units are designed with enduring quality that protects your long term investment.
 - Oversized, environmentally friendly (134A), patented forced-air refrigeration system holds 33°F to 41°F (5°C to 5°C).
 - Complies with and listed under ANSI/NSF-7.
 - All stainless steel front, top and ends. Matching aluminum finished back.
 - Stainless steel, patented, foam insulated lid and hood keep pan temperatures colder, lock in freshness and minimize condensation. Removable for easy cleaning.
 - Interior - attractive, NSF approved, clear coated aluminum liner. Stainless steel floor with coved corners.
 - 11 3/4" (299 mm) deep, 1/2" (13 mm) thick, full length removable cutting board included. Sanitary, high density, NSF approved white polyethylene provides tough preparation surface.
 - Heavy duty PVC coated wire shelves.
 - Foamed-in-place using Ecomate. A high density, polyurethane insulation that has zero ozone depletion potential (ODP) and zero global warming potential (GWP).




ROUGH-IN DATA

Chart dimensions rounded up to the nearest 1/8" (millimeters rounded up to next whole number). Specifications subject to change without notice.

Model	Doors	Shelves	Pans (top)	Cabinet Dimensions (inches) (mm)				Voltage	Amps	NEMA Config.	Cord Length (total ft.) (total m)	Crated Weight (lbs.) (kg)
				L	D†	H*	HP					
TSSU-48-12	2	4	12	48 3/8 1229	30 3/8 766	36 3/4 934	1/2 13	115/60/1 230-240/50/1	8.6 4.2	5-15P ▲	7 2.13	310 141

† Depth does not include 1" (26 mm) for rear bumpers. * Height does not include 6 3/8" (159 mm) for castors or 6" (153 mm) for optional legs. ▲ Plug type varies by country.

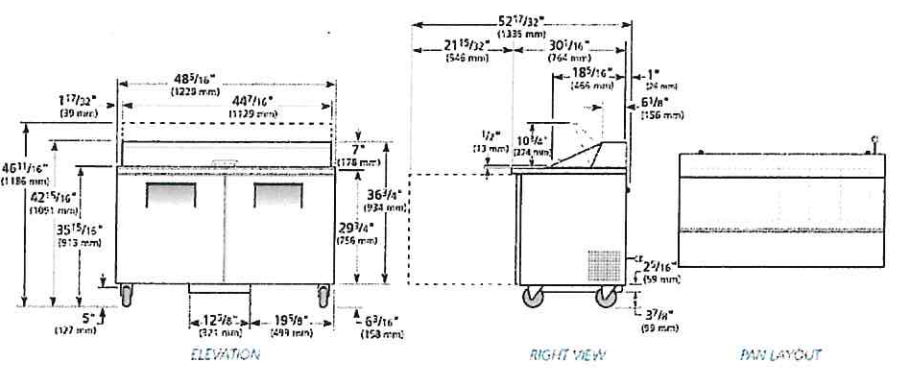
	APPROVALS: _____ AVAILABLE AT: _____
2/15 Printed in U.S.A.	

Model: TSSU-48-12 Food Prep Table: <i>Solid Door Sandwich/Salad Unit</i>	
---	---

STANDARD FEATURES

- DESIGN**
- True's commitment to using the highest quality materials and oversized refrigeration systems provides the user with colder product temperatures, lower utility costs, exceptional food safety and the best value in today's food service marketplace.
- REFRIGERATION SYSTEM**
- Factory engineered, self-contained, capillary tube system using environmentally friendly (CFC free) 134A refrigerant.
 - Oversized, factory balanced refrigeration system with guided airflow to provide uniform temperature in food pans and cabinet interior.
 - Patented forced-air design holds 33°F to 41°F (5°C to 5°C) product temperature in food pans and cabinet interior. Complies with and listed under ANSI/NSF-7.
 - Sealed, cast iron, self-lubricating evaporator fan motor and larger fan blades give True sandwich/salad units a more efficient, low velocity, high volume airflow design.
 - Condensing unit access in back of cabinet, slides out for easy maintenance.
- CABINET CONSTRUCTION**
- Exterior - stainless steel front, top and ends. Matching aluminum finished back.
 - Interior - attractive, NSF approved, clear coated aluminum liner. Stainless steel floor with coved corners.
 - Insulation - entire cabinet structure and solid doors are foamed-in-place using Ecomate. A high density, polyurethane insulation that has zero ozone depletion potential (ODP) and zero global warming potential (GWP).
 - 5" (127 mm) diameter stem castors - locks provided on front set. 36" (915 mm) work surface height.
- DOORS**
- Stainless steel exterior with white aluminum liner to match cabinet interior.
 - Each door fitted with 12" (305 mm) long recessed handle that is foamed-in-place with a sheet metal interlock to ensure permanent attachment.
- SHELVING**
- Four (4) adjustable, heavy duty PVC coated wire shelves 21 1/4" x 16"D (548 mm x 407 mm). Four (4) chrome plated shelf clips included per shelf.
 - Shelf support pilasters made of same material as cabinet interior; shelves are adjustable on 1/2" (13 mm) increments.
- MODEL FEATURES**
- Evaporator is epoxy coated to eliminate the potential of corrosion.
 - 11 3/4" (299 mm) deep, 1/2" (13 mm) thick, full length removable cutting board. Sanitary, high-density, NSF approved white polyethylene provides tough preparation surface.
 - Stainless steel, patented, foam insulated lid(s) and hood keep pan temperatures colder, lock in freshness and minimize condensation. Removable for easy cleaning.
 - Comes standard with 12 (1 1/2 size) 6 3/4" L x 6 1/4" W x 4"D (175 mm x 159 mm x 102 mm) clear polycarbonate, NSF approved, food pans in countertop prep area. Also accommodates 6" (153 mm) deep food pans (supplied by others).
 - Countertop pan opening designed to fit varying size pan configurations with available pan divider bars. Varying size pans supplied by others.
 - NSF-7 compliant for open food product.
- ELECTRICAL**
- Unit completely pre-wired at factory and ready for final connection to a 115/60/1 phase, 15 amp dedicated outlet. Cord and plug set included.
- OPTIONAL FEATURES/ACCESSORIES**
 Upcharge and lead times may apply.
- 230 - 240V / 50 Hz.
 - 6" (153 mm) standard legs.
 - 6" (153 mm) seismic/flanged legs.
 - 2 1/2" (64 mm) diameter castors.
 - Barrel locks (factory installed). Requires one per door.
 - Additional shelves.
 - Single overshelf.
 - Double overshelf.
 - Flat lid.
 - Sneeze guard.
 - 19" (483 mm) deep, 1/2" (13 mm) thick, white polyethylene cutting board. Requires "L" brackets.
 - 19" (483 mm) deep, 3/4" (20 mm) thick, white polyethylene cutting board. Requires "L" brackets.
 - 11 3/4" (299 mm) deep, 1/2" (13 mm) thick, composite cutting board. Requires "L" brackets.
 - 19" (483 mm) deep, 1/2" (13 mm) thick, composite cutting board. Requires "L" brackets.
 - Crumb catcher. Requires crumb catcher cutting board for proper installation.
 - Pan dividers.
 - Exterior rectangular digital temperature display (factory installed).
 - ADA compliant model with 34" (864 mm) work surface height.
- *CABINET INTERIOR**
 Beginning in October of 2014, True Manufacturing began the process of changing the standard interior finishes on select products. The interior liners of these units have changed from the traditional NSF-approved white aluminum to an NSF-approved clear coated aluminum that is silver in color. In addition, the traditional white PVC coated shelves have been switched to a gray PVC coating. There are no functional differences created by any of these changes, the difference is only in the appearance. The following product lines are affected by this change: T-Series, TUC, TWT, TSSU, TFP, TTP, TMC, TRCB. A sticker will be placed on the outside packaging so that units with this change can be identified in inventory.

PLAN VIEW



WARRANTY*
 Three year warranty on all parts and labor and an additional 2 year warranty on compressor. (U.S.A. only)

METRIC DIMENSIONS ROUNDED UP TO THE NEAREST WHOLE MILLIMETER

SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE

	Model: TSSU-48-12	Elevation: TFNY04E	Right: TFNY02S	Plan: TFNY04P	3D: TFNY043	Back: _____
---	-------------------	--------------------	----------------	---------------	-------------	-------------

TRUE FOOD SERVICE EQUIPMENT
 2001 East Terra Lane • O'Fallon, Missouri 63366-4434 • (636)240-2400 • Fax (636)272-2408 • Toll Free (800)325-6152 • Intl. Fax# (001)636-272-7546 • www.truemfg.com

Eric Fick
 6079 Country Creek Dr
 House Springs, MO 63051

Sahara Mediterranean Grill
 472 Howdershell
 Florissant, MO 63031

PROJECT # _____
 DATE: 10/30/17
 REVISION DATES: _____

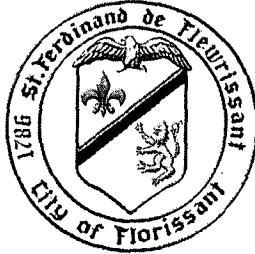
SEAL IF REQUIRED

DRAWN BY: E.JF

14 / 14

1

MEMORANDUM



2

CITY OF FLORISSANT- BUILDING DEPARTMENT

3

"The mission of the Building Department is to enforce building, zoning, and property maintenance codes and to provide life safety services that result in enhancing the quality of life for the residents of the City of Florissant."

4

5

6

7

To: Planning and Zoning Commissioners Date: November 15, 2017

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr., P.E.-
Director of Public Works
Applicant
File

10

11

12

13

14

Subject: Request Recommended Approval for a Special Use, to allow for a sit-down, carry-out restaurant, at 472 Howdershell (Sahara Mediterranean Grill) in a 'B-3' Zoning District.

15

16

17

18

19

STAFF REPORT

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

CASE NUMBER PZ-112017-2

I. PROJECT DESCRIPTION:

This is a request for Recommended Approval for a Special Use, to allow for a sit-down, carry-out restaurant, at 472 Howdershell (Sahara Mediterranean Grill) in a 'B-3' Zoning District.

II. EXISTING SITE CONDITIONS:

The existing property at 472 Howdershell in a B-3 was formerly occupied by Mario's Pizza and then Dinner Lab, after transferring Special Use #7496, however, the ordinance is no longer in use and therefore requires a new Special Use Permit.

The site is a tenant space within Villa Del Cresta- Shopping Center and has multiple tenants. The site is predominantly paved.

The subject property contains a strip center of 35,580 square feet and has separation walls between tenants. The front facing (West) wall of the U-shaped strip center building is aluminum and glass storefront with canopy, painted. The tenants are allowed canopy mounted signage areas above the canopy fascia.

Monday - Sunday

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86

There is an existing tenant sign in compliance, within the wall sign area limitation of 40 s.f.

There are 169 parking spaces off street parking in front of Villa De Chriesta, since the parking ratio was reduced to 4/1000 by the new ordinance, the parking likely complies. The parking required is 142 if the center were 100% retail.

III. SURROUNDING PROPERTIES:

The properties to the East are residences in an R-4 District, it is also bounded by the street to the South and North also in a B-3 District along Howdershell. The property across Howdershell is in a B-3 District.

IV. STAFF ANALYSIS:

The application is accompanied by a menu, permit plans and site plan. There is new kitchen equipment proposed, the ADA restroom remains.

The International Plumbing Code will allow up to 15 occupants with a single accessible restroom, therefore, the occupant load for patrons and employees will be 15. There are 8 seating shown and 6 other chairs on the furniture layout which allows for one employee.

VI. STAFF RECOMMENDATIONS:

If the Special Use Permit is approved, staff recommends limiting the number of occupants to 15.

Suggested Motion 472 Howdershell – Sahara Mediterranean Grill:

I move to recommend approval for a Special Use as depicted by the Floor Plan and Site Plans submitted, which indicate the restaurant plan, subject to the regulations of the 'B-3' Extensive Business District and the following additional requirements:

- 1. Occupant Load limited to 15.

PROJECT COMPLETION.

Construction shall start within 30 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 120 days of start of construction.

(end report)

1 INTRODUCED BY COUNCILMAN PAGANO
2 OCTOBER 9, 2017

3
4 BILL NO. 9318

ORDINANCE NO.

5
6 **AN ORDINANCE AMENDING ARTICLE XVII “RESIDENTIAL
7 RENTAL REAL ESTATE”**

8
9 **WHEREAS**, the City Council adopted licensing provisions relating to the rental of
10 residential real estate; and

11
12 **WHEREAS**, the City Council believes it to be in the best interests of the City to amend
13 the provisions of Article XVII, Residential Rental Real Estate.

14
15 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
16 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

17
18 Section 1: Article XVII: Residential Rental Real Estate is hereby deleted in its entirety
19 and the following inserted in lieu thereof:

20
21 **Section 605.453 Purpose.**

- 22
23 A. The goal of the City of Florissant Residential Rental Housing Program is to create a
24 crime-free housing program and increase the quality of life of residents by partnering the
25 City with owners, landlords and managing agents to decrease the incidents of public
26 safety/nuisance/code violations and criminal activity in rental properties.
27 B. This program will collect current and accurate information identifying existing rental
28 properties, owners, landlords, and managing agents in the City of Florissant. This
29 information shall be used by the Police Department and the Department of Public Works
30 to perform their respective duties.
31 C. It is not the intent of this Article and it shall not be construed or enforced in any manner
32 which would affect the tenancy of a tenant whose only involvement in an incident has
33 been as the victim of a crime.

34
35 **Section 605.454 Definitions.**

36
37 For the purpose of this Article, the following terms, phrases and words shall have the
38 meanings given herein and shall apply in the interpretation and enforcement of this Chapter
39 unless otherwise specifically stated:

40 **DWELLING**

41 Any building or portion thereof which is designed or used for dwelling purposes.

42 **DWELLING UNIT**

43 A building or portion thereof which is designed or used for residential dwelling by a
44 single-family unit; (i.e., a single family house is one (1) dwelling unit, a duplex
45 constitutes two (2) dwelling units, a four-family constitutes four (4) dwelling units, a
46 multi-dwelling constitutes multiple dwelling units).

1 DWELLING, DUPLEX

2 A detached building designed for or occupied by two (2) families living independently of
3 each other.

4 DWELLING, MULTIPLE

5 A building or portion thereof used or designed as a residence for three (3) or more
6 families living independently of each other and doing their own cooking in said building,
7 including apartments, apartment hotels and group houses.

8 DWELLING, ONE-FAMILY

9 A detached building designed for or occupied exclusively by one (1) family.

10 OWNER

11 The owner of record of residential rental property, whether an individual(s), trust,
12 partnership or corporation.

13 PUBLIC NUISANCE

14 Shall, include, but not be limited to, lewd and lascivious behavior, loud music and/or
15 noises (Section 210.595), failure to maintain property (Section 213.030, Ch. 510), graffiti
16 (Section 210.351), garbage/rubbish/litter (Sections 220.010, 213.020), tall weeds and
17 grass (Section 213.030), property having physical conditions that threaten a person's
18 health/safety/welfare (Section 510.020), having a dangerous building and/or conditions
19 that threaten the physical health of a person (Sections 213.010 and 515.070), rodent and
20 insect infestation (Section 213.030), having derelict vehicles and/or equipment (Section
21 213.030), having flammable and/or hazardous materials which may endanger public
22 safety (Section 213.030), unlicensed or inoperable vehicle(s) not contained within an
23 enclosed area (Section 395.020 and 395.030), and obstructing surface storm water
24 drainage (Section 535.040).

25 RESIDENTIAL RENTAL PROPERTY

26 Dwellings, duplex dwellings, multiple dwellings and one-family dwellings occupied by
27 or offered for rent, lease or occupancy to any person(s), who otherwise qualify for an
28 occupancy permit, who are not the owners of record of said property.

30 **Section 605.455 Residential Rental License/Exemption.**

- 32 A. *License Required.* A license is required for each residential rental property located within
33 the City, and no person shall permit occupancy of or offer for rent/lease, without a
34 residential rental license issued pursuant to this Article, any residential rental property
35 within the City of Florissant to any person(s), as principal occupant(s), who are not the
36 record owner(s) of the property or approved as exempt occupants under provisions of this
37 Article.
- 38 B. *Exemption.* No residential rental license shall be required for non-owner occupancy of
39 residential property where the principal occupant(s) of the residential property are
40 beneficial owner(s) of the property or are related to the owner of the residential property
41 within the second degree of consanguinity. An exemption to the requirement for a
42 residential rental license for a particular parcel of residential rental property shall be
43 established by filing with the Director of Public Works, on forms prescribed thereby, a
44 declaration setting forth the name, street address, telephone number and a copy of
45 identification of the owner of record of such residential rental property, signed thereby
46 and the name of the principal occupant of the property and the basis for an exemption.
47 Such exemption shall remain valid and need not be renewed unless the circumstances of

1 exemption change or cease, but the Director of Public Works may periodically request
2 verification of continuing qualifications for exemption status.
3

4 **Section 605.456 License Application/Amendment.**
5

- 6 A. Application for a license required by Section 605.455 shall be filed annually in the office
7 of Public Works by the earlier of:
8 1. January 31 of each calendar year for all residential rental property owned on
9 January 1 of that year, or
10 2. For later acquired residential rental property, prior to permitting any occupancy of
11 or any offering thereof for rent/lease by the owner to the Director of Public
12 Works, shall set forth the name, street address, telephone number and a copy of
13 identification of the owner of record of such residential property, signed thereby
14 and shall list by street address each and every parcel of residential rental property
15 owned by that owner that is located in the City of Florissant. If the owner of said
16 residential rental property wishes to designate an agent to be responsible for said
17 property and to accept notices and process, then the owner of record shall
18 designate said agent in the application together with the agent's name, street
19 address and telephone number and the extent of the agent's authority to rent,
20 manage and make expenditures of said property. The owner, property manager or
21 authorized representative must reside within fifty (50) miles of the City of
22 Florissant. A post office box, e-mail address, mailing address, or long distance toll
23 free (e.g., 800) numbers shall not be deemed sufficient to meet the provisions of
24 this Article.
25 B. In the event of any change of circumstances subsequent to the filing of an application that
26 would result in a change in the information required by the application, the owner shall
27 promptly file an amendment of such application on forms as specified by the Director of
28 Public Works.
29

30 **Section 605.457 Application Requirements and Crime Free Housing.**
31

- 32 A. All applicants shall have and maintain a crime free housing certificate from the City of
33 Florissant, as administered by the Florissant Police Department or from another City,
34 meeting all the criteria of the nationally accepted Crime Free Housing Program. The
35 Chief of Police may issue such rules and regulations as deemed necessary to administer
36 the Crime Free Housing Program for the City of Florissant, which shall be given at no
37 charge.
38 B. All owners, landlords, or managing agents are encouraged to conduct a US
39 Comprehensive Background Search on all prospective tenants and occupants age
40 eighteen (18) and over prior to executing a lease or rental agreement. The search may go
41 back seven (7) years including all known addresses, and should also check nationally
42 recognized sex offender registration websites. The owner, landlord or managing agent
43 may conduct this search, or may have a reputable agency conduct this search at own
44 expense, and the owner, landlord and managing agent are encouraged to refer to HUD,
45 Guidance on Application for Fair Housing Act Standards to the use of criminal records
46 by providers of housing and real estate related transactions or similar materials.

- 1 C. The crime free rental agreement addendum shall be completed and signed by the
2 owner/landlord/managing agent and the tenants/occupants of age eighteen (18) or older
3 prior to the issuance of an occupancy permit.
4

5 **Section 605.458 Fees and Renewals.**
6

- 7 A. The annual fee for each calendar year or portion thereof for the license required by this
8 Article shall be fifty dollars (\$50.00) per owner per each residential dwelling unit in the
9 City of Florissant due and payable at the time of application. License renewals are due by
10 the end of January of each year. A delinquency fee, calculated at the rate of two dollars
11 (\$2.00) for each month after January 31 or portion thereof, shall be assessed for late
12 payment of an application fee but may be waived by the Director of Public Works for
13 good cause shown.
14 B. The annual rental license fee shall be waived for persons related to the owner of the
15 property within the second degree of consanguinity.
16

17 **Section 605.459 Occupancy Prohibited.**
18

19 Unless and until the annual application is filed by the owner, together with all necessary
20 accompanying documents, and all fees due hereunder are paid in full and all outstanding fines
21 imposed by the Florissant Municipal Court for any housing or Building Code violations by such
22 owner are paid in full, no residential rental license shall be issued to such owner nor shall any
23 new occupancy permit be issued for the occupancy of any parcel of residential rental property of
24 such owner. Failure to obtain and maintain a valid residential rental license shall constitute
25 grounds for the revocation or cancellation of all outstanding occupancy permits issued for any
26 parcels of residential rental property of such owner associated with said rental license. No new
27 occupancy permit shall be required if the occupancy remains the same for any parcel of
28 residential rental property purchased or obtained.
29

30 **Section 605.460 Rules.**
31

32 The Director of Public Works may issue such rules and regulations as deemed necessary to
33 implement this Article and the policies contained herein.
34

35 **Section 605.461 Suspension and Revocation.**
36

- 37 A. The residential rental license applicable to the residential rental property may be
38 suspended or revoked by the Director of Public Works or designee under the following
39 conditions:
40 1. A license may be suspended if the residential rental property is found to be
41 frequently out of compliance with property maintenance codes and corrections are
42 not being made to bring the property back into compliance within a reasonable
43 period of time from the date of notice(s) of non-compliance.
44 2. A license may be suspended if an owner is found to have made material false
45 statements on their application or failed to report a change of occupancy on the
46 property listed on the license in question.
47 3. A license may be suspended or revoked if within a twelve (12) month period the
48 owner has been notified of three (3) or more acts of conduct by the tenants or

1 other persons on the property which constitute a disturbance or public nuisance to
2 neighbors or the neighborhood; destruction of property; or a danger to the public
3 health, safety or welfare of the surrounding properties.

4 4. A license may be suspended or revoked if any member of the household, guest or
5 another person under the resident's control commits any of the following criminal
6 activities, if it is determined that the household member, guest or another person
7 under the resident's control has committed such activities, regardless of whether
8 such person has been convicted of any such activity:

- 9 (a) a felony crime under Federal or State laws;
- 10 (b) a Class A misdemeanor under Federal, State or local laws;
- 11 (c) any criminal activity that threatens the health or safety of, or the right to
12 peaceful enjoyment of the premises by other residents;
- 13 (d) any criminal activity that threatens the health or safety of, or the right to
14 peaceful enjoyment of their residents or persons residing in the immediate
15 vicinity of the premises;
- 16 (e) any violent criminal activity at or near the premises;
- 17 (f) any drug-related criminal activity on or near the premises;
- 18 (g) any abuse of drugs or alcohol that threatens health, safety or right to
19 peaceful enjoyment of other residents on the premises or persons residing
20 in the vicinity of the premises;
- 21 (h) violation(s) of the offenses set forth in Chapter 210 of the Florissant
22 Municipal Code; or
- 23 (i) violation(s) of nuisance provisions set forth in Chapter 213 of the
24 Florissant Municipal Code.

25 5. A license may be revoked if the owner has more than two (2) suspensions of their
26 license in any twelve (12) month timeframe.

27 6. As a matter of public health and safety, a license may be suspended or revoked in
28 the event that the landlord, property owner or tenant using water, gas, electric,
29 sanitary sewer service or solid waste collection service fails to restore these utility
30 services within fourteen (14) calendar days after receiving notice from the City
31 that the utility bill is delinquent for two (2) or more months and the utility service
32 provider is stopping service.

33 B. Once a license has been suspended, the owner may apply for reinstatement provided that
34 the residential rental property is in full compliance with all applicable codes, and the
35 suspension has been reasonably resolved, and landlord pays one hundred (\$100.00) for
36 the re-inspection of the residential rental property that was the subject of the suspension
37 and for the reinstatement of the residential rental license.

38 C. Once a license has been revoked, the owner may apply for reinstatement provided that
39 the residential rental property is in full compliance with applicable codes and the
40 circumstances giving rise to the revocation have been reasonably resolved, a re-
41 inspection of the residential rental property that was the subject of the revocation is
42 completed and found to be in compliance, and the owner pays two hundred dollars
43 (\$200.00) for the re-inspection of the residential rental property that was the subject to
44 the revocation and for the reinstatement of the residential rental license.

45 D. Any appeal of a suspension or revocation must be made, in writing, to the Director of
46 Public Works or their designee and received by the Director of Public Works or their
47 designee within ten (10) working days of notification of suspension or revocation. The
48 submission of an appeal will stay the suspension or revocation pending the holding of a

1 hearing and the issuance of written findings. The Director of Public Works will hold a
2 hearing within a reasonable period of time following receipt of the appeal and will issue a
3 written finding and conclusions within ten (10) days of such hearing.
4

5 Section 2: This ordinance shall become in full force and effect immediately upon its
6 passage and approval as provided by law.
7

8 Adopted this ____ day of _____, 2017.
9

10 _____
11 Jackie Pagano
12 President
13

14 Approved this ____ day of _____, 2017.
15

16 _____
17 Thomas P. Schneider
18 Mayor
19

20 ATTEST:
21

22 _____
23 Karen Goodwin, MMC/MRCC
24 City Clerk

1 INTRODUCED BY COUNCILMAN HENKE
2 NOVEMBER 27, 2017

3
4
5 BILL NO. 9334

ORDINANCE NO.

6
7 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO FIVE ACES**
8 **BAR-B-QUE, LLC D/B/A FIVE ACES BAR-B-QUE TO ALLOW FOR THE**
9 **OPERATION OF A RESTAURANT LOCATED AT 1752-1754 N. NEW**
10 **FLORISSANT RD.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a restaurant; and

14 WHEREAS, an application has been filed by Five Aces Bar-B-Que for the property located at
15 1752-1754 N. New Florissant Rd for the location and operation of a restaurant; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of
17 November 6th, 2017 has recommended that the said Special Use Permit be granted; and

18 WHEREAS, due notice of a public hearing no. 17-11-028 said application to be held on the 27th
19 day of November, 2017 at 7:30 P.M. by the Council of the City of Florissant was duly published, held
20 and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful consideration,
22 has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best
23 interest of the City of Florissant.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26
27 Section I: A Special Use Permit is hereby granted to Five Aces Bar-B-Que, LLC d/b/a Five Aces
28 Bar-B-Que to allow for the operation of a restaurant located at 1752-1754 N. New Florissant Rd for the
29 location and operation of a restaurant with carry-out service and the following additional requirements:

- 30
31 1) Relocate smoker behind the south building.
32 2) Provide roof cover protection and screening of new smoker, as approved by the Building
33 Commissioner.
34 3) Smoker enclosure colors to be complimentary in color to the existing structure, as approved by
35 the Building Commissioner.
36

37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68

2. PROJECT COMPLETION.

Construction shall start within 30 days of the issuance of building permits and the structure shall be completed in accordance with the plans within 180 days of start of construction.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

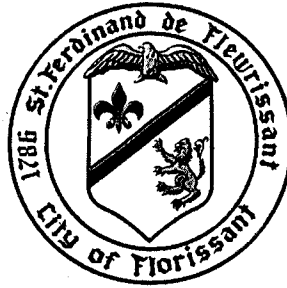
Approved this _____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 1152-1754 New Florissant Rd

Property Owners Name: Bob Walpert Phone/email: 314 318 1000

Property Owners Address: 11457 Old Cabin Rd Creeve Coeur, Mo

Business Owners Name: Antonio C. Ellis Phone/email: 314 489 3481 / Five Aces LLC@gmail.com

Business Owners Address: 6565 Plymouth Ave St. Louis, Mo 63136

DBA (Doing Business As) Five Aces Bar & Que

Authorized Agents Name: Antonio C. Ellis & El Atahut Ellis Co. Name: _____
(Authorized Agent to Appear Before The Commission)

Agents Address: 6565 Plymouth Ave St. Louis Mo 63136 Phone/email: 314 489 3481 Five Aces LLC@gmail.com

Request _____

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

10-9-17
Date

Received by: [Signature] Receipt # 6004270 OFFICE USE ONLY Amount Paid: 125.00 Date: 10-11-17

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: 10/11/17

[Signature]
SIGNATURE OF STAFF WHO REVIEWED APPLICATION

COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 11/6/17

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Antonio C. Ellis [Signature] Five ACES LLC@gmail.com 314 489 7481
 PRINT NAME SIGNATURE email and phone

FOR Five ACES Bar-B-Que LLC
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
- I (we) have a legal interest in the herein above described property.
 - I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE [Signature]

ADDRESS 6565 Plymuth St. Louis Mo 63170
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-771-4001 Five ACES LLC@gmail.com
 BUSINESS

I (we) the petitioner (s) do hereby appoint Latosha Ellis as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]
 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X _____

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Antonio C. Ellis 6568 Plymouth Ave St. Louis, Mo 63120
- (2) Telephone numbers 314 489 3481
- (3) Business address 1752-1754 New Fleurissant Rd
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation March 3, 2016
- (6) Missouri Corporate Number LC 001482146
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated Five Aces Bar-B-Que LLC
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Antonio C. Ellis

Address 6568 Plymouth Ave St. Louis, Mo 63130

Property Owner Robert Walpent

Location of property 1752-1754 New Flossaint Pd

Dimensions of property 3200 Sq. Feet

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property RESTAURANT

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories _____

Square Footage of Building _____ Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

STATE OF MISSOURI



Jason Kander
Secretary of State

CERTIFICATE OF ORGANIZATION

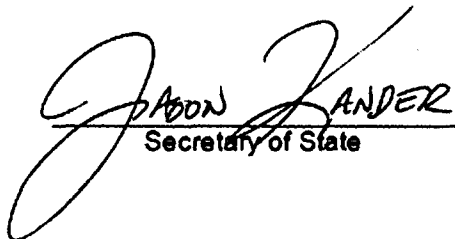
WHEREAS,

Five ACES Bar-B-QUE LLC
LC001482146

filed its Articles of Organization with this office on the 3rd day of March, 2016, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, Jason Kander, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 3rd day of March, 2016, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

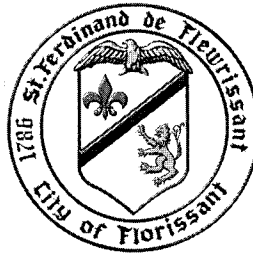
IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 3rd day of March, 2016.


Secretary of State



1

MEMORANDUM



2

CITY OF FLORISSANT

3

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

4

5

6

7

To: Planning and Zoning Commissioners Date: November 1, 2017

8

9

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. PE PWLF
Director of Public Works
Applicant
File

10

11

12

13

14

Subject: Request recommended approval for a BBQ Restaurant with outdoor cooking at 1752-1754 N Florissant Road (5 Aces BBQ) in a 'B-3' Zoning District.

15

16

17

18

STAFF REPORT

CASE NUMBER PZ-111617-1

19

20

21

Subject: Request recommended approval for a BBQ Restaurant with outdoor cooking at 1752-1754 N Florissant Road in a 'B-3' Zoning District.

22

23

24

I. PROJECT DESCRIPTION:

25

26

This is a request for recommended approval for a BBQ Restaurant with outdoor cooking at 1752-1754 N Florissant Road in a 'B-3' Zoning District.

27

28

29

II. EXISTING SITE CONDITIONS:

30

31

The existing property at 1752-1754 N Florissant Road is currently vacant space in Flo-Lin Corners Shopping Center which has multiple tenants. The site is predominantly paved except for a grassy area along the rear of the property adjacent to the creek.

32

33

34

The existing space is approximately 3200 square feet within the building on the property that has 25840 square feet and has a separation wall between it and other tenants. The front facing (West) wall of the building is aluminum and glass storefront and brick.

35

36

37

38

39

40 The tenants are allowed wall mounted signage areas on the building fascia. There is no
41 proposed signage so wall signs will be restricted by the sign code.

42
43

44 There is a Site Plan which does not show existing parking calculations, however, the total
45 number of spaces in the center likely exceeds number of spaces provided according to the
46 staff parking study "Florissant Shopping Center Parking Ratios. Ord. # 8044 reduced the
47 parking ratio, The Building Commissioner's study at its passing, approximates the
48 number of parking spaces existing:

49

50 **Total parking existing = 157 Total required parking = 82?**

51

52 **This ratio calculation, however, assumes all retail uses, therefore does not account**
53 **for Show-Me's usage or this restaurant, which could affect the required number.**

54

55 **III. SURROUNDING PROPERTIES:**

56 The property is adjacent to N Highway 67 is in a B-3 District, Steak & Shake restaurant.

57

58 **IV. STAFF ANALYSIS:**

59 The application is accompanied by plans A-0 through A-6 completed by Allen Designs,
60 LLC, dated 9/24/17.

61

62 A-0: Does not indicate number of parking. Shows location of outdoor cooking
63 equipment along the Highway frontage. This is a location within 40 feet of the South
64 door of the tenant space and 30 feet from the right-of-way.

65 A-1: Indicates existing conditions.

66 A-2: Indicates new floor plan and a bar is noted that may be a serving area?

67 A-3: Shows new ADA restroom compliance

68 A-4: Shows new service sink.

69 A-5: Shows wall details.

70 A-6: Shows wall details.

71

72 Although overall parking is not shown, existing spaces in the Shopping center are likely
73 adequate, details of the outdoor cooking device, screening and how smoke or odors are
74 handled is not indicated.

75

76 **VI. STAFF RECOMMENDATIONS:**

77

78 Continue or recommendations for relocation of cooking equipment behind the building is
79 recommended. The smoker is within the front yard setback. Staff has advised the
80 applicant of same.

81

82

83 **Suggested Motion for recommended approval for a BBQ Restaurant with**
84 **outdoor cooking at 1752-1754 N Florissant Road (5 Aces BBQ) in a 'B-3'**
85 **Zoning District:**

86
87
88
89
90
91
92
93
94
95
96
97
98
99
100
101
102
103
104
105
106

I move to recommended approval for a BBQ Restaurant with outdoor cooking at **1752-1754 N Florissant Road (5 Aces BBQ)** in a 'B-3' Zoning District, with permitted uses allowed being a restaurant with drive-through and carryout service, and the following additional requirements:

1. Relocate smoker behind south building frontage.
2. Provide roof cover protection and screening of new smoker, as approved by the Building Commissioner.
3. Smoker enclosure colors to be complimentary in color to the existing structure, as approved by the Building Commissioner.

PROJECT COMPLETION.

Construction shall start within 30 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

(end report)

FACILITY UPDATES FOR RESTAURANT RENOVATION

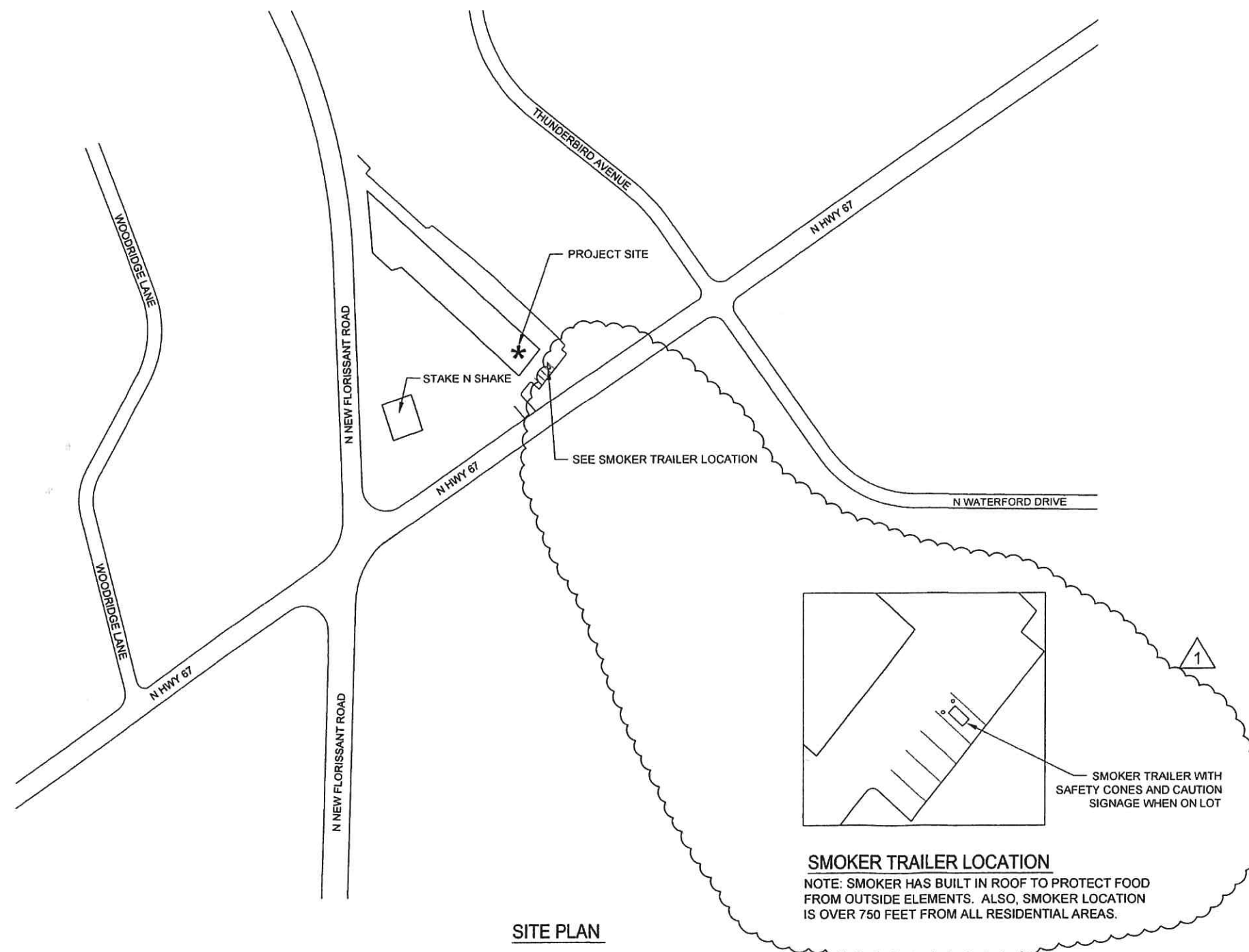
**1752-1754 NORTH NEW FLORISSANT ROAD
FLORISSANT, MISSOURI 63033**

SHEET INDEX:

- A-0 SITE PLAN AND SCOPE
- A-1 EXISTING/DEMOLITION PLAN
- A-2 PROPOSED PLAN
- A-3 ENLARGED PROPOSED FLOOR PLAN
- A-4 SPECIAL DETAILS
- A-5 METAL STUD WALL DETAILS
- A-6 METAL STUD WALL DETAILS

SCOPE OF WORK:

1. PROJECT RENOVATION REQUIRE TO MODIFY AN EXISTING RESTROOM TO AN ADA RESTROOM, PROVIDE A KITCHEN (PREP AREA), MOP SINK AREA, COMMON WALL FIRE RATING INFORMATION, AND ADDITIONAL EMERGENCY RECOMMENDATIONS FOR SPACE. ALL DESIGN IS GOVERNED TO CURRENT CONSTRUCTION BUILDING CODES.
2. ALL PLUMBING AND ELECTRICAL WORK AND PERMITS SHALL BE OBTAINED BY OWNER'S PLUMBING AND ELECTRICAL CONTRACTORS.
3. OWNER'S ARE RESPONSIBLE FOR PROVIDING ALL SAFETY CONES, SIGNAGE, AND ANY ADDITIONAL SAFETY PRECAUTION THAT WOULD ENSURE VISIBILITY AND SAFETY AS IT RELATES TO THEIR SMOKER TRAILER WHEN IT IS BROUGHT TO THE LOCATION FOR USE.



SMOKER TRAILER LOCATION
NOTE: SMOKER HAS BUILT IN ROOF TO PROTECT FOOD FROM OUTSIDE ELEMENTS. ALSO, SMOKER LOCATION IS OVER 750 FEET FROM ALL RESIDENTIAL AREAS.

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
TEL. 314-523-1057
WWW.ALLENDZINES.COM

DONALD W. DEAL, P.E.
10680 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

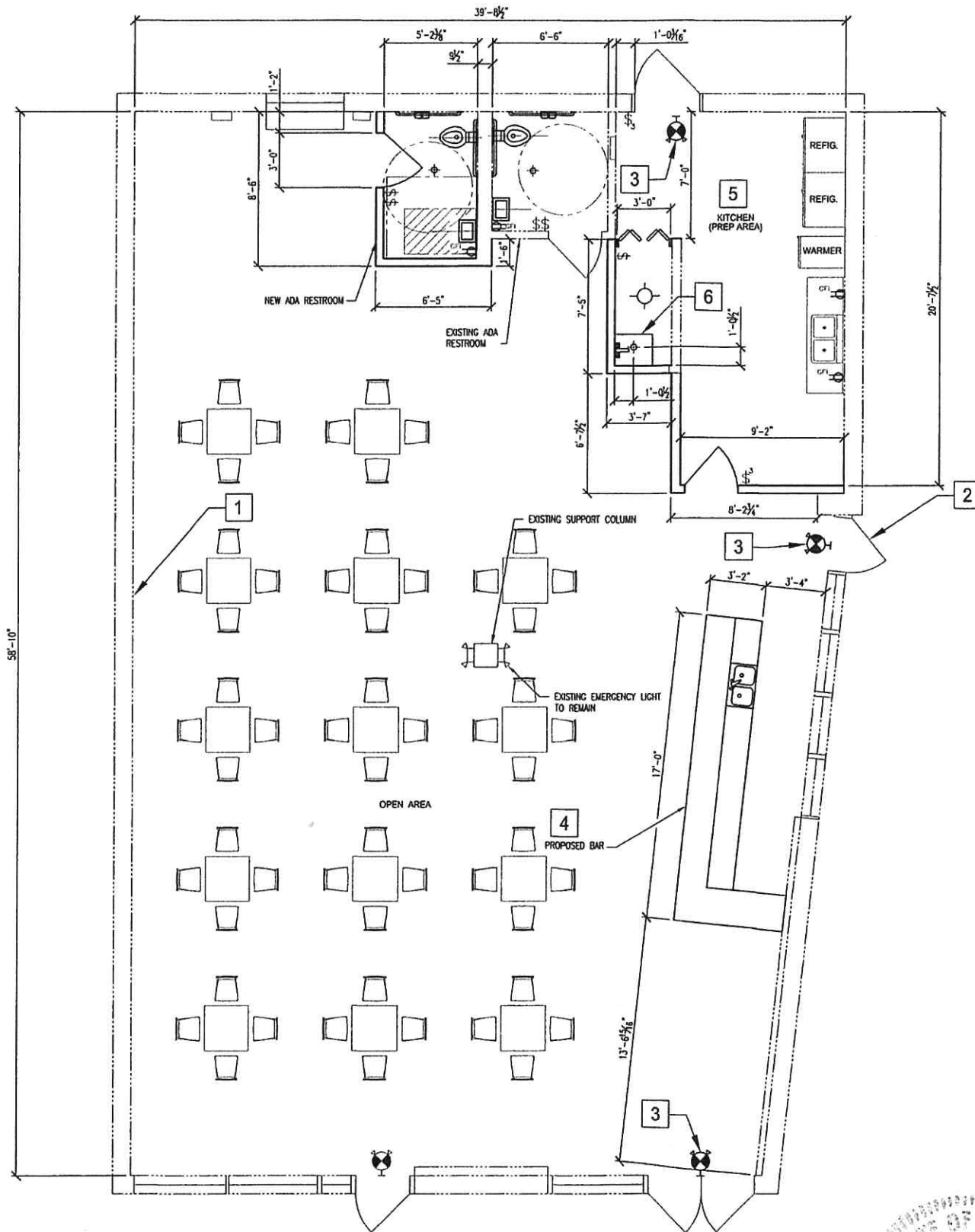
DRAWN BY
CLA
CHECKED BY
DWD
SCALE
AS SHOWN
DATE
9/24/17

**SITE PLAN AND SCOPE
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033**

PROJECT NO.
2017-112

DRAWING NO.
A-0

REV.	DATE	DESCRIPTION	APPROVED
1	10/30/2017	RE-ISSUED FOR PERMIT	DWD
0	10/9/2017	ISSUED FOR PERMIT	DWD



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
3. ALL EXISTING REPAIR TO INTERIOR WALLS SHALL BE REPLACED WITH X TYPE GYPSUM BOARD.
4. ALL NEW PARTITION WALLS SHALL BE METAL STUD WALLS. FOR TYPICAL METAL STUD DETAILS, SEE DRAWING A-5. UNLESS NOTED OTHERWISE.

KEYED NOTES:

- 1 PROVIDING SEPARATION WALL IS VERIFIED TO BE DOUBLE LAYER 5/8" GYPSUM BOARD, ADD A BEAD OF FIRE RATED CAULKING ALONG THE TOP ALONG CEILING DECKING WHERE IT JOINS THE GYPSUM BOARD. SEE DRAWING A-4 FOR SPECIAL DETAILS.
- 2 ADD PANIC BAR WITH ALARM TO SIDE DOOR. PANIC BAR ALARM SHALL READ "EMERGENCY EXIT ONLY - ALARM WILL SOUND".
- 3 NEW EXIT SIGNS WITH EMERGENCY LIGHTS (TYP.).
- 4 PROPOSED BAR. (BAR SUPPLIED BY OWNER.)
- 5 FINAL ORIENTATION OF APPLIANCES AND SINK ARE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE. NECESSARY RECEPTACLES FOR EACH APPLIANCE SHALL BE SUPPLIED BY QUALIFIED ELECTRICAL CONTRACTOR.
- 6 FLOOR-SET MOP SINK. SEE DRAWING A-4 FOR DETAIL.

LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GFI GROUND FAULT INDICATOR OUTLET
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS

REV.	DATE	DESCRIPTION	APPROVED
1	10/30/2017	RE-ISSUED FOR PERMIT-ADDED SEATING	DWD
0	10/9/2017	ISSUED FOR PERMIT	DWD

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-523-1057

DONALD W. DEAL, P.E.

10660 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

DRAWN BY
CLA

CHECKED BY
DWD

SCALE
AS SHOWN

DATE
9/24/17

PROPOSED FLOOR PLAN
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

PROJECT NO.

2017-112

DRAWING NO.

A-2

FACILITY UPDATES FOR RESTAURANT RENOVATION

**1752-1754 NORTH NEW FLORISSANT ROAD
FLORISSANT, MISSOURI 63033**



SITE PLAN

SHEET INDEX:

- A-0 SITE PLAN AND SCOPE
- A-1 EXISTING/DEMOLITION PLAN
- A-2 PROPOSED PLAN
- A-3 ENLARGED PROPOSED FLOOR PLAN
- A-4 SPECIAL DETAILS
- A-5 METAL STUD WALL DETAILS
- A-6 METAL STUD WALL DETAILS

SCOPE OF WORK:

1. PROJECT RENOVATION REQUIRE TO MODIFY AN EXISTING RESTROOM TO AN ADA RESTROOM, PROVIDE A KITCHEN (PREP AREA), MOP SINK AREA, COMMON WALL FIRE RATING INFORMATION, AND ADDITIONAL EMERGENCY RECOMMENDATIONS FOR SPACE. ALL DESIGN IS GOVERNED TO CURRENT CONSTRUCTION BUILDING CODES.
2. ALL PLUMBING AND ELECTRICAL WORK AND PERMITS SHALL BE OBTAINED BY OWNER'S PLUMBING AND ELECTRICAL CONTRACTORS.



REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL. 314-523-1057

DONALD W. DEAL, P.E.

10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

DRAWN BY
CLA

CHECKED BY
DWD

SCALE
AS SHOWN

DATE
9/24/17

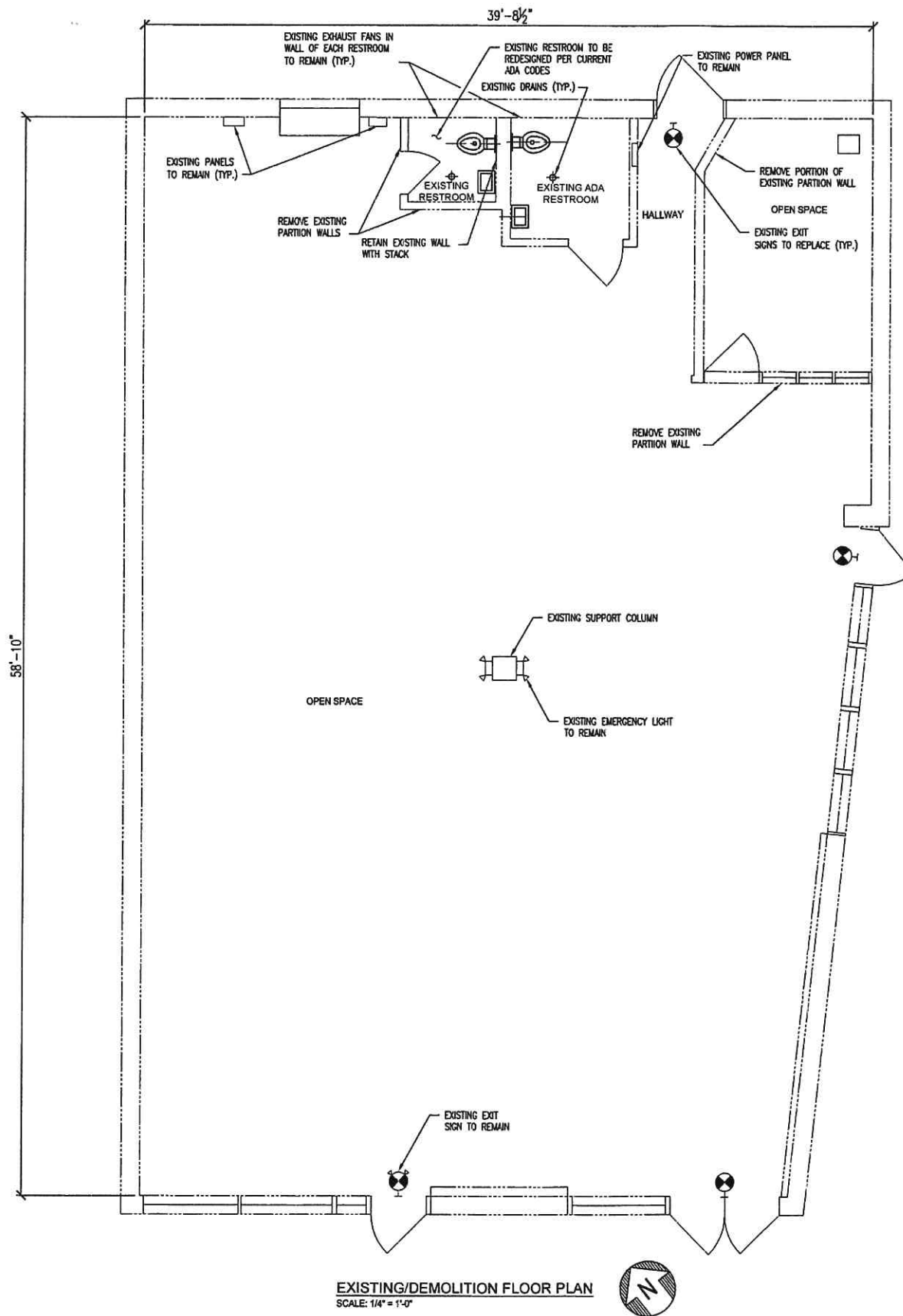
**SITE PLAN AND SCOPE
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033**

PROJECT NO.

2017-112

DRAWING NO.

A-0



EXISTING/DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GFI
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS



REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-623-1057

DONALD W. DEAL, P.E.

10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

DRAWN BY
CLA

CHECKED BY
DWD

SCALE
AS SHOWN

DATE
9/24/17

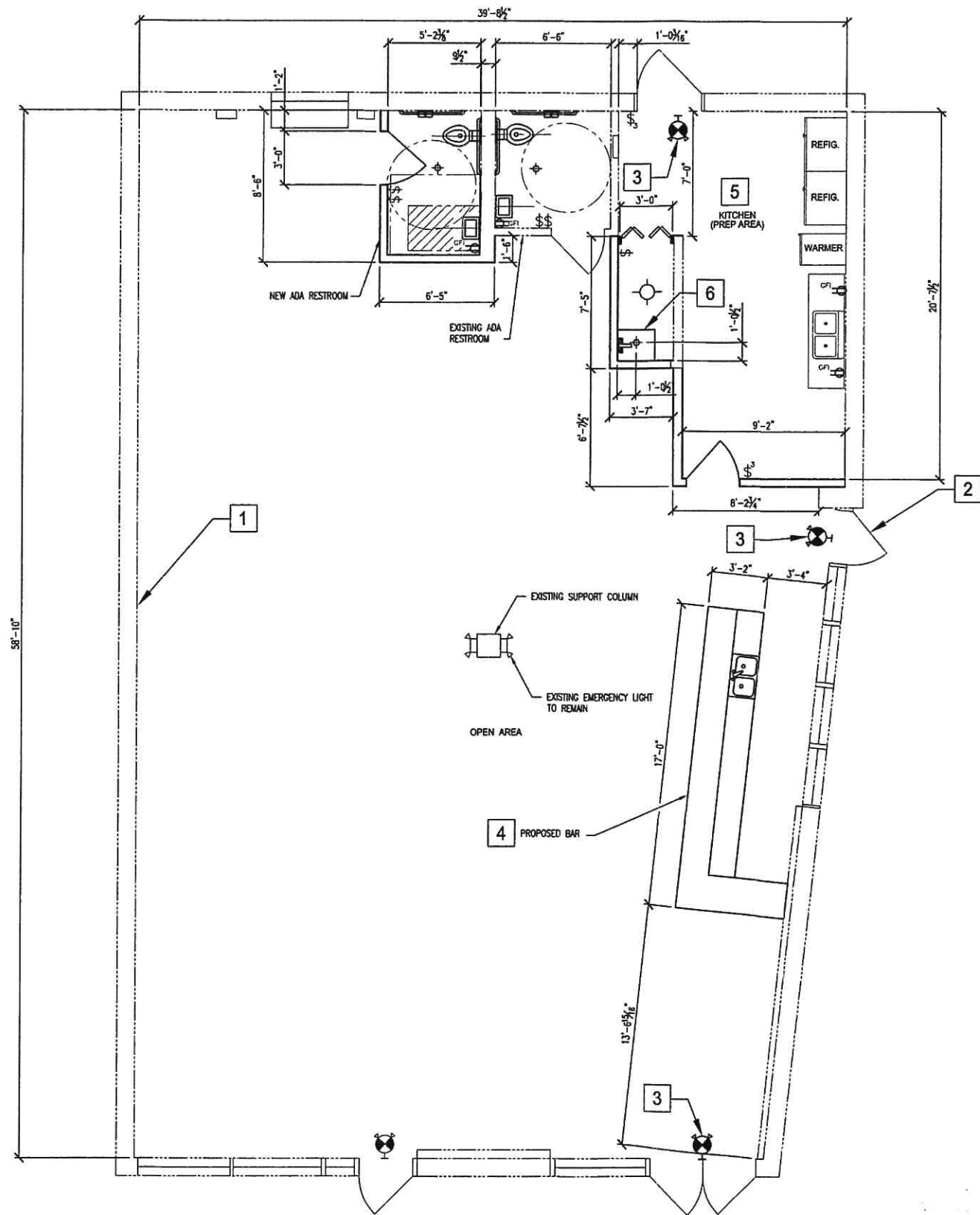
EXISTING FLOOR PLAN-DEMO
RESTAURANT RENOVATION
1752-1754 N. NEW FLOISSANT RD
FLORISSANT, MISSOURI 63033

PROJECT NO.

2017-112

DRAWING NO.

A-1



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
3. ALL EXISTING REPAIR TO INTERIOR WALLS SHALL BE REPLACED WITH X TYPE GYPSUM BOARD.
4. ALL NEW PARTITION WALLS SHALL BE METAL STUD WALLS. FOR TYPICAL METAL STUD DETAILS, SEE DRAWING A-5. UNLESS NOTED OTHERWISE.

KEYED NOTES:

- 1 PROVIDING SEPARATION WALL IS VERIFIED TO BE DOUBLE LAYER 5/8" GYPSUM BOARD, ADD A BEAD OF FIRE RATED CAULKING ALONG THE TOP ALONG CEILING DECKING WHERE IT JOINS THE GYPSUM BOARD. SEE DRAWING A-4 FOR SPECIAL DETAILS.
- 2 ADD PANIC BAR WITH ALARM TO SIDE DOOR. PANIC BAR ALARM SHALL READ "EMERGENCY EXIT ONLY - ALARM WILL SOUND".
- 3 NEW EXIT SIGNS WITH EMERGENCY LIGHTS (TYP.).
- 4 PROPOSED BAR. (BAR SUPPLIED BY OWNER.)
- 5 FINAL ORIENTATION OF APPLIANCES AND SINK ARE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE. NECESSARY RECEPTACLES FOR EACH APPLIANCE SHALL BE SUPPLIED BY QUALIFIED ELECTRICAL CONTRACTOR.
- 6 FLOOR-SET MOP SINK. SEE DRAWING A-4 FOR DETAIL.

LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GFI GROUND FAULT INDICATOR OUTLET
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-523-1057

DONALD W. DEAL, P.E.

10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

DRAWN BY
CLA

CHECKED BY
DWD

SCALE
AS SHOWN

DATE
9/24/17

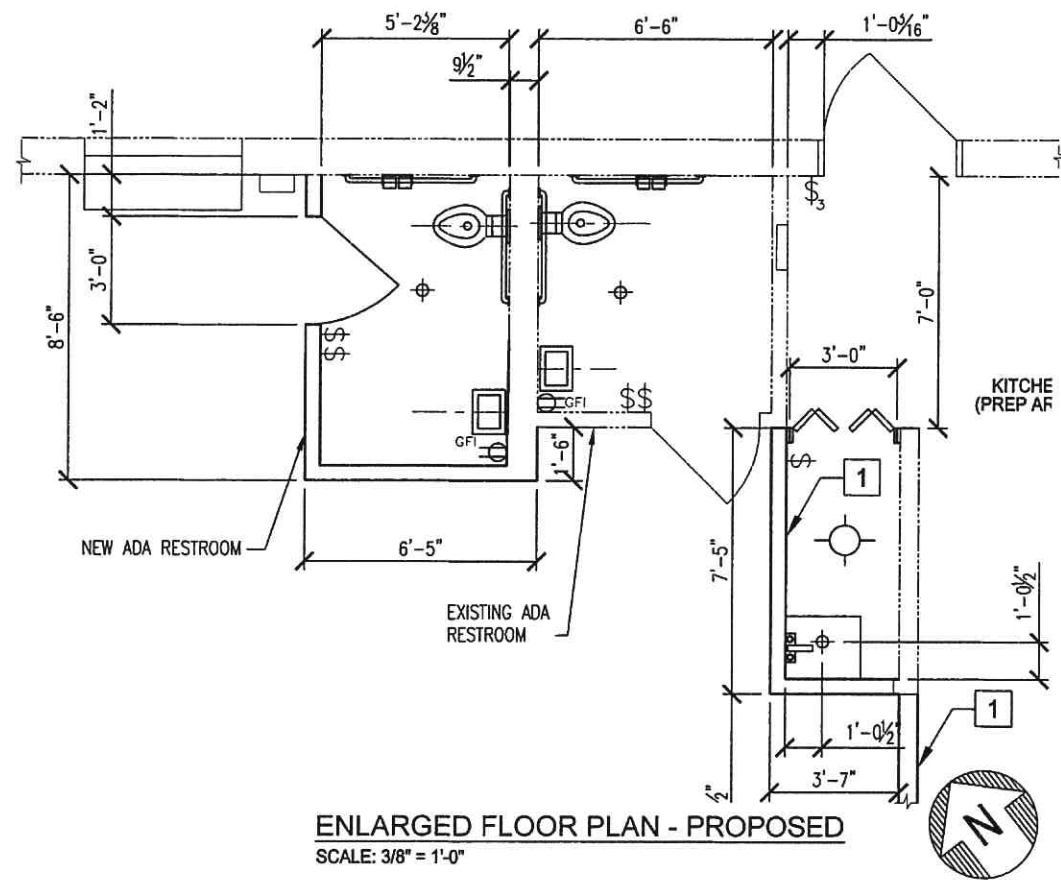
PROPOSED FLOOR PLAN
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

PROJECT NO.
2017-112

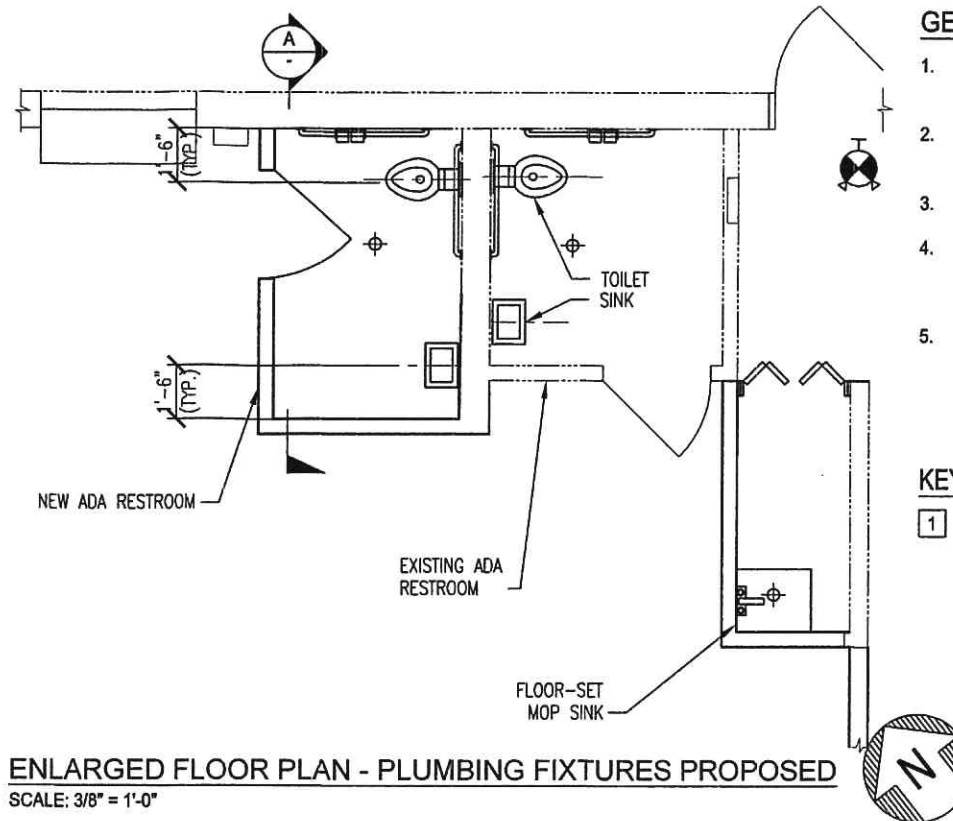
DRAWING NO.
A-2

Donald W. Deal
10/9/17

REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD



ENLARGED FLOOR PLAN - PROPOSED
SCALE: 3/8" = 1'-0"



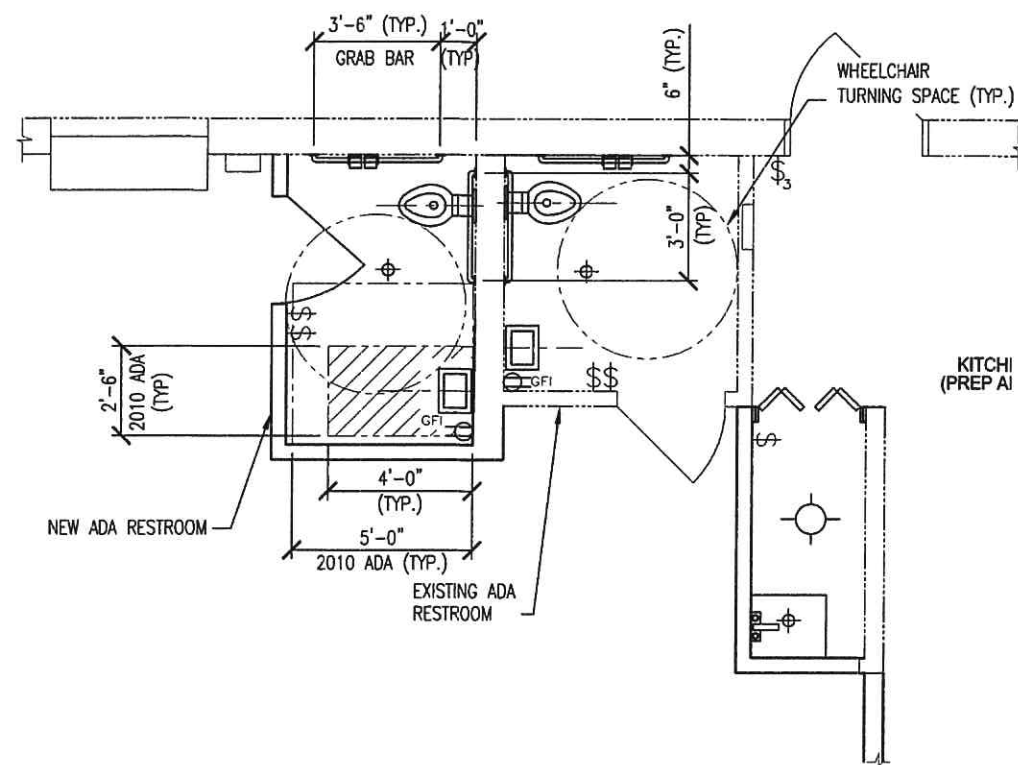
ENLARGED FLOOR PLAN - PLUMBING FIXTURES PROPOSED
SCALE: 3/8" = 1'-0"

GENERAL NOTES:

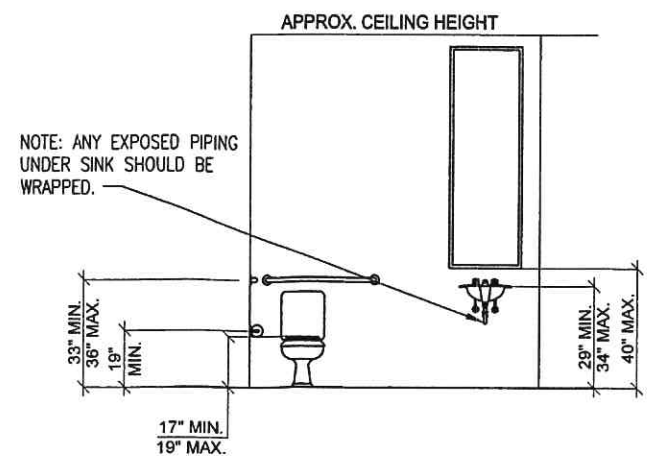
1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. RESTROOMS SHALL COMPLY WITH 2010 ADA STANDARDS FOR STATE AND LOCAL GOVERNMENT FACILITIES.
3. TOILET AND WATER CLOSET SHALL COMPLY WITH 603 AND 604.
4. CONTRACTOR SHALL INSTALL PROPER DRAINAGE AND WATER SUPPLY FOR MOP SINK BASED UPON MANUFACTURER'S SPECIFICATIONS.
5. FLOOR DRAINS WITHIN RESTROOMS ARE EXISTING. ADDITIONAL FLOOR DRAINS FOR BAR SHOULD BE FIELD LOCATED BY PLUMBING CONTRACTOR.

KEYED NOTES:

- 1 NEW WALL WIDTH TO MATCH EXISTING CONNECTED WALL.



ENLARGED FLOOR PLAN - ADA PROPOSED
SCALE: 3/8" = 1'-0"



RESTROOM ELEVATION

SCALE: 3/8" = 1'-0"

NOTE: INFORMATION ABOVE SHOWN ONLY FOR PROPER FIXTURE ELEVATIONS.



REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD

ALLEN DESIGNS, LLC

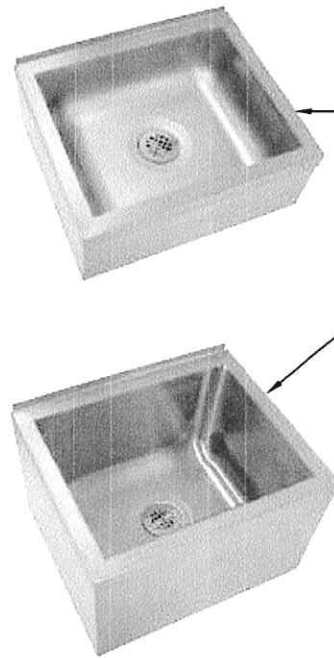
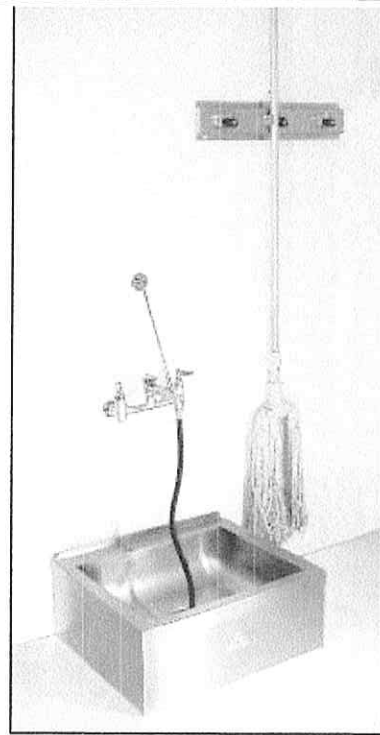
P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-523-1057

DONALD W. DEAL, P.E.
10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

DRAWN BY
CLA
CHECKED BY
DWD
SCALE
AS SHOWN
DATE
9/24/17

**ENLARGED PROP. FLOOR PLAN
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033**

PROJECT NO.
2017-112
DRAWING NO.
A-3



FLOOR SET MOP SINK.
TYPICAL OVERALL SIZE: 25"x21"x10"

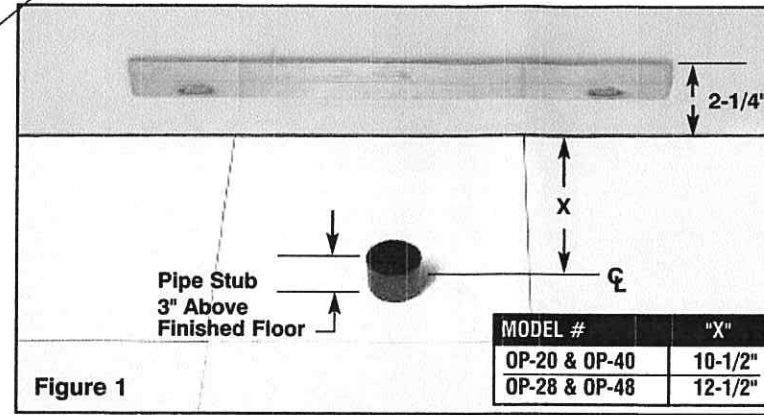
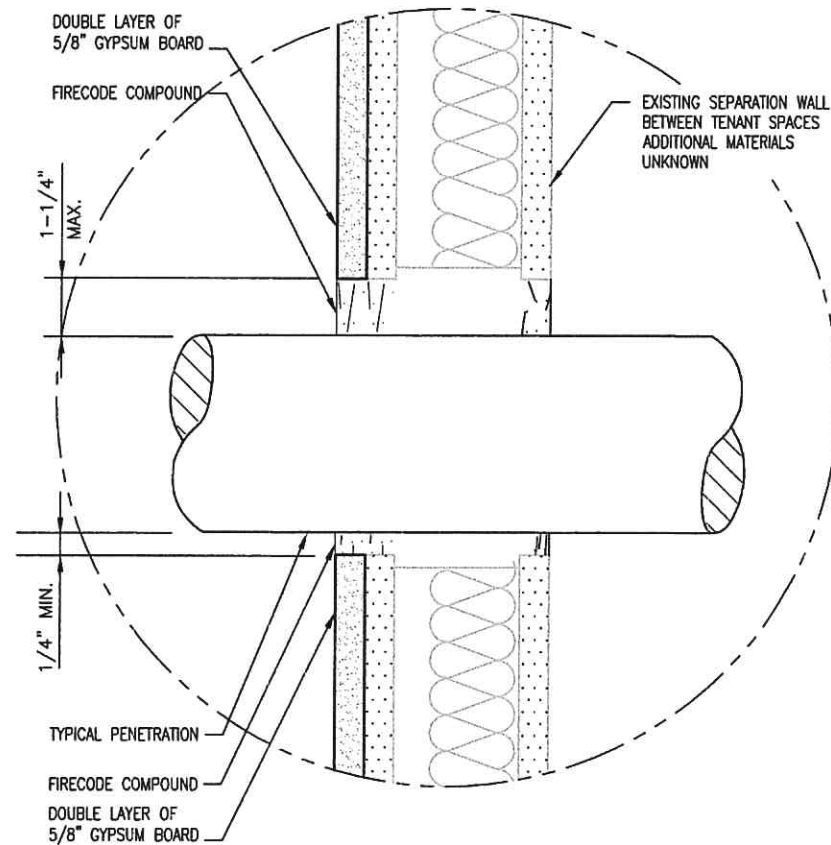


Figure 1

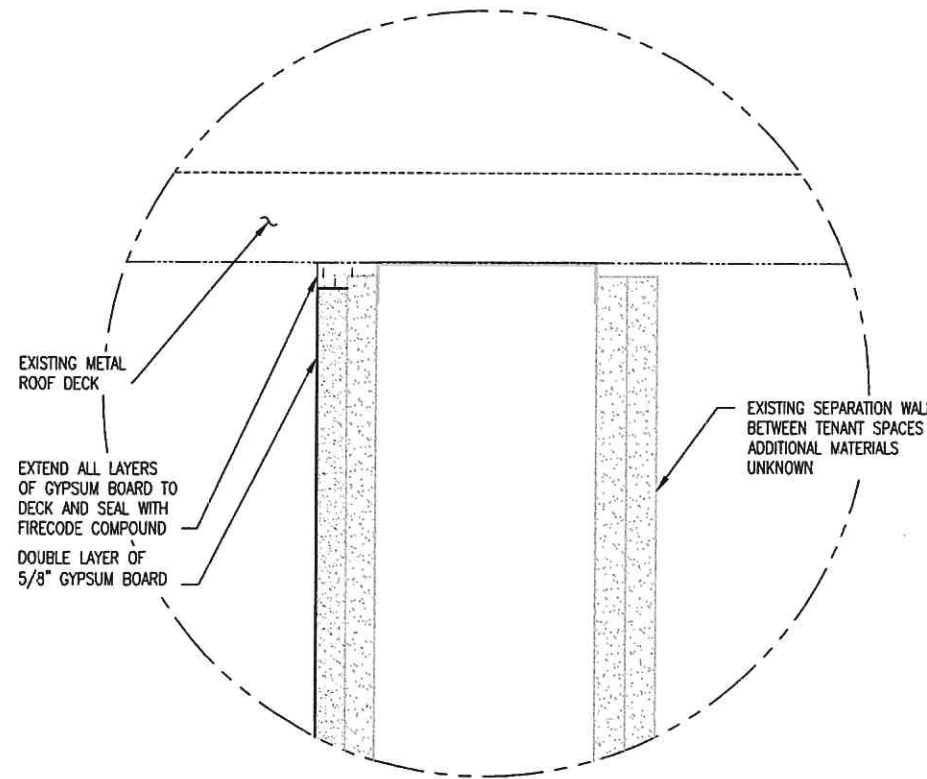
FLOOR MOUNTED MOP SINK DETAIL
SCALE: NONE

GENERAL NOTES:

1. FLOOR SET MOP SINK BASED UPON REGENCY SINKS MODEL #600SM16206 OR EQUIVALENT EQUAL. PLUMBING CONTRACTOR SHALL FIELD VERIFY PROPER DRAIN LOCATIONS BASED UPON MANUFACTURER'S SPECIFICATIONS. IMAGE SHOWN IS ONLY FOR DESIGN SPECIFICATIONS AND BASED UPON OWNER AND CONTRACTOR AGREEMENT.
2. CONTRACTOR SHALL INSTALL PROPER PLUMBING ABOVE MOP SINK THAT IS ADEQUET FOR THE USE OF VARIOUS JANITORIAL SUPPLIES.



TYPICAL WALL PENETRATION DETAIL
SCALE: NONE



TYPICAL WALL TO ROOF DECK DETAIL
SCALE: NONE



ALLEN DESIGNS, LLC

P.O. BOX 132, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-523-1057

DONALD W. DEAL, P.E.
10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 028473

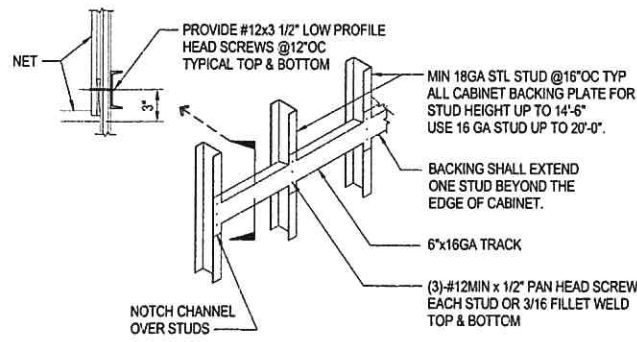
DRAWN BY
CLA
CHECKED BY
DWD
SCALE
AS SHOWN
DATE
9/24/17

SPECIAL DETAILS
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

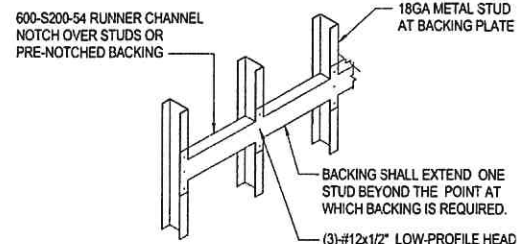
PROJECT NO.
2017-112

DRAWING NO.
A-4

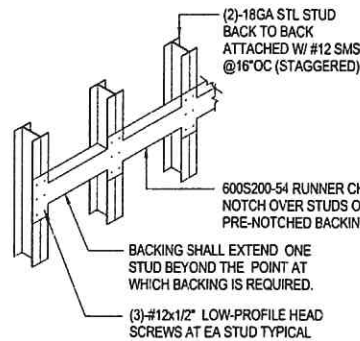
REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD



BACKING AT CABINET

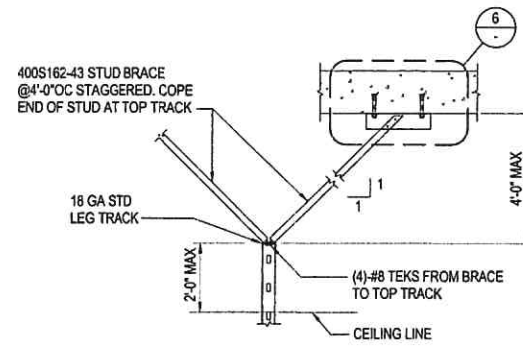


EQUIPMENT WEIGHT UNDER 100 LBS (AND FIXTURES)



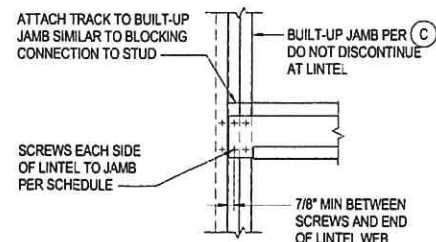
EQUIPMENT WEIGHT BETWEEN 100-200 LBS (AND FIXTURES)

BACKING FOR WALL SUPPORTED ITEMS (G)

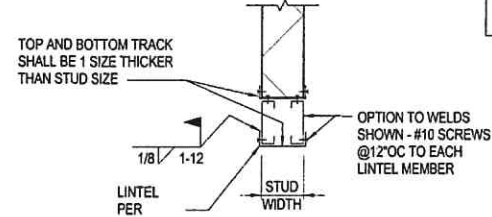


NOTE:
NOT ALLOWED FOR ATTACHING BACKING AT WALL SUPPORTED ITEMS

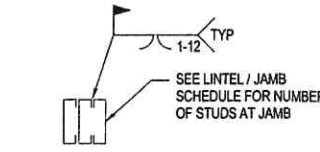
TOP CONNECTION (F)



CONNECTION TO JAMB (E)



LINTEL SECTION (D)

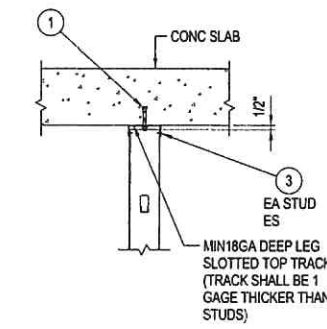


JAMB SECTION (C)

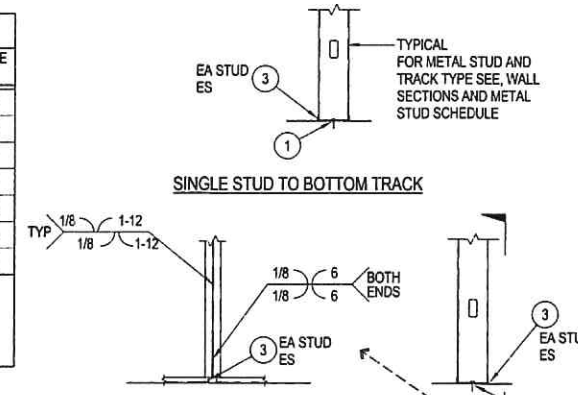
JAMB / LINTEL DETAILS AND SCHEDULE

LINTEL / JAMB SCHEDULE			
MAX LENGTH	LINTEL BEAM SIZE	# OF STUDS AT JAMB	#10 SCREWS EACH SIDE OF BEAM TO JAMB
4'-0"	(2) 400 S162-33	1	2 SCREWS (4 TOTAL)
5'-0"	(2) 400 S162-33	2	4 SCREWS (8 TOTAL)
8'-0"	(2) 600 S162-33	2	4 SCREWS (8 TOTAL)
10'-0"	(2) 600 S162-33	2	4 SCREWS (8 TOTAL)
12'-0"	(2) 800 S162-33	3	6 SCREWS (12 TOTAL)
14'-0"	(2) 800 S162-33	3	6 SCREWS (12 TOTAL)
16'-0"	(2) 1000 S162-33	3	6 SCREWS (12 TOTAL)

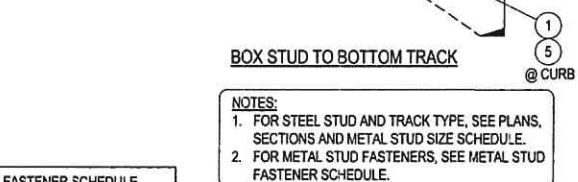
NOTES:
- 13'-0" MAX HEADER WIDTH FOR 4" STUDS
- BUILT-UP JAMB STUDS SHALL BE SAME GAGE AS WALL STUDS.
- SEE S105A FOR STRONG STUD ALTERNATES FOR LINTELS & JAMBS.



STUD TO CONCRETE SLAB DETAIL (B)



SINGLE STUD TO BOTTOM TRACK



BOX STUD TO BOTTOM TRACK

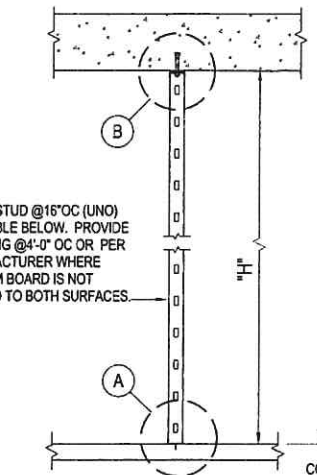
METAL STUD FASTENER SCHEDULE	
MARK	FASTENERS SIZE AND SPACING
1	HILTI X-U POWER DRIVEN FASTENER @24"OC W/ 1 1/2" MIN EMBED
2	HILTI X-U POWER DRIVEN FASTENER W/ 1 1/4" MIN EMBED
3	#10 SHEET METAL SCREW
4	#12 SHEET METAL SCREW
5	1/2" HEADED BOLT @24"OC (MIN 6" EMBED)

MAXIMUM ALLOWABLE HEIGHT ("H") SCHEDULE				
METAL STUD (S-STUD) SIZE (MIN 1 5/8" FLANGE)				
GAUGE	4"	6"	8"	
16	20'-1"	27'-11"	35'-6"	
18	18'-9"	26'-0"	33'-1"	
20	17'-8"	23'-11"	-	

5 PSF INTERIOR LATERAL LOAD U240 DEFLECTION CRITERIA.

NOTES:
1. MAXIMUM STUD HEIGHT "H" FOR STUDS @16"OC
2. SEE ARCHITECTURAL FOR OTHER CONDITIONS.
3. SEE ARCHITECTURAL FOR LOCATION OF CURB.
4. HILTI X-U LOW VELOCITY POWER DRIVEN FASTENER SHALL BE PER ICC REPORT No. ESR 2269
5. ALL TRACKS SHALL BE 1 GAGE THICKER THAN STUDS WITH 1-1/2" FLANGE UNO

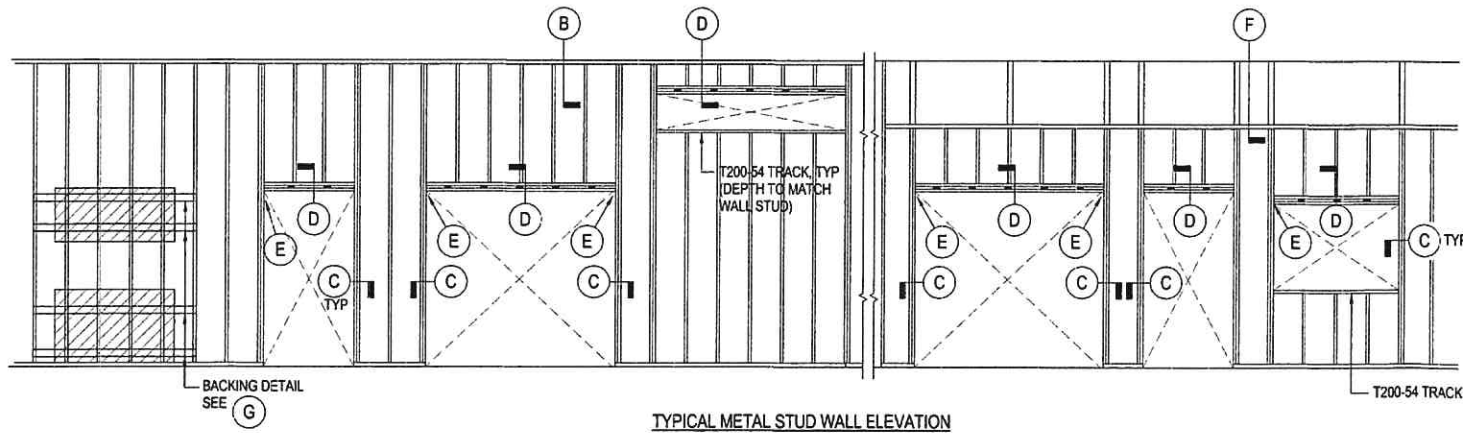
STUD TO SLAB DETAIL (A)



TYPICAL METAL STUD WALL SECTION

METAL STUD WALL GENERAL NOTES:

1. ALL NEW WALLS ARE 4" WIDE, UNLESS NOTED OTHERWISE.



TYPICAL METAL STUD WALL ELEVATION

TYPICAL INTERIOR NON-BEARING METAL STUD WALL CONSTRUCTION DETAILS

SCALE: N.T.S.

1

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-523-1057

DONALD W. DEAL, P.E.

10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

DRAWN BY
CLA

CHECKED BY
DWD

SCALE
AS SHOWN

DATE
9/24/17

METAL STUD WALL DETAILS
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

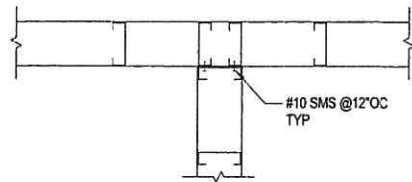
PROJECT NO.

2017-112

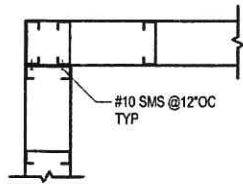
DRAWING NO.

A-5

REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD



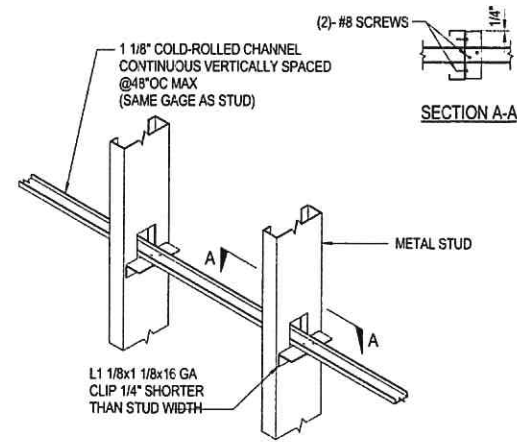
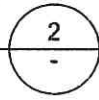
WALL INTERSECTION



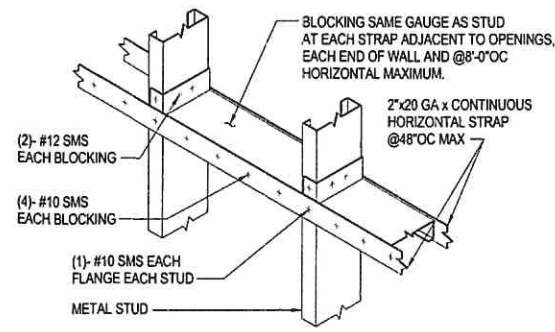
WALL CORNER

TYPICAL METAL STUD WALL DETAILS AT INTERSECTION DETAILS

SCALE: N.T.S.



BRIDGING OPTION

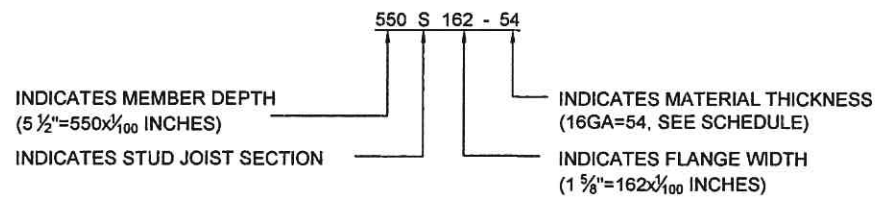
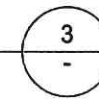


STRAP OPTION

NOTE:
REQUIRED WHERE RIGID WALL FINISH DOES NOT CONTINUE FULL HEIGHT OF EITHER OR BOTH SIDES OF STUDS

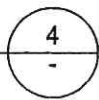
TYPICAL LATERAL BRIDGING AT METAL STUDS

SCALE: N.T.S.



METAL STUD IDENTIFICATION

SCALE: N.T.S.



METAL STUD WALL GENERAL NOTES:

1. ALL NEW WALLS ARE 4" WIDE, UNLESS NOTED OTHERWISE.

ALLEN DESIGNS, LLC

P.O. BOX 732, ST. ANN, MO 63074
WWW.ALLENDZINES.COM
TEL 314-523-1057

DONALD W. DEAL, P.E.

10260 MACKENZIE
ST. LOUIS, MO 63123
PHONE: 314-413-0087
LICENSE NO.: 023473

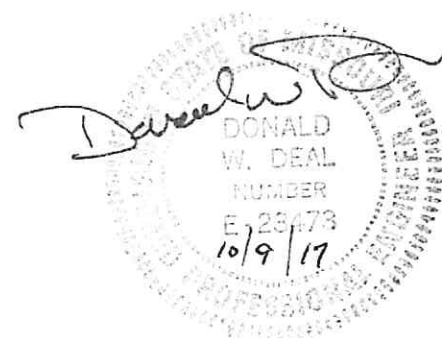
DRAWN BY
CLA

CHECKED BY
DWD

SCALE
AS SHOWN

DATE
9/24/17

METAL STUD WALL DETAILS
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033



REV.	DATE	DESCRIPTION	APPROVED
0	10/9/2017	ISSUED FOR PERMIT	DWD

PROJECT NO.

2017-112

DRAWING NO.

A-6

CITY OF FLORISSANT

Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, November 27, 2017 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to Five Aces Bar-B-Que, LLC d/b/a Five Aces Bar-B-Que to allow for the operation of a restaurant in a B-3 Zoning District for the property located at 1752-1754 N. Florissant Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) 7592

FROM Little CAESARS PIZZA
TO LITTLE CAESARS PIZZA (Beck Group LLC)
FOR operation of carry-out restaurant
ADDRESS 2632 N. Hwy 67 63033
Ward 9 Zoning _____ Date Filed 11/29/17 Accepted By [Signature]

TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now Dale Beck and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 2632 N. Hwy 67 63033 in the City of Florissant, Missouri. Legal interest: Lease or () Simple Title
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE Dale Beck
Individual's Name

FOR: Beckgroup LLC dba Little Caesars
Company, Corporation, Partnership

11/29/17
cc to Council Mayor
Hessel

4. I (we) hereby certify that (indicate **one only**):

- I (we) have a legal interest in the above described property.
 I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE Dale Beck
ADDRESS 3312 Quail Run Goofrey, IL 62035
Telephone No. 618-920-7697 Email address beckgroup4@yahoo.com

I (we) the petitioner(s) do hereby appoint _____ as my (our) duly authorized agent to represent me (us) in regard to this petition.

Dale Beck
PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of owner to Transfer Special Permit Petition.

X Jim Burns
SIGNATURE OF OWNER

State of Missouri



Robin Carnahan
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

Beck Group, LLC
LC0752870

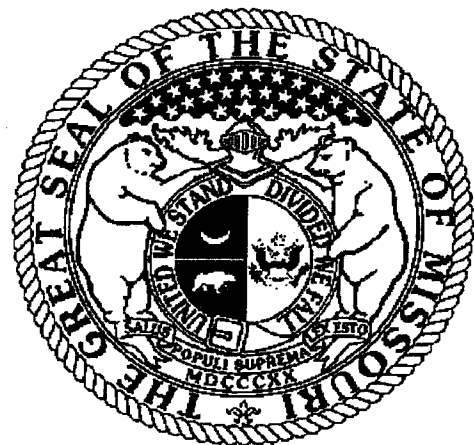
filed its Articles of Organization with this office on the July 21, 2006, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, ROBIN CARNAHAN, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the July 21, 2006, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I have set my hand and imprinted the GREAT SEAL of the State of Missouri, on this, the July 21, 2006.

Robin Carnahan

Secretary of State





State of Missouri
Robin Carnahan, Secretary of State

File Number: 200620290262
LC0752870
Date Filed: 07/21/2006
Robin Carnahan
Secretary of State

Articles of Organization[#]

1. The name of the limited liability company is:

Beck Group, LLC

2. The purpose(s) for which the limited liability company is organized:

The purpose of this Company is (1) to own a Missouri Franchise called Little Caesars Pizza (2) to enter into joint venture agreements, partnership agreements, limited liability company operating agreements, or to create any other entity or any other agreement for the purpose of carrying out any of its purposes and actions; (3) to do anything and all things permitted by the Act necessary or appropriate for the purposes set forth above. The Company shall possess and may exercise all powers and privileges granted by the Act, any other law, or by the Agreement, including incidental powers thereto, to extent that such powers and privileges are necessary, customary, convenient or incidental to the attainment of the Company's purposes.

The name and address of the limited liability company's registered agent in Missouri is:

Christopher B. Hunter

Name

1401 S. Brentwood Blvd., St. Louis MO 63144

Address

4. The management of the limited liability company is:

Manager

Member

5. The duration (period of existence) for this limited liability company is:

Perpetual

6. The name(s) and street address(es) of each organizer:

Dale Beck, 5320 Englewood Drive, Godfrey IL 62035

Jenni Beck, 5320 Englewood Drive, Godfrey IL 62035

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

Dale Beck

(Organizer Name)

Jenni Beck

(Organizer Name)



CITY OF FLORISSANT

Honorable Thomas P. Schneider, Mayor

TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance
Number 7592 which authorized a Special Permit:

TO: L.C. Gamril dba Little Caesars Pizza

FOR: operation of a restaurant

and agree to the terms and conditions listed in said ordinance and to any
additional term and conditions that the City Council shall deem appropriate.

DALE BECK

PRINT - NAME OF APPLICANT

Dale Beck

SIGNATURE OF APPLICANT

CITY HALL
955 Rue St. Francois
Florissant, MO 63031
314 / 921-5700
Fax: 314 / 921-7111
TDD: 314 / 839-5142

POLICE DEPARTMENT
1700 North Highway 67
Florissant, MO 63033
314 / 831-7000
Fax: 314 / 830-6045

PARKS DEPARTMENT
#1 James J. Eagan Drive
Florissant, MO 63033
314 / 921-4466
Fax: 314 / 839-7672

HEALTH DEPARTMENT
#1 St. Ferdinand Drive
Florissant, MO 63031
314 / 839-7654
Fax: 314 / 839-7656

MUNICIPAL COURT
1055 Rue St. Francois
Florissant, MO 63031
314 / 921-3322
Fax: 314 / 839-7663

www.florissantmo.com

1 INTRODUCED BY COUNCILMAN SCHNEIDER
2 NOVEMBER 13, 2006

3
4
5 BILL NO. 8507

ORDINANCE NO. 7592

6
7 **AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO L.C.**
8 **GAMVIL, INC D/B/A LITTLE CAESARS PIZZA TO ALLOW FOR THE**
9 **LOCATION AND OPERATION OF A RESTAURANT FOR THE**
10 **PROPERTY LOCATED AT 2632 N HIGHWAY 67.**
11

12
13 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
14 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
15 operation of a restaurant; and

16 WHEREAS, an application has been filed by L.C. GamVil, Inc d/b/a Little Caesars Pizza
17 to allow for the location and operation of a restaurant on the property known as 2632 N.
18 Highway 67; and

19 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their
20 meeting of April 6, 2009, has recommended that the said Special Use Permit be granted; and

21 WHEREAS, due notice of a public hearing on said application to be held on the 27th of
22 April, 2009 at 8:00 P.M. by the Council of the City of Florissant was duly published, held and
23 concluded; and

24 WHEREAS, the Council, following said public hearing, and after due and careful
25 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
26 would be in the best interest of the City of Florissant.

27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
29

30 Section 1: A Special Use Permit is hereby granted to L.C. GamVil, Inc d/b/a Little
31 Caesars Pizza to allow for the location and operation of a restaurant on the property known as
32 2632 N. Highway 67 per drawings submitted with the following stipulation:
33

- 34 1. That the restaurant be carry-out only without any public seating or tables.
35
36

37 Section 2: The said Special Use Permit herein authorized shall remain in full force and
38 effect and subject to all of the ordinances of the City of Florissant.

39 Section 3: When the named permittee discontinues the operation of said business, the
40 Special Use Permit herein granted shall no longer be in force and effect.

41 Section 4: This ordinance shall become in force and effect immediately upon its passage
42 and approval.

43

44

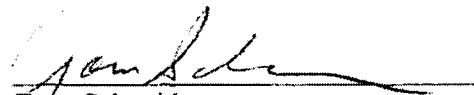
45 Adopted this 11 day of May, 2009.

46

47

48

49



Tom Schneider
President of the Council
City of Florissant

50

51

52

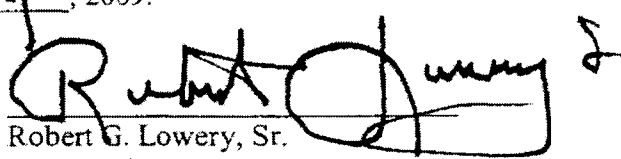
53 Approved this 18th day of May, 2009.

54

55

56

57



Robert G. Lowery, Sr.
Mayor, City of Florissant

58

59

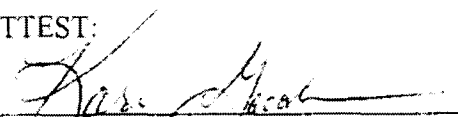
60

61

ATTEST:

62

63

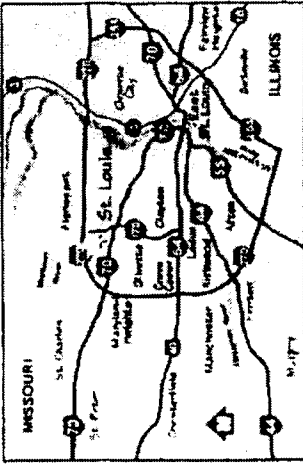


Karen Goodwin, MMCA/MRCC
City Clerk

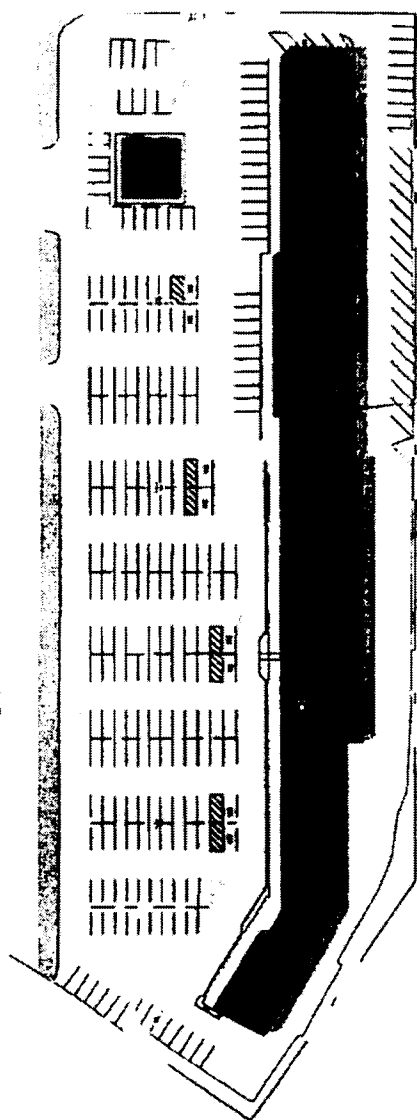
64

65

66



TROTTER WAY



Little
Cassars

N HWY 67 (N LINDBERGH BLVD)

RECOMMENDED APPROVAL
 [Signature] P&Z
 CHAIRMAN

SIGN: [Signature]

DATE: 4-6-09

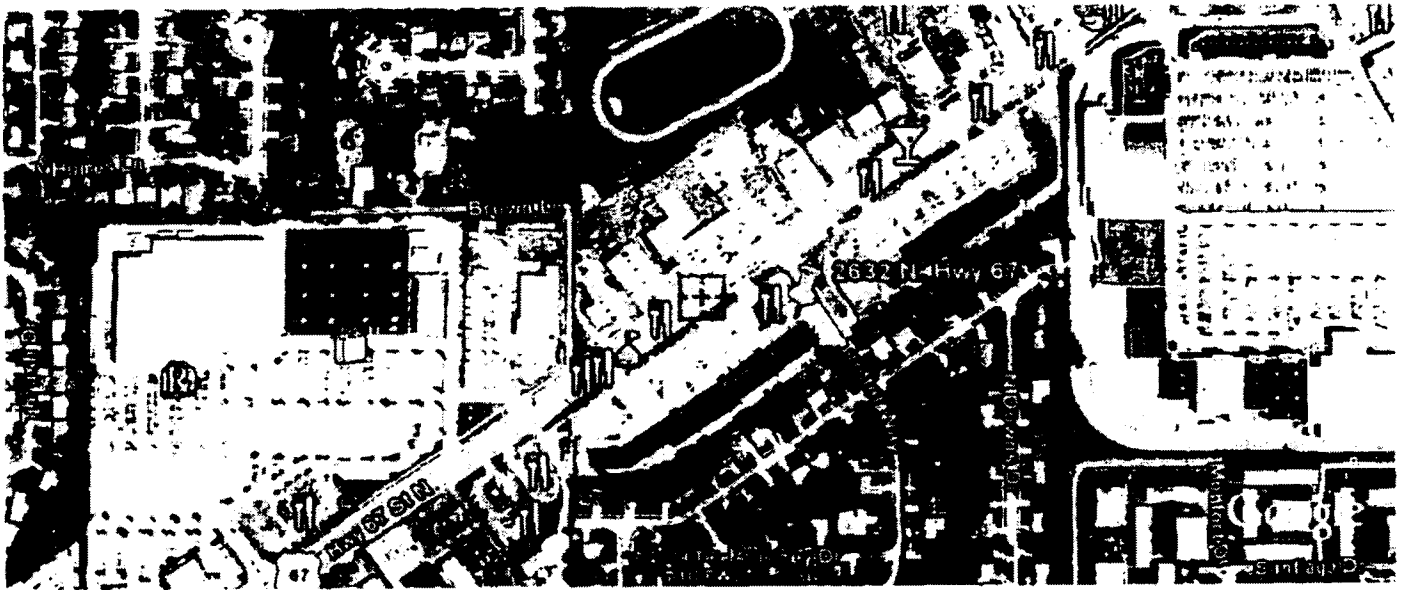
No.	Address	Tenant	Area (sf)
1	2520	Butterfly Life	2,520
2	2532	Staten Island Cleaners	1,080
3	2536	ATN Nails	800
4	2540	Fleur de Lis	800
5	2544	Subway	1,200
6	2548-52	H&R Block	2,000
7	2564	Household Finances	2,400
8	2568	Kimura Enterprise	1,200
9	2572-76	Vacant	2,400
10	2580-84	Vacating	2,400
11	2588	Hair Suite	1,200
12	2592-96	Radio Shack	2,400
13	2620	Vacating	1,306
14	2632	Vacant	1,200
15	2636	Hearing Care Center	1,200
16	2640	Dr. McClain	1,200
17	2644	Wild Birds	2,400
18	2660	Planet Cash	1,246
19	2666-70	Vacant	2,220
20	2674	Edward Jones	1,110
21	2678	Dairy Queen	1,848
22	2682	Dr. Meegan	1,100
23	2686	Fast Track Urgent Care	3,300

SURREY PLAZA I

2520-2685 N Hwy 67, Florissant, MO



ST. LOUIS COUNTY REALTY CO.



2632 Hwy 67 St N, Florissant, MO 63033

Little Caesars Site Evaluation Form (SEF) - Architecture

Little Caesars' Sign Options

Landlord to initial each option allowed



Little Caesars

TVL

Landlord Initials

Option A - Logo & Letters - Raceway Mounted Sign

3/20/2009



Little Caesars

Landlord Initials

Option B - Logo & Letters - Flush Mounted Sign

Little Caesars

Landlord Initials

Option C - Letters Only - Raceway Mounted Sign

Little Caesars

Landlord Initials

Option D - Letters Only - Flush Mounted Sign

TO THE CITY CLERK, CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI

APPLICATION FOR SUNDAY LIQUOR LICENSE

Authorizing the sale of retail liquor by the drink or package in Florissant on **Sunday** from 9:00 a.m. to Midnight

TYPE OF OPERATION: Individual _____ Partnership _____ Corporation _____ LLC

NAME OF BUSINESS: Five ACES

LOCATION: 1752-1754 N. New Florissant Rd, Florissant Mo Telephone: 3144893481

NAME OF APPLICANT (partnership or corporation, give exact trade, LLC or corporate name):
Five ACES Bar-B-Que LLC

TRADE NAME IF DIFFERENT: Five ACES Bar and Que

The undersigned (Individual) (Partnership) (Corporation) (LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a By the drink/Package Liquor License authorizing the sale of retail liquor on Sundays from **9:00 a.m. to Midnight** for the period beginning _____, and expiring June 30, 20____, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the Florissant City Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1) I/WE presently hold License No. _____ authorizing the sale of retail liquor by the drink/package in Florissant for premises described in this application.

STATE OF MISSOURI)SS
COUNTY OF St. Louis)

I/WE Antonio C. Ellis Latoshia Ellis of lawful age, being first duly sworn upon (my) (our) oath(s), name of managing officer (or owner or partner)

Antonio C. Ellis & Latoshia Ellis
depose and say that (I) (we) have read this application and that (I) (we) fully understand the same; that (I) (we) know the contents thereof and the statements contained therein and that the same are true of (my) (our) own knowledge.

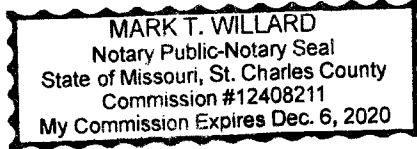
Antonio C. Ellis
Signature of managing officer (or owner or partner)

Latoshia Ellis

SUBSCRIBED AND SWORN TO BEFORE ME THIS 6 DAY OF December 2017

MY COMMISSION EXPIRES 12-6-2020

Mark T. Willard
Notary Public MARK T. WILLARD



CITY OF FLORISSANT

955 rue St. Francois
Phone: 314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- Full Liquor by the Drink
- Malt Liquor & Wine by the Drink
- Full Liquor by Drink (Non-Profit)
- Full Package Liquor
- Malt Liquor & Wine Package
- Consumption of Liquor
- Tasting

To the City Clerk, City of Florissant, St. Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF OPERATION:

- Individual
- Partnership (Attach list of Partners)
- Corporation - Attach list of officers, addresses, phone no.
- Limited Liability Corp

Name of Business Five ACES BAR & QUE

Business Address 1752-1754 N. New Florissant Rd Phone 314 489 3481

Names of Applicant, Corporation, or LLC Five ACES BAR & QUE LLC

Address of Owner 6568 Plymouth Ave St. Louis MO 63130 Phone 314 489 3481
Street City State Zip

Name of Managing Officer Antonio C. Ellis

Home Address 6568 Plymouth Ave St. Louis, Mo 63130 Years at address 5
Street City/State Zip Home Phone

Managing Officer Date & Place of Birth 9-6-77 Sikeston Mo. Cell Phone 314 489 3481

Managing Officer Driver's License No.: _____ Social Security Number* _____
(Provide a copy of driver's license) * Social Security Number will be used for purposes of identification in running record check.

Managing Officer Personal Property Taxes 2016 Paid? Yes No (Attach most recent copy)

Managing Officer Register Voter of Missouri? Yes No (Attach a Voter Registration Certificate)

Have you ever been arrested?: _____ What Charge? _____
Where? _____ Disposition? _____

Citizen of U.S.A.? Yes No Naturalized? Yes Date _____ No
If Naturalized, Give Number: _____ Dist. _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? NO
If so, give details _____

Have you previously held a liquor license of any type? NO
If so, when and where _____

Have you ever had a liquor license suspended or revoked? No
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? No
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? No
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? No
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? No
If so, state name _____

Is the location within 200 feet of property used for church, school or public playground? No

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

[Signature]

Five ACES BAR-B-QUE LLC
Trade Name [Signature]
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

[Signature], of lawful age, being first duly sworn upon 12-6-17 oath
(Individual or Managing Officer)

deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

M. TONI KAMMERMEYER
Notary Public - Notary Seal
St Charles County - State of Missouri
Commission Number 13781635
My Commission Expires May 4, 2021

[Signature]
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 6 day of December, 2017.

[Signature]
Notary Public

My Commission Expires: May 4, 2021

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____ DATE _____

**TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED
LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:**

1. FULL NAME Antonio C. Ellis
SOC. SEC. NO. _____ PLACE OF BIRTH St. Louis, Mo
DATE OF BIRTH 9-6-77 SEX M
PHONE NUMBER 314-489-3481
ADDRESS 6568 Plymouth Ave St. Louis Mo 63130
LAST PREVIOUS ADDRESS 1339 Greegan Pl Pagedale, Mo 63133
NO. OF YRS. 1

2. FULL NAME Lateshia Ellis
SOC. SEC. NO. _____ PLACE OF BIRTH St. Louis Mo
DATE OF BIRTH 11-09-1980 SEX F
PHONE NUMBER (314) 489-3594
ADDRESS 6568 Plymouth Ave St. Louis, Mo 63130
LAST PREVIOUS ADDRESS 1339 Greegan Pl Pagedale, Mo 63133
NO. OF YRS. 1

3. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YRS. _____

4. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YRS. _____

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY Robert Walpelt PHONE 314-567-1221
ADDRESS 12295 Olive Blvd CITY St. Louis STATE Mo ZIP 63141

NAME OF BUSINESS Walpelt Properties PHONE 314-567-1221
ADDRESS 12295 Olive Blvd CITY St. Louis STATE Mo ZIP 63141

BUSINESS HOURS 9am-5pm
OWNER/MANAGER Robert Walpelt PHONE 314-567-1221
HOME ADDRESS 12295 Olive Blvd CITY St. Louis, STATE Mo ZIP 63141

PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE.

CONTACT #1
NAME Antonio C. Ellis ADDRESS 6568 Plymouth Ave
CITY & STATE St. Louis, Mo ZIP 63130 PHONE 314-489-3491
HAS KEY: YES () NO ()

CONTACT #2
NAME Latosha L. Ellis ADDRESS 6568 Plymouth Ave
CITY & STATE St. Louis Mo ZIP 63130 PHONE 314-489-3594
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES () NO ()
IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO ()
IF YES, WHO: Owner / Management
ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO ()
DESCRIBE: 1995 (Food Truck) GMC (P30) White 5ACE3
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES () NO ()
IF YES, WHERE IS IT LOCATED: In Floor, in the Kitchen

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO ()
IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES () NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

AUTHORIZATION TO HAVE THE CHIEF OF POLICE
OF THE CITY OF FLORISSANT, MISSOURI TO CHECK MY RECORD.

I, Antonio C. Ellis 3 Latoshia Ellis
RESIDING AT 6568 Plymouth Ave
IN THE CITY OF University City
STATE Missouri

DO HEREBY AUTHORIZE THE CITY CLERK OF THE CITY OF FLORISSANT, MISSOURI
TO MAKE A FULL AND COMPLETE CHECK OF MY RECORD IN THE METROPOLITAN
ST. LOUIS AREA, STATE OF MISSOURI, ALL PRIOR AREAS OF RESIDENCE, AND
THROUGH THE NATIONAL CRIMINAL INFORMATION CENTER, IN WASHINGTON, D.C.

[Signature]
Witness

[Signature]
Signature

12-6-17

Date

9-6-77

Date of Birth

Social Security Number

Driver's License Number & State



State of Missouri
John R. Ashcroft, Secretary of State
 Corporations Division
 PO Box 778 / 600 W. Main St., Rm. 322
 Jefferson City, MO 65102

X001293681
Date Filed: 7/20/2017
Expiration Date: 7/20/2022
John R. Ashcroft
Missouri Secretary of State

Registration of Fictitious Name

(Submit with filing fee of \$7.00)
(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

New Registration
 Renewal
 Amendment
 Correction
Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: Five Aces Bar and Que

Business Address: 1752-1754 Florissant rd
(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: Florissant, MO 63033

Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
Five ACES Bar-B-QUE LLC	LC001482146	6568 Plymouth	st.louis, MO	63130	100.00

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

<u>Five ACES Bar-B-QUE LLC - Antonio Ellis</u> <small>Owner's Signature or Authorized Signature of Business Entity</small>	<u>FIVE ACES BAR-B-QUE LLC - ANTONIO ELLIS</u> <small>Printed Name</small>	<u>07/20/2017</u> <small>Date</small>
---	---	--

Name and address to return filed document:
 Name: Ellis C Antonio
 Address: Email: Fiveacesbbq@gmail.com
 City, State, and Zip Code: _____

STATE OF MISSOURI



Jason Kander
Secretary of State

CERTIFICATE OF ORGANIZATION

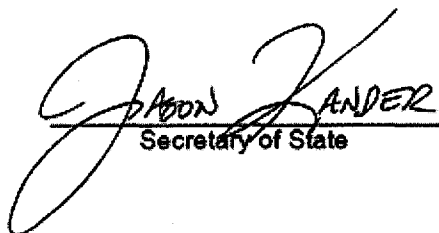
WHEREAS,

Five ACES Bar-B-QUE LLC
LC001482146

filed its Articles of Organization with this office on the 3rd day of March, 2016, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, Jason Kander, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 3rd day of March, 2016, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 3rd day of March, 2016.


Secretary of State



TRUDI MCCOLLUM FOUSHEE
Secretary

MATTHEW W. POTTER
Commissioner

ERIC FEY
Director of Elections

Saint Louis
COUNTY
ELECTION BOARD

SHARON BUCHANAN-MCCLURE
Chair

PEGGY BARNHART
Commissioner

RICK STREAM
Director of Elections

CERTIFICATE OF REGISTRATION

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)



This is to certify that ANTONIO CORNELIUS ELLIS is a resident and registered voter in
Precinct 14 of UNIVERSITY Township of the County of St. Louis and the
State of Missouri having registered on 12/6/17 .

I do hereby certify the following to be true and correct information obtained from the voter registration
file and verified by the applicant.

Current Address: 6568 PLYMOUTH AVENUE

City/State/Zip: SAINT LOUIS, MISSOURI 63130

Date of Birth: 9/6/77

U. S. Citizen: YES

IN WITNESS WHEREOF, I hereunto set my hand and the seal of said Board of Election
Commissioners located in St. Louis County, Missouri, this 6 day of December,
2017.

Melissa Moore

Signature of Election Board Official

(Seal)

BOARD OF ELECTION COMMISSIONERS
725 Northwest Plaza Drive • Saint Ann, MO 63074 • PH 314/615-1800 •
FAX 314/615-1999 RelayMO 711 or 800-735-2966 • web http://
www.stlouisco.com/yourgovernment/elections

1 INTRODUCED BY COUNCIL AS A WHOLE
2 NOVEMBER 13, 2017

3
4 BILL NO. 9326 AS AMENDED ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING A ONE-TIME RETIREMENT**
7 **INCENTIVE OPPORTUNITY FOR EMPLOYEES WHO QUALIFY.**

8
9 Whereas the City of Florissant recognizes the work by our dedicated employees; and

10 Whereas the City of Florissant wants to provide upward mobility for employees; and

11 Whereas the City of Florissant wants to be fiscally responsible and reduce the number of
12 full-time positions as well as current salaries; and

13 Whereas the success of this program will require reduction in total full time workforce.

14
15 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
16 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
17

18 Section 1. As of December 1, 2017 any full time employee whose age plus years of
19 service equal 85 or more points, or who is age 55 or older with at least 15 years of service with
20 the city, who elects retirement must apply for retirement no later than February 1, 2018 with a
21 retirement date no later than May 31, 2018 and shall be entitled to a payment equal to 25% of
22 accrued sick time, with a maximum of 200 hours and shall elect one of the following options:
23

24 Option 1 : Shall be entitled to receive payment equal to 50% of their current salary as of
25 11/30/2017, with a minimum of \$25,000, payable in a lump sum or deposited tax
26 deferred into a 457 or similar plan, or
27

28 Option 2: Three years of paid Health Insurance premiums for the employee.
29

30 Section 2. A reduction in the overall work force will be facilitated according to the
31 following guidelines:
32

- 33 1. Positions vacated by retirement must remain open for a period of not less than
34 4 months unless the City Council waives this requirement for a particular
35 position by Resolution.
36 2. Positions deemed essential by the Mayor may require someone to be assigned
37 temporarily to assume those duties and those assigned will receive a
38 temporary salary increase of 10% of current salary while performing such
39 duties.
40 3. Positions deemed essential by the Mayor may be posted for hiring or
41 promotion effective at the end of the 4 month period.
42 4. If the position is filled through promotion, a vacated essential position arising
43 from the promotion must remain open for a period of not less than 4 months,
44 or be eliminated.

45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70

5. All non-essential positions vacated by retirement will be eliminated.

Section 3: This ordinance shall become in force and effect as of December 1, 2017.

Adopted this ____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

Approved this ____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCIL AS A WHOLE
2 NOVEMBER 13, 2017

3
4 BILL NO. 9326 AS AMENDED

ORDINANCE NO. 8366

5
6 **AN ORDINANCE AUTHORIZING A ONE-TIME RETIREMENT**
7 **INCENTIVE OPPORTUNITY FOR EMPLOYEES WHO QUALIFY.**
8

9 Whereas the City of Florissant recognizes the work by our dedicated employees; and

10 Whereas the City of Florissant wants to provide upward mobility for employees; and

11 Whereas the City of Florissant wants to be fiscally responsible and reduce the number of
12 full-time positions as well as current salaries; and

13 Whereas the success of this program will require reduction in total full time workforce.

14
15 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
16 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
17

18 Section 1. As of December 1, 2017 any full time employee whose age plus years of
19 service equal 85 or more points, or who is age 55 or older with at least 15 years of service with
20 the city, who elects retirement must apply for retirement no later than February 1, 2018 with a
21 retirement date no later than May 31, 2018 and shall be entitled to a payment equal to 25% of
22 accrued sick time, with a maximum of 200 hours and shall elect one of the following options:
23

24 Option 1 : Shall be entitled to receive payment equal to 50% of their current salary as of
25 11/30/2017, with a minimum of \$25,000, payable in a lump sum or deposited tax
26 deferred into a 457 or similar plan, or
27

28 Option 2: Three years of paid Health Insurance premiums for the employee.
29

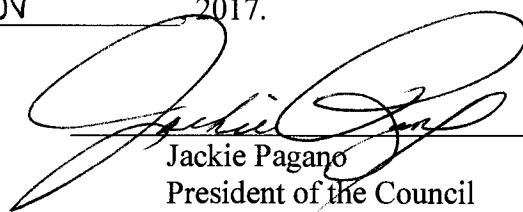
30 Section 2. A reduction in the overall work force will be facilitated according to the
31 following guidelines:
32

- 33 1. Positions vacated by retirement must remain open for a period of not less than
34 4 months unless the City Council waives this requirement for a particular
35 position by Resolution.
- 36 2. Positions deemed essential by the Mayor may require someone to be assigned
37 temporarily to assume those duties and those assigned will receive a
38 temporary salary increase of 10% of current salary while performing such
39 duties.
- 40 3. Positions deemed essential by the Mayor may be posted for hiring or
41 promotion effective at the end of the 4 month period.
- 42 4. If the position is filled through promotion, a vacated essential position arising
43 from the promotion must remain open for a period of not less than 4 months,
44 or be eliminated.

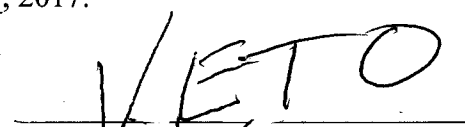
5. All non-essential positions vacated by retirement will be eliminated

Section 2: This ordinance shall become in force and effect as of December 1, 2017.

Adopted this 27 day of NOV 2017.


Jackie Pagano
President of the Council
City of Florissant

Approved this _____ day of _____, 2017.


Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

I HEREBY
VETO
ORDINANCE 8366
DETAILED VETO
MESSAGE ATTACHED
Ged
12-6-17



CITY OF FLORISSANT

Honorable Thomas P. Schneider, Mayor

December 6, 2017

MAYOR SCHNEIDER VETOES EARLY RETIREMENT BILL 9326

To the Florissant City Council, the Citizens of Florissant and the dedicated employees of our city,

Bill # 9326, referred to as the Retirement Incentive Opportunity Bill was passed as Ordinance #8366 and I am compelled to VETO it because it will seriously jeopardize this administration's ability to provide services to our residents. If this veto is overridden I will be obligated to report all disruptions of Florissant Municipal services caused by this ordinance to the Florissant public through the usual communication methods.

I have been in office approaching seven years and this is my third veto. I feel that the veto action should be used very sparingly and only when the Mayor feels that the City Council has made a grave error. My first veto was upheld. My second veto was made when I thought a bill was unlawful and a review of the action by the Missouri Attorney General's office validated my position. Both were in my first year in office so it has been over 6 years since I have been compelled to use this power.

The stated goals of Ordinance #8366, an ordinance authorizing a one-time retirement incentive opportunity for qualified employees, are articulated as:

- "...the success of this program will require (a) reduction in (the) total full-time workforce."
- "...all non-essential positions vacated by retirement will be eliminated."
- "...to be fiscally responsible and reduce the number of full-time positions..."

I am open to an intelligent discussion of a prudent early retirement incentive program. However, with any such program, there must be a well thought out rationale behind any offer and clearly stated goals to support such a program. In this case, the stated goals can be condensed into one thought, to create a "*reduction in the size of the work force*" regardless of the consequences.

I believe that there are more important goals and much better ways to achieve the goal of Bill 9326. A random, arbitrary and untargeted offer to which you have no idea what employees, in what departments, at what pay level, will respond seems to be lacking in the basic concept of taking responsibility for your actions as a member of the legislative body of this city. A reasoned, researched and studied position and corresponding action is far more preferable to relying on the luck of the draw which could take years to recover from.

CITY HALL 955 Rue St. Francois Florissant, MO 63031 314 / 921-5700 Fax: 314 / 921-7111 TDD: 314 / 839-5142	POLICE DEPARTMENT 1700 North Highway 67 Florissant, MO 63033 314 / 831-7000 Fax: 314 / 830-6045	PARKS DEPARTMENT #1 James J. Eagan Drive Florissant, MO 63033 314 / 921-4466 Fax: 314 / 839-7672	HEALTH DEPARTMENT #1 St. Ferdinand Drive Florissant, MO 63031 314 / 839-7654 Fax: 314 / 839-7656	MUNICIPAL COURT 1055 Rue St. Francois Florissant, MO 63031 314 / 921-3322 Fax: 314 / 839-7663
--	--	---	---	--

www.florissantmo.com

Given the stated goal to reduce the size of the workforce, it would be much more sensible to conduct a thoughtful and in-depth review of all city services and programs and then, based on that review, logically and judiciously determine where it would be most appropriate to reduce personnel in tandem with services.

It is my firm belief that a reduction in personnel in the manner proposed in Bill 9326 will definitely have a negative impact on the delivery of quality services to our residents. Having a rational discussion on what services are necessary and at what cost can then transition into a logical discussion of what services are absolutely necessary and those that may no longer be necessary. It is in this manner that a reduction in personnel, if that remains the goal after such a review, can best be accomplished.

The way this offer is structured, all positions must remain vacant for at least four months and only those positions deemed "essential" by the Mayor may be filled at the end of the four month period. This may work in some departments and for some positions in the field but for many positions with unique job responsibilities, education, knowledge and training requirements, this will certainly not work.

To address this onerous four month delay in hiring an essential replacement there is a provision in Bill 9326 for the City Council to waive the four month delay requirement for a particular position by adopting a specific Resolution to do so. Such activities on the part of the City Council are considered a deliberate attempt at an administrative action rather than legislative and such a breach of the separation of powers should be beyond the purview of the City Council and shunned by the electorate.

As the duly elected Mayor and Chief Executive Officer of this City I must protest! This is as an overreach on the part of the City Council departing from the legislative responsibilities you were elected to do and invading the administrative duties that the voters gave to my office. The Council has approved funding for certain positions as articulated through the budget process and that must remain the extent of their interaction.

In addition, there is a provision for the Mayor to assign an existing employee to assume the duties of a vacated position for a temporary salary increase of 10%. This makes an assumption, which is not necessarily true, that there would be an existing employee with the education, training, skills, and ability to assume the duties of another position while maintaining the duties and responsibilities of their present position. Absent that, the position would remain vacant for at least four months and there would be no opportunity for training or the exchange of information between the existing employee and the eventual replacement at any point in time or at any level of interchange.

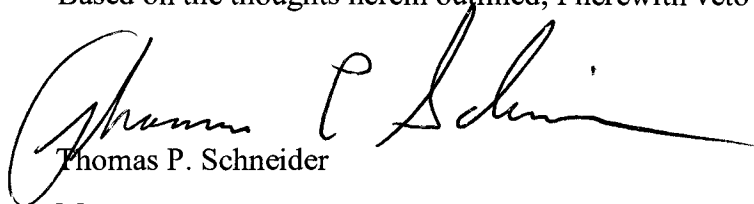
The employees being targeted by this proposal are the ones generally at an age and experience level that would have the most institutional knowledge, experience and training. With a mandatory minimum four month break in service, this invaluable, essential yet intangible asset would be lost. I understand that all employees will eventually leave, but under this program the possibility to pass along multiple careers worth of knowledge, wisdom and experience gained at our previous expense is lost forever!

I foresee a very difficult and extended transition period to get the compromised work force up to speed and this will almost certainly compromise service and our basic operations. The result will have a very negative effect on our ability to serve the citizens we represent especially in 2018. The Council will be held accountable by the electorate for any and all collateral damage this action causes to our ability to provide the services our citizens have come to expect from their City of Florissant.

Given the fiscal restraints facing the city as dictated by Council actions during the recent budget process, I understand where it is in the financial interest of the city to reduce expenses and to accomplish that goal a reduction in the work force could play a part. However, any such discussion of a reduction in the work force should be done very carefully as it will impact both the services the city offers and the morale of the remaining employees affected by any such staff reduction who continue to attempt to deliver services to our residents.

To leave such an action to blind chance seems reckless and an abdication of the Council responsibility to provide the best services to our residents that our resources allow. In the most serious manner I urge the Council to reconsider Bill 9326 and to instead endeavor to work with the Administration to craft a more reasoned approach to achieve staff reductions.

Based on the thoughts herein outlined, I herewith veto Ordinance #8366.



Thomas P. Schneider
Mayor

INTRODUCED BY COUNCIL AS A WHOLE
DECEMBER 11, 2017

RESOLUTION NO. 1000

**A RESOLUTION OF THE FLORISSANT CITY COUNCIL
ADOPTING THE ST. LOUIS REGIONAL ALL-HAZARD
MITIGATION PLAN (UPDATED 2015)**

WHEREAS the Florissant City Council recognizes the threat that natural hazards pose to people and property within the Florissant City Council ; and

WHEREAS the Florissant City Council has participated in the preparation of a multi-hazard mitigation plan, hereby known as the *St. Louis Regional All-Hazard Mitigation Plan (Updated 2015)*, hereafter referred to as the *Plan*, in accordance with the Disaster Mitigation Act of 2000; and

WHEREAS the *Plan* identifies mitigation goals and actions to reduce or eliminate long-term risk to people and property of the Florissant City Council from the impacts of future hazards and disasters; and

WHEREAS the Florissant City Council recognizes that land use policies have a major impact on whether people and property are exposed to natural hazards, the City of Florissant will endeavor to integrate the *Plan* into the comprehensive planning process and

WHEREAS adoption by the Florissant City Council demonstrates their commitment to hazard mitigation and achieving the goals outlined in the *Plan*

NOW THEREFORE, BE IT RESOLVED BY THE CITY OF FLORISSANT, in the State of Missouri, THAT:

Section 1. The Florissant City Council hereby adopts the *Plan* to reduce or eliminate long-term risk to people and property in the Florissant City Council from the impacts of future hazards and disasters.

ATTEST:

Jackie Pagano, Council President

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 DECEMBER 11, 2017

3
4 BILL NO. 9339

ORDINANCE NO.

5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26

**ORDINANCE AUTHORIZING AN AMENDMENT TO B-5
ORDINANCE NO. 6836 TO ALLOW FOR AN ADDITION OF THE
SITEMAN CANCER CENTER AND PARKING IN AN EXISTING B-5
ZONING DISTRICT LOCATED AT 1225 GRAHAM ROAD.**

WHEREAS ordinance no. 6836 was adopted on March 10th, 2003 approving a B-5
Planned Commercial Development for the property at 1225 Graham Road; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has
recommended to the City Council at their meeting of November 20, 2017 that Ordinance No.
6836 be amended to allow for the addition of a new building on the B-5 development located at
1225 Graham Road; and

WHEREAS, Ordinance no. 6836 was amended by ordinance nos. 7647 & 7674 to allow
for additions to the existing building; and

WHEREAS, due and lawful notice of public hearing no. 17-12-029 on said proposed
change was duly published, held and concluded on 11th day of December, 2017 by the Council
of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful
deliberation, has concluded that the amendment of Ordinance No. 6836, as hereinafter set forth,
to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Ordinance No. 6836 heretofore granted to Northwest Healthcare for a B-5
Planned Commercial District Development is hereby amended to allow for an additional building
within the existing B-5 development in accordance with the plans attached hereto and made a
part hereof as if fully set out herein, subject to the attached plans label as: CO.10, CO.20 and
CO.30 dated 10/6/17 by Stock & Associates, A501 & A502 dated 10/31/17 by Archimages,
L1.10 & L7.10 dated 10/31/17 by DG2, Color Renderings.

Section 2: Except as herein amended Ordinance No. 6836 shall remain in full force and
effect.

39 Section 3: This ordinance shall become in full force and effect immediately upon its
40 passage and approval.

41
42 Adopted this _____ day of _____, 2017.

43
44 _____
45 Jackie Pagano
46 President of the Council

47
48 Approved this _____ day of _____, 2017.

49
50 _____
51 Thomas P. Schneider.
52 Mayor, City of Florissant

53
54 ATTEST:

55 _____
56 Karen Goodwin, MMC, MRCC
57 City Clerk
58
59

1 INTRODUCED BY COUNCILMAN EAGAN
2 DECEMBER 11, 2017

3
4
5 BILL NO. 9340

ORDINANCE NO.

6
7 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO ABDEEN, LLC**
8 **D/B/A SAHARA MEDITERRANEAN GRILL TO ALLOW FOR THE**
9 **OPERATION OF A RESTAURANT IN A B-3 ZONING DISTRICT FOR THE**
10 **PROPERTY LOCATED AT 472 HOWDERSHELL ROAD.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a restaurant; and

14 WHEREAS, an application has been filed by Abdeen, LLC d/b/a Sahara Mediterranean Grill for
15 the property located at 472 Howdershell Road for the location and operation of a restaurant; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of
17 November 20TH, 2017 has recommended that the said Special Use Permit be granted; and

18 WHEREAS, due notice of a public hearing no. 17-12-030 said application to be held on the 11th
19 day of December, 2017 at 7:30 P.M. by the Council of the City of Florissant was duly published, held
20 and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful consideration,
22 has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best
23 interest of the City of Florissant.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26
27 Section 1: A Special Use Permit is hereby granted to Abdeen, LLC d/b/a Sahara Mediterranean
28 Grill to allow for the operation of a restaurant located at 472 Howdershell Rd. for the location and
29 operation of a restaurant with the following additional requirements:

- 30 1) Occupant load limited to 15.

31
32 **2. PROJECT COMPLETION.**

33
34 Construction shall start within 30 days of the issuance of building permits and the structure
35 shall be completed in accordance with the plans within 120 days of start of construction.

37 Section 2: When the named permittee discontinues the operation of said business, the Special
38 Use Permit herein granted shall no longer be in force and effect.

39 Section 3: This ordinance shall become in force and effect immediately upon its passage and
40 approval.

41

42

43 Adopted this _____ day of _____, 2017.

44

45

46

47

Jackie Pagano
President of the Council
City of Florissant

48

49

50

51 Approved this _____ day of _____, 2017.

52

53

54

55

Thomas P. Schneider
Mayor, City of Florissant

56

57

58

59 ATTEST:

60

61

Karen Goodwin, MMC/MRCC
City Clerk

62

63

1 INTRODUCED BY COUNCILMAN SIAM
2 DECEMBER 11, 2017

3
4 BILL NO. 9341

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE TRANSFER OF SPECIAL USE PERMIT**
7 **NO. 7592 FROM GAMVIL, INC. D/B/A LITTLE CAESARS PIZZA TO**
8 **THE BECK GROUP LLC D/B/A LITTLE CAESARS PIZZA LOCATED**
9 **AT 2632 N. HWY 67 FOR THE OPERATION OF A CARRY-OUT**
10 **RESTAURANT.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of a restaurant; and

15 WHEREAS, pursuant to Ordinance No. 7592 Gamvil, Inc. d/b/a Little Caesars Pizza
16 was granted a Special Use Permit for the location and operation of a restaurant on the property
17 known as 2632 N. Hwy 67; and

18 WHEREAS, an application has been filed by the Beck Group LLC d/b/a Little Caesars
19 Pizza to transfer the Special Use Permit authorized by Ordinance No. 7592 to its name; and

20 WHEREAS, the City Council of the City of Florissant determined at its meeting on
21 December 11, 2017 that the business operated under Ordinance No. 7592 would be operated in a
22 substantially identical fashion as set out herein; and

23 WHEREAS, The Beck Group, LLC has accepted the terms and conditions set out in
24 Ordinance No. 7592.

25 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
26 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

27
28 Section 1: The Special Use Permit authorized by Ordinance No. 7592 is hereby
29 transferred from Gamvil, Inc. d/b/a Little Caesars Pizza to the Beck Group LLC d/b/a Little
30 Caesars Pizza located at 2632 N. Hwy 67 for the operation of a carry-out restaurant.

31 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
32 7592 shall remain in full force and effect.

33 Section 3: The Special Use Permit herein authorized shall terminate if the restaurant
34 ceases operation for a period of more than ninety (90) days or when the named permittee ceases
35 to be the owner and operator of the restaurant.

36 Section 4: This ordinance shall become in force and effect immediately upon its passage
37 and approval.

38

39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59

Adopted this ____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

Approved this ____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk