



**FLORISSANT CITY COUNCIL AGENDA**  
City Hall  
955 rue St. Francois  
Monday, September 22nd, 2014  
7:30 PM  
Karen Goodwin, MMC/MRCC



**I. PLEDGE OF ALLEGIANCE**

**II. ROLL CALL OF MEMBERS**

**III. APPROVAL OF MINUTES**

- Meeting Minutes and Executive Meeting Minutes of September 8th , 2014

**IV. PROCLAMATION**

- National Assisted Living Week 2014

**V. MAYOR'S BUDGET MESSAGE**

**VI. HEARING FROM CITIZENS**

(Speaker cards are available at the entrance to the Council Chambers)

**VII. COMMUNICATIONS**

**VIII. PUBLIC HEARINGS**

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14-09-024 Application Staff Rpt Plans	Request To issue an amendment for Burger King to B-5 Ordinance No. 5307 (as amended) to allow for the remodel of an existing business located at 8411 N. Lindbergh with sign changes.	Charlene Vossenkemper James Brinkmeyer
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14-09-025 Application Staff Rpt Ordinances Plans	Request to issue an amendment for Mission Hills Development d/b/a GMT Auto Sales to B-5 Ordinance No. 6166 (as amended), by rescinding Special Use Ordinance No. 7550, (as amended) located at 365 N. Highway 67 and B-5 Ordinance No. 5877 (as amended) located at 620 Charbonier and consolidating 225 and 365 N. Highway 67 and 620 and 624 Charbonier into one car leasing establishment and allowing for signage.	Joe Dale
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**IX. OLD BUSINESS**

**A. SECOND READINGS**

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9027 Application Staff Rpt Plans	Ordinance authorizing an amendment to Special Use Permit No. 2027 as amended to allow for remodeling for the property located at 4595 Washington.	Pagano
9029  Memo	Ordinance authorizing an appropriation of \$325,000 from the Park Improvement Fund to Account No. 0961 “Capital Additions” for the replacement of the ball field lights and light poles on Field #1 and #2 in St. Ferdinand Park.	Eagan

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**X. NEW BUSINESS**

**A. BOARD APPOINTMENTS**

**B. RESOLUTIONS**

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974 Memo	Resolution of the City of Florissant supporting a grant application to replace the tennis courts at Tower Court Park.	Council as a whole
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**C. REQUESTS**

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Ward 9  Application	Request for the transfer of an Existing, Non-Conforming Special Use Permit from Druce Kramer d/b/a Cut Rate Liquor to Cut Rate Liquor Enterprises, LLC d/b/a Cut Rate Liquor for the operation of a Package Liquor store located at 2162-64 N. Waterford.	Jimmie Brown
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**D. BILLS FOR FIRST READING**

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9030 Application	Ordinance authorizing the transfer of an Existing, Non-Conforming Special Use Permit from Druce Kramer d/b/a Cut Rate Liquor to Cut Rate Liquor Enterprises, LLC d/b/a Cut Rate Liquor for the operation of a Package Liquor store located at 2162-64 N. Waterford.	Hernandez
9031 Application Staff Rpt Plans	Ordinance authorizing an amendment for Burger King to B-5 Ordinance No. 5307 (as amended) to allow for the remodel of an existing business located at 8411 N. Lindbergh with sign changes.	Eagan
E9032 Agreement	Ordinance approving a Settlement Agreement with Centurylink, Inc; Centurytel of Missouri, LLC D/B/A Centurylink; Centurytel Long Distance, LLC D/B/A Centurylink Long Distance; Embarq Missouri, Inc. and the City Of Florissant, Missouri	Council as a whole
9033 Memo	Ordinance approving an appropriation of a total of \$99,200 from the General Revenue Fund, \$80,000 to account no. 4910 “Salaries – Police” and \$19,200 to account no 4913 “Benefits – Police” to fund additional overtime for the Police Department.	Eagan

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**XI. COUNCIL ANNOUNCEMENTS**

**XII. MESSAGE FROM THE MAYOR**

**XIII. ADJOURNMENT**

**Please Note: The regular meeting now begins at 7:30 pm.**

**THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL ON SEPTEMBER 19TH, 2014 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK’S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, SEPTEMBER 22nd, 2014.**

# CITY OF FLORISSANT



## COUNCIL MINUTES

September 8, 2014

The Florissant City Council met in regular session at Florissant City Hall at 955 rue St. Francois on Monday, September 8th, 2014 at 7:30 p.m. with Council President Joseph Eagan presiding. The Chair asked everyone in attendance to stand and join in the Pledge of Allegiance.

On Roll Call the following were present: Jones, Eagan, Caputa, Schildroth, Pagano, Schmidt, Hernandez and Lee. Councilman Henke was excused. Also present was Mayor Thomas P. Schneider, City Attorney John Hessel and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council meeting was in session for the transaction of business.

Councilman Jones moved to approve the Meeting Minutes of 8/25/2014 and Work Session minutes of 8/18/14, seconded by Lee. Motion carried.

The next item on the Agenda was *Hearings from Citizens*.

1. Kevin O'Donnell, 512 Rancho Lane, questioned the decisions regarding additional personnel discussed in the work session as well as the use of the iPads by Council members. He also asked if the community forums that are planned will be a question and answer type of format.

The next item on the Agenda was *Communications* of which there were none.

The next item on the agenda was *Public Hearings*.

The City Clerk reported that Public Hearing #14-09-021 to be held this night on a request to amend Special Use Permit 2027 as amended to allow for remodeling for the property located at 4595 Washington had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.



33 Michael Shea, 2727 Sutton Blvd. representing Jack in the Box was present to  
34 discuss the plans to remodel Jack in the Box located at 4595 Washington. There will be  
35 a small addition of 298 sq. ft. for additional storage. No changes in the drive-through  
36 lane or parking. He showed the elevations and site plans to the City Council. Mr. Shea  
37 stated that the brick would remain and they were updating to the new corporate image.  
38 The hours of operation would not be changing.

39 Kevin O'Donnell, 512 Rancho Lane, asked if the restrooms would be the same.  
40 Mr. Shea said there would be no changes to the restrooms.

41 The Chair asked if there were any other citizens who would like to speak on said  
42 public hearing. Being no other persons who wished to speak, Councilman Schmidt  
43 moved to close P.H. #14-09-021, seconded by Caputa. Motion carried.

44 The City Clerk reported that Public Hearing #14-09-023 to be held this night on  
45 a request to authorize a Special Use Permit to Joseph Doyle d/b/a Specialty Trim to  
46 allow for the operation of a vehicle window tinting business for the property located at  
47 1195 Lafayette had been advertised in substantially the same form as appears in the  
48 foregoing publication and by posting the property. The Chair declared the Public  
49 Hearing to be open and invited those who wished to be heard to come forward.

50 Joseph Doyle, 1365 Navaho Lane, stated that he was looking for approval  
51 of a Special Use Permit for a Window Tinting Business at 1195 Lafayette. This address  
52 is in the same physical building as his current business, however, this bay has a different  
53 address which is why he has to apply for a new special use.

54 The Chair asked if there were any other citizens who would like to speak on said  
55 public hearing. Being no other persons who wished to speak, Councilman Schildroth  
56 moved to close P.H. #14-09-023, seconded by Eagan. Motion carried

57 Councilman Eagan moved that Bill No. 9023 Ordinance authorizing a transfer of  
58 \$1,500 from Account no. 5-06-2300 "Postage and Printing" to account no. 5-06-3200  
59 "Office Supplies" for additional printer supplies for the Golf Course be read for a  
60 second time, seconded by Lee. Motion carried and Bill No. 9023 was read for a second  
61 time. Councilman Caputa moved that Bill No. 9023 be read for a third time, seconded  
62 by Eagan. Motion carried and Bill No. 9023 was read for a third and final time and  
63 placed upon its passage. Before the final vote all interested persons were given an

64 opportunity to be heard. Seeing none. On roll call the Council voted: Jones yes, Eagan  
65 yes, Caputa yes, Schildroth yes, Henke absent, Pagano yes, Schmidt yes, Hernandez yes  
66 and Lee yes. Whereupon the Chair declared Bill No. 9023 to have passed and said Bill  
67 became Ordinance No. 8071.

68 Councilman Schmidt moved that Bill No. 9026 Ordinance Amending Section  
69 505.060 “International Plumbing Code” of the Municipal Code of Florissant by deleting  
70 Subsection (B) (6) “Section 605 Materials, Joints And Connections” to allow for the use  
71 of plastic water supply piping be read for a second time, seconded by Jones. Motion  
72 carried and Bill No. 9026 was read for a second time. Councilwoman Pagano moved  
73 that Bill No. 9026 be read for a third time, seconded by Hernandez. Motion carried and  
74 Bill No. 9026 was read for a third and final time and placed upon its passage. Before the  
75 final vote all interested persons were given an opportunity to be heard. Seeing none. On  
76 roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke  
77 absent, Pagano yes, Schmidt yes, Hernandez yes and Lee yes. Whereupon the Chair  
78 declared Bill No. 9026 to have passed and said Bill became Ordinance No. 8072.

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80 The next item on the agenda was *Board Appointments*.

81 Councilman Hernandez moved to accept the Mayor’s re-appointment of Don  
82 Kohlman, 1310 Verlene to the Veteran’s Commission as a member from Ward 1 for a  
83 term expiring 9/26/17, seconded by Caputa. Motion carried.

84 Councilman Hernandez moved to accept the Mayor’s re-appointment of Robert  
85 (Dale) Devine, 1110 Flordawn to the Veteran’s Commission as a member from Ward 3  
86 for a term expiring 9/26/17, seconded by Caputa. Motion carried

87 Councilman Schildroth moved to accept the Mayor’s appointment of Andrea  
88 Purnell, 4015 Woodcrest to the Disability Awareness Commission as a member from  
89 Ward 9 for a term expiring 9/8/17, seconded by Eagan. Motion carried

90 The next item on the agenda was *Requests*

91 Councilman Schildroth moved to approve a Request for an Animal Permit to  
92 keep four (4) hens for Matthew and Maria Byers located at 1535 Beta Drive, seconded  
93 by Caputa, motion carried. The Chair stated that the animal permit was approved.

94 Councilman Hernandez moved to approve a request for a Full Package Liquor  
95 license for Jimmie L. Brown d/b/a Cut Rate Enterprises LLC located at 2162-64 N.  
96 Waterford, seconded by Jones. On roll call the Council voted: Jones yes, Eagan yes,  
97 Caputa yes, Schildroth yes, Henke absent, Pagano yes, Schmidt yes, Hernandez yes and  
98 Lee yes. The Chair stated that the Liquor License was approved.

99 Councilman Eagan introduced Bill No. 9027 Ordinance authorizing an  
100 amendment to Special Use Permit No. 2027 as amended to allow for remodeling for the  
101 property located at 4595 Washington and said Bill was read for the first time by title  
102 only.

103 Councilman Eagan introduced Bill No. 9028 An Ordinance authorizing a  
104 Special Use Permit to Joseph Doyle d/b/a Specialty Trim to allow for the operation of a  
105 vehicle window tinting business for the property located at 1195 Lafayette and said Bill  
106 was read for the first time. Councilwoman Pagano moved that Bill No. 9028 be read  
107 for a second time, seconded by Lee. Motion carried and Bill No. 9028 was read for a  
108 second time. Councilwoman Pagano moved that Bill No. 9028 be read for a third  
109 time, seconded by Hernandez. On roll call the Council voted: Jones yes, Eagan yes,  
110 Caputa yes, Schildroth yes, Henke absent, Pagano yes, Schmidt yes, Hernandez yes and  
111 Lee yes. Having received the unanimous vote of all members present Bill No. 9028  
112 was read for the third and final time and placed upon its passage.

113 Before the final vote all interested persons were given an opportunity to be  
114 heard. Seeing none. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes,  
115 Schildroth yes, Henke absent, Pagano yes, Schmidt yes, Hernandez yes and Lee yes.  
116 Whereupon the Chair declared Bill No. 9028 to have passed and said Bill became  
117 Ordinance No. 8073.

118 Councilman Eagan introduced Bill No. 9029 Ordinance authorizing an  
119 appropriation of \$325,000 from the Park Improvement Fund to Account No. 0961  
120 “Capital Additions” for the replacement of the ball field lights and light poles on Field  
121 #1 and #2 in St. Ferdinand Park and said Bill was read for the first time by title only.

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The next item on the Agenda was Council Announcements.

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Councilman Jones thanked everyone for looking out for the elderly and pets during the recent heat wave.

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Councilman Schildroth announced on Saturday, September 15, Northwest Healthcare will be celebrating their 10 year anniversary. There will be free health screening, food and games. He thanked Mayor Lowery for leading the charge to keep Northwest Healthcare in Florissant.

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Councilman Caputa stated that September is National Preparedness Month. He brought some handouts to help to put a kit together to prepare for a disaster.

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Councilman Lee stated that New Life Baptist Church on 1185 Shackelford Rd. will be having a free eye care clinic on Saturday, September 13<sup>th</sup>, from 10-2. 15 years or older.

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Councilman Eagan announced that September 29<sup>th</sup>, the annual Florissant Police Welfare Association Golf Tournament will be held at the Florissant Golf Course. Contact Capt. Boden at the Florissant Police Dept. He also announced that on October 25<sup>th</sup> there will be a Race to the Shrine, walk/run.

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The next item on the Agenda was Mayor Announcements.

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Mayor Schneider stated that the City had a prestigious visit on August 26<sup>th</sup> from Arch Bishop Jordan from Rheims France. He visited St. Ferdinand Shrine.

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A plaque for the Walk of History was dedicated to Dick Weber on September 2<sup>nd</sup>. The next person to be honored on the Walk of History is Charlotte Ballard. She will be the 2<sup>nd</sup> female honored for her community service.

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Thursday, September 11<sup>th</sup>, there will be a 911 ceremony at the VFW at 7pm. He invited the public to come and pay their respects and reflect on the sacrifice those in uniform make every day.

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Also on September 11<sup>th</sup> at 7:00 pm at City Hall, there will be a public hearing for the Community Development Block Grant.

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On Saturday, September 13<sup>th</sup>, from 10 am to 2pm there will be a Job Fair at Florissant Valley Community College.

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The annual Senior Town Hall meeting is scheduled for Thursday, September 18<sup>th</sup> at the James J. Eagan Center at 9:00 am.

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156                            On September 18<sup>th</sup> in the evening there will be a community forum also at the  
157 James J. Eagan Center at 7:00pm. There will be another community forum on  
158 September 25<sup>th</sup> at 7pm at the John F. Kennedy Center.

159                            The next City Council Meeting is scheduled for September 22, 2014 at 7:30pm.

160                            Councilman Hernandez moved to adjourn the meeting, seconded by Lee. Motion  
161 carried. The meeting was adjourned at 8:06 p.m.

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166                            The following Bills were signed by the Mayor:

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168                            Bill No. 9023                            Ord. No. 8071

169                            Bill No. 9026                            Ord. No. 8072

170                            Bill No. 9028                            Ord. No. 8073

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Karen Goodwin, City Clerk

**CITY OF FLORISSANT**  
**CITY COUNCIL**  
**OPEN EXECUTIVE SESSION**

September 8, 2014



The City Council of the City of Florissant met in open Executive session on Monday September 8, 2014 at 7:00 pm. in the Council Chambers at 955 rue St. Francois, with President Eagan presiding. On Roll Call the following Council members were present: Schildroth, Jones, Schmidt, Eagan, Caputa, Pagano. Lee and Hernandez. Henke was excused. Also present were Mayor Thomas Schneider, City Clerk Karen Goodwin and City Attorney John Hessel.

Council President Eagan stated that the first and only item on the agenda was the discussion of the appropriation for ball field lighting that was on the regular agenda for the evening.

Tim Barrett, City Engineer and Todd Schmidt, Parks and Recreation Director were present. Mr. Barrett discussed the need for the appropriation and the steps that were taken to arrive at an estimate for the request. He said that this request was for Phase 2 of the lighting project because Phase 1 is nearly completed. He stated that the lighting system, when finished, would be run remotely.

Mr. Schmidt stated that they had received a quote for Phase 2, which is where the \$325,000 request came from.

Councilman Eagan asked about the shelf life of the new system. Mr. Barrett answered that the metal poles should last for approximately 50 years, while the lights are guaranteed for 25 years.

Councilman Caputa asked if the contractor subcontracted the work or did the work. Mr. Barrett stated that the work is done by the company and not contracted out.

There being no further business to discuss Councilwoman Pagano motioned to adjourn, seconded by Hernandez. Motion carried and the meeting adjourned at 7:06 pm.

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Karen Goodwin  
City Clerk

**WHEREAS;** The number of elderly and Americans with disabilities is dramatically increasing; and

**WHEREAS;** Assisted living is a long term care service that fosters choice, dignity, independence and autonomy in our elderly nationwide; and

**WHEREAS;** The National Center for Assisted Living proudly created National Assisted Living Week® to demonstrate how much we care for our residents and appreciate the staff members that deliver care every day; and

**WHEREAS;** The theme of National Assisted Living Week® 2014— “The Magic of Music”—highlights the healing effect music can have on individuals living with dementia, such as Alzheimer’s disease; and

**WHEREAS;** Almost 40 percent of assisted living residents have some type of dementia.

**NOW, THEREFORE, I, Thomas P. Schneider, Mayor of the City of Florissant, do hereby proclaim the week of September 7 -13, 2014 as National Assisted Living Week® in the City Of Florissant. I urge all citizens to visit friends and loved ones who reside at these communities and to learn more about how assisted living services benefit our communities.**

**In Witness Whereof I hereunto Set  
My Hand And Cause To Be Affixed  
The Seal Of The City Of  
Florissant, Missouri, this 22nd day  
of September 2014.**

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**Mayor**

## **CITY OF FLORISSANT**



### **PUBLIC HEARING NOTICE**

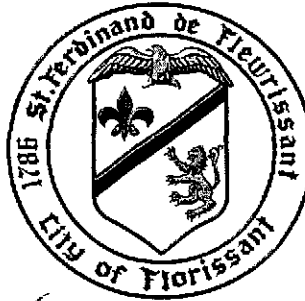
**Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 22nd, 2014 at 7:30 P.M. on the following proposition, to wit:**

**To issue an amendment for Burger King to B-5 Ordinance No. 5307 (as amended) to allow for the remodel of an existing business located at 8411 N. Lindbergh with sign changes. Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.**

**Karen Goodwin, MMC City Clerk.**



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN. [Signature] DATE: 9-2-14

City Of Florissant - Public Works  
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

ADDRESS OF PROPERTY: 8411 N. Lindbergh DBA (Doing Business As) Burger King  
Florissant, MO 63031  
BUSINESS OWNER'S NAME & ADDRESS B Florissant Restaurant Group LLC

Same As Above PHONE NO: 314-872-9235

Enter legal name of business such as; individual, corporation, partnership or LLC

cell-314-651-9205 Charlene VossenKemper BMB Management Group LLC  
AUTHORIZED AGENT'S NAME: James W. Brinkmeyer COMPANY NAME: Crosskeys Rest. Group LLC  
(Authorized Agent to Appear Before The Commission)

AGENT'S ADDRESS: 11854 Lackland Rd. PHONE NO: 314-872-9235  
St Louis, mo 63146

REQUEST: Remodel existing Burger King cell  
(Last Re-Build 1991) Amend B5 Ord. # 5307 as amended by  
State complete request (print or type only). #5389 in a B-5 zoning District + 128.26 sq. ft. wa

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]  
Applicant's Signature

8/26/2014  
Date

Received by: al. Receipt # 581433 OFFICE USE ONLY Amount Paid: 125.00 Date: 8/26/14

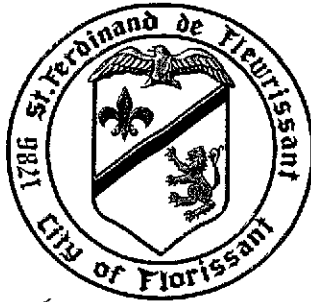
STAFF REMARKS: \_\_\_\_\_

COMMISSION ACTION TAKEN:

8/21/14  
DATE APPLICATION REVIEWED  
[Signature]  
SIGNATURE OF STAFF WHO REVIEWED APPLICATION  
Planning & Zoning Application  
Page 1 of 1 - Revised 3/26/10

APPROVED  
PLANNING & ZONING  
CHAIRMAN  
SIGN. X DATE: X

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DEVELOPMENT OR TO AMEND AN EXISTING B-5 COMMERCIAL DEVELOPMENT**



**RECOMMENDED APPROVAL**  
**PLANNING & ZONING**  
**CHAIRMAN**

SIGN: *Paul For*

DATE: *9-2-14*

City Of Florissant – Public Works  
 314-839-7648

**PLANNING & ZONING ACTION:**

**APPROVED**  
**PLANNING & ZONING**  
**CHAIRMAN**

SIGN: *[Signature]*

DATE: *[Blank]*

Address of Property: *8411 N. Lindbergh*

Council Ward *3* Zoning \_\_\_\_\_

Initial Date Petitioner Filed \_\_\_\_\_

**Building Commissioner to complete ward, zone & date filed** *5307.*

Petition to Establish a B-5 Ordinance: \_\_\_\_\_  Petition to Amend Existing B-5 Ordinance # *5384*

1) Comes Now *Florissant Restaurant Group LLC DBA Burger King*  
 (Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property *Burger King Corporation*

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned *.9*
- 2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for *Burger King Restaurant*  
**State current use of property, (or, state: vacant).**

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:

Remodel Restaurant.  
List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME JAMES W. BRINKMEYER  
Print Name

PETITIONER(S) SIGNATURE (S) [Signature]

FOR Florissant Restaurant Group LLC DBA Burger King  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):  
 I (we) have a legal interest in the herein above described property.  
 I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE [Signature] James W. Brinkmeyer

ADDRESS 11854 LACKLAND RD St. Louis, Mo 63146  
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314-872-9235  
BUSINESS

I (we) the petitioner (s) do hereby appoint \_\_\_\_\_ as  
Print name of agent.  
my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual:  Partnership:  Corporation:

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners A) James W. Brinkmeyer 2714 Quail Valley Dr. St. Louis, MO 63005  
B) Vincent Mancuso 2768 Quail Valley Dr. St. Louis, MO 63005  
C) Cutler BC Investments, LLC 155 Revere Northbrook IL 60062
- (2) Telephone numbers A) 314-482-5626 B) 314-440-7700 C) 847-656-8808
- (3) Business address 11854 Lackland Rd. St. Louis, MO. 63146
- (4) State of Incorporation & a photocopy of incorporation papers Missouri
- (5) Date of Incorporation 10/18/2013
- (6) Missouri Corporate Number LC1350024 46-3878722
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Florissant Restaurant Group LLC
- (8) Name in which business is operated Florissant Restaurant Group LLC  
DBA Burger King
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Florissant Restaurant Group LLC DBA Burger King  
Address 8411 N. Lindbergh Florissant mo 63031  
Property Owner Burger King Corporation  
Location of property 8411 N. Lindbergh  
Dimensions of property 150' x 250' = 37500 sf.  
Property is presently zoned B-5 per ordinance # 5384 / 5307  
Current & Proposed Use of Property Commercial (Burger King)  
Type of Sign ROAD Sign Height 35'  
Type of Construction Brick/Wood Number Of Stories 1  
Square Footage of Building 3500 sf Number of Curb Cuts 2  
Number of Parking Spaces 34 Sidewalk Length 116  
Landscaping: No. of Trees 27 Diameter saplings to 75'  
No. of Shrubs 60 Size \_\_\_\_\_  
Fence: Type N/A Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:**

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

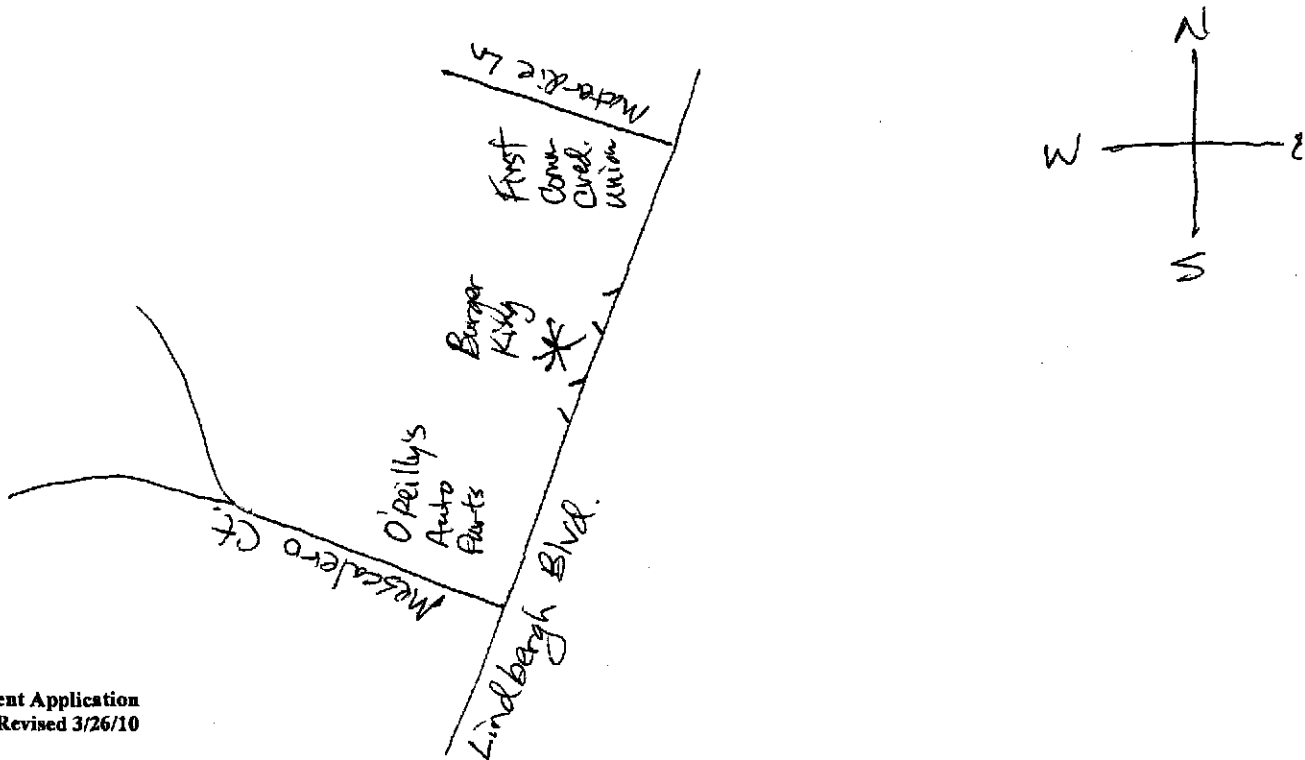
(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

This is a single lot located along the west side of Lindbergh Blvd at 8411. Lies between Materdie Ln and Mescalero Ct. and between O'Reilly's Auto Parts and First Community Credit Union. This parcel of ground is 150' wide by 250' deep (approximately 37,500 s.f. or .86 acres). The current Burger King Restaurant Building was constructed during 1991. St. Louis County Record Locator # 08K520735.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection or include on plans.



**8411 N. LINDBERGH**

**ORDINANCES - #5307 & #5384**

INTRODUCED BY COUNCILMAN SCHNEIDER  
November 25, 1991

SUBSTITUTE BILL NO. 6124 (AS AMENDED)

ORDINANCE NO. 5307

**AN ORDINANCE AMENDING APPENDIX B OF THE FLORISSANT CITY CODE, THE ZONING ORDINANCE, AS AMENDED, BY ADDING THERETO THE FOLLOWING DESCRIBED PROPERTY KNOWN AS BURGER KING, 8411 N. LINDBERGH, AS A B-5 PLANNED COMMERCIAL DISTRICT DEVELOPMENT, UNDER THE ORDINANCES OF THE CITY OF FLORISSANT.**

WHEREAS, Appendix B of the Florissant City Code, known as the Zoning Ordinance of the City Code of the City of Florissant, as set out in Ordinance No. 1625, as amended, provides for the establishment of a B-5 Planned Commercial District; and

WHEREAS, an application has been filed by the Burger King Corporation for rezoning and development as a B-5 Planned Commercial District, a tract of land hereinafter described, which tract of land is presently zoned as a B-3 District; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that such rezoning and development as a B-5 Planned Commercial District be approved by the Florissant City Council subject to certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 28th day of October, 1991 was published and such hearing was duly opened and concluded on such date; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the rezoning of the property hereinafter described as a B-5 Planned Commercial District would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Zoning Code of the City of Florissant, as heretofore amended, is hereby further amended, with respect to certain property heretofore zoned as B-3 District, to establish a B-5 Planned Commercial District, for the location and development of a planned commercial development, on the following described



property:

Lot B of "Anderson Subdivision" as recorded in Plat Book 124, Page 19 of the St. Louis County Records and containing 0.9 acres± (8411 N. Lindbergh)

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised and depicted on the Preliminary Development Plan entitled "Site Plan" dated 5/17/91, and revised 9/24/91, and attached hereto as Exhibit "A", which plan, except as otherwise provided herein, is hereby approved, adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

#### 1. PERMITTED USES

The use permitted in the B-5 Planned Commercial District shall be limited to a restaurant facility with sit-down, drive-thru and carry-out service (between the hours of 6:00 a.m. to midnight on Sunday through Thursday and between the hours of 6:00 a.m. to 2:00 a.m. on Friday and Saturday). No other use shall be authorized unless otherwise approved by amendment of this ordinance.

#### 2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

- a. Total gross floor area of the building shall not exceed 4500 square feet. The building will have a drive-thru facility with a minimum area for stacking to accommodate thirteen (13) vehicles.
- b. The building shall be one story with a maximum height of the building to be 15' 6" above the top of the slab. The construction shall be brick with glass and anodized aluminum in accordance with the rendering attached hereto and incorporated by reference herein as Exhibit "B".

#### 3. PERFORMANCE STANDARDS

Uses within the B-5 Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance.

#### 4. PLAN SUBMITTAL REQUIREMENTS

Within twelve months of the effective date of this ordinance, and prior to issuance of any building or occupancy permit, the petitioner shall submit the Final Site Development Plan to the Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance. Where due cause is shown by the developer, this time interval may be extended by the Planning & Zoning Commission.

## 5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA

The above Final Site Development Plan shall include the following :

- ✓ a. Location and size, including height of the building and structure, landscaping and general use of the building.
- ✓ b. Gross square footage of buildings.
- ✓ c. Existing and proposed roadways, drives, curbcuts and sidewalks on and adjacent to the property in question.
- ✓ d. Location and size of parking areas and internal drives.
- ✓ e. Building and parking setbacks.
- ✓ f. Existing and proposed contours at intervals of not more than two (2) feet.
- ✓ g. Preliminary stormwater and sanitary sewer facilities.
- ✓ h. Any and all items required by the Flood Plain Development Permit.

## 6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

✓ a. Structure Setbacks.

No building or structure, excluding retaining walls, light standards, fences, and authorized freestanding business signs and identification signs shall be located within forty (40) feet of the right-of-way of N. Highway 67 (Lindbergh Blvd). The setbacks shall be as approved by the Planning and Zoning Commission.

✓ b. Parking, Loading and Internal Drives Setbacks.

- ✓ 1. All off street parking and loading space, consisting of thirty-six (36) parking spaces, included two (2) handicapped parking spaces, shall be provided for as depicted on the Preliminary Development Plan dated 5/17/91, revised 9/24/91, and attached hereto and marked Exhibit "A". The parking spaces shall be 9' x 20'.
- ✓ 2. All of the setbacks shall be approved by the Planning and Zoning Commission.
- ✓ 3. The external drive lanes shall be 24' wide.

✓ c. Minimum Parking/Loading Space Requirements.

Parking requirements shall be as required by Section 17 of the Florissant Zoning Ordinance, including thirty-six (36) parking spaces, which includes two (2) handicapped parking spaces.

✓ d. Access and Sidewalks.

A sidewalk adjacent to N. Hwy. 67 (Lindbergh) shall be constructed with handicap access. Access points, sidewalks and driveway construction in the right-of-way of N. Hwy. 67 shall conform to the requirements of the

## Missouri Highway and Transportation Department.

e. Lighting Requirements.

Location of all lighting standards shall be as approved by the Planning & Zoning Commission on the lighting plan (Drawing No.1PBP1786) a copy of which is attached hereto and incorporated herein as Exhibit "C". The lighting standards shall not exceed 20' in height and all lighting shall be directed towards the lot.

f. Sign Requirements.

The location and size of the identification sign, clearance sign, handicapped parking sign and menu board shall be as shown on the Site Development Plan dated 5/17/91 and revised 9/24/91, attached hereto as Exhibit "A". The identification sign shall be located at least fourteen (14') feet from the sidewalk with the minimum height above grade on the reader board sign to be ten (10') feet with maximum height of the sign being twenty-five (25') feet. The existing pole for the identification sign will be removed and replaced with a new pole for the identification sign, as depicted on Exhibit "A".

g. Landscaping.

Landscaping shall be provided on the site in accordance with Landscape Plan submitted and approved by the Planning and Zoning Commission and all landscaping shall be of the size shown on such Landscaping Plan a copy of which is attached hereto and incorporated by reference herein as Exhibit "D". Such landscaping shall be in sufficient quantity to meet the minimum requirements as set forth in Section 17, (9), of the Florissant Zoning Ordinance.

h. Miscellaneous Design Criteria.

1. All applicable site design features shall comply with the 1987 BOCA Code.
2. The minimum yard requirements shall consist of an area of 0.92 acres.
3. All rooftop mechanical equipment shall be screened by a mansard as approved by the Planning and Zoning Commission.
4. The cooler located in the rear of the property will have brick veneer around it.
5. The trash container shall be enclosed with a screen constructed of brick and being six (6') feet in height.
6. Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.

## 7. VERIFICATION PRIOR TO FINAL SITE DEVELOPMENT PLAN APPROVAL.

Prior to the approval of the Final Site Development Plan, the petitioner shall:

② a. Stormwater.

Submit to the Planning & Zoning Commission a preliminary engineering plan showing that adequate handling of the stormwater drainage of the site is provided and has been approved by the Metropolitan Sewer District and is in accordance with accepted engineering standards.

↳ b. Access and Curb Cuts.

No new curb cuts are being proposed nor are changes proposed to the existing curb cuts but petitioner shall provide written verification of the requirements of, and approval by, the Missouri Highway and Transportation Department of the location of existing curb cuts, and the access points and sidewalks.

↳ c. Layout Plan.

A layout plan shall be submitted, reviewed and approved by the Public Works Department prior to the commencement of any and all pavement marking. The layout plan shall include proper striping and signing of fire lanes. Fire lanes shall be established by separate ordinance after approval by the Fire District and Director of Public Works, pursuant to Sections 15-9, 15-311 and 15-505 of the Florissant City Code.

↳ d. Obtain a Flood Plan Development Permit.

8. RECORDING

Within sixty (60) days of approval of the Final Site Development Plan by the Planning & Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

9. VERIFICATION PRIOR TO BUILDING PERMITS

After approval of the Final Site Development Plan, and prior to the issuance of building permit, the following verifications shall be provided:

a. Sanitary Sewers.

Written verification of sanitary sewer plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

b. Stormwater Sewers.

Written verification of stormwater plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

c. Landscaping/Screening Bonds or Escrows.

If the estimated cost of new landscaping and/or screening indicated on or forming part of the Final Site Development Plan, as required by the Planning & Zoning Commission, exceeds an estimated cost of one thousand dollars (\$1,000.00), as determined by a landscape nursery, a bond or escrow shall be furnished so as to be a sufficient amount to guarantee the installation of said landscaping and/or screening.

d. Street Improvement/Parking/Curbing/Signs/Pavement Marking/  
Sidewalks/Traffic Signals, Bond or Escrows.

The petitioner shall furnish a two (2) year bond or escrow, sufficient in amount, as determined by the Director of Public Works, to guarantee the street improvements, parking lot pavement, curbing, sidewalks, traffic signals, signs and pavement markings.

e. Filing a Recorded Site Development Plan.

Two (2) copies of such recorded Final Site Development Plan, showing book, page, and recording date, shall be filed with the director of public works.

f. Notification to the department of public works.

Prior to the issuance of foundation or building permits, all approvals from the Metropolitan St. Louis Sewer District, the Missouri Highway and Transportation Department and other appropriate organizations must be received by the department of public works.

10. VERIFICATION PRIOR TO OCCUPANCY PERMITS.

Road improvements and right-of-way dedication shall be completed prior to the issuance of any occupancy permit.

11. GENERAL DEVELOPMENT CONDITIONS.

- a. Adequate surfaced temporary off-street parking for construction employees shall be provided.
- b. The watershed shall be in accordance with the Flood Plain Development Permit.
- c. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- d. The department of public works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

12. PROJECT COMPLETION.

Completion of the planned commercial development, in accordance with the approved Final Site Development Plan, shall be effected within two (2) years from the effective date of this ordinance.


Section 3: The application and preliminary plans are returned to the Planning & Zoning Commission for consideration of a Final Site Development Plan, pursuant to Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance.

Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for

revision of the zoning of said property back to a B-3 District, in accordance with Section 14.5, subsection 13 of the Florissant Zoning Ordinance.

Section 5: This ordinance shall become in full force and effect upon its passage and approval as provided by law.

Adopted this 25th day of November, 1991.

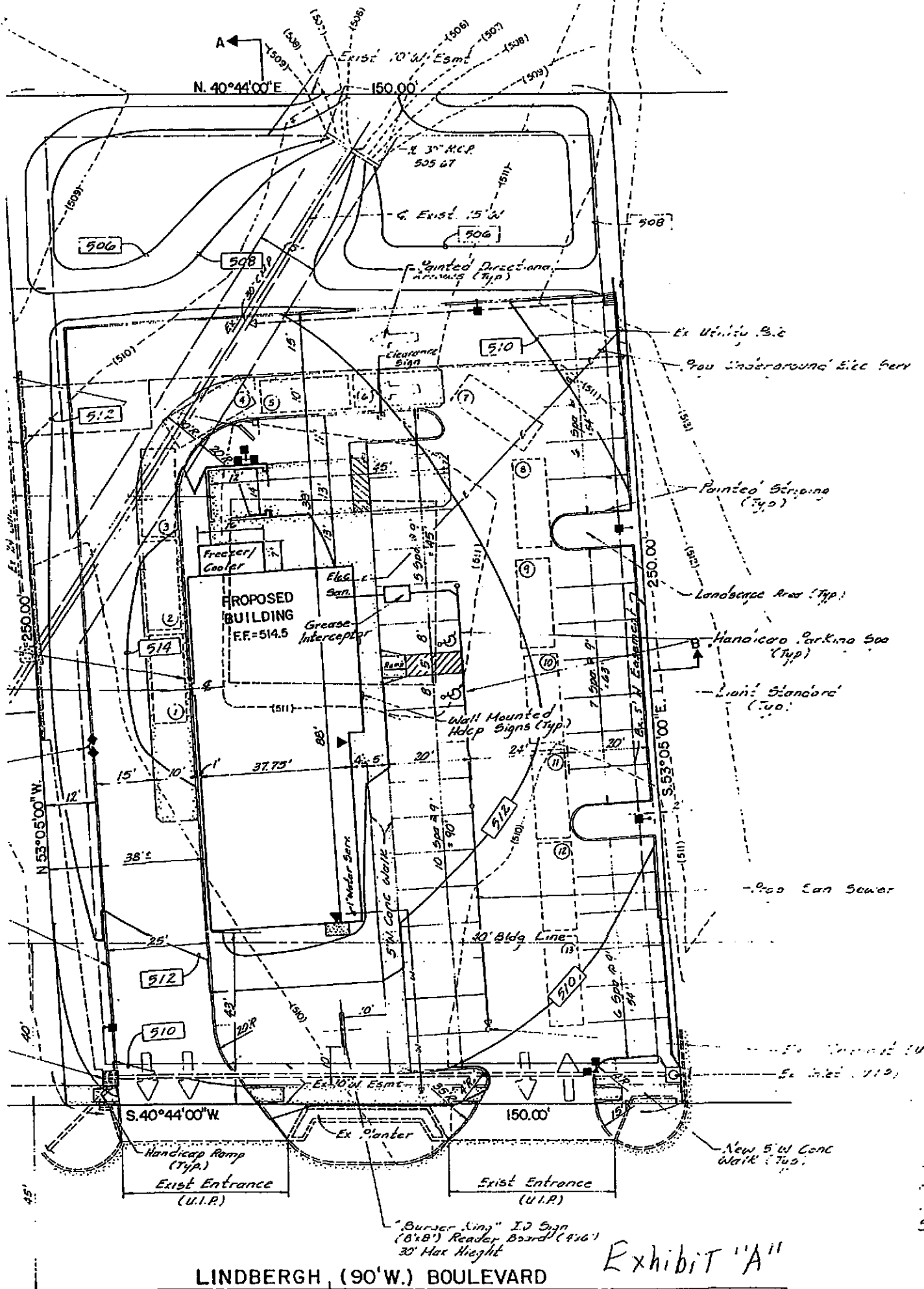
  
President of the Council  
City of Florissant

Approved this 26 day of November, 1991.

  
Mayor, City of Florissant

ATTEST:

  
City Clerk

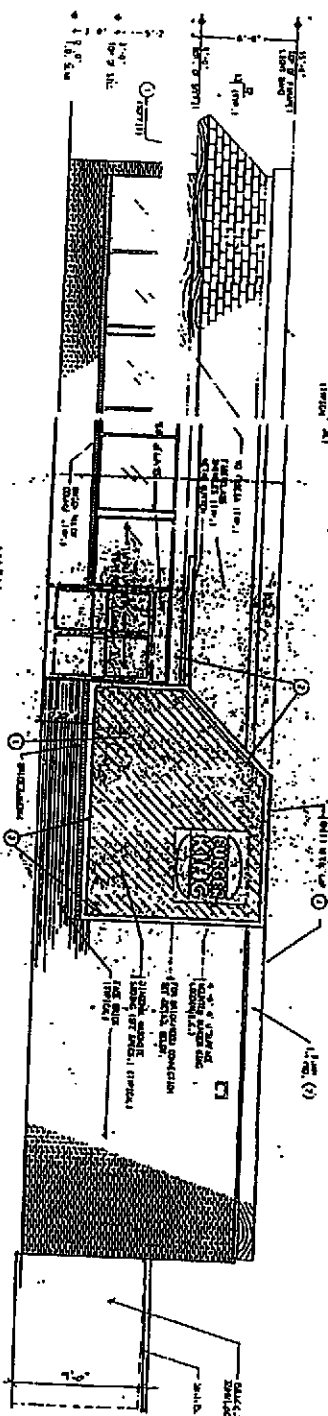
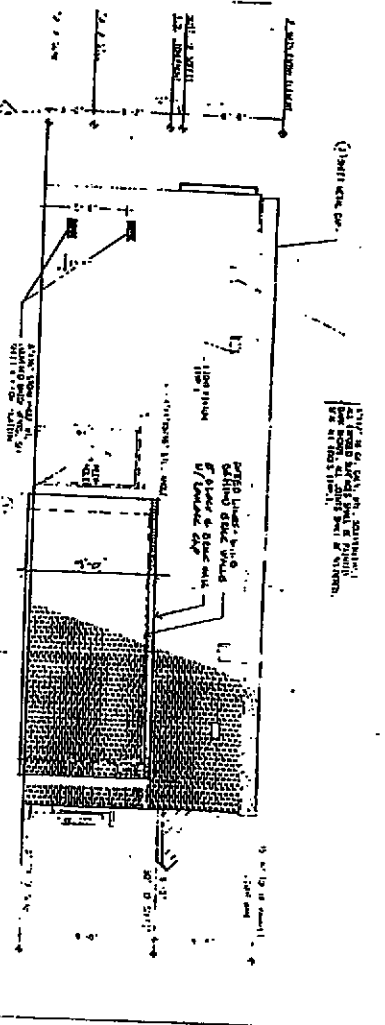
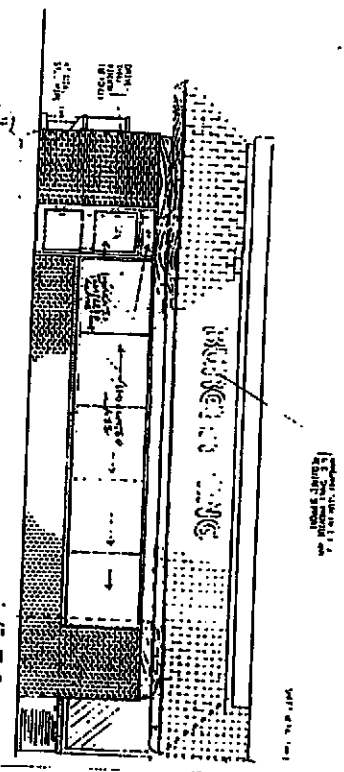


LINDBERGH (90'W.) BOULEVARD

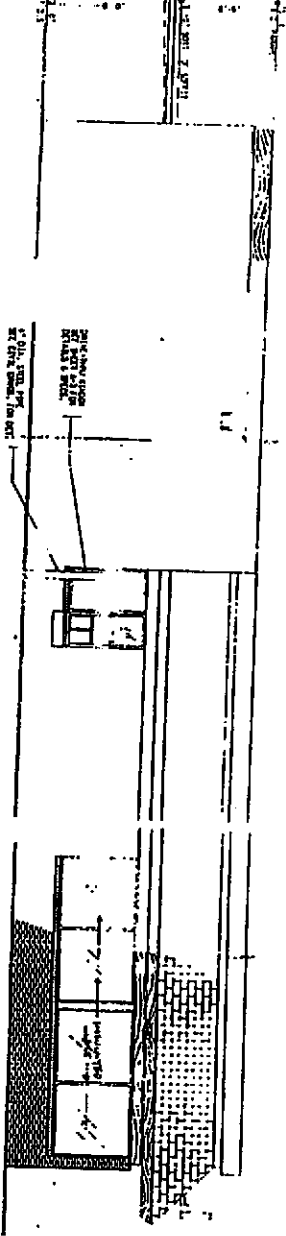
Exhibit "A"

A ←

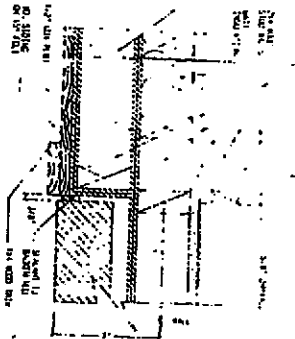
1  
2  
3  
4  
5



MAIN ENTRANCE ELEVATION



DRIVE-THRU ELEVATION



BRICK TO WOOD CONNECTION  
DETAIL - MAIN ENTRY ELEVATION

Exhibit "B"

VAL  
DATE



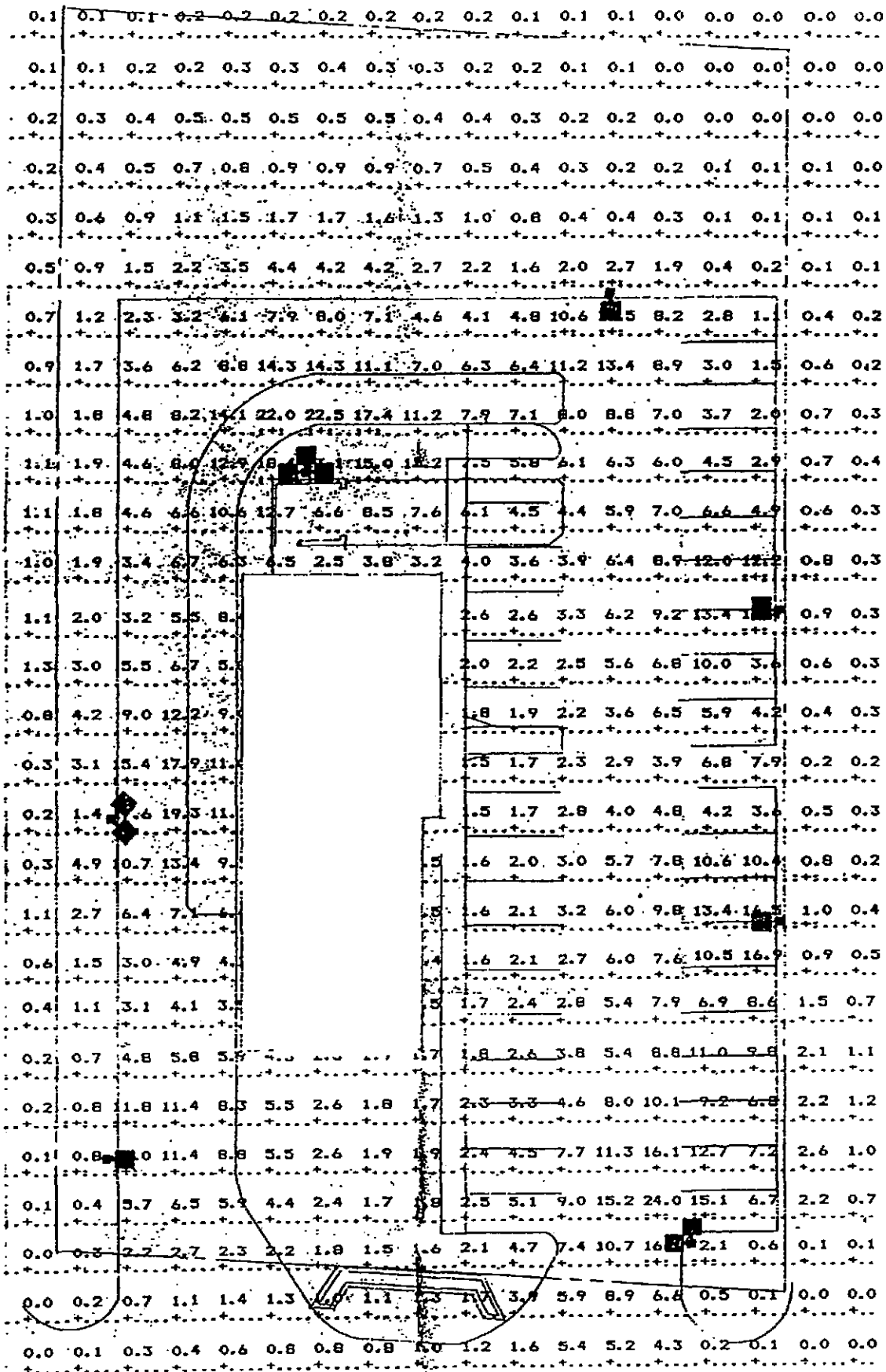
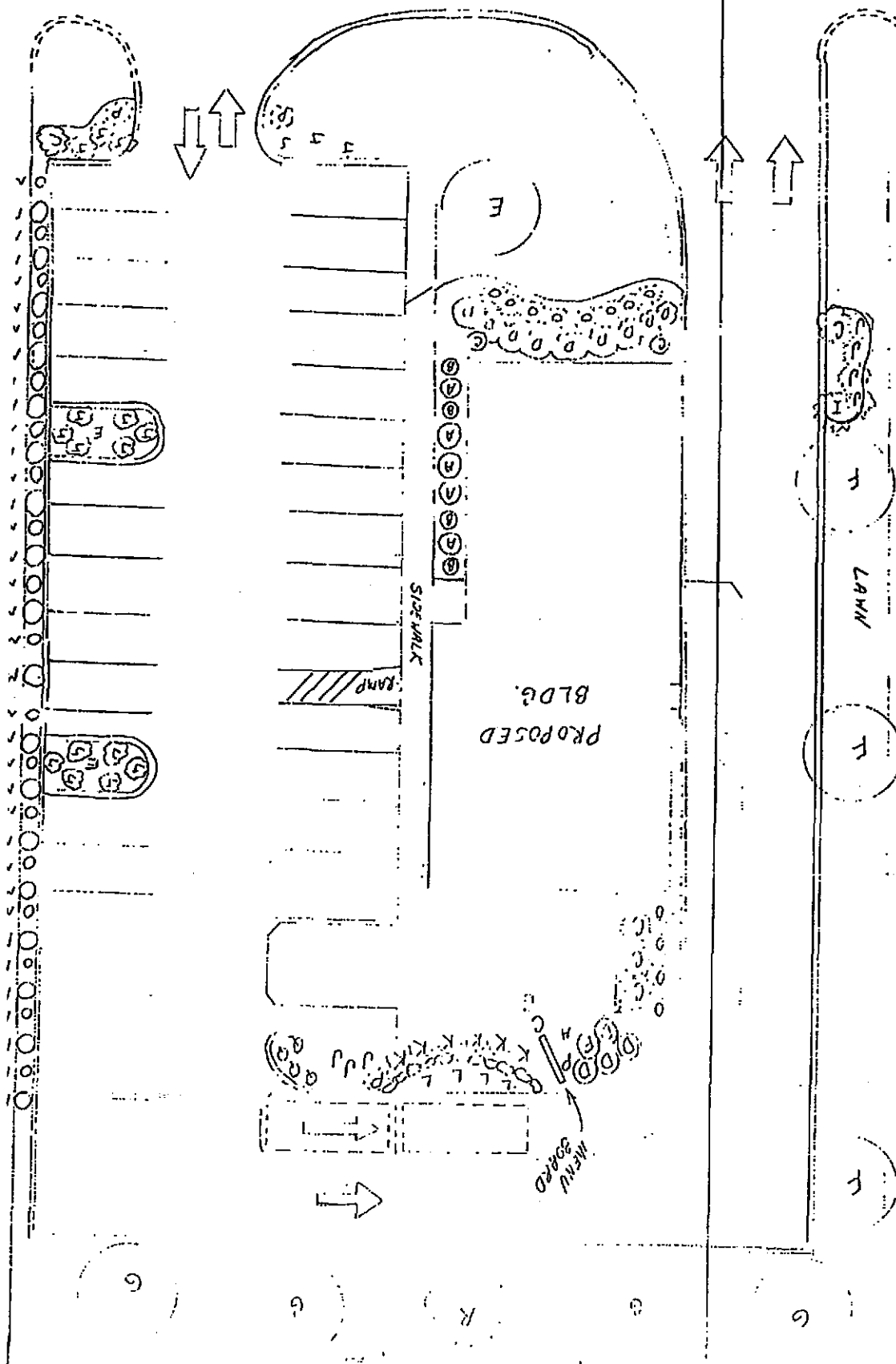


Exhibit "C"

NOTES:

1- THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA:

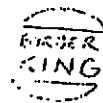
LINDBERGH BLVD. (90' W)



LANDSCAPE LEGEND

A	PYRAMIDAL ARCADIA VITAE	3' B&B
B	CHINA GILL HOLLY	18" 5GAL.
C	CANAERTI JUNIPER	5' B&B
D	GLOBAL YEW	18" B&B
E	BRADFORD PEAK	10" H 2-2 1/2'
F	UNUSUAL SEEDLESS ASH	12" H 2-2 1/2'
G	PIN OAK	12" H 2-2 1/2'
H	SHADENASTER LOCUST	10" H 2-2 1/2'
I	RED SAND CHERRY	3' 5GAL.
J	OLD GOLD JUNIPER	11" B&B
K	SEA GREEN JUNIPER	24" B&B
L	VARIEGATED LIRIOPE	10" 1GAL.
M	VIBURNUM DENTATUM	30" 5GAL.
N	GREY OWL JUNIPER	24" B&B
O	GOLD FLAME SPIREA	15" 3GAL.
P	FIRE BURNING BUSH	24" B&B
Q	LITTLE PRINCESS SPIREA	15" 3GAL.
R	WHITE PINE	5' B&B

NOTE: THE ISLAND AREAS TO CONTAIN OBSCURATIVE STONE  
ALL STAIR AREAS TO BE UNPAVED



8411 LINDBERGH BLV  
ST. LOUIS, MO

LANDSCAPE PROPOSAL BY  
396 E PAUL'S NURSERY  
1059 HACKMAN RD.  
ST. PAUL, MO  
261-1200

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN. James T. Rumble DATE

Exhibit "D"

INTRODUCED BY COUNCILMAN SCHNEIDER  
August 10, 1992

BILL NO. 6214

ORDINANCE NO. 5384

**AN ORDINANCE AMENDING ORDINANCE NO. 5307, A B-5  
PLANNED COMMERCIAL DISTRICT DEVELOPMENT,  
TO ALLOW FOR 25 FOOT PARKING LOT LIGHT STANDARDS  
FOR BURGER KING LOCATED AT 8411 N. LINDBERGH.**

WHEREAS, an application has been filed by the Burger King Corporation for an amendment to Ordinance No. 5307, to allow for 25 foot parking lot light standards; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended such amendment is consistent in purpose and content with the nature of the proposal as originally advertised.

WHEREAS, the Director of Public Works and the Planning and Zoning Commission have determined and recommend to the City Council, under Section 14.5, Planned Commercial District Regulations, subsection 11, that a public hearing is not necessary to amend the B-5 Planned Commercial District Development for Burger King, 8411 N. Lindbergh to allow for 25 foot parking lot light standards; and

WHEREAS, the City Council believes that the amendment proposed is consistent in purpose and content with the nature of the proposal as originally advertised.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Florissant City Council finds that an amendment to allow for 25 foot parking lot light standards is consistent in purpose and content of Ordinance No. 5307, an ordinance allowing for a B-5 Planned Commercial District Development for Burger King located at 8411 N. Lindbergh.

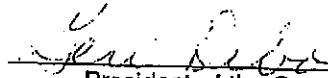
Section 2: Section 2, subsection 6(e) is hereby amended by deleting the last sentence and inserting the following in lieu thereof:

"The lighting standards shall not exceed 25 feet in height and all lighting shall be directed toward the lot."

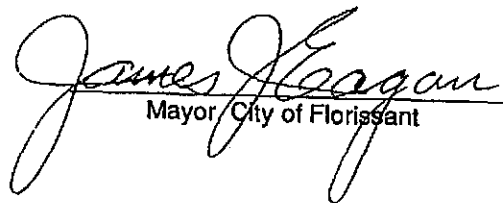
Section 3: Except as herein otherwise authorized, Ordinance No. 5307 shall remain in full force and effect.

Section 4: This ordinance shall become in full force and effect upon its passage and approval as provided by law.

Adopted this 24th day of August, 1992.

  
\_\_\_\_\_  
President of the Council  
City of Florissant

Approved this 25 day of August, 1992.

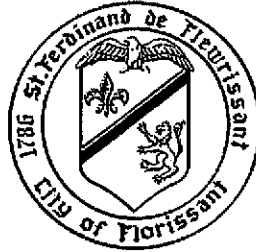
  
\_\_\_\_\_  
Mayor City of Florissant

ATTEST:

  
\_\_\_\_\_  
City Clerk

1

**MEMORANDUM**



2

3

4

**CITY OF FLORISSANT**

5 To: Planning and Zoning Commissioners Date: August 27, 2014

6

7 From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. P.E.-  
8 Director of Public Works  
9 Applicant  
10 File

11

12 Subject: **8411 N Lindbergh (Burger King)** - Request recommended approval to  
13 amend a 'B-5', Ord. 5307 (as amended by Ord. 5384) to allow for a  
14 remodeling in a 'B-5' Zoning District.  
15

16

17 **STAFF REPORT**

18 **CASE NUMBER PZ-090214-2**

19 **I. PROJECT DESCRIPTION:**

20

21 This is a request for recommended approval to amend a 'B-5', Ord. 5307 (as amended by  
22 Ord. 5384) to allow for a remodeling in a 'B-5' Zoning District.  
23

24

25 **II. EXISTING SITE CONDITIONS:**

26

27 The existing property at 8411 N Lindbergh is operating under Ord. no 5307 since 1991.  
28 The existing space is a 3515 s.f. Petitioner was informed of a need to amend the  
29 ordinance upon application for permit for alterations.  
30

31 **III. SURROUNDING PROPERTIES:**

32

33 The adjacent property to the North is a Credit Union at 8417 N Lindbergh in a 'B-3'  
34 District. The adjacent property to the South is 8405 N Lindbergh also in a 'B-3' District  
35 which is an Auto Parts store.  
36  
37  
38  
39

40 **IV. STAFF ANALYSIS:**

41  
42 The application is accompanied by professional plans by Swick+Gandt Architecture, Inc.  
43 with proposed changes. Staff has the following review comments:

44  
45 **A0.0**

- 46 1. No proposed change to footprint, occupant load 75 per building code, however,  
47 by the Zoning Code 1 space for every 2 seats = 23 parking plus 2 spaces for every  
48 3 employees max shift plus 5 staking and 1 at order station.

49 **A0.1**

- 50 2. Total of 34 parking existing shown on plan

51 **A1.0**

- 52 3. Demolition of existing mansard roof shown.

53 **A2.0**

- 54 4. New overall floor plan shows extent of interior remodeling.

55 **A3.0**

- 56 5.

57 a. Elevations show replacement of mansard with EIFS.

58 b. Signage updates are

59 i. Two 6'-0" diameter round signs, 29 s.f. each.

60 ii. One 23'-6"x 1'3" = 29 s.f. x 2/3 = 20 s.f. canopy sign

61  
62 **V. MASONRY ORD. ANALYSIS**

63 This proposal freshens the exterior with a new look and trim.

64  
65 The proposal proposes removal of the existing building's 'mansard roof' which serves as  
66 a screen to rooftop equipment and proposes to replace this area with EIFS parapet walls.  
67 How is this affected by the masonry ordinance regulations?

68  
69 A mansard is deemed to be a roof. The Commission has previously reviewed, Jack-in-  
70 the-Box at 4595 Washington and 2678 N. Highway 67 (Dairy Queen), that a parapet wall  
71 is a part of the roof system. The current masonry code has no specific definition for these  
72 building parts. The Burger King is proposing work above the existing brick wall and  
73 above the roofline with EIFS and metal coping.

74  
75 The existing masonry is proposed to be painted.

76  
77 Given that materials other than masonry can be considered when part of a Special Permit  
78 or 'B-5', it is possible to view this proposal as code compliant with regard to the EIFS,  
79 however the masonry ordinance discourages any proposed painting of the existing  
80 masonry.

81

82

83

84

85

86 **VI. STAFF RECOMMENDATIONS:**

- 87 1. There is an existing Ordinance that is affected by the proposed changes. The  
88 existing ordinances are attached.  
89  
90 2. Staff recommends the number of landscape materials meet the current landscape  
91 ordinance.

92 (end report)

93  
94 **July 25, 2014 Suggested Motion to Amend a 'B-5': 8411 N Lindbergh (Burger  
95 King):**

- 96  
97 1. I move to recommend approval to amend a B-5, Ord. 5307 (as amended by Ord.  
98 5384) to allow for a remodeling,

99  
100 according to the proposal prepared by the petitioner as described related documents  
101 presented and according to the attached drawings A0.0, A0.1, A1.0, A2.0, A4.0, A4.1,  
102 A4.2 A9.0 and A9.1, all as prepared by Swick+Gandt Architecture, Inc. and dated  
103 7/18/2014. Approval is subject to the regulations of these ordinances, and the following  
104 additional requirements:

105  
106 A. Existing masonry shall not be painted.

107 *B. et*  
108 *C. et*

109  
110 1. **GENERAL DEVELOPMENT CONDITIONS.**

- 111  
112 a. Unless, and except to the extent, otherwise specifically provided in  
113 Ordinance 5307, development shall be effected only in accordance with all  
114 ordinances of the City of Florissant.

115  
116 2. **PROJECT COMPLETION.**

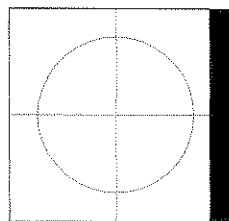
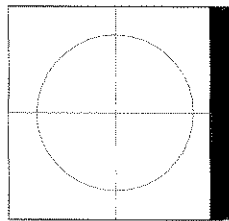
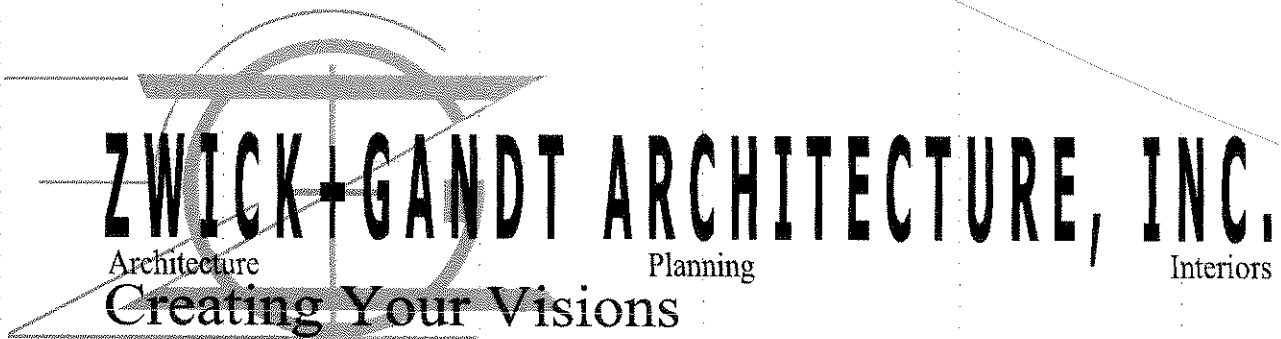
117  
118 Construction shall start within 90 days of the issuance of building permits for  
119 the project and shall be developed in accordance of the approved final  
120 development plan within 180 days of start of construction.

121  
122 (End of suggested motion 8/27/14)

123

# BURGER KING - BK 2500 - STORE # 520

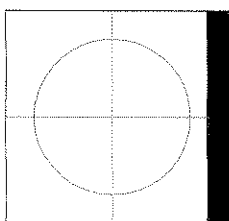
5447 S. LINDBERGH BLVD.  
ST. LOUIS, MISSOURI 63128



**KREHER ENGINEERING, INC.**  
208 N. MAIN ST. STE. F  
COLUMBIA, IL 62236  
TEL. 618-281-0586

STRUCTURAL

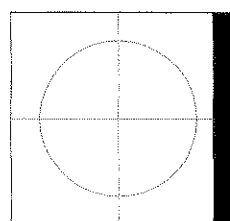
INCLUDED IN ARCHITECTURAL SET



**ZWICK+GANDT ARCHITECTURE, INC.**  
9100 WATSON ROAD, SUITE 110  
ST. LOUIS, MO 63128  
TEL. 314-662-8292

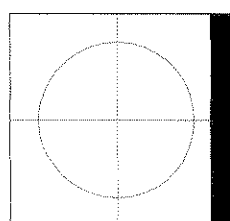
ARCHITECTURAL

- A00. CODE INFORMATION AND GENERAL NOTES
- A01. DEMOLITION PLAN AND DEMO. REVISIONS
- A10. SITE PLAN AND DETAILS
- A20. OVERALL FLOOR PLANS, ENLARGED PLAN, KITCHEN LAYOUT, AND INTERIOR TOILET FIXTURES
- A30. BUILDING ELEVATIONS
- A40. WALL SECTIONS
- A41. WALL SECTIONS
- A42. WALL SECTIONS AND DETAILS
- A50. SCHEDULES
- A51. B.S. 20/200 FINISH SCHEDULE



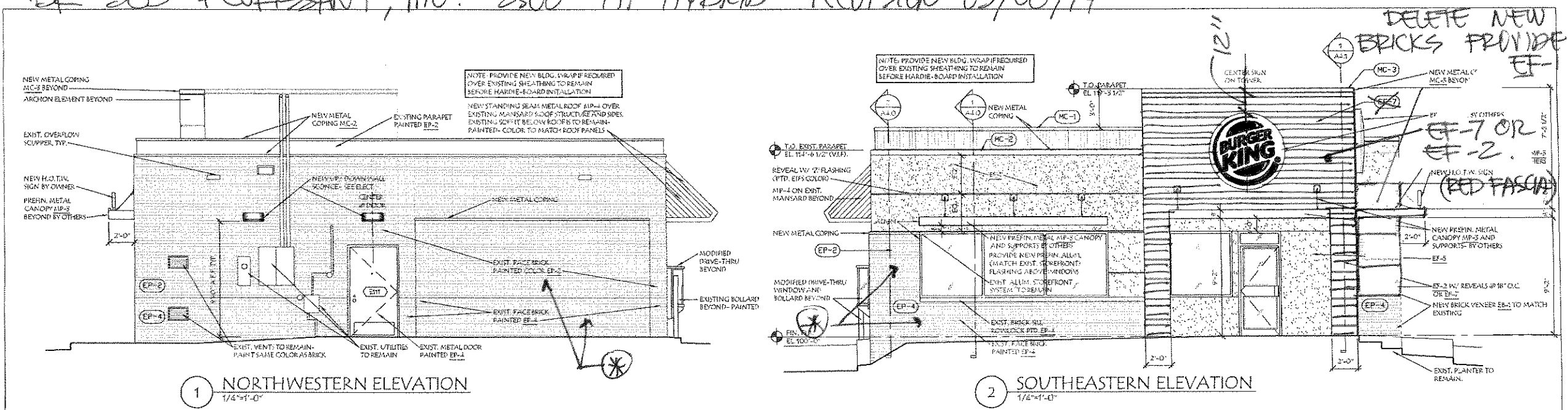
**MEP**

MECHANICAL-ELECTRICAL-PLUMBING



THE PROFESSIONALS INDICATED BELOW AND THEIR DRAWINGS (IF ANY) INDICATED THE NAMED PROFESSIONAL IN CHARGE OF ALL DRAWINGS AND DOCUMENTS LISTED ON THIS INDEX SHALL NOT BE UNDERSIGNED OR PREPARED BY ANYONE OTHER THAN THE NAMED PROFESSIONAL UNDER WHICH THE DRAWING IS LISTED.





⊗ KEEP EXISTING BRICK WITHOUT PAINT.

NOTE: ALL FINISHES PER 20/20 FINISH SCHEDULE.

The Professional Engineer is authorized to use, amend, and alter the original drawings for the project after the preparation of the permit set on the sheet. Other drawings submitted to others for their use shall be for the purpose of the project and shall not be used for any other purpose without the consent of the professional engineer.

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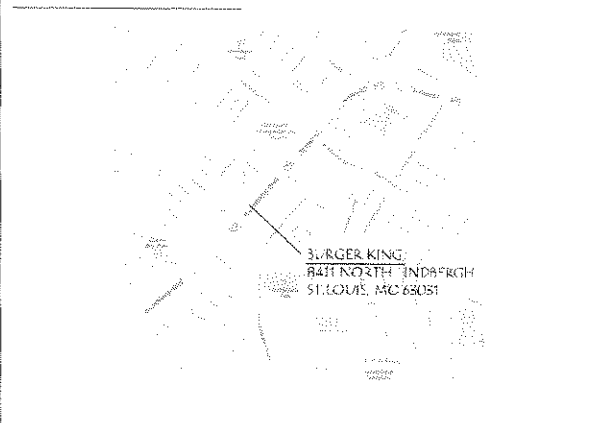
**BURGER KING RENOVATIONS**  
BK 2500 - STORE # 383  
8411 N. LINDBERGH BLVD  
ST. LOUIS, MISSOURI 63031

DATE	DESCRIPTION

PROJECT NUMBER  
140662.01  
BUILD. ELEVATIONS

**A3.0**

**LOCATION MAP**



**GENERAL DOCUMENT NOTES**

- THE CONTRACT DOCUMENTS CONTEMPLATE A FINISHED PIECE OF WORK OF SUCH CHARACTER AND QUALITY AS IS DESCRIBED IN AND IS REASONABLY INFERRABLE FROM THEM AND THE CONTRACTOR RECOGNIZING THE IMPOSSIBILITY OF PRODUCING DRAWINGS AND SPECIFICATIONS WITH PERFECT ACCURACY, AGREES THAT HIS SUBMITTED BID OR COST FOR THE WORK HEREUNDER INCLUDES EFFICIENT MONEY ALLOWANCE TO MAKE HIS WORK COMPLETE AND OPERABLE AND IN COMPLIANCE WITH GOOD PRACTICE AND THE ORDINANCES, LAWS AND REGULATIONS OF ALL STATES OR PERSONS HAVING GOVERNMENTAL AUTHORITY OVER IT.
- SPECIFICATIONS AND DRAWINGS ARE TO BE INTERPRETED ACCORDING TO THE FULL INTENT, MEANING AND SPIRIT, WHETHER TAKEN TOGETHER OR SEPARATELY. IF TAKEN TOGETHER, THEY SHALL BE READ TO FULLY EXPLAIN EACH OTHER AND TO BE DESCRIPTIVE OF THE WORK TO BE PERFORMED UNDER THE CONTRACT. IF TAKEN SEPARATELY, THE BIDDER OR CONTRACTOR IS TO COMPARE THE SPECIFICATIONS AND DRAWINGS AND IDENTIFY THE DIFFERENCES. WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. BOTH. THE DIFFERENCES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A BID, ALLOWING AN ADDENDUM TO BE ISSUED TO CLARIFY THE DIFFERENCES. IF THE DIFFERENCES ARE BROUGHT TO THE ATTENTION OF THE OWNER AFTER THE BID, WORK IS TO BE PERFORMED AS MENTIONED ABOVE UNLESS MODIFIED BY THE OWNER.
- DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN REFERENCE TO A PREPARED BY THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT ONLY. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL BE HELD THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.
- EXISTING CONDITIONS REPRESENTED ON THE DOCUMENTS INCLUDE INFORMATION FURNISHED BY THE OWNER THAT MAY NOT REPRESENT ACTUAL CONDITIONS. IN EVERY CASE THE GENERAL CONTRACTOR MUST INVESTIGATE THE ACTUAL CONDITIONS AND COMPARE THOSE CONDITIONS TO THE DOCUMENTED INTENT OF THE DRAWINGS, WELL IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES, DURING LAYOUT OR OTHER MEANS SO AS TO ANTICIPATE POTENTIAL CONFLICTS AND ALLOW THE ENTIRE TEAM (OWNER, ARCHITECT AND GENERAL CONTRACTOR) TO RESOLVE THE CONFLICTS AS NOT TO CAUSE DELAY AND ADD ADDITIONAL COST. FAILURE TO DO SO PUTS AN ADDITIONAL COST OR TIME AT RISK.
- THE OWNER AND ARCHITECT RELY COMPLETELY ON THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS TO MAINTAIN A SAFE ENVIRONMENT FOR THE CONSTRUCTION OF THE WORK. IN ADDITION, THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SEQUENCING, MEANS AND METHODS TO CONSTRUCT THE WORK WITH THE HIGHEST QUALITY BY THE INTENT OF THE DOCUMENTS.
- TO THE FULLEST EXTENT PERMITTED BY LAW, THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE CONTRACTOR, SUBCONTRACTORS, ARCHITECT, ARCHITECT'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK IN THE AFFECTED AREA IF IN FACT THE MATERIAL OR SUBSTANCE PRESENTS THE RISK OF BODILY INJURY OR DEATH AND HAS NOT BEEN RENDERED HARMLESS, PROVIDED THAT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY OR TO DESTRUCTION OF TANGIBLE PROPERTY OTHER THAN THE WORK ITSELF AND PROVIDED THAT SUCH DAMAGE, LOSS OR EXPENSE IS NOT DUE TO THE SOLE NEGLIGENCE OF A PARTY SEEKING INDEMNITY. THE OWNER SHALL NOT BE RESPONSIBLE FOR MATERIALS AND SUBSTANCES BROUGHT TO THE SITE BY THE CONTRACTOR UNLESS SUCH MATERIALS OR SUBSTANCES WERE REQUIRED BY THE CONTRACT DOCUMENTS. IF, WITHOUT NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR IS HELD LIABLE FOR THE COST OF REMEDIATION OF A HAZARDOUS MATERIAL OR SUBSTANCE SOLELY BY REASON OF PERFORMING WORK AS REQUIRED BY THE CONTRACT DOCUMENTS, THE OWNER SHALL INDEMNIFY THE CONTRACTOR FOR ALL COST AND EXPENSE THEREBY INCURRED.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR (HEREINAFTER THE AGREEMENT), CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY, AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, AND APPENDIX ISSUED PRIOR TO THE EXECUTION OF THE CONTRACT. OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. A MODIFICATION IS (1) A WRITTEN AMENDMENT TO THE CONTRACT SIGNED BY BOTH PARTIES, (2) A CHANGE ORDER, (3) A CONSTRUCTION CHANGE DIRECTIVE OR (4) A WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK ISSUED BY THE ARCHITECT. LIMITS SPECIFICALLY ENUNCIATED IN THE AGREEMENT, THE CONTRACT DOCUMENTS DO NOT INCLUDE OTHER DOCUMENTS SUCH AS BIDDING REQUIREMENTS (ADVERTISEMENT OR INVITATION TO BID), INSTRUCTIONS TO BIDDERS, SAMPLE FORMS, THE CONTRACTOR'S BID OR PORTIONS OF APPENDIX RELATING TO BIDDING REQUIREMENTS.
- THE CONTRACT DOCUMENTS FORM THE CONTRACT FOR CONSTRUCTION. THE CONTRACT REPRESENTS THE ENTIRE AND INTEGRATED AGREEMENT BETWEEN THE PARTIES HERETO AND SUPERSEDES PRIOR NEGOTIATIONS, REPRESENTATIONS OR AGREEMENTS, EITHER WRITTEN OR ORAL. THE CONTRACT MAY BE AMENDED OR MODIFIED ONLY BY A MODIFICATION. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND (1) BETWEEN THE ARCHITECT AND CONTRACTOR, (2) BETWEEN THE OWNER AND A SUBCONTRACTOR OR SUB-SUBCONTRACTOR, (3) BETWEEN THE OWNER AND THE ARCHITECT OR (4) BETWEEN ANY PERSON OR ENTITY OTHER THAN THE OWNER AND CONTRACTOR. THE ARCHITECT SHALL, HOWEVER, BE ENTITLED TO PERFORMANCE AND ENFORCEMENT OF OBLIGATIONS UNDER THE CONTRACT INTENDED TO FACILITATE PERFORMANCE OF THE ARCHITECT'S DUTIES.
- THE DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK, GENERALLY INCLUDING PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES AND DIAGRAMS.
- THE SPECIFICATIONS ARE THAT PORTION OF THE CONTRACT DOCUMENTS CONSISTING OF THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, SYSTEMS, STANDARDS AND NORMS AND WORKMANSHIP, WORK AND PERFORMANCE OF RELATED SERVICES.
- THE PROJECT MANUAL IS A VOLUME ASSEMBLED FOR THE WORK WHICH MAY INCLUDE THE BIDDING REQUIREMENTS, SAMPLE FORMS, CONDITIONS OF THE CONTRACT AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. PERFORMANCE OF THE WORK BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REPRESENTATION IN THE BIDDING. THEREAS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE. UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.
- EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME GENERALLY FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL MATERIALS ON THIS PROJECT MUST BE INSTALLED BY LICENSED, EXPERIENCED AND/OR APPROVED INSTALLERS OF THAT PRODUCT MATERIAL AND A MINIMUM 3 YEARS EXPERIENCE IN GOOD STANDING BY THE MANUFACTURER OF THAT PRODUCT MATERIAL (AND EXCEPTIONS). ALL INSTALLERS MUST BE FULLY AWARE OF THE MANUFACTURERS' INTENDED DESIGN LIMITATIONS, PURPOSE AND USE OF THE MATERIAL BEING INSTALLED AND THE LATEST PUBLISHED INSTALLATION INSTRUCTIONS, SUBSTRATE REQUIREMENTS OR USE OF THE THIS MATERIAL IN CONJUNCTION WITH OTHER ADJACENT MATERIALS AND SUBSTRATES NO PRODUCT IS TO BE ORDERED OR INSTALLED THAT DOES NOT MEET OR EXCEED THE LATEST PUBLISHED CONDITIONS FOR MANUFACTURE & INSTALLATION BY THE MANUFACTURER. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS, SUBSTRATES OR FINAL INSTALLATION ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- THE INTENT OF THE SPECIFICATIONS, DRAWINGS AND DETAILS, WHETHER SHOWN OR NOT ARE TO DETAILS SPECIFY AND COMPLETE CONSTRUCTION WITH ALL PRODUCTS MATERIALS PER MANUFACTURERS' SPECIFICATIONS AND FINISHES ALL EXISTING MATERIALS TO MEET THE MANUFACTURERS' INTENT FOR LONG-TERM PERFORMANCE. THIS INCLUDES PRODUCTS/MATERIALS BY THEMSELVES OR AS AN ASSEMBLY IN CONJUNCTION WITH OTHER MATERIALS COMPATIBLE WITH THE MANUFACTURER.
- RECOGNIZING THAT TEAMWORK IS THE HALLMARK OF ALL OUR MOST SUCCESSFUL PROJECTS AND RECOGNIZING THAT ALL SUPPLIERS, INSTALLERS OF PRODUCTS/MATERIALS POSSESS ABUNDANT KNOWLEDGES OF THEIR CRAFT AND DAY TO DAY EXPERIENCE THAT IS VALUABLE TO THE SUCCESS OF THIS PROJECT, WE ENCOURAGE THEIR INPUT.
- THE GENERAL CONTRACTOR, ALL SUPPLIERS, SUBCONTRACTORS AND SUB-SUBCONTRACTORS ARE ENCOURAGED TO BRING DISCREPANCIES, CONFLICTS OR CONCERNS TO THE ATTENTION OF THE ARCHITECT IN AN EFFORT TO WORK IN COLLABORATION. THE GOAL IS TO WORK TOGETHER COLLECTIVELY TO AVOID CONFLICTS AND ADDITIONAL COST, BUT MOST IMPORTANTLY TO ALLOW THE INSTALLATION OF ALL MATERIALS/ PRODUCTS TO BE INSTALLED PROPERLY PER THE MANUFACTURERS' EXPRESSED INTENT TO ENSURE LONG-TERM PERFORMANCE.

**CODE DATA**

THESE DRAWINGS ARE FOR BATHROOM RENOVATIONS AND ADA IMPROVEMENTS - ALONG WITH MISCELLANEOUS EXTERIOR COSMETIC IMPROVEMENTS TO AN EXISTING BURGER KING RESTAURANT DESCRIBED AS FOLLOWS:

PROPOSED WORK TO BE IN COMPLIANCE WITH:

- 2009 INTERNATIONAL BUILDING CODE
- 2009 INTERNATIONAL EXISTING BUILDING CODE
- 2009 UPC - UNIFORM PLUMBING CODE
- 2009 IMC - INTERNATIONAL MECHANICAL CODE
- 2009 IEC - INTERNATIONAL ELECTRIC CODE
- 2009 NATIONAL ELECTRIC CODE

AND CLASSIFIED AS FOLLOWS:

USE GROUP: "A2" ASSEMBLY (RESTAURANT) CONSTRUCTION TYPE: "5"

BUILDING AREA	EXISTING SF	IBC ALLOWED
PER TABLE 505 AND SECTION 506	5,313 SF	6,000 SF

BUILDING HEIGHT: PROPOSED 1 STORY EXISTING 1 STORY

MAX HT. ALLOWABLE IS 40'-0" PER TABLE 506.

RATINGS IS NOT SPRINKLERED.

REQUIRED FIRE RESISTANCE RATINGS (TABLE 601 AND 602):

STRUCTURAL FRAME	0 HOURS
BEARING WALLS	
EXTERIOR (90'-0")	0 HOURS
INTERIOR	0 HOURS
NONBEARING WALLS AND PARTITIONS	
EXTERIOR	0 HOURS
INTERIOR	0 HOURS
FLOOR CONSTRUCTION	0 HOURS
ROOF CONSTRUCTION	0 HOURS

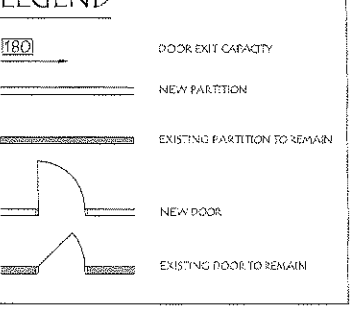
PER 2009 UNIFORM PLUMBING CODE:

38 MALES  
- 1 W.C. TO BE PROVIDED FOR 1-50 MALES (1 PROVIDED)  
- 1 URINAL FOR 24-100 (1 PROVIDED)  
- 1 LAVATORY (1 PROVIDED)

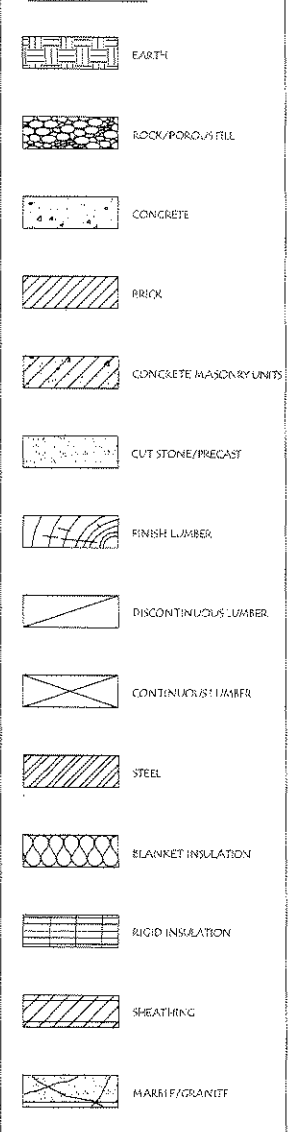
38 FEMALES  
- 2 W.C. TO BE PROVIDED FOR 24-30 FEMALES (2 PROVIDED)  
- 1 LAVATORY (REQUIRED) (1 PROVIDED)

PARKING REQUIREMENTS:  
TOTAL EXISTING PARKING COUNT = 53 (REGULAR) AND 2 ACCESSIBLE PARKING SPACES.  
PER LABEL 104.1 (ACCESSIBLE PARKING SPACES) (2-30 REGULAR SPACES REQUIRE 2 ACCESSIBLE PARKING SPOTS. ONE OF THE EXISTING NON ACCESSIBLE SPACES IS TO BE CONVERTED TO AN ABLE TO ALLOW FOR VAN ACCESSIBLE PARKING PER REQUIREMENTS.

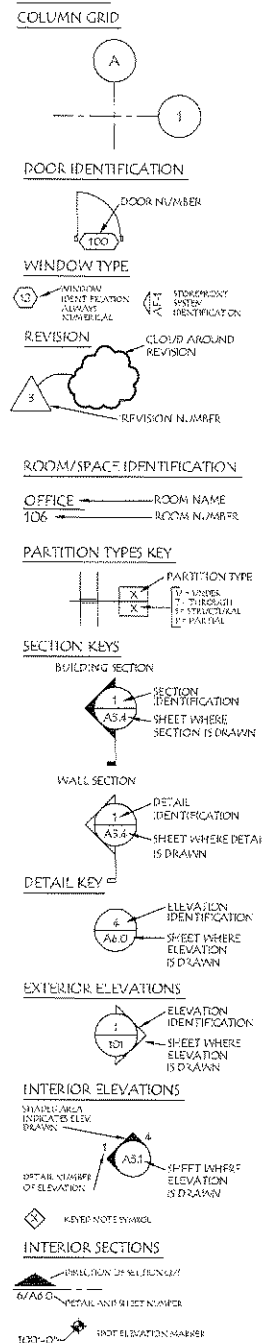
**LEGEND**



**MATERIALS**



**SYMBOLS**



TOTAL OCCUPANT LOAD FOR EGRES AND PLUMBING FIXTURE COUNT -

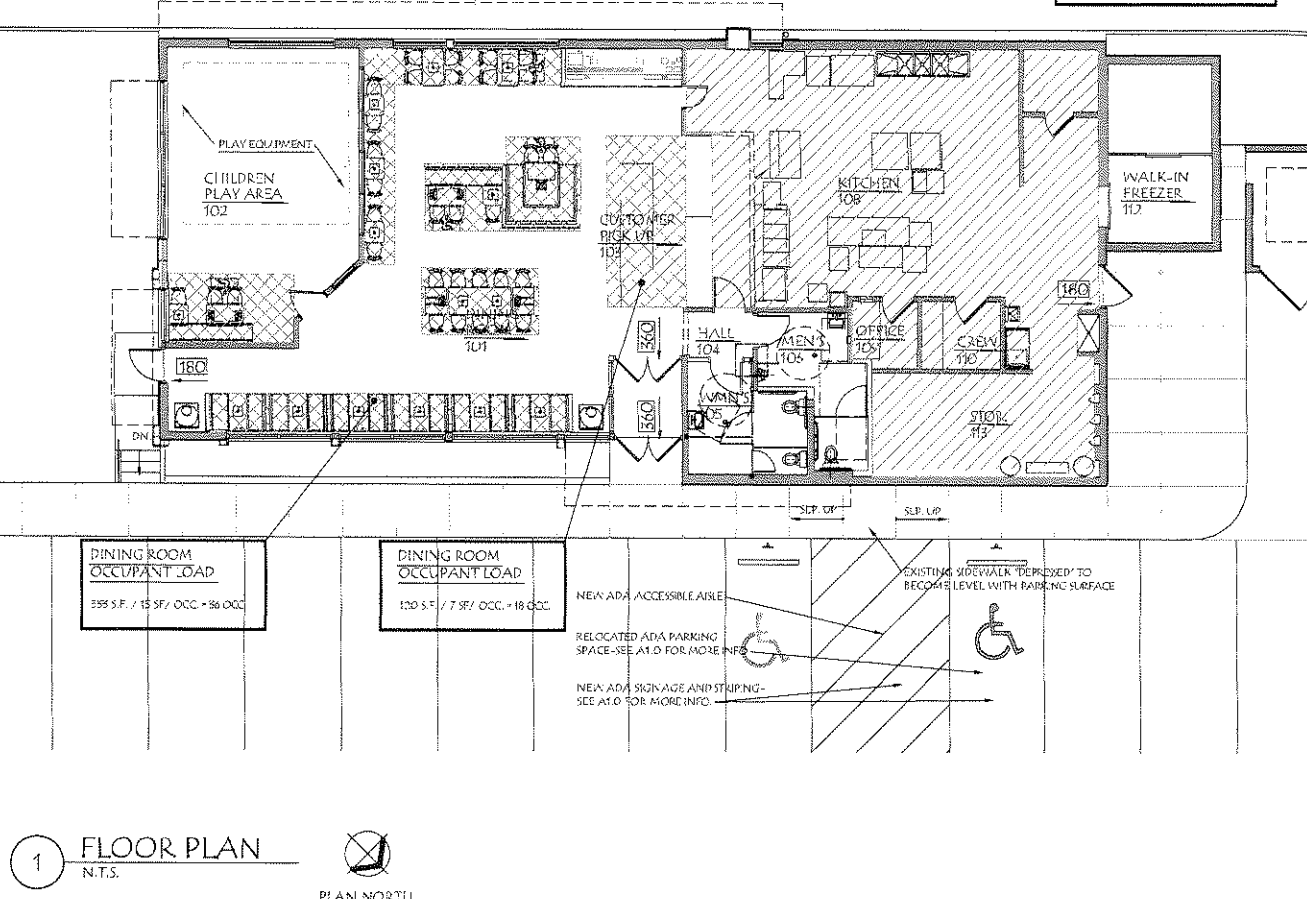
- 67 OCCUPANTS (USING THE SQUARE FEET METI IOD)
- 75 PER CHAIR COUNT/ LAYOUT

USING WORST CASE SCENARIO - TOTAL 75 OCCUPANTS

KITCHEN AREA OCCUPANT LOAD:  
1255 GROSS SF. / 200 SF OCC = 6 OCC

DINING ROOM OCCUPANT LOAD:  
399 SF. / 15 SF OCC = 26 OCC

DINING ROOM OCCUPANT LOAD:  
120 SF. / 7 SF OCC = 18 OCC



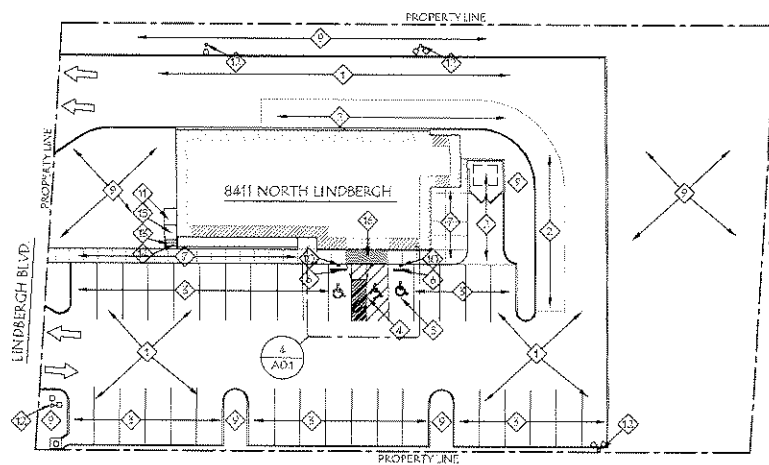
**1 FLOOR PLAN**  
N.T.S.  
PLAN NORTH

**ZWICK + GANDT**  
**ARCHITECTURE, INC.**  
9108 WATSON ROAD, SUITE 110  
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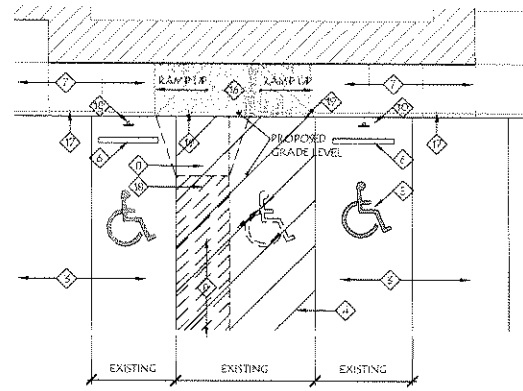
**BURGER KING RENOVATIONS**  
**BK 2500 - STORE # 383**  
**8411 N. LINDBERGH BLVD**  
**ST. LOUIS, MISSOURI 63031**

PROJECT NUMBER:  
14068.00  
**CODE INFORMATION**  
**AND GENERAL NOTES**

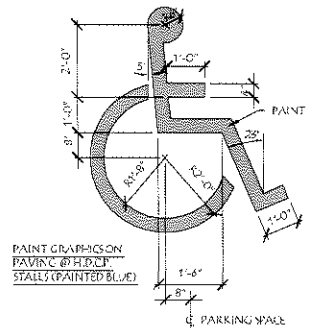
**AO.O**



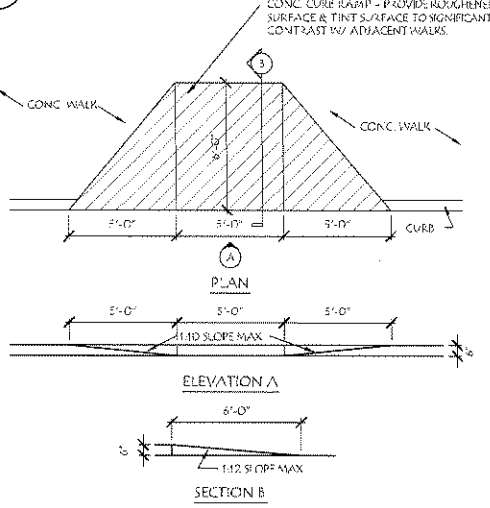
1 SITE PLAN  
1" = 30'-0"  
NORTH



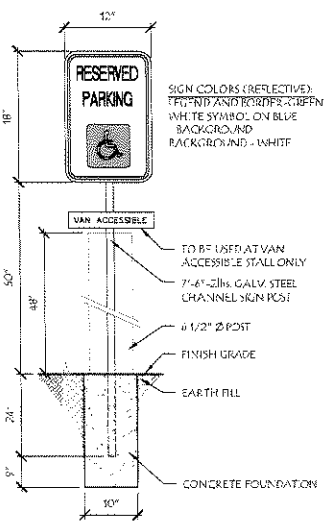
4 ENLARGED SITE PLAN  
1/4" = 1'-0"  
NORTH



2 TYP. ACCESSIBLE SIGN STRIPING  
N.T.S.



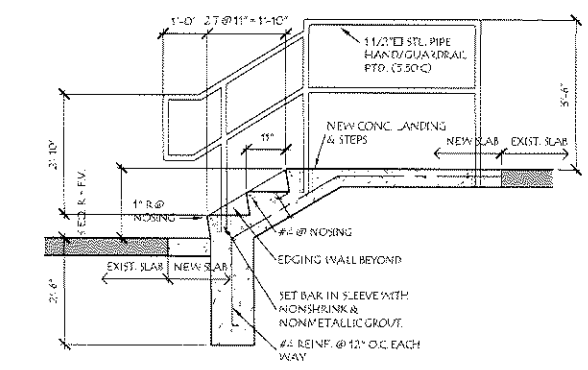
5 DEPRESSED CURB CUT SECTION  
1/4" = 1'-0"



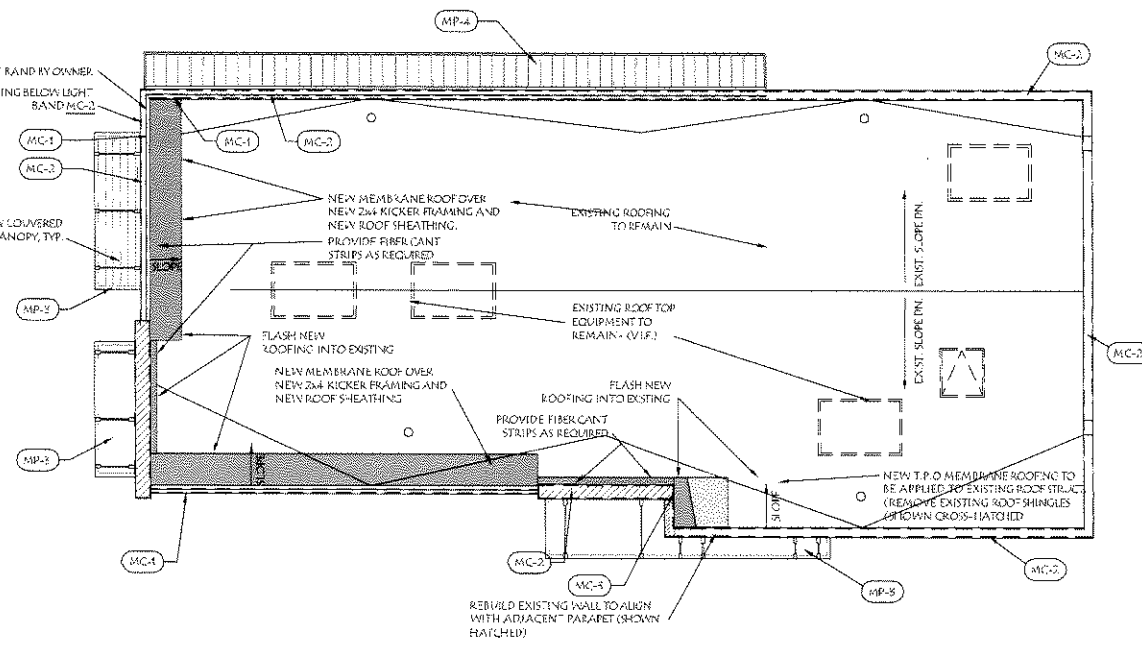
3 H/C SIGNAGE DTL.  
N.T.S.

- ### SITE PLAN KEYED NOTES
- 1. EXISTING ASPHALT PAVEMENT TO REMAIN - NEW SEAL COAT.
  - 2. EXISTING CONCRETE PAVEMENT TO REMAIN - NO WORK.
  - 3. EXISTING STRIPING TO REMAIN - RE STRIPE, MATCH EXISTING LAYOUT OTHER THEN THE CHANGE FOR THE RELOCATED ACCESSIBLE SPACES.
  - 4. NEW DIAGONAL ACCESSIBLE ACCESSIBLE STRIPING.
  - 5. NEW ACCESSIBLE SYMBOL STRIPING - SEE DETAIL ON THIS PAGE.
  - 6. NEW CONCRETE WHEEL STOPS.
  - 7. EXISTING CONCRETE SIDEWALK TO REMAIN.
  - 8. EXISTING CONCRETE RAMP TO BE REMOVED.
  - 9. EXIST. LANDSCAPING TO REMAIN - NO WORK - PROTECT DURING CONSTRUCTION.
  - 10. NEW ACCESSIBLE SIGNAGE - SEE DETAIL 3/4/04.
  - 11. EXISTING CONCRETE SLAB TO REMAIN.
  - 12. EXISTING SITE LIGHTING TO REMAIN - CONTRACTOR TO PAINT.
  - 13. EXISTING RAILROAD TIMBER STAIRS TO BE REMOVED.
  - 14. POUR NEW CONCRETE STAIR & CURB PER DETAIL 3/4/04.
  - 15. POUR NEW 4" CONCRETE SLAB AT SAME ELEVATION AS ADJACENT SLAB.
  - 16. REMOVE PORTION OF EXISTING SIDEWALK - "DEPRESS" GRADE SO WHEN NEW CONCRETE IS POURED THE SIDEWALK AND PARKING LOT LEVEL WVL. BE EVEN.
  - 17. POUR NEW CONCRETE WALK AND ACCESSIBLE RAMP AS INDICATED ON 5/AD1 RAMP SLOPE TO BE 1:12 MAX.
  - 18. EXISTING CURB TO REMAIN.
  - 19. LOCATION OF OLD PARKING STRIPING TO BE ABANDONED.
  - 20. POUR NEW CONCRETE CURB TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE CHANGES IN GRADE.

- ### GENERAL NOTES
- A. ALL INFORMATION SHOWN HAS BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION. TO HAVE EXISTING UTILITIES FIELD LOCATED.
  - B. ALL ON SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS FOR THE CITY OF FLOUISSANT, MISSOURI.
  - C. PRIOR TO BEGINNING OF THE WORK ON THE SITE, THE SUB-CONTRACTOR SHALL CONTACT THE GENERAL CONTRACTOR FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
  - D. CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
  - E. SEE SHEET A9.1 FOR ALL EXTERIOR MATERIALS AND FINISHES.



6 DETAIL @ NEW CONC. STAIR  
1/2" = 1'-0"



7 ROOF PLAN  
1/8" = 1'-0"  
NORTH

- ### RENOVATION ROOF PLAN NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING DEMOLITION CONSTRUCTION.
  2. ALL EXISTING ROOF TOP EQUIPMENT TO REMAIN IN PLACE UNDISTURBED.
  3. ALL EXTERIOR FINISH MATERIALS LISTED IN VORULE ON SHEET A5.1.
  4. CONTRACTOR TO GIVE OWNER OPTION FOR CLEANING EXISTING MEMBRANE ROOFING AND INSTALLING NEW LIQUID-APPLIED SOLVENT-BASED SLAY/OLING MEMBRANE ROOFING OVER ENTIRE ROOF AREA AND BACKS OF ALL PARAPETS.
  5. FLASH ANY NEW ROOFING INTO EXISTING AS REQUIRED.
  6. REWORK PORTIONS OF EXISTING TAPERED INSULATION ON EXISTING ROOF IF REQUIRED TO ACCOMMODATE NEW WORK.
  7. ALL EXISTING ROOF TOP EQUIPMENT SHOWN ON THIS DRAWING HAS TO BE VERIFIED IN FIELD.

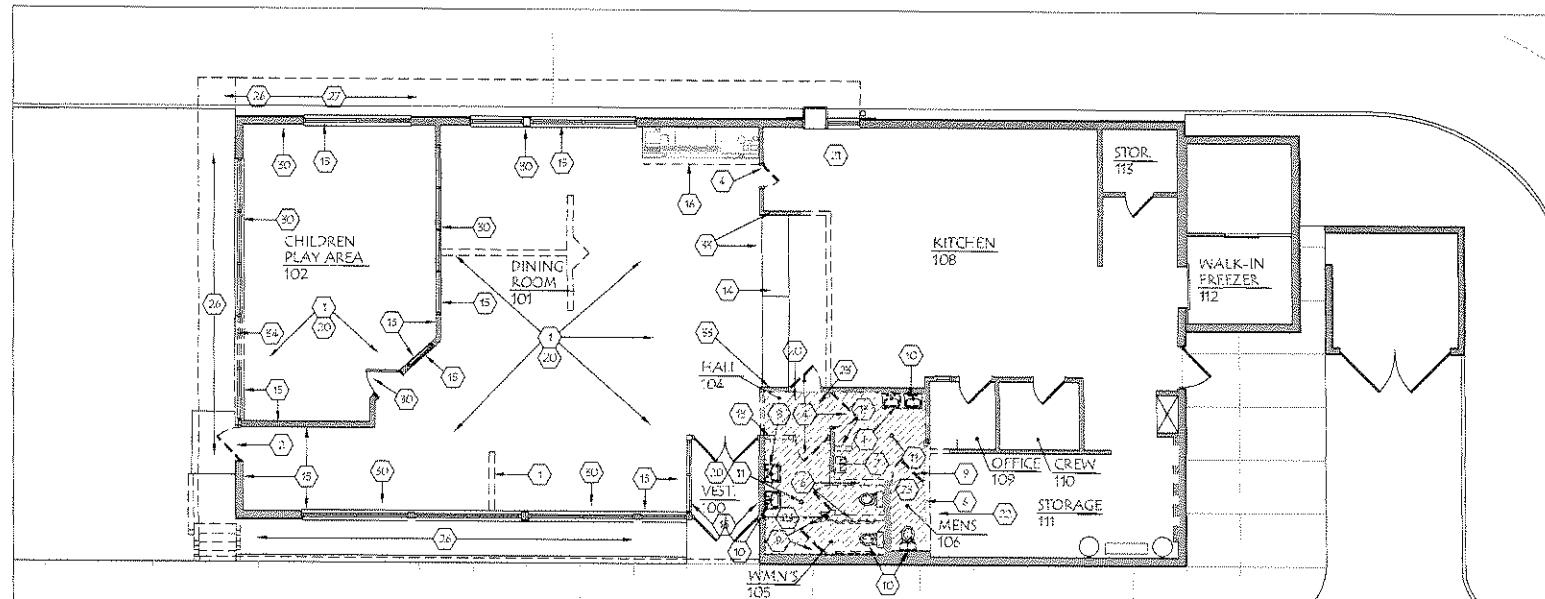
**ZWICK + GANDT**  
ARCHITECTURE, INC.  
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WWW.ZGARCHITECT.COM

**BURGER KING RENOVATIONS**  
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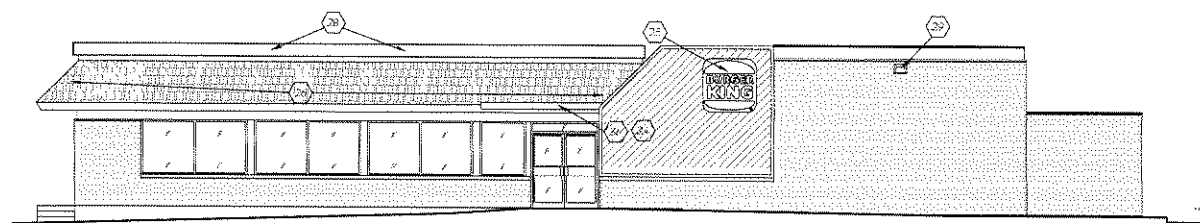
DATE	DESCRIPTION

PROJECT NUMBER:  
14088.00  
SITE PLAN  
AND DETAILS

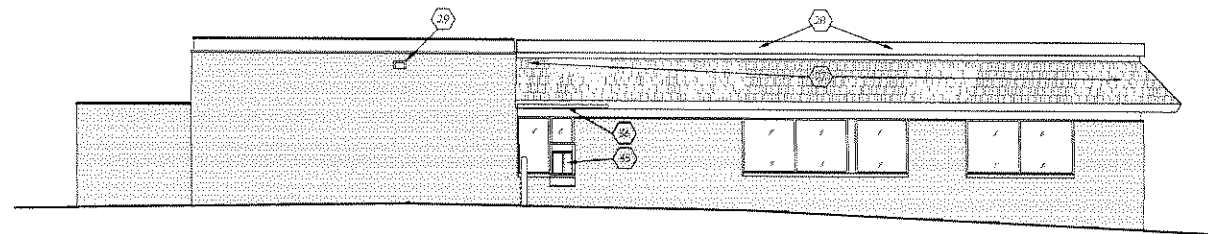
**A0.1**



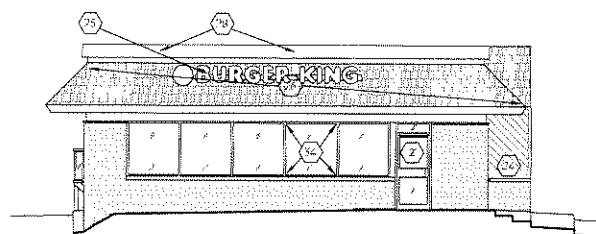
1 DEMOLITION PLAN  
1/8"=1'-0"



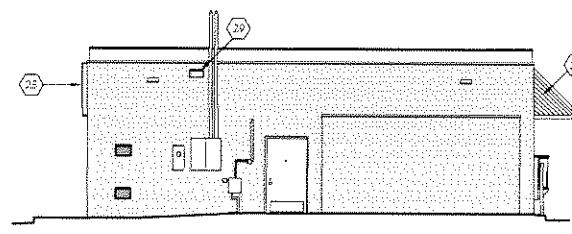
2 NORTHEAST ELEVATION  
1/8"=1'-0"



3 SOUTHWEST ELEVATION  
1/8"=1'-0"



4 NORTHEAST ELEVATION  
1/8"=1'-0"



5 NORTHWEST ELEVATION  
1/8"=1'-0"

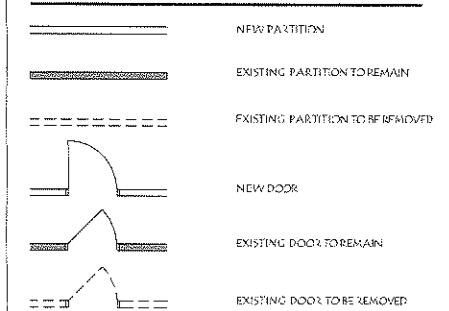
DEMOLITION PLAN KEYED NOTES

- 1 REMOVE ALL HALF WALLS AND EXISTING FURNITURE. EXISTING FLOORING IS TO REMAIN - SEE FLOOR PLAN FOR RENOVATION DETAILS. CONTRACTOR TO PROTECT EXISTING FLOORING TO REMAIN.
- 2 REMOVE EXISTING ALUMINUM DOOR AND REMOVAL FRAME AND OR DOOR TO REVERSE SWING AS INDICATED ON PROPOSED FLOOR PLAN ON A2.0.
- 3 NOT USED.
- 4 REMOVE EXISTING INTERIOR DOORS AND FRAMES ENTIRELY. PREPARE OPENINGS TO RECEIVE NEW DOOR AND FRAMES.
- 5 REMOVE EXISTING PLASTIC LAMINATE COUNTER ENTIRELY.
- 6 REMOVE EXISTING PARTITION AS INDICATED FROM FLOOR TO CEILING. PATCH FLOORING AND CEILING IN AREAS TO REMAIN.
- 7 CAREFULLY REMOVE EXISTING URINAL AND SAVE FOR RELOCATION. REFER TO PROPOSED PLAN ON A2.0 FOR NEW LOCATION. SEE PLUMBING.
- 8 REMOVE EXISTING WALL HUNG LAVATORY AND CAP-OFF ANY PLUMBING FLUSH WITH WALL.
- 9 REMOVE EXISTING P-LAM TOILET DOORS AND FRAMES.
- 10 EXISTING FIXTURES TO REMAIN - PROTECT DURING CONSTRUCTION.
- 11 EXISTING FLOOR DRAIN TO REMAIN - PROTECT FROM DEBRIS DURING CONSTRUCTION.
- 12 NOT USED.
- 13 REMOVE PORTION OF EXISTING PARTITION FROM FLOOR TO CEILING AS REQUIRED. PATCH ADJACENT FLOORING, BASE AND CEILING TO REMAIN AS REQUIRED.
- 14 REMOVE EXISTING FRONT COUNTER COUNTERTOP AND PREPARE SURFACES TO RECEIVE A NEW COUNTERTOP - SEE PROPOSED PLAN ON A2.0 FOR MORE INFO.
- 15 REMOVE EXISTING WOOD SILL AND CHAIR RAIL IN ALL LOCATIONS. CONTRACTOR TO VERIFY ALL LOCATIONS IN FIELD.
- 16 EXISTING DRINKING STATION CABINETRY TO REMAIN. CONTRACTOR TO REMOVE EXIST. DRINKS AND REPLACE WITH NEW DRINKS - SEE PROPOSED PLAN ON A2.0.
- 17 CONTRACTOR TO DEMO EXISTING NON-COMPLIANT ADA RAMP.
- 18 REMOVE EXISTING NON-COMPLIANT ACCESSIBLE STORAGE.
- 19 NOT USED.
- 20 REMOVE EXIST. CLG. TILE AND GRID, 2x4 LIGHT FIXTURES. RETURN AND SUPPLY AIR DIFFUSERS IN VEST. 100, DINING ROOM 101, CHILDREN PLAY AREA 102 AND HALL 104. REUSE EXIST. EXIT SIGNAGE AND SPEAKERS.
- 21 EXISTING DRIVE THRU WINDOW TO BE REMOVED. PREPARE OPENING FOR NEW UNIT. VERIFY WITH OWNER.
- 22 REMOVE PORTION OF EXISTING FLOORING, BASE AND CEILING TO ACCOMMODATE PROPOSED WORK. REPAIR ANY DAMAGED SURFACES TO REMAIN - STORED ITEMS AND SHELVING TO BE MOVED BY OWNER.
- 23 REMOVE EXISTING FLOORING, BASE, AND WALL TILES AS REQUIRED. PREPARE EXISTING WALL SURFACES TO RECEIVE NEW FINISHES. SEE GENERAL DEMO NOTES THIS SHEET.
- 24 REMOVE EXISTING SIDING AND TRIM.
- 25 REMOVE EXISTING SIGNAGE.
- 26 REMOVE EXISTING MANSARD ROOF ENTIRELY ON NORTH AND EAST ELEVATIONS. COORDINATE DEMOLITION OF PORTION OF MANSARD ROOF THAT IS TO REMAIN ON SOUTH ELEVATION.
- 27 EXISTING MANSARD ROOF TO REMAIN. CONTRACTOR TO REMOVE ANY ROOFING MATERIAL, SIDING AND TRIM, SOFFIT AND EXISTING LIGHTS AT BOTTOM OF MANSARD TO REMAIN. SEE GEN. DEMO NOTE "D".
- 28 REMOVE EXISTING LIGHT BAND AS REQUIRED.
- 29 REMOVE EXISTING EXTERIOR WALL MOUNTED LIGHT FIXTURE.
- 30 REMOVE EXISTING WOOD SURROUND AT THE TOP OF ALL WINDOWS ON THE INTERIOR, TYP. WOOD TRIM AT JAMB AND HEAD TO REMAIN AND COVERED WITH BREAK A METAL AS INDICATED ON A2.0.
- 31 REMOVE EXISTING CONCRETE WHEEL-STOP AND SAVE FOR RELOCATION.
- 32 REMOVE PORTION OF EXISTING CONCRETE SIDEWALK TO DEPRESS AREA AND PROVIDE A 1:1 SLOPE TRANSITION FROM EXISTING PARKING ONTO EXISTING SIDEWALK - REFER TO A2.0 FOR MORE DETAILS.
- 33 REMOVE EXISTING CERAMIC TILE FROM LOWER PORTION OF FRONT COUNTER AND ADJACENT WALLS ABOVE AND BELOW. PREPARE SURFACE TO RECEIVE NEW TILES - SEE PROPOSED PLAN.
- 34 REMOVE PORTION OF EXISTING STOREFRONT OPENING TO BE INFILLED PER A2.0 AND A3.0.
- 35 REMOVE EXISTING DRIVE-THRU DOORS AND CAREFULLY MODIFY THE WINDOW TO RECEIVE TWO FLOOR DOORS.
- 36 REMOVE EXISTING GUTTER AND DOWNSPOUT.

GENERAL DEMOLITION NOTES

- A. ALL DEMOLITION DRAWINGS, NOTES, DETAILS ARE COMPREHENSIVE TO NEW WORK. "NO SHEET STANDS ALONE". GENERAL CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH DEMOLITION AND NEW WORK SO AS TO REMOVE AND/OR SAVE-CUT EXISTING MATERIALS AT LOCATIONS THAT COORDINATE WITH NEW WORK.
- B. DO NOT SCALE DRAWINGS.
- C. FIELD VERIFY EXISTING CONDITIONS. MECHANICAL, ELECTRICAL, PLUMBING AND THE INTENT OF NEW WORK TO FULLY UNDERSTAND SCOPE OF DEMOLITION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- D. ALL EXISTING AS FAS ITEMS OR FINISHES TO REMAIN, A 1" TO 2" PROTECTED FLOW DAMAGE AS REQUIRED.
- E. COMPLY WITH ALL ENVIRONMENTAL REGULATIONS IN THE REMOVAL, HANDLING AND DISPOSAL OF DEMOLISHED MATERIALS.
- F. CUT REMOVED WALLS FLUSH WITH ADJACENT WALL SURFACES.
- G. COORDINATE TIMING OF OTHER DEMOLITION WORK BY MECHANICAL, ELECTRICAL, AND PLUMBING TRADES.
- H. VERIFY ALL ITEMS TO BE RETAINED AND DELIVERED TO THE OWNER IN GOOD WORKING CONDITION.
- I. AREAS SHOWN TO "REMAIN" OR "LIMITED WORK" ARE TO BE SEALED WITH "DUST-TIGHT" ENCLOSURES FROM THE REMAINDER OF THE BUILDING. THESE AREAS ARE TO REMAIN FREE FROM DUST, DEBRIS, AND "BREAS THROUGH-OUT" THE CONSTRUCTION. FINAL CLEANUP TO INCLUDE THE AREAS SHOWN TO "REMAIN" OR ALL "LIMITED WORK" AREAS.
- J. ANY WORK SUSPECTED TO DAMAGE OR INCREASE THE INSTABILITY OF THE EXISTING STRUCTURE ARE TO VERIFY ITS REMOVAL BY THE STRUCTURAL ENGINEER PRIOR TO PERFORMING WORK.
- K. PROVIDE TEMPORARY SHORING OR BRACING AS NECESSARY TO PROTECT EXISTING WALLS, FLOOR, ROOF CONSTRUCTION, ETC. AS MAY BE REQUIRED TO KEEP THE EXISTING CONSTRUCTION IN SOUND, STABLE, WATER-TIGHT WORKING CONDITION FOR NEW WORK.
- L. ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE TO BE IDENTIFIED PRIOR TO DEMOLITION WORK AND REMOVED UNDER A SEPARATE CONTRACT.
- M. REMOVAL OF FLOORING MATERIALS TO INCLUDE THE REMOVAL OF THE FLOORING PRODUCT AND THE ADHESIVE BOND TO THE EXISTING CONCRETE SURFACE, UNDO.
- N. REMOVE AND SAVE ANY TOILET ACCESSORIES IN GOOD WORKING AND PHYSICAL CONDITION, MIRRORS, GRAB BARS, SOAP DISPENSERS, ETC. ARE ALL TO BE REUSED IF THEY CAN BE IN CORRODED IN NEW DESIGN AND MEET ADA REQUIREMENTS. CONSULT WITH ARCHITECT AND OWNER IF NECESSARY.
- O. EXTERIOR LIGHT FIXTURES IN EXISTING SOFFIT TO REMAIN (BELOW EXISTING MANSARD ROOF TO REMAIN) ARE TO BE CLEANED AND RE-LAMPED WITH NEW METAL HALIDE LIGHT BULBS.

DRAWING LEGEND



The Professional Seal is not required for this drawing because the project is not a regulated activity under the Missouri Professional Seal Act. The Missouri Professional Seal Act requires that all drawings be prepared by a registered professional engineer or architect. The Missouri Professional Seal Act requires that all drawings be prepared by a registered professional engineer or architect.

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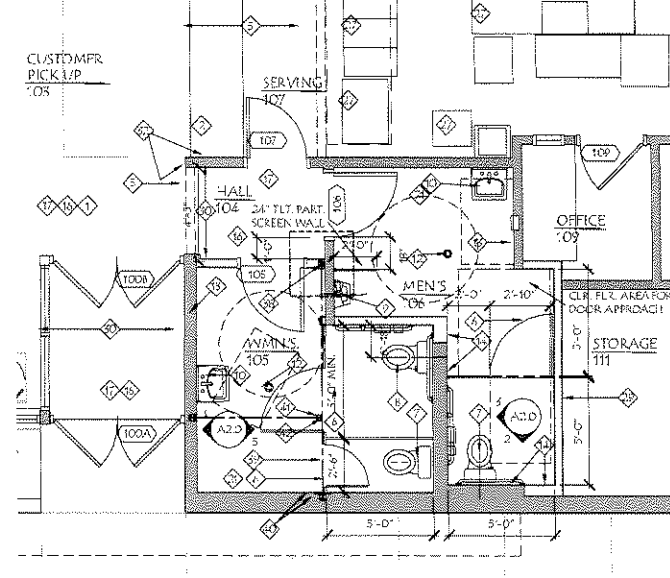
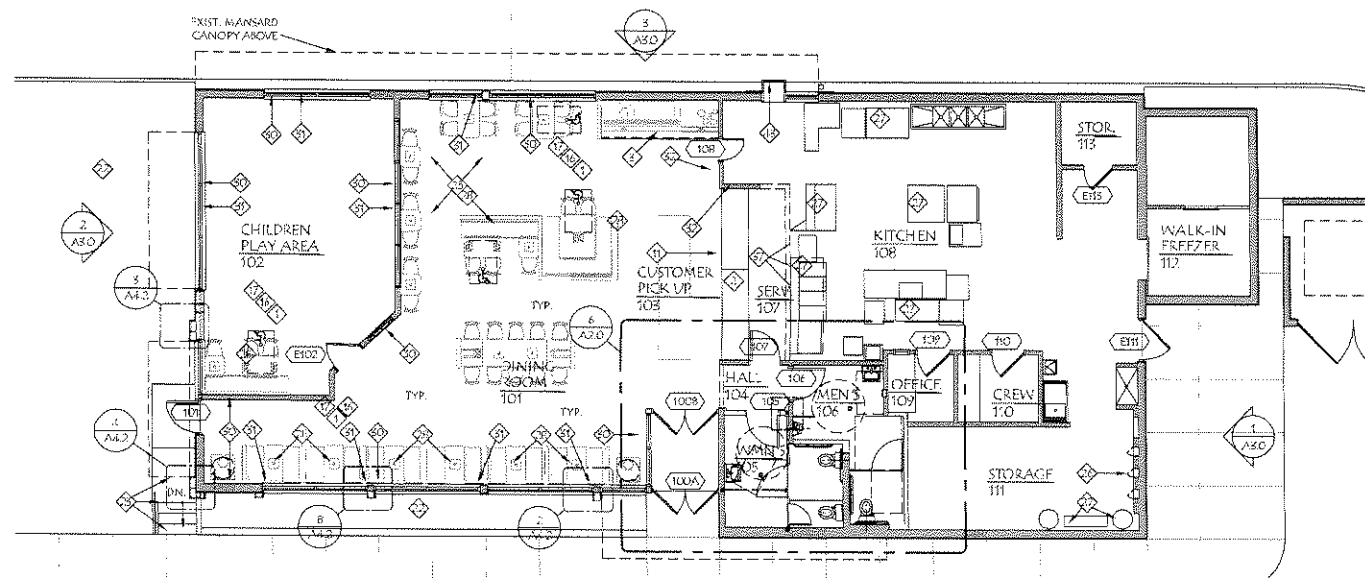
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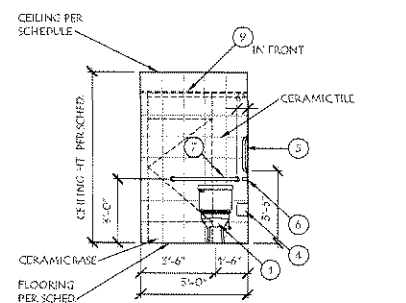
PROJECT NUMBER:  
14068.00  
**DEMOLITION PLAN,  
ELEVATIONS AND  
NOTES**

**A1.0**

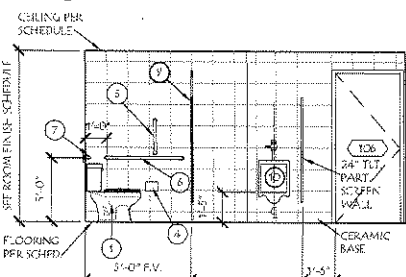




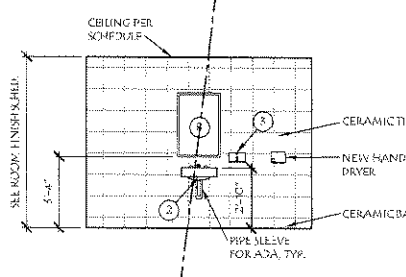
1 OVERALL FLOOR PLAN  
1/8"=1'-0"



2 TLT. ELEV. MEN'S 106  
1/4"=1'-0"



3 TLT. ELEV. MEN'S 106  
1/4"=1'-0"

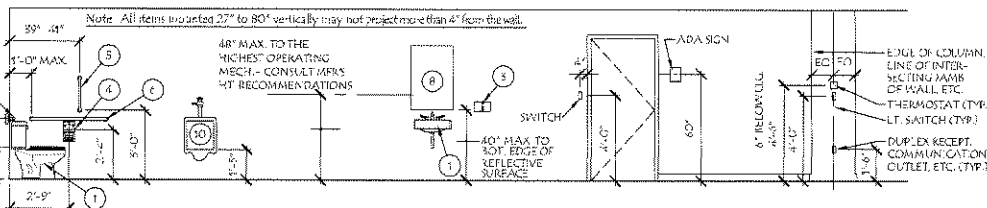


4 TLT. ELEV. MEN'S 105  
1/4"=1'-0"

5 TLT. ELEV. WMN'S 105  
1/4"=1'-0"

LOCATION OF DEVICES

- DEVICES INSTALLED BY SEPARATE TRADES (SUCH AS LIGHT SWITCHES, THERMOSTATS, ETC.) INSTALLED IN THE SAME LOCATION, SHALL BE MOUNTED IN A CONFIGURATION ACCEPTABLE TO THE ARCHITECT.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN THE LAYOUT OF HIS WORK & IN VERIFICATION OF ANY EXISTING CONDITIONS & DIMENSIONS.
- THE COORDINATION & ALIGNMENT OF THIS WORK (WITH ITSELF & ADJACENT WORK) IS OF PRIMARY IMPORTANCE & SHOULD TAKE PRECEDENCE OVER WRITTEN DIMENSIONS, ESPECIALLY APPROXIMATE DIMENSIONS.
- THE INSTALLING CONTRACTOR SHALL LAYOUT HIS WORK & VERIFY TO INSURE PROPER ALIGNMENT & FIT. HE WILL REPORT ANY DISCREPANCIES TO THE PROJECT SUPERINTENDENT AND ARCHITECT.
- DEVICES SHALL BE UNIFORMLY MOUNTED SO THEY WILL BE SYMMETRICAL WHEN SHOWN ON THE MECHANICAL & ELECTRICAL DRAWINGS & NOT ON THE ARCHITECTURAL DRAWINGS. VERTICALLY ALIGN DEVICES MOUNTED AT DIFFERENT HEIGHTS UNLESS SEPARATED HORIZONTALLY BY 2".
- DEVICES INSTALLED IN MASONRY OR INSTALLED IN / MOUNTED TO SURFACES TO RECEIVE WOOD PANELS, WALL COVERING, OR SIMILAR MATERIALS SHALL BE INSPECTED BY THE ARCHITECT / ENGINEER PRIOR TO ROUGH-IN.
- WHEN IN DOUBT, CHECK WITH THE ARCHITECT / ENGINEER PRIOR TO ROUGH-IN. ALL COSTS TO CORRECT DEVIATIONS FROM THESE PRINCIPLES WILL BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.



7 LOCATIONS OF DEVICES  
N.T.S.

FIXTURE & ACCESSORIES LEGEND

NO.	DESCRIPTION	STATUS
1	WATER CLOSET	EXISTING TO BE REUSED
2	LAVATORY	EXISTING TO BE REUSED
3	SOAP DISPENSER	EXISTING TO BE REUSED
4	TOILET PAPER DISPENSER	EXISTING TO BE REUSED
5	18" GRAB BAR	BORRICK B-8806 x 18
6	42" GRAB BAR	BORRICK B-6806 x 42
7	36" GRAB BAR	BORRICK B-6806 x 36
8	MIRROR	EXISTING TO BE REUSED
9	METAL TOLL PARTITIONS - FR. MTG. OVERHEAD BRACED	RAKED FINISH
10	URINAL	EXISTING TO BE REUSED
11	30"x48" LAVATORY CLEAR SPACE	-
12	5'-0" DIAMETER TURN-AROUND FOR ADA	-

PLUMBING FIXTURE & ACCESSORY

- GENERAL NOTES

- SET ALL FLOOR DRAINS TO AN ELEVATION FOR POSITIVE DRAINAGE FOR THE ENTIRE SPACE THE DRAIN SERVES. THE FINISHED FLOOR SLOPE SHALL BE 1/8" PER FOOT MINIMUM TO THE FLOOR DRAINS FINISH TO BE SILVER.
- ALL PLUMBING FIXTURES TO BE FULLY ACCESSIBLE.
- PROVIDE WOOD BLOCKING AS REQUIRED FOR PROPER INSTALLATION OF ALL TOILET ACCESSORIES.
- PROVIDE NEW CERAMIC TILE BEHIND MIRROR TYP. 3/8" BEHIND MIRROR AS REQUIRED.
- CONTRACTOR MAY REUSE SOME OF THE EXISTING GRAB BARS AND SUPPLEMENT NEW AS REQUIRED IF THEY MEET LENGTHS REQUIRED BY THE CODE.

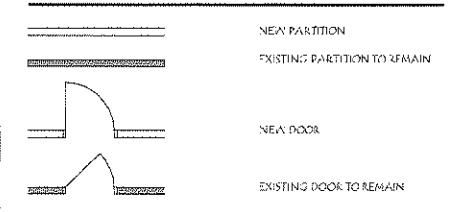
GENERAL NOTES

- ALL PARTITION TYPES ARE TYPE I/AT - J.U.D.
- REFER TO DECOR PACKAGE FOR ALL INTERIOR FINISHES.
- ASSUMED FINISH FLOOR ELEVATION FOR THE PURPOSE OF THIS DOCUMENT IS 100'-0".
- DO NOT SCALE DRAWINGS.
- IT IS GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVER-HEAD PLUMBING AND ELECTRICAL STUB-UPS, SPOT GRABING AT PERMITTED FOUNDATIONS.
- INSTALL WATER-RESISTANT GYPSUM BOARD BEHIND ALL CERAMIC TILE AND / OR WET WALLS.
- AT LOCATIONS WHERE ROOMS ARE SCHEDULED WITHOUT A CEILING, THE PERIMETER PARTITIONS ARE TO BE EXTENDED TO THE STRUCTURE WHETHER INDICATED OR NOT.
- CONCRETE JOINTS IN GYPSUM BOARD ARE TO BE INSTALLED AS REQUIRED BY US GYPSUM ASSOCIATION AT ALL LOCATIONS IN GYPSUM BOARD ASSEMBLIES TO PREVENT CRACKING. FINAL JOINT LOCATION TO BE REVIEWED BY ARCHITECT PRIOR TO INSTALLATION.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE TREATED WOOD UNO.
- SEE SHEET A4.2 FOR ALL SCHEDULED DOORS, FRAME TYPES, HARDWARE AND DETAILS.
- ALL DIMENSIONS TO BE FIELD VERIFIED. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
- CONTRACTOR TO RELOCATE EXISTING SURVEILLANCE CAMERAS AND EXTERIOR SPEAKERS AS REQUIRED.
- MECHANICAL, ELECTRICAL AND PLUMBING ARE DESIGN-BUILD WITH EACH PARTY RESPONSIBLE TO PROVIDE THEIR ENGINEERED DRAWINGS.
- REFER TO A4.2 FOR TYP. CEILING DETAILS INSTALLATION.

FLOOR PLAN KEYED NOTES

- CONTRACTOR TO PATCH EXISTING DINING ROOM 101 AND CHILD PLAY AREA 102 TILE FLOORING IN AREAS WHERE EXISTING FURNITURE AND HALF WALLS HAVE BEEN REMOVED AS REQUIRED. VERIFY TILE W/ SK. INTERIOR DESIGN PACKAGE.
- NEW CORIAN (RAFFRA) FRONT COUNTER/COUNTERTOP.
- EXIST. BRINKING SEA FROM CABINET DRY FOR REUSE. ALL NEW VICKERS.
- NOT USED.
- EXIST. SOFFIT ABOVE TO REMAIN.
- NEW BAKED ENAMEL TOILET PARTITIONS - FLOOR MOUNTED OVERHEAD BRACED.
- EXIST. WATER CLOSET TO REMAIN.
- RELOCATED EXIST. WATER CLOSET.
- RELOCATED EXIST. URINAL.
- EXIST. WALL MOUNTED LAVATORY TO REMAIN.
- NEW PLASTIC LAMINATE BELOW COUNTER - SEE DECOR PACKAGE PLANS.
- EXIST. FLOOR DRAIN TO REMAIN.
- NEW HIGH SPEED HAND DRYER - NEWTON XL-BWT-1N
- ALIGN NEW PARTITION WITH EXISTING TO REMAIN.
- NOT USED.
- CONTRACTOR TO PROVIDE NEW 2" C.G. TILES AND GRID (ADDFR 0210) IN VEST. 100, DINING RM. 101, CHILD PLAY AREA 102 AND HALL 104.
- REPLACE EXIST. 2x4 LIGHT FIXTURES WITH NEW 2x4 PARABOLIC LIGHTING IN ALL AREAS INDICATED IN NOTE #16 ABOVE - SEE ELECT. DWG'S FOR MORE DETAIL.
- NOT USED.
- NOT USED.
- NOT USED.
- NEW CERAMIC TILE FLOORING AND BASE - CONTRACTOR TO PROVIDE A SMOOTH LEVEL TRANSITION BETWEEN OLD AND NEW FLOORING. SEE DECOR PLANS.
- EXIST. LANDSCAPING TO REMAIN - PROTECT DURING CONSTRUCTION.
- NEW CONCRETE STEPS AND METAL HANDRAIL REFER TO DETAIL 6/10/11
- SEE SITE PLAN ON A0.1 FOR ALL EXISTING AND NEW SITE FEATURES.
- OWNER PROVIDED CONTRACTOR INSTALLED ACCENT PENDANT LIGHTS - COORD. LOCATION, QUANTITY AND ANY OTHER WORK ASSOCIATED WITH OWNER.
- EXIST. ELECTRICAL PANELS TO REMAIN - NO WORK.
- EXIST. EQUIPMENT TO REMAIN.
- FURNITURE BY OTHERS - SHOWN FOR REFERENCE ONLY.
- PROVIDE NEW BASE, WALL FINISH AND CEILING TRIM TO MATCH EXISTING AS REQUIRED AS A RESULT FROM DEMOLITION WORK.
- NEW MARBLE OR APPROVED EQUAL WAINSCOT AND CORIAN WINDOW SILL AND CHAIR-RAIL. SEE DECOR PLANS PACKAGE.
- NEW PERIM. BREAK METAL CLOSURE PIECE TO MATCH EXISTING STOREFRONT AT JAMB AND HEAD. VERIFY EXACT SIZE AND LOCATION IN FIELD.
- NEW TILE BELOW FRONT COUNTER, MENU BOARD WALL AND WALLS AT EACH END OF COUNTER - SEE DECOR PACKAGE PLANS FOR MORE INFO. ON FINISHES PATCH EXISTING FLOORING AND BASE AS REQUIRED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- EQUIPMENT ACCESS PANELS BEHIND FRONT COUNTER IN PARTICULAR, THE FRYER AND PRIES TENDER TO RECEIVE NEW DOORS / COVERS TO MATCH NEW DOORS AT THE DRINK STATION.
- NEW CONCRETE FOOTING 3'-0" x 3'-0" x 1'-0" W/ 3" #4 B.V. @ 12" O.C. AND 3/2" BARS POST. BURY NEW POST IN NEW WALL.
- NEW 2" x 4" S4S 11' x 11' LEVEL 2.0 BEAM TO ALIGN WITH BOTTOM OF EXISTING BEAM.
- NEW 4x4 POST SOUTHERN PINE #2 OR BET. BURY IN EXISTING WALL - RECEIVE PORTION OF EXISTING GYP. BOARD FOR INSTALLATION OF NEW POST AND PATCH GYP. BOARD AS REQUIRE ONCE INSTALLATION IS COMPLETE.
- EXISTING WOOD POST TO BE REMOVED.
- PROVIDE SIMPSON HUSHD HANGER AT BEAM TO BEAM CONNECTION. VERIFY EXISTING BEAM WIDTH.
- MODIFY EXISTING DRIVE-THRU WINDOW TO RECEIVE NEW DOOR PER B.K. SPECS.

FLOOR PLAN LEGEND



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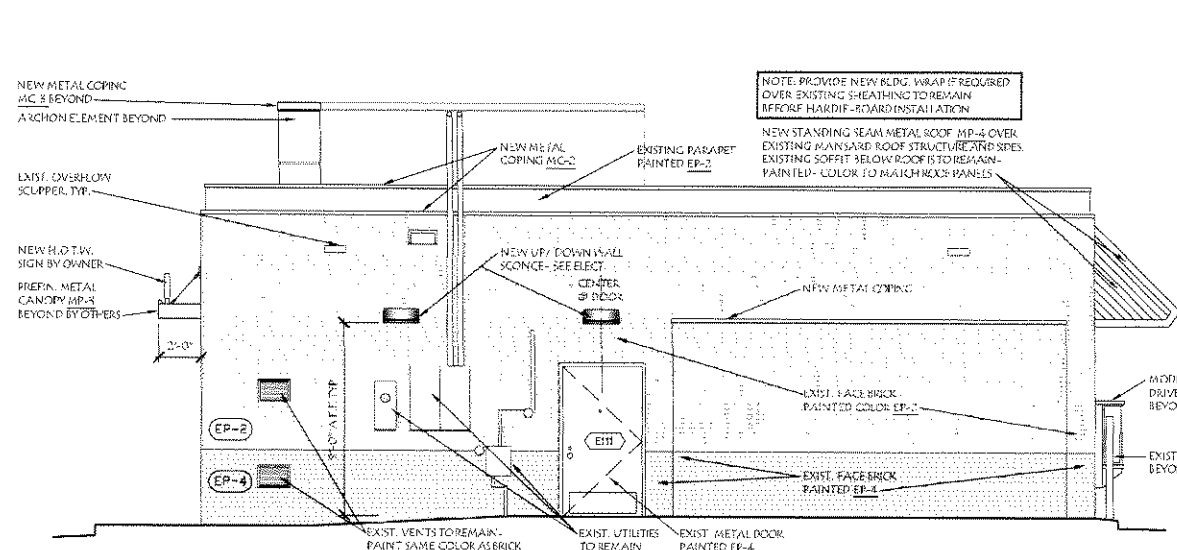
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7-19-2016

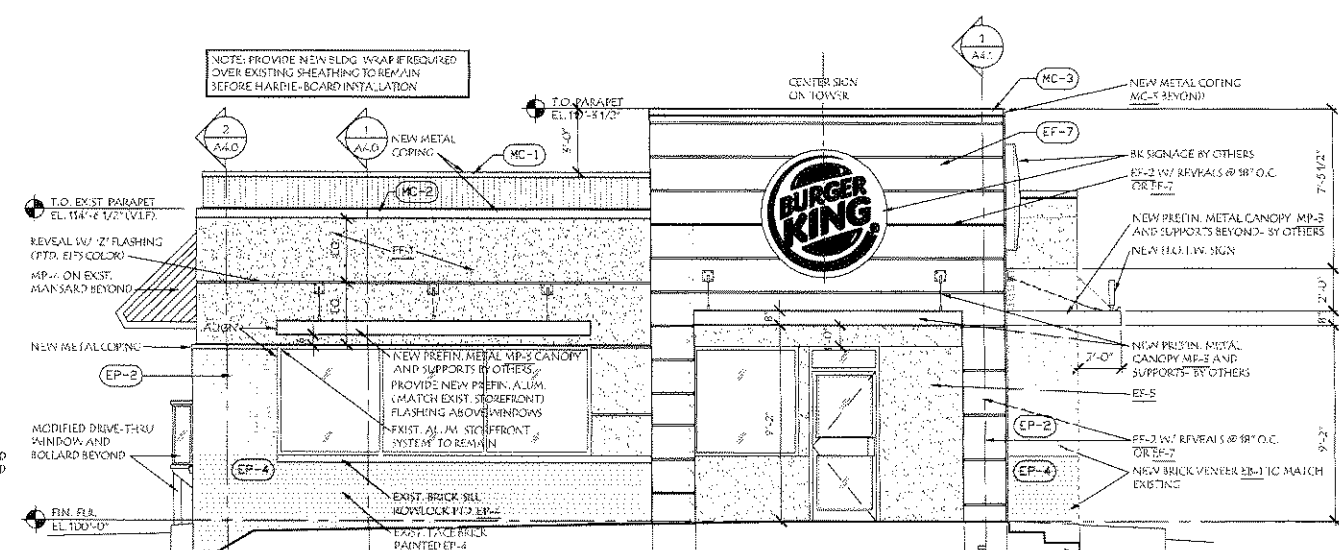
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PROJECT NUMBER:  
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**FLOOR PLAN**  
**DETAILS AND INTERIOR**  
**ELEVATIONS**

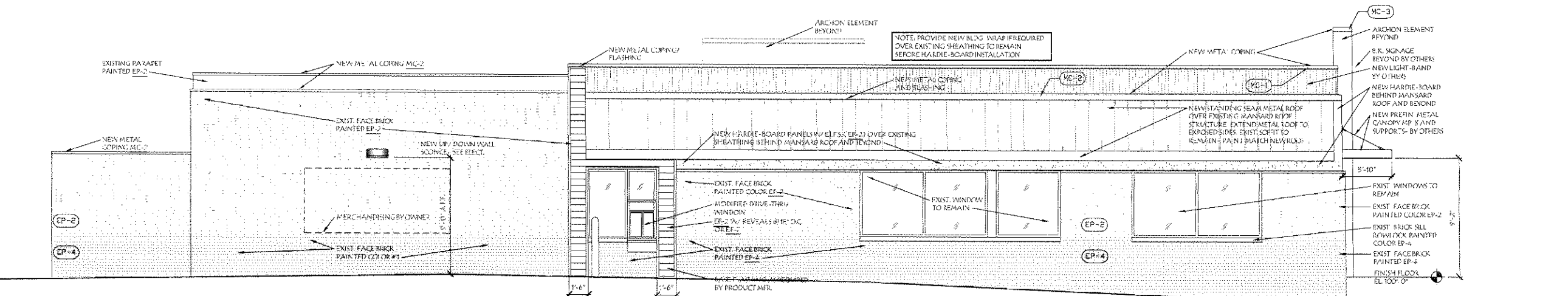
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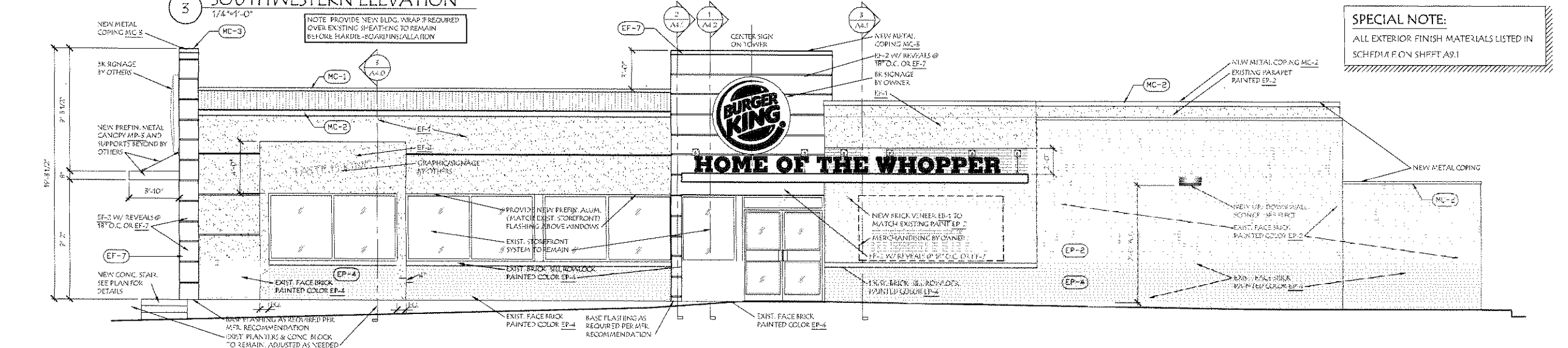
1 NORTHWESTERN ELEVATION  
1/4" = 1'-0"



2 SOUTHEASTERN ELEVATION  
1/4" = 1'-0"



3 SOUTHWESTERN ELEVATION  
1/4" = 1'-0"



4 NORTHEASTERN ELEVATION  
1/4" = 1'-0"

**SPECIAL NOTE:**  
ALL EXTERIOR FINISH MATERIALS LISTED IN  
SCHEDULE P ON SHEET A9.1

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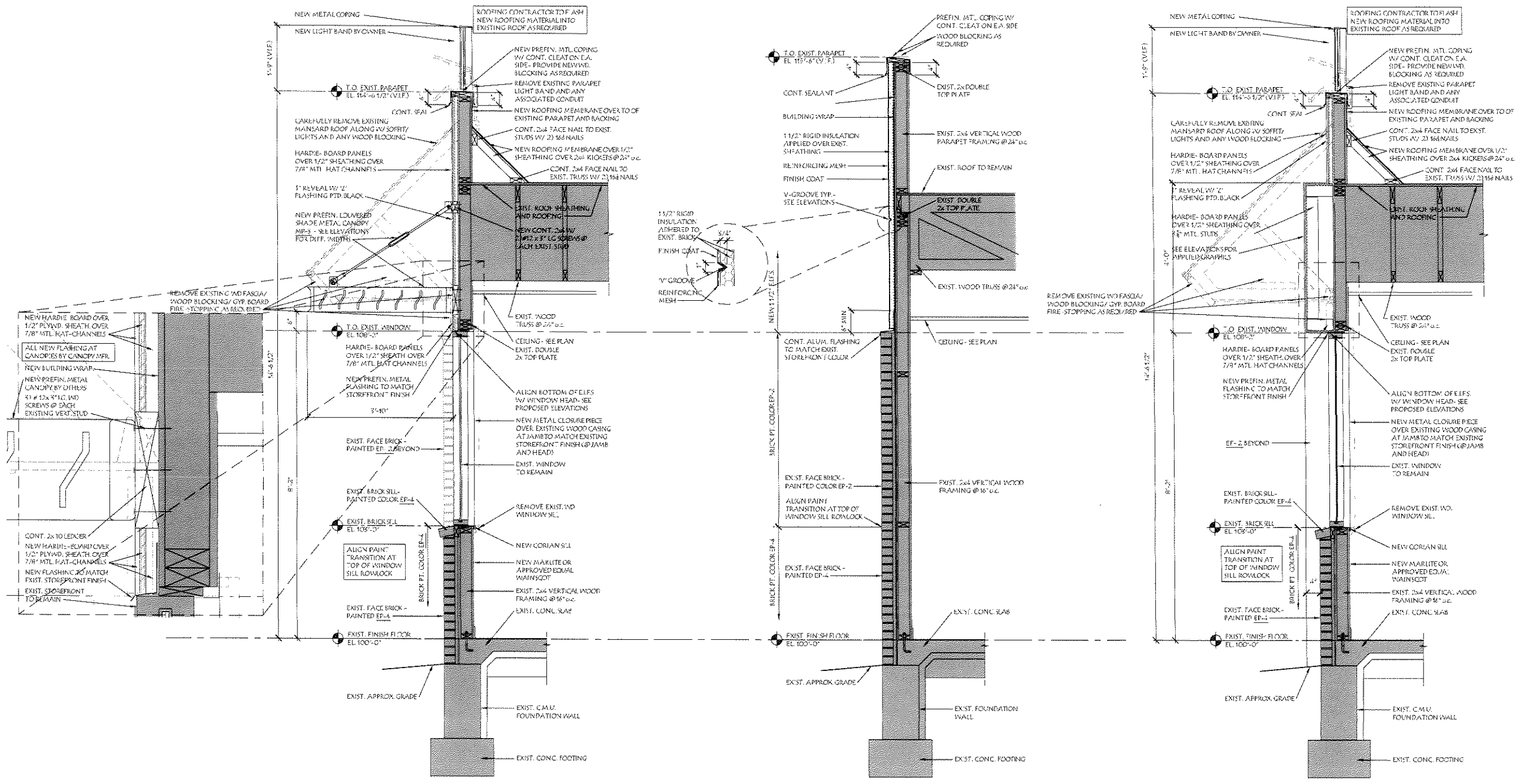
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**BUILD. ELEVATIONS**

**A3.0**

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**WALL SECTIONS**

**A4.0**

The Federal contractor and subcontractor must ensure that the same contract and program of work is followed for the preparation of the drawings and that the same shall be the responsibility of the contractor.

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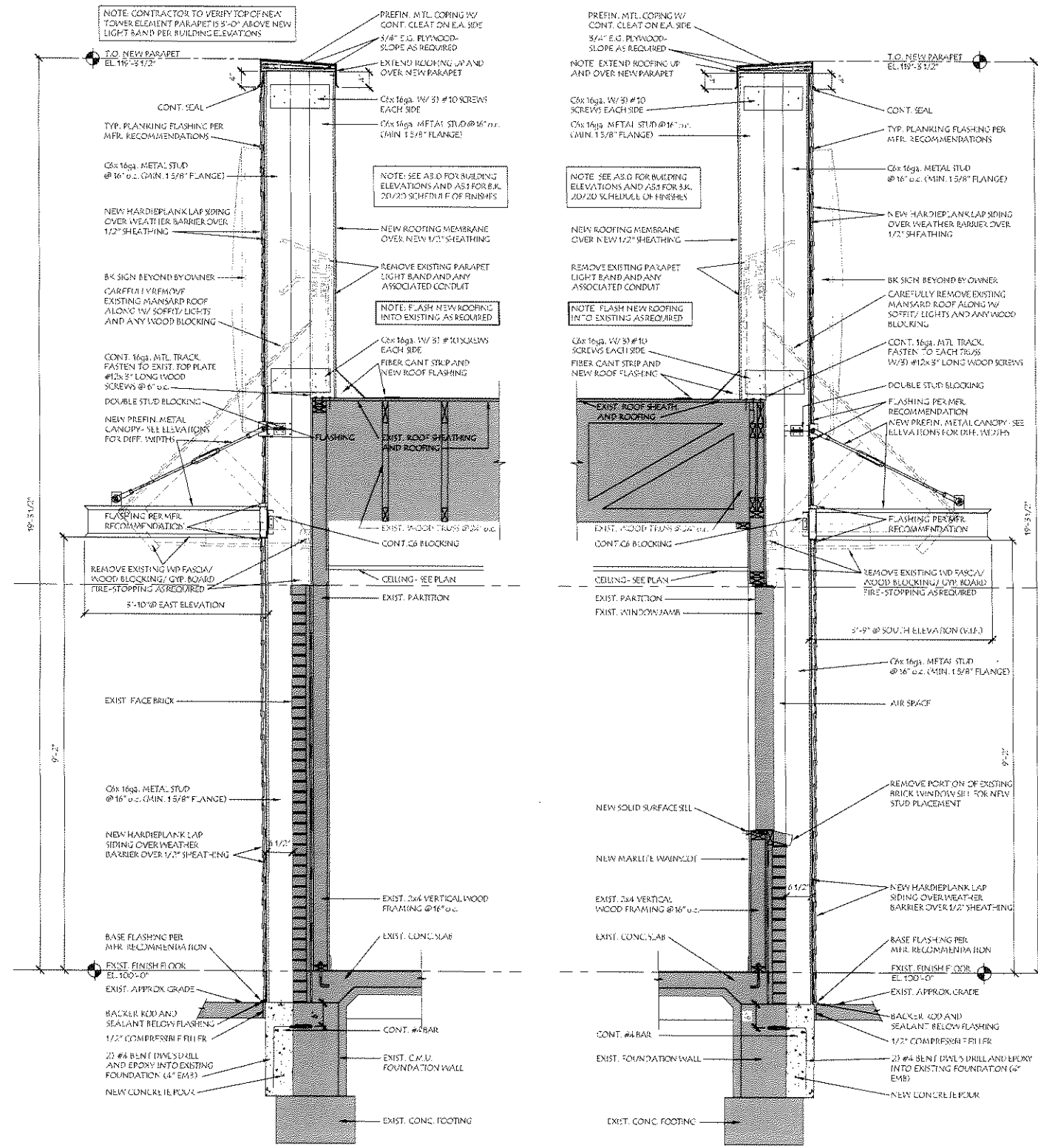
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7-10-2014
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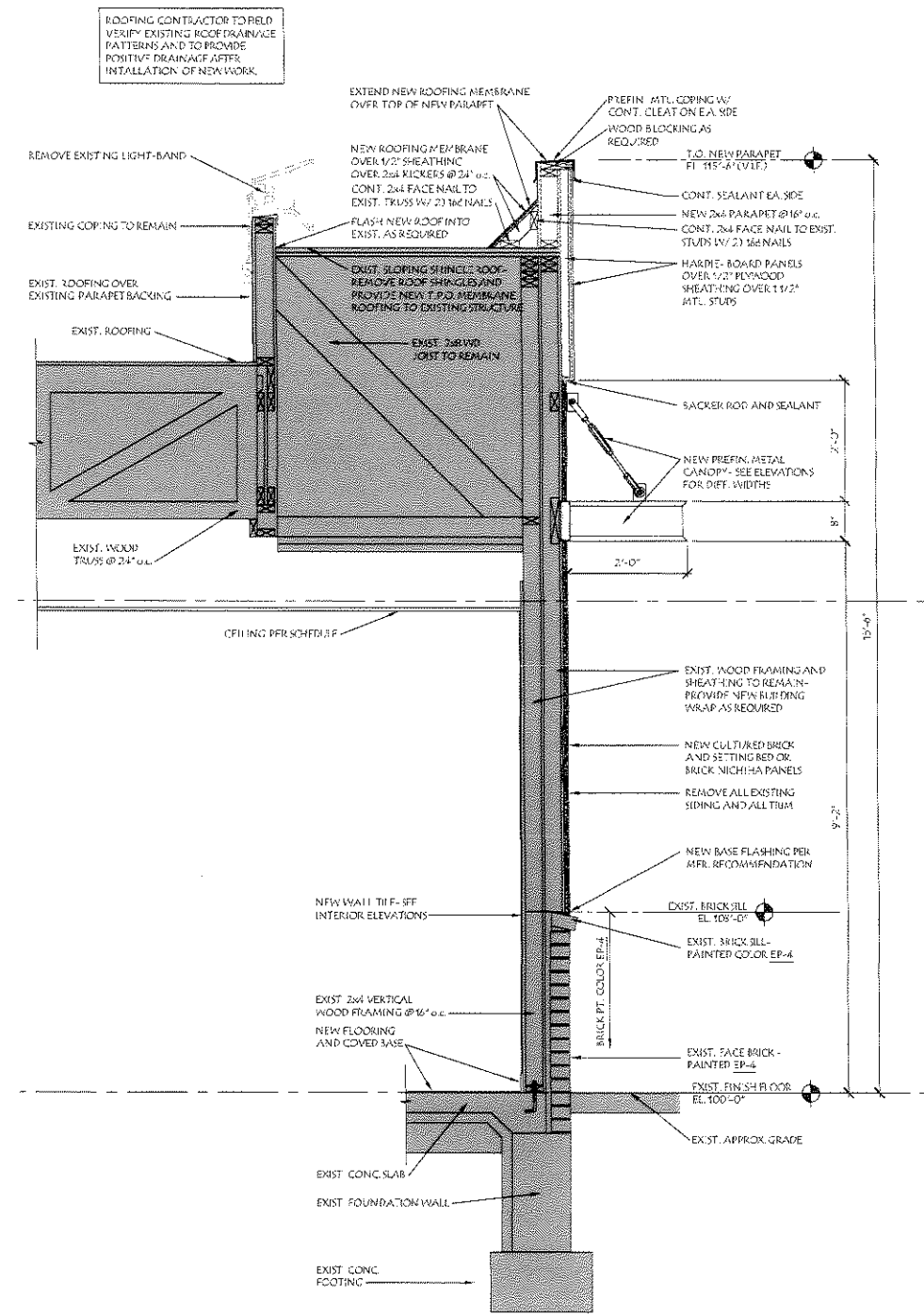
WALL SECTIONS

**A4.1**



1 WALL SECTION  
3/4\"/>

2 WALL SECTION  
3/4\"/>



3 WALL SECTION  
3/4\"/>



The drawings herein are prepared by the architect under the supervision of the professional engineer and shall be construed as such. The engineer shall not be responsible for the accuracy of the drawings.

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**WALL SECTIONS**

**A4.2**

**GENERAL SEISMIC CLG. NOTES**  
(SEISMIC DESIGN CATEGORY 'D')

THE FOLLOWING ARE ALL THE IRC CATEGORY D, E, F2 COPE REQUIREMENTS FOR LAY-IN ACOUSTICAL PANELS AND DIRECT-HUNG ACOUSTICAL TILES. THE SPECIFICATIONS BELOW ARE FOR STANDARD APPLICATIONS.

**BASIC CONNECTIONS, PERIMETER, AND LATERAL SPLAY BRACING**

MINIMUM INTERSECTION STRENGTH LIMITS @ INT./CT VERTICAL HANGER WIRE 10-CAUSE @ 4" O.C. CONNECTION DEVICE FROM VERTICAL WIRE TO THE STRUCTURE ABOVE MUST SUSTAIN MIN 100 LBS MAIN TEE CLASSIFICATIONS 1 IN 6 MAX PLUMB OF VERTICAL HANGER WIRE PERMETER VERTICAL HANGER WIRE'S NOT MORE THAN 8" FROM WALL GRID END/WALL CLEARANCE PERIMETER CLOSURE (MOLDING) WIDTH GRID CONNECTION TO PERIMETER ATTACHED ON TWO ADJACENT WALLS PERIMETER TEE ENDS TIED TOGETHER HORIZONTAL RESTRAINT (SPLAY WIRES OR RIGID BRACING) WITHIN 2" OF INTERSECTION AND SPACED 30" APART AT 45 DEGREE ANGLES COMPRESSION POSTS (STRUTS) 12" O.C. IN BOTH DIRECTIONS STARTING 6" FROM WALLS SPLAY BRACING CONNECT ON STRENGTH 200 LBS OR THE DESIGN LOAD, WHICHEVER IS GREATER PARTITION ATTACHMENT SEISMIC SEPARATION JOINT

**LIGHT FIXTURE ATTACHMENT**

LIGHT FIXTURE (ALL TYPES) MECHANICALLY ATTACHED TO GRID NEC 410-16 (TWO PER FIXT.) UNLESS INDEPENDENTLY SUPPORTED SURFACE-MOUNTED FIXTURES ATTACHED TO GRID PENDANT-MOUNTED FIXTURES DIRECTLY SUPPORTED FROM STRUCTURE WITH 9-GAUGE WIRE (OR APPROVED ALTERNATIVE) RIGID LAY-IN OR CAN LIGHT FIXTURES 10 LBS - ONE WIRE TO STRUCTURE (MAY BE SLACK) 10 TO 36 LBS - TWO WIRES FROM JOUSING TO STRUCTURE (MAY BE SLACK) 36 LBS - SUPPORTED DIRECTLY TO STRUCTURE BY APPROVED

**SERVICE APPLICATIONS**

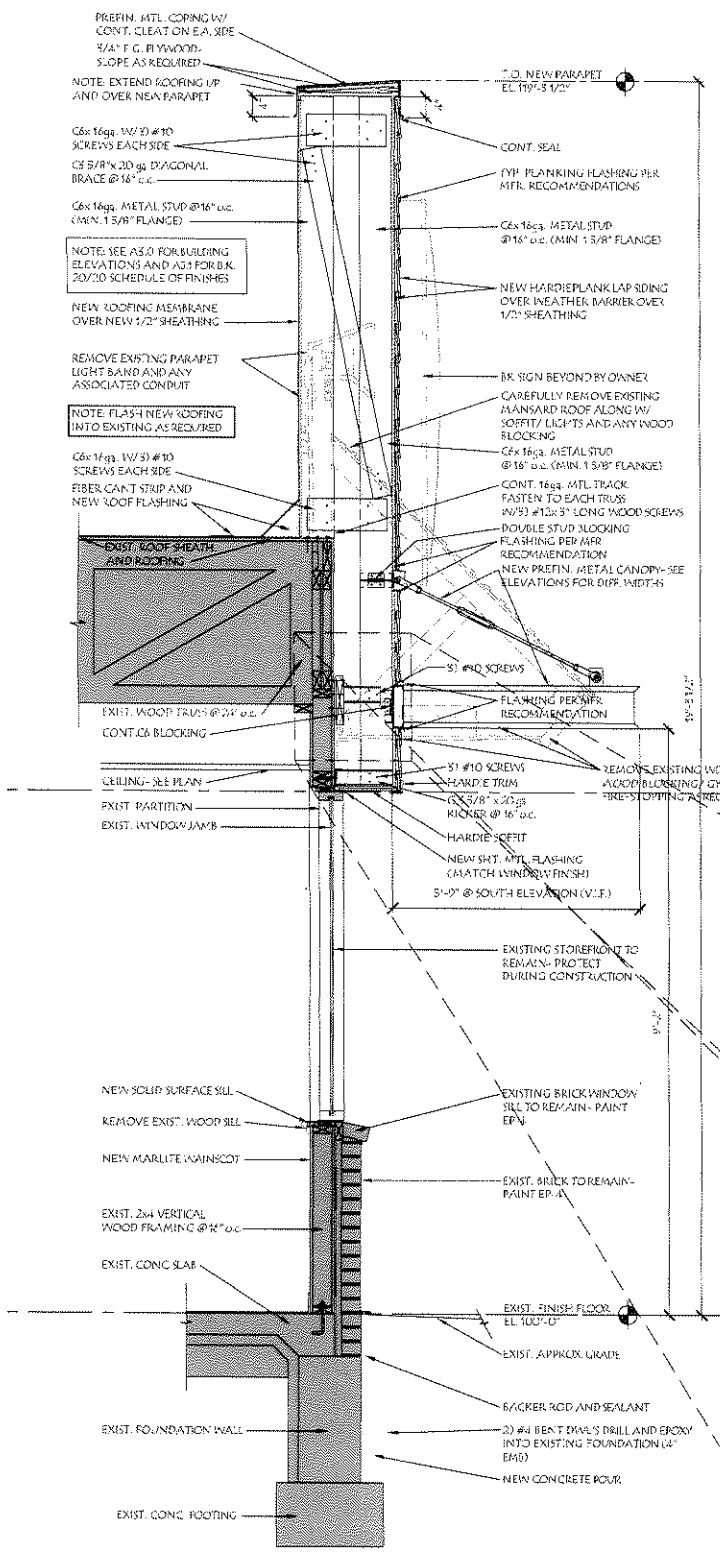
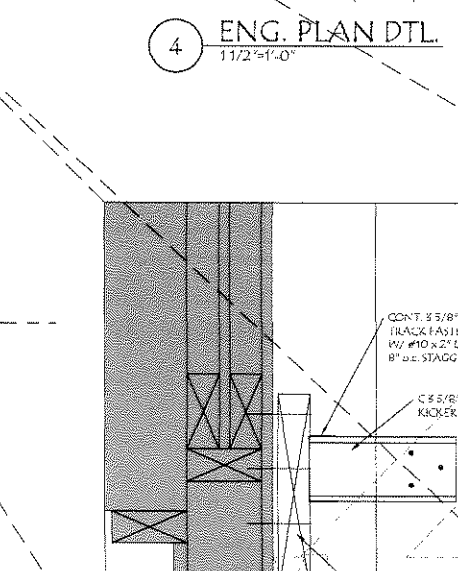
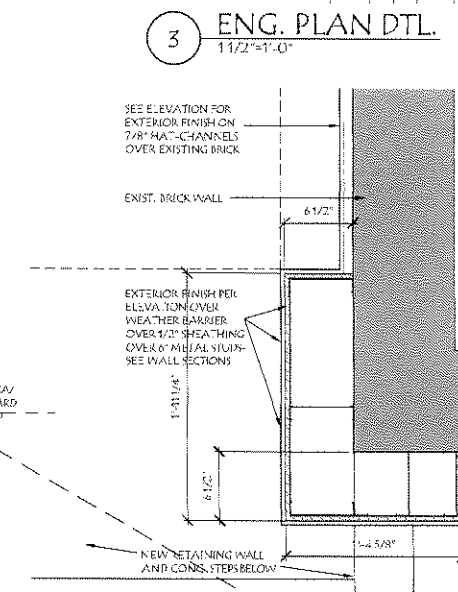
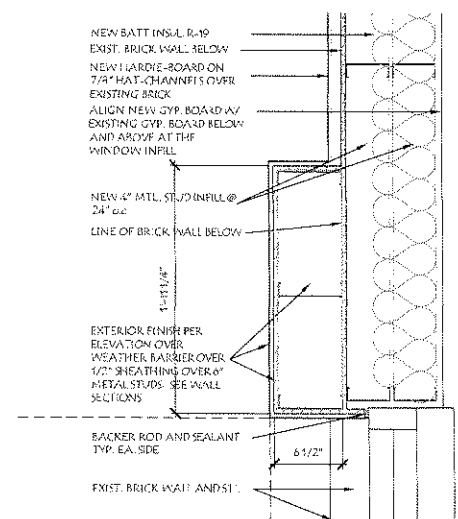
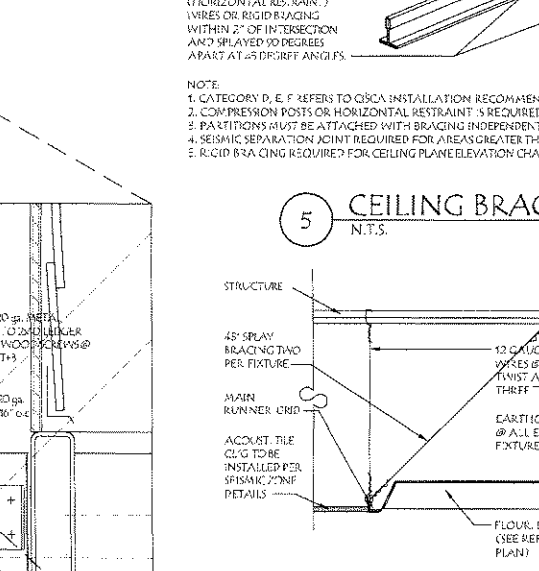
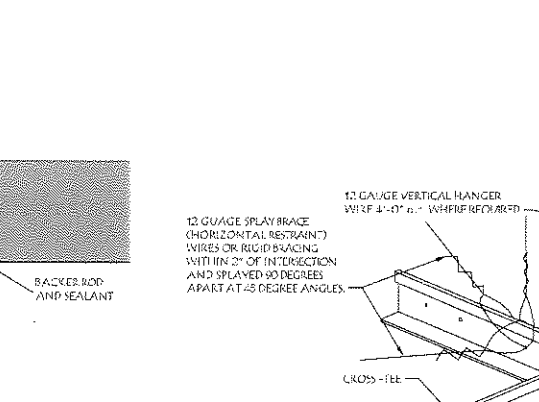
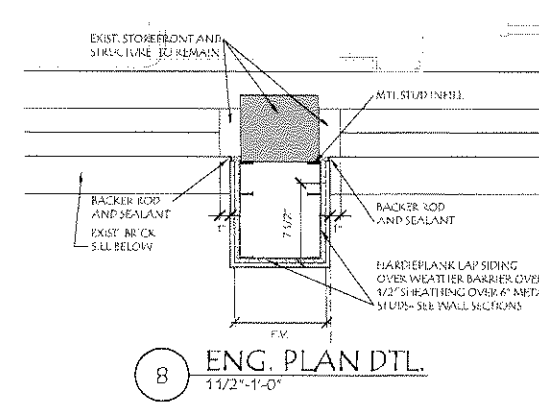
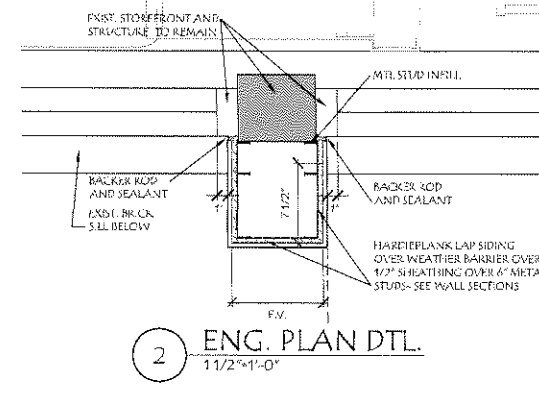
AIR TERMINALS 20 LBS - POSITIVELY ATTACHED TO GRID 20 TO 36 LBS - POSITIVELY ATTACHED TO GRID AND TWO WIRES TO STRUCTURE (MAY BE SLACK) 36 LBS - DIRECTLY SUPPORTED TO STRUCTURE SPRINKLER HEADS AND OTHER PENETRATION CLEARANCE MIN 2" DIA. OPENING OR A SAVING JOINT CABLE TRAYS AND ELECTRICAL CONDUIT INDEPENDENTLY SUPPORTED AND BRACED

**NOTES**

1. REFER TO CISCA INSTALLATION RECOMMENDATIONS FOR ZONES 4-WALL/CEILING.
2. THE ABOVE INFORMATION IS CORRECT TO THE BEST OF OUR KNOWLEDGE AT THE DATE OF ISSUANCE. BECAUSE CODES CONTINUE TO EVOLVE, CHECK WITH A LOCAL OFFICIAL PRIOR TO DESIGNING AND INSTALLING A CEILING SYSTEM. THIS IS ONLY INTENDED AS A QUICK REFERENCE.
3. REQUIRED FOR CEILING LARGER THAN 1,000 SQUARE FEET.
4. WHERE SUBSTANTIATING DESIGN CALCULATIONS ARE NOT PROVIDED.

**GENERAL SEISMIC BRACING NOTES:**

1. ALL BRACING WIRE TO BE ATTACHED PARALLEL TO THE COMPONENT AND AT MAX. OF 45° TO THE PLANE OF THE CEILING.
2. ALL BRACING WIRE TO BE TIGHT AND TIED BOTH ENDS WITH A MINIMUM OF 3 TURNS.
3. SPLAY ALL WIRES TO STRUCTURE ABOVE.
4. RING NAILS SHALL BE INSTALLED AT ALL COMPONENT INTERSECTIONS WITH THE HORIZONTAL STRUT AT UNATTACHED WALLS.
5. THE HORIZONTAL SPACER BAR SHALL RUN CONTINUOUS ALL PERIMETERS NOT ATTACHED TO THE WALL ANGLE.
6. INSTALLATION MUST CONFORM TO CISCA RECOMMENDATIONS.
7. MIN. HEAVY DUTY GRID 35 IN.
8. SEE CEILING SYSTEM SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
9. WHERE WIRE MUST BEAT AGAINST PIPES AND DUCTS, APPLY TAPE TO PIPES AND DUCTS.
10. GENERAL CONTRACTOR TO SEISMICALLY BRACE LIGHT FIXTURES, DIFFUSERS, ETC. IN ACCORDANCE WITH CONTRACT SPECIFICATIONS.
11. PROVIDE WAVE SUSPENDED CEILING SYSTEM WITH BEIC CLIP (AS PER BY ARMSTRONG) IN ALL ROOM AREAS WITHIN SEISMIC ZONES D, E, AND F.



**1 WALL SECTION**  
3/4" x 1'-0"

BID PERMIT SET

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	
100	VESTIBULE	EXISTING	EXIST	-	W.P. PANEL/PT	-	W.D. PANEL/PT	ACT	EXIST.	1, 2, 3
101	DINING ROOM	EXISTING	EXIST	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	ACT	EXIST.	1, 2, 3
102	CHILDRENS PLAY	EXISTING	EXIST	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	ACT	EXIST.	1, 2, 3
103	CUSTOMER PICK-UP	EXISTING	EXIST	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	ACT	EXIST.	1, 2, 3, 4
104	HALL	EXISTING	EXIST	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	W.D. PANEL/PT	ACT	EXIST.	1, 2, 3
105	WOMENS TLT	CERAMIC TILE	C.B. COVER	C.T	C.T	C.T	C.T	GYP. BD PTD.	8'-0"	5
106	MENS TLT.	CERAMIC TILE	C.B. COVER	C.T	C.T	C.T	C.T	GYP. BD PTD.	8'-0"	5
107	SERVING	EXISTING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST.	6
108	KITCHEN	EXISTING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST.	6
109	OFFICE	EXISTING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST.	6
110	CREW	EXISTING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST.	6
111	STORAGE	EXISTING	EXIST	EXIST	FRP	EXIST	EXIST	EXIST	EXIST.	6
112	WALK-IN FREEZER	EXISTING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST.	-
113	STORAGE	EXISTING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST.	6

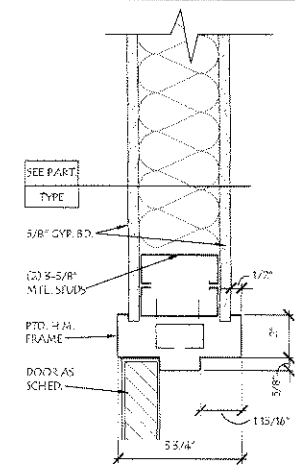
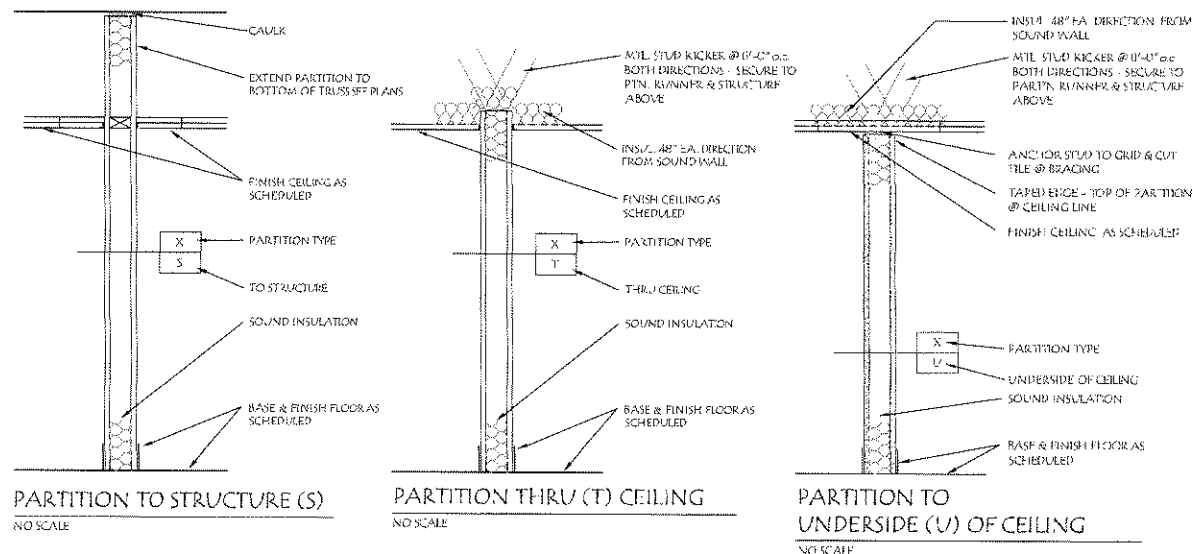
FINISH SCHEDULE REMARKS	
1	WAINSOT TO BOTTOM OF EXISTING WINDOW SILL. PAINT EXPOSED WALL ABOVE PANEL - COLORS/CHOICE BY OWNER. SEE DOOR PACKAGE FOR MORE INFO.
2	PATCH EXISTING FLOOR AS REQUIRED.
3	PROVIDE NEW 2x2 ACOUSTICAL CEILING TILE AND GRID - ADOBE COLOR.
4	NEW TILE AT FRONT COUNTER AND ADJACENT WALL TO REPLACE EXISTING TILE WORK IN SAME AREA. TILE SELECTED BY OWNER.
5	GYP. BOARD CEILING PTD.
6	NEW 2x2 ACOUSTICAL CEILING TILE AND GRID - CLEAN ROOM VLB BY ARYSTRONG OR APPROVED OTHER.

MATERIAL ABBREVIATIONS	
C.T.	CERAMIC TILE - FULL HEIGHT FROM BASE TO CEILING - TILE AS SELECTED BY OWNER.
C.B.	CERAMIC BASE - 4" TALL COVER AS SELECTED BY OWNER.
W.D. PANEL	MARLITE OR APPROVED EQUAL - SEE REMARK #1 ABOVE.
PT.	PAINTED
GYP. BD.	GYP. BOARD - PAINTED
ACT	NEW 2x2 ACOUSTICAL CEILING TILE (ADOBE COLOR) IN EXISTING GRID BY ARYSTRONG OR APPROVED EQUAL.
F.R.P.	FIBER REINFORCED PANELS - FULL HEIGHT FROM BASE TO TOP OF WALL - COLOR TO MATCH EXISTING.

**METAL STUD SIZES AND HEIGHT LIMITATIONS FOR INTERIOR WALLS ONLY**

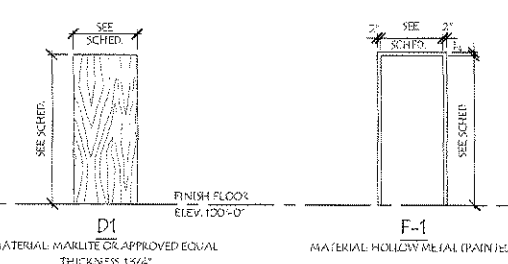
STUD SIZE	AREA (IN <sup>2</sup> )	I <sub>x</sub> (IN 4)	I <sub>y</sub> (IN 4)	Max. HEIGHT (ft.)
INTERIOR, NO-BEARING STUDS				DRYWALL ONLY
C 2 1/2" x 20ga.	0.135	0.166	1 1/4"	12'-0" / NA
C 2 1/2" x 18ga.	0.089	0.102	1 5/8"	14'-6" / NA
C 3 1/8" x 22ga.	0.195	0.195	1 1/4"	15'-6" / 10'-0"
C 3 5/8" x 20ga.	0.162	0.407	1 1/4"	16'-6" / 11'-0"
C 4 x 20ga.	0.197	1.158	1 1/4"	23'-0" / 14'-0"
C 4 x 20ga.	0.240	1.881	1 1/4"	24'-6" / 17'-6"
C 4 x 16ga.	0.670	5.740	1 5/8"	38'-4" / 28'-3"
C 4 x 14ga.	0.855	7.083	1 5/8"	41'-2" / 30'-4"

METAL PERFORMANCE LIMITATIONS SCHEDULED ARE FROM DIETRICH METAL FRAMING PUBLISHED DATA. IF ANOTHER MANUFACTURER IS USED, DRYWALL / STUD FRAMING CONTRACTOR TO REVIEW SCHEDULED PERFORMANCE DATA ABOVE AGAINST SELECTED MANUFACTURER'S DATA AND ADJUST GAUGE OR STUD SPACING TO MEET THE INTENT SHOWN ON THE PLANS AND PARTITION TYPES.



1 HEAD DETAIL (INT. DOOR) (JAMB SIM.) SCALE 3/4"

**DOOR TYPE**      **FRAME TYPE**



NO.	TYPE	SIZE	FRAME	HOLD	DETAILS			LABEL	REMARKS
					HEAD	JAMB	SILL		
100A	AL-1	PR. 3'-0" x 7'-0"	EXIST.	1	-	-	-	-	-
100B	AL-1	PR. 3'-0" x 7'-0"	EXIST.	1	-	-	-	-	-
101	AL-1	PR. 3'-0" x 7'-0"	EXIST.	1	-	-	-	-	-
102	EXIST.	-	EXIST.	-	-	-	-	-	-
103	D-1	3'-0" x 7'-0"	F-1	3	1/ASD	15M/ASD	-	-	-
106	D-1	3'-0" x 7'-0"	F-1	3	1/ASD	15M/ASD	-	-	-
107	D-1	2'-10" x 7'-0"	F-1	3	1/ASD	15M/ASD	-	-	1
108	D-1	2'-0" x 7'-0"	F-1	5	1/ASD	15M/ASD	-	-	-
109	D-1	3'-0" x 7'-0"	F-1	4	1/ASD	15M/ASD	-	-	-
110	D-1	3'-0" x 7'-0"	F-1	4	1/ASD	15M/ASD	-	-	-
111	EXIST.	-	EXIST.	-	-	-	-	-	-
113	EXIST.	-	EXIST.	-	-	-	-	-	-

DOOR SCHEDULE REMARKS	
1	CONTRACTOR TO PROVIDE KEY PAD. REVIEW LOCATION W/ OWNER.

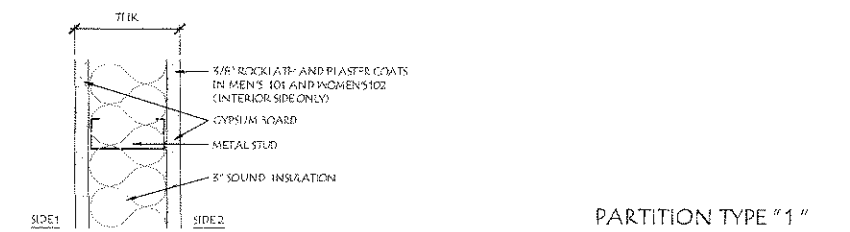
- HARDWARE GROUP # 1**  
MATCH EXISTING HARDWARE FROM REMOVED DOORS
- HARDWARE GROUP # 2**  
NOT USED
- HARDWARE GROUP # 3**  
- 1 1/2 PAIR HINGES  
- CLOSER  
- WALL STOP  
- PASSAGE SET  
- KICKPLATE
- HARDWARE GROUP # 4**  
- 1 1/2 PAIR HINGES  
- WALL STOP  
- OFFICE LOCKSET
- HARDWARE GROUP # 5**  
- 1 1/2 PAIR HINGES  
- CLOSER  
- WALL STOP  
- STORAGE LOCK  
- KICKPLATE

- GENERAL HARDWARE NOTES:**
- ALL DOOR HARDWARE IS TO MEET AIA REQUIREMENTS.
  - CONTRACTOR AS REQUIRED BY US GYPSUM BOARD ASSOCIATION AND AT MAJOR INTERUPTIONS AT THE WALL, SUCH AS DOORS, WINDOWS AND EQUIPMENT, VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
  - OWNER TO SELECT FINISH OF THE HARDWARE.

**PARTITION GENERAL NOTES**

- FRAMING
  - ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION PER LATHES, PUBLISHED WALLING LOBE RESTRICTIONS AND MANUFACTURER'S DATA - WHICHEVER IS GREATER.
  - PROVIDE DOUBLE FRAMING AT JAMBS OF FRAMES AND CASED OPENINGS.
  - ISOLATE NON-BEARING FRAMING FROM STRUCTURAL ELEMENTS WITH SLIP CONNECTIONS ETC TO PREVENT TRANSFER OF LOADS TO PARTITION FRAMING.
  - CONTROL JOINTS (C.J.) TO BE INSTALLED BY GYP. BD. CONTRACTOR AS REQUIRED BY US GYPSUM BOARD ASSOCIATION AND AT MAJOR INTERUPTIONS AT THE WALL, SUCH AS DOORS, WINDOWS AND EQUIPMENT, VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
  - PROVIDE BLOCKING FOR ALL WALL MOUNTED ARCHITECTURAL WOODWORK, FINISH CARPENTRY, TOILET PARTITIONS AND ACCESSORIES, RAILINGS SHELVEING AND SIMILAR MOUNTED ITEMS. VERIFY MOUNTING HEIGHTS WITH ARCHITECT AND OWNER.
  - FRAMING SHALL COORDINATE WITH REQUIRED MECHANICAL, ELECTRICAL AND OTHER WORK.
- GYPSUM BOARD
  - GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C440.
  - ALL CORNERS AND EXPOSED EDGES OF GYPSUM BOARD SHALL BE FINISHED WITH TAPE-IN METAL TRIM ACCESSORIES. EXPOSED TRIM SHALL BE USED WHEN SHOWN ON DRAWINGS.
- ALL PARTITIONS WHICH PENETRATE THROUGH CEILING PLANE (i.e. TT) THROUGH CEILING OR TO STRUCTURE (P-TYPES) TO HAVE APPROVED FIRE-RATING. FIRE RATES INSTALLED IN THE STUD CAVITY ALIGNING WITH THE CEILING PLANE.

PARTITION TYPE REMARKS:	
1.	5" S&B 25" WIDE, CREASD TO FIT CAVITY - ALL JOINTS FINISHED.
2.	TOP AND BOTTOM OF EVERY VERTICAL WALL SHOULD BE PROPERLY SEALED WITH ACOUSTICAL CAULK.



Type	Thk.	Fire Rating	Test (Fire and Sound)	STC Rating	Gypsum Board		Framing		Remarks	
					Type	Thk.	Type	Spacing		
1A	4 7/8"	-	RAI-TL-90-166	51	REG	5/8"	REG	8/8"	24" ecc	1, 2

**BURGER KING RENOVATIONS**  
**BK 2500 - STORE # 383**  
**8411 N. LINDBERGH BLVD**  
**ST. LOUIS, MISSOURI 63031**

PROJECT NUMBER:  
 1406R.00  
**SCHEDULES,**  
**PARTITION TYPES**  
**AND DETAILS**

**A9.0**

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 info@zgw.com

BURGER KING - 20/20 PROTOTYPE							
EXTERIOR MATERIALS & FINISH SCHEDULE							
3/17/2014	CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION	ADDITIONAL INFORMATION
	EB-1	EXTERIOR BRICK	GENERAL	OWENSBORO BRICK	MOD / QS TUMBLE (FULL BRICK OR THIN BRICK MAY BE USED)	COLOR OLDE HILLSBORO	CONTACT: NEIL HARMS @ ALL FLORIDA BRICK & TILE (904) 923-2898 NOTE: USE WITH EGR-1
	EB-1A (ALTERNATE)	EXTERIOR BRICK	GENERAL	PINE HALL BRICK	FACE BRICK	OLD IRVINGTON O/S	CONTACT: MERRILL DURIG AT SNYDER BRICK & BLOCK (937) 299-7988 NOTE: USE WITH EGR-1
	ECT-1	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	DALTILE	NATURAL HUES	#QH77 SCARLET STACKED BOND PATTERN	PERMISSIBLE ON REMODELS ONLY Contact: Chris Tate 770-805-9466 or 404-538-1261 Email: Ctate@nichha.com INSTALL PER MANUFACTURER'S SPECIFICATIONS
	ECT-2	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	DALTILE	NATURAL HUES	#QH77 SCARLET 01665 BULLNOSE	CONTACT: NATIONAL ACCOUNTS AT (877) 556-5728 EMAIL: NATIONAL_ACCOUNTS@DAL TILE.COM NOTE: USE WITH EGR-2
	EF-1	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL NICHHA FIBER CEMENT	STO POWERWALL STUCCO SYSTEM TEXTURE - FINE SAND NICHHA ARCHITECTURAL BLOCK - LARGE	COLOR TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #20YR 41/165 CAMEL TAN PREPAINTED TO MATCH EP-2 "CAMEL TAN" STACKED BOND PATTERN	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371 PERMISSIBLE ON REMODELS ONLY Contact: Chris Tate 770-805-9466 or 404-538-1261 Email: Ctate@nichha.com INSTALL PER MANUFACTURER'S SPECIFICATIONS
	EF-2	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE - FINE SAND	STUCCO OR STO MUST BE PAINTED TO MATCH EP-5	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371
	EF-4	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE - FINE SAND	COLOR TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #10YR 14/080 MONTEREY CLIFFS	CONTACT: NATIONAL ACCOUNTS AT (877) 556-5728 EMAIL: NATIONAL_ACCOUNTS@DAL TILE.COM
	EF-5	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE - FINE SAND	COLOR TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #04YR 11/537 AMAZING	CONTACT: TIM SALERNO AT STO CORP (407) 466-5371
	EF-7	EXTERIOR FINISH FIBER CEMENT SIDING	EXTERIOR SIGN ARCHONS	NICHHA FIBER CEMENT JAMES HARDIE	NICHHA BOARD 7-1/4" SMOOTH FINISH WITH 6-1/4" EXPOSURE TRIM IS 1 X 3.5" NICHTRIM HARDPLANK LAP SIDING 7-1/4" SMOOTH FINISH WITH 6-1/4" EXPOSURE TRIM IS 1 X 6 DIMENSIONAL HARDPLANK LUMBER RIPPED IN HALF	PAINT WITH SEMI-GLOSS PAINT - COLOR TO MATCH EP-5	NOT PERMISSIBLE ON "ENHANCED" ELEVATION OPTION CONTACT: Chris Tate 770-805-9466 or 404-538-1261 Email: Ctate@nichha.com INSTALL PER MANUFACTURER'S SPECIFICATIONS NOT PERMISSIBLE ON "ENHANCED" ELEVATION OPTION INSTALL PER MANUFACTURER'S SPECIFICATIONS
	EF-8	EXTERIOR FINISH STONE	EXTERIOR SIGN ARCHONS	BORAL STONE PRODUCTS	COUNTRY LEDGESTONE	BLACK RUNDLE	CONTACT: GENE GUETZOW AT BORAL STONE (262) 594-0273
	EP-1	EXTERIOR PAINT	METAL PANEL MP-1	PPG	CORAFLOX ADS ** FACTORY APPLIED	FACTORY FINISH TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #04YR 11/537 AMAZING	CONTACT: BOB SCHROCK AT PPG INDUSTRIES (513) 943-2555
	EP-2	EXTERIOR PAINT	EXTERIOR GENERAL	GLIDDEN PROFESSIONAL	PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	MASTER PALETTE #20YR 41/165 CAMEL TAN	BURGER KING National Sales Mgr/Specification Contact: KEVIN LASTACY Phone: 616-335-3259 email: klastacy@ppg.com
	EP-3	EXTERIOR PAINT	EXTERIOR ACCENT	GLIDDEN PROFESSIONAL	PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: #3002-0500N LIFEMASTER ACCENTS INTERIOR/EXTERIOR EGGSHELL/SATIN	MASTER PALETTE #04YR 11/537 AMAZING	
	EP-4	EXTERIOR PAINT	EXTERIOR WAINSCOT	GLIDDEN PROFESSIONAL	PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	MASTER PALETTE #10YR 14/080 MONTEREY CLIFFS	
	EP-5	EXTERIOR PAINT	EXTERIOR GENERAL	GLIDDEN PROFESSIONAL	PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	MASTER PALETTE #00NN 07/000 DEEP ONYX	
	EP-6	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)	GLIDDEN PROFESSIONAL	PRIMER: DEVCO COATINGS DEVGUARD LOW VOC UNIVERSAL PRIMER 4360-1000(WHITE) PAINT: DEVCO COATINGS DEVGUARD PURE ALUMINUM FINISH 4308-9020	GLIDDEN PROFESSIONAL PURE ALUMINUM BURGER KING SILVER	NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6 BY SHERWIN WILLIAMS BELOW
	EP-2	EXTERIOR PAINT	EXTERIOR GENERAL	PPG	PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	ACT-15 ANTELOPE	BURGER KING National Sales Mgr/Specification Contact: KEVIN LASTACY Phone: 616-335-3259 email: klastacy@ppg.com
	EP-3	EXTERIOR PAINT	EXTERIOR ACCENT	PPG	PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-234-7 RED LICORICE	
	EP-4	EXTERIOR PAINT	EXTERIOR WAINSCOT	PPG	PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-521-6 GRANITE	
	EP-5	EXTERIOR PAINT	EXTERIOR GENERAL	PPG	PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-518-7 BLACK MAGIC	
	EP-6	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)	PPG	PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-516-4 FLAGSTONE	NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6 BY SHERWIN WILLIAMS BELOW
	EP-6	EXTERIOR PAINT	EXISTING MANSARD ROOFING	SHERWIN WILLIAMS	PRIMER: 866-310 PRO-CRYL UNIVERSAL PRIMER COATING: 866-389 SHER-CRYL WPA SEMI-GLOSS	#SW 7666 MARCH WIND	PERMISSIBLE ON REMODELING ONLY CONTACT: JOE BOOTH (407) 348-4671
	EGR-1	GROUT	BRICK	FLAMINGO-BRDMENT	COLOR CEMENT	C-244/B-12	CONTACT: MIKE ROSE @ ESSROC (502) 741-3923 NOTE: USE WITH EB-1 & EB-1A
	EGR-2	GROUT	CERAMIC TILE	CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#60 CHARCOAL	NOTE: USE WITH CT-1 ON EXTERIOR FINISH SCHEDULE *** FOR SETTING MATERIALS USE COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD CONTACT: W.P. HICKMAN COMPANY (828) 676-1700 WWW.WPH.COM
	MC-1	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 SILVERSMITH	CONTACT: W.P. HICKMAN COMPANY (828) 676-1700
	MC-2	METAL COPING	BELOW LIGHT BAND	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	FACTORY FINISH TO MATCH ICI PAINT #2DY 41/165 CAMEL TAN	CONTACT: W.P. HICKMAN COMPANY (828) 676-1700
	MC-3	METAL COPING	TOP OF ARCHON	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	FACTORY FINISH TO MATCH ICI PAINT #00NN 07/000 DEEP ONYX	CONTACT: W.P. HICKMAN COMPANY (828) 676-1700
	MP-1	CORRUGATED METAL	PARAPET BAND	LEKTRON	LED LIGHT BAND	FACTORY FINISH TO MATCH EP-1	*SEE PLANS PRODUCT INFORMATION: JOHN FITZWILSON AT LEKTRON (800) 634-4059 OR (918) 622-4978 EXT 302 Email: jfitzwilson@lektron.com
	MP-3	METAL CANOPY	ABOVE DOORS	*SEE APPROVED SIGN SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS
	MP-4	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE METAL PRODUCTS BERRIDGE ROOFING	STANDING SEAM METAL ROOF UC-4 PROFILE	SILVER METALLIC SR	*SEE PLANS CONTACT: BRENNAN ROMAN (317) 816-3206 OR (763) 587-1852
	MP-5	METAL PANEL	BELOW DRIVE THROUGH WINDOW	MORIN	METAL PANEL XC-12	9946 SILVERSMITH BRIGHT SILVER METALLIC	PRODUCT INFORMATION: JON SCHLOSSER AT CENTRIA (513) 793-9160 TO PURCHASE: JIM ABNER AT METALWORKS PLUS/BK (859) 442-5666 CONTACT: DANIEL DAVENPORT AT (800) 640-9501 Email: daniel@morincorp.com
	MP-7	CORRUGATED METAL PANELS	EXTERIOR SIGN ARCHONS	MORIN	METAL PANEL X-12	9916 RICH BLACK CS82544 RICH BLACK	PRODUCT INFORMATION: JON SCHLOSSER AT CENTRIA (513) 793-9160 TO PURCHASE: JIM ABNER AT METALWORKS PLUS/BK (859) 442-5666 CONTACT: DANIEL DAVENPORT AT (800) 640-9501 Email: daniel@morincorp.com

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**ZWICK + GANDT  
ARCHITECTURE, INC.**  
8108 WATSON ROAD, SUITE 110  
ST. LOUIS, MISSOURI 63126  
PH: 314-962-8282  
FAX: 314-962-8283  
info@zwgarch.com

**BURGER KING RENOVATIONS**  
BK 2500 - STORE # 383  
8411 N. LINDBERGH BLVD  
ST. LOUIS, MISSOURI 63031

7-18-2014	BID / PERMIT SET
-----------	------------------

PROJECT NUMBER:  
14068.00  
BK 20/20 FINISH  
SCHEDULE

**A9.1**

## **CITY OF FLORISSANT**



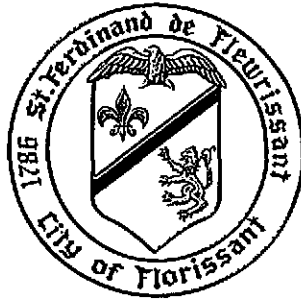
### **PUBLIC HEARING NOTICE**

**Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 22nd, 2014 at 7:30 P.M. on the following proposition, to wit:**

**To issue an amendment for Mission Hills Development d/b/a GMT Auto Sales to B-5 Ordinance No. 6166 (as amended), by rescinding Special Use Ordinance No. 7550, (as amended) located at 365 N. Highway 67 and B-5 Ordinance No. 5877 (as amended) located at 620 Charbonier and consolidating 225 and 365 N. Highway 67 and 620 and 624 Charbonier into one car leasing establishment and allowing for signage. Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.**

**Karen Goodwin, MMC City Clerk.**

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works  
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 225 N. Highway 67

Property Owners Name: Mission Hill Development Phone #: 314-830-2730

Property Owners Address: c/o 225 N. Highway 67, Florissant, MO 63031

Business Owners Name: GMT AUTO SALES Phone #: 314-830-2730

Business Owners Address: 225 N. Highway 67, Florissant, MO 63031

DBA (Doing Business As) GMT AUTO SALES

Authorized Agents Name: Joe Dale CO. Name: Dale Architectural Services  
(Authorized Agent to Appear Before The Commission)

Agents Address: 740 St. Mary's Rd.- Villa Ridge, MO 63089 Phone #: 314-517-5101

Request: Amend B-5 ordinance #6166 as amended by #7536, #7631 & #7941, located at 225 N. Hwy 67 and rescind Special Use. Ordinance #7750 as amended by #7630 located at 365 N. Hwy 67 and B-5 ordinance #5877 as amended by #6655 & #7719, located at 620 Charbonier. To allow for signage and a car sales establishment in consolidating 225 & 365 N Hwy 67 and 620 Charbonier with a boundary adjustment, in a B-5 Zoning District  
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Joe Dale  
Applicant's Signature

8-27-14  
Date

Received by: ct Receipt # N/A Amount Paid: N/A Date: 8/27/14

OFFICE USE ONLY

STAFF REMARKS: \_\_\_\_\_

DATE APPLICATION REVIEWED: \_\_\_\_\_

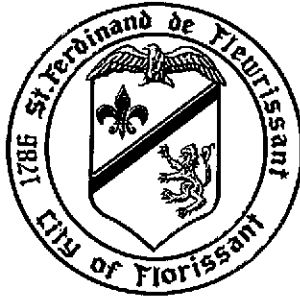
SIGNATURE OF STAFF WHO REVIEWED APPLICATION

COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN. Paul J. Mc DATE: 9-2-14

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING  
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL  
DEVELOPMENT OR TO AMEND AN EXISTING B-5 COMMERCIAL  
DEVELOPMENT**



City Of Florissant – Public Works  
314-839-7648

PLANNING & ZONING ACTION:

Address of Property: 225 N. Highway 67

**RECOMMENDED APPROVAL**  
PLANNING & ZONING  
CHAIRMAN

Council Ward 3 Zoning B-5

SIGN. Paul [Signature] DATE: 9-2-14

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

Petition to Establish a B-5 Ordinance: \_\_\_\_\_  Petition to Amend Existing B-5 Ordinance # 6166

1) Comes Now Mission Hills Development  
(Individual's name, corporation, partnership, etc.)  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property owner / 620 charbonien under contract  
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned .3

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for cake decorating, sales, supply & instructions  
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:

THE LOT IS ADJACENT TO GMAT AUTO SALES AND  
WILL BE USE FOR THEIR BUSINESS & ADDITIONAL ENTRANCE

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME MISSION HILLS DEVELOPMENT

Print Name

PETITIONER(S) SIGNATURE (S) JOE A. DALE, AGENT

FOR MISSION HILLS DEVELOPMENT

(company, corporation, partnership) Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

I (we) have a legal interest in the herein above described property.

I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE JOE A. DALE

ADDRESS 743 ST. MARY'S ROAD VILLA RIDGE MO. 63089

STREET

CITY

STATE

ZIP CODE

TELEPHONE NUMBER 314 517 5101

BUSINESS

I (we) the petitioner (s) do hereby appoint JOE A. DALE as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

JOE A. DALE

Signature of Petitioner(s) or Authorized Agent

**NOTE:** Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual:  Partnership:  Corporation:

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners GLENN TRAVERS
- (2) Telephone numbers 314 960. 4175
- (3) Business address 225 N. HIGHWAY 67 FLORESSANT, MO 63031
- (4) State of Incorporation & a photocopy of incorporation papers MISSOURI
- (5) Date of Incorporation 5/11/1998
- (6) Missouri Corporate Number 00451386
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated MISSION HILLS DEVELOPMENT
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.



Please fill in applicable information requested.

Name SAME AS PROPERTY OWNER

Address 3125 CALHOUN DRIVE ST. CHARLES, MO. 63301

Property Owner HARRY E BEHLMANN & BARBARA M. BEHLMANN

Location of property 620 CHARBONIER

Dimensions of property ± 165 X 80'

Property is presently zoned B-5 per ordinance # 6166

Current & Proposed Use of Property CAKE DECORATION SUPPLIES TO AUTO SALES

Type of Sign POST & DIRECTORY Height POST - 25' 0"  
DIRECTORY 4' 0"

Type of Construction N/A Number Of Stories N/A

Square Footage of Building N/A (NO BUILDING) Number of Curb Cuts 2 (EXISTING)

Number of Parking Spaces 11 Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter N/A

No. of Shrubs 2 Size VARIES

Fence: Type CHAIN LINK Length ± 40' 0" Height MATCH EXISTING

**PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:**

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

*BOTH TRACTS ATTACHED*

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

*PROVIDED ON SITE PLAN*

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**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Building Commissioner or Staff Signature

EXHIBIT "A"

A tract of land in Survey 170 of St. Ferdinand Common Fields in the County of St. Louis, Missouri, and being more particularly described as follows: Beginning at a point in the Southwest line of Charbonier Road, 40 feet wide, distant North 52 degrees 0 minutes West, 160 feet from the intersection of the Northwest line of Lindbergh Boulevard, 60 feet wide, and the Southwest line of Charbonier Road, 40 feet wide, said point of beginning being the most Northern corner of a tract conveyed to T. Manson Pegram by Deed recorded in Book 2902 Page 470 of the St. Louis County Records, thence running along the Southwest line of Charbonier Road, North 52 degrees 0 minutes West 83.20 feet to an old stone, thence leaving said road line and running South 37 degrees 45 minutes West 150 feet to a point, thence running in a Southeastwardly direction to the most Western corner of the tract conveyed to Pegram, as aforesaid, said point being South 38 degrees 48 minutes West 150 feet from the point of beginning, thence running along the Northwest line of said Pegram tract, North 38 degrees 48 minutes East, 150 feet to the point of beginning.

ALSO an Easement 20 feet wide for ingress and egress over and along a tract of land in Survey 170 of St. Ferdinand Common Fields and being described as follows: Fronting 20 feet on the Northwest line of Lindbergh Boulevard by a depth Northwestwardly between parallel lines of 200 feet and being bounded Northeastwardly by the Southwest line and its direct prolongation extended in a Northwesterly direction of a tract conveyed to T. Manson Pegram by Deed recorded in Book 2902 Page 470, St. Louis County Records.

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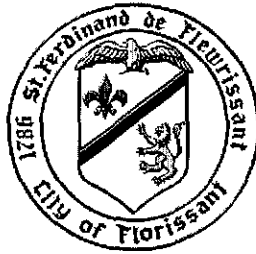
Part of Lot "C" of OPPEAU SUBDIVISION as recorded in Plat Book 194 page 40 of the St. Louis County Records, Township 47 North, Range 6 East of the 5<sup>th</sup> Principal Meridian, City of Florissant, St. Louis, Missouri and being described as follows: Starting at an iron pipe on the Northwest corner of said Lot "C"; thence along the North line of Lot "C" North 37 degrees 40 minutes 04 seconds East 100.50 feet to an iron pipe marking the point of beginning; thence continuing along said North line North 37 degrees 40 minutes 04 seconds East 39.00 feet to an iron rod; thence along the original West property line of said Lot "C" South 52 degrees 49 minutes 42 seconds East 79.85 feet to an iron rod on the Northwest corner of property conveyed to T. Manson Pegram as recorded in Deed Book 2902 page 470 of the St. Louis County Records; thence South 38 degrees 27 minutes 38 seconds West 40.00 feet to an iron pipe; thence North 52 degrees 06 minutes 48 seconds West 79.29 feet to the point of beginning.

---

Commonly known as 620 Charbonier Road.

1

**MEMORANDUM**



**CITY OF FLORISSANT**

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To: Planning and Zoning Commissioners Date: August 27, 2014

7

8

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. P.E.  
Director of Public Works,  
Applicant,  
File

9

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12

Subject: **225 N Highway 67 (GMT)**- Request recommended approval to amend a 'B-5', Ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) and rescind Special Use Ord. 7550 (as amended by Ord. 7630 located at 365 N. Highway 67) and 'B-5' Ordinance No. 5877 (as amended by No 6655 and Ord. 7719 at 620 Charbonier) to allow for signage and a car sales establishment, consolidating 225 N Highway 67, 365 N Highway 67, 620 Charbonier and 624 Charbonier into one B-5 District.

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**STAFF REPORT**  
**CASE NUMBER PZ-080414-3**

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**I. PROJECT DESCRIPTION:**

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This is a request for recommended approval to amend a 'B-5', Ordinance No. 6166 (as amended by Ord. 7536, Ord. 7631 and Ord. 7941) and rescind Special Use Ord. 7550 (as amended by Ord. 7630 located at 365 N. Highway 67) and 'B-5' Ordinance No. 5877 (as amended by No 6655 and Ord. 7719 at 620 Charbonier) to allow for signage and a car sales establishment, consolidating 225 N Highway 67, 365 N Highway 67 and 620 and 624 Charbonier in a B-5 District.

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The result of this proposal will consolidate several lots into one by way of boundary adjustment through a simultaneous process with the City Engineer. In tidying up the consolidation of the properties, some Ordinances need to be rescinded:

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- Ordinance 7550: Truck Top facility arrangement of vehicles at 365 N Hwy 67
- Ordinance 5877: Ice cream and Sign Shop at 620 Charbonier

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**II. EXISTING SITE CONDITIONS:**

The existing property at 225 N Highway 67 has been in operation as GMT Auto Sales since 1998. The site is owned by Mission Hills Development Co., Inc. in which the petitioner is part owner. The site is 100% paved. There is a B-5 Ordinance #6166 issued On 4/9/09 to Mission Hills Development to allow used auto sales which included a pole sign.

The existing property at 620 Charbonier is an existing brick structure. This Commission voted to recommend approval of a brick addition on February 22, 2002 and a frame addition with re-zoning in 2010. The lot at 620/624 Charbonier is 0.3 acres. There are 2 entrance drives from Charbonier.

**III. SURROUNDING PROPERTIES:**

The property to the Northeast, 375 N Highway 67, is the Waffle House in a B-3 District. The property to the Southwest 111 N Highway 67 is a furniture store in a B-3 District. The property to the North is Florissant Presbyterian Church at 660 Charbonier in an R-4 District.

**IV. STAFF ANALYSIS:**

The application is accompanied by Site and signage plans for the locations proposed.

1. Signage. There is an existing pole sign shown on ordinance no. 6166 meeting the 40 foot setback. The location of this sign will not change.
2. Parking and Lighting: The parking requirements for uses within the "B-5" District are set out by ordinance no. 6166 is met by the number existing. Employee and handicapped parking is on the west and south sides of the existing building. The balance of parking is to be for the display and sale of used autos. The parking arrangement allows the operator of the property to align pre-owned autos next door to appear as one larger lot. There is a 5 foot grass areas shown paved to make the lot contiguous with the adjacent property's lot. Existing parking spaces along the east property line are shown to align with adjacent property. The existing parking lot is lit using pole fixtures bronze in color which shall remain.
3. Fence: The petitioner has an existing chain-link fence along the east property line.

**VI. STAFF RECOMMENDATIONS:**

See attached motion.

(end report)

1 **August 27, 2014 Suggested Motion 225 N Highway 67 (GMT):**  
2

3 I move for recommended approval to amend a 'B-5', Ordinance No. 6166 (as  
4 amended by Ord. 7536, Ord. 7631 and Ord. 7941) and rescind Special Use Ord.  
5 7550 (as amended by Ord. 7630 located at 365 N. Highway 67) and 'B-5'  
6 Ordinance No. 5877 (as amended by No 6655 and Ord. 7719 at 620 Charbonier)  
7 to allow for signage and a car sales establishment, consolidating 225 N Highway  
8 67, 365 N Highway 67, 620 Charbonier and 624 Charbonier into one B-5 District.  
9

10 **1. PERMITTED USES**  
11

12 Section 2, paragraph 1. a. The uses permitted in this 'B-5' Planned  
13 Commercial District shall be limited to auto sales facility housing offices and  
14 an area for minor mechanical repairs and detailing of cars to be performed  
15 exclusively in the building, with uses permitted within the B-3 "Extensive  
16 Business District" without a Special Permit.  
17

18 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**  
19

20 Add Section 2, paragraph b. The building space existing at 620 Charbonier,  
21 shall be limited to the existing single story 2789 square feet.  
22

23 **3. PERFORMANCE STANDARDS**  
24

25 Omit paragraph 3 and insert the following:  
26

27 In addition to all other requirements, uses within the "B-5" Planned  
28 Commercial District shall conform to the most restrictive performance  
29 standards as follows:  
30

- 31 1. Vibration. Every use shall be so operated that the maximum  
32 ground vibration generated is not perceptible without instruments  
33 at any point on the lot line of the lot on which the use is located.
- 34 2. Odor. Every use shall be so operated that no offensive or  
35 objectionable odor is perceptible at any point on the lot line on  
36 which the use is located.
- 37 3. Smoke. Every use shall be so operated that no smoke from any  
38 source shall be emitted of a greater density than the density  
39 described as No. 1 on the Ringelmann Chart as published by the  
40 United States Bureau of Mines.
- 41 4. Toxic gases. Every use shall be so operated that there is no  
42 emission of toxic, noxious or corrosive fumes or gases.
- 43 5. Emission of dirt, dust, fly ash and other forms of particulate matter.  
44 Emission of dirt, dust, fly ash and other forms of particulate matter  
45 shall not exceed eighty-five one-hundredths (0.85) pounds per one  
46 thousand (1,000) pounds of gases of which amount not to exceed  
five-tenths (0.5) pound per one thousand (1,000) pounds of gases  
shall be of such size as to be retained on a 325-mesh U.S. standard  
sieve. In the case of emission of fly ash or dust from a stationary

47 furnace or a combustion device, these standards shall apply to a  
48 condition of fifty percent (50%) excess air in the stack at full load,  
49 which standards shall be varied in proportion to the deviation of  
50 the percentage of excess air from fifty percent (50%).

- 51 6. Radiation. Every use shall be so operated that there is no  
52 dangerous amount of radioactive emissions.
- 53 7. Glare and heat. Any operation producing intense glare or heat  
54 shall be performed in an enclosure in such a manner as to be  
55 imperceptible along any lot line.
- 56 8. Screening.
- 57 a. All mechanical equipment, air-handling units, cooling towers,  
58 condensers, etc., on roof or grade shall be screened architecturally  
59 in such a manner as to be a part of the design of the building.
- 60 b. Incinerators and stacks shall be enclosed in the same material as  
61 the main exterior building material.

62  
63 **4. PLAN SUBMITTAL REQUIREMENTS**

64 A final site development plan shall be submitted to the Building  
65 Commissioner to review for compliance to this ordinance and other city  
66 ordinances prior to issuance of land disturbance permits or building permits.  
67 Final Development Plan shall include improvements as shown on Drawings  
68 approved.

69  
70 **5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA:**

71  
72 (Substitute the following)

73  
74 **5. SITE DEVELOPMENT PLAN CRITERIA:**

75  
76 a. Height, Area And Bulk Restrictions:

- 77  
78 1. Height, Area And Bulk Regulations. The height, area and bulk  
79 regulations for uses in the "B-3" Extensive Commercial District

80  
81 b. Internal Drives:

- 82  
83 (1) There shall be parking to be indicated on the Final Development Plan.

84  
85 c. Minimum Parking/Loading Space Requirements.

- 86  
87 (1) There shall be added parking spaces provided on the property as shown  
88 on Site Plan SP-1 dated 07/21/14.

89  
90 d. Road Improvements, Access and Sidewalks

91 Final Development shall include additional enhancements along the  
92 frontage shown on Site Plan SP-1 dated 07/21/14.

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e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) The light level for parking lot lighting shall be 0.5 fc minimum. Future total replacement poles and fixtures shall be a maximum height of site lighting, including base, light fixture and light standard, shall be 25 feet above grade.
- (2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

- (1) There shall be signage added as shown located on Site Plan SP-1 dated 07/21/14, attached.

g. Landscaping and Fencing.

- (1) Landscaping indicated on the Final Development Plan shall be as shown on Site Plan SP-1 dated 07/21/14.
- (2) Any modifications to the landscaping shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.



- 138 (2) All dumpsters and grease containers shall be contained within a trash  
139 enclosure with gates, compatible with existing building.  
140
- 141 (3) All storm water and drainage facilities shall be constructed, and all  
142 landscaping shall be installed, prior to occupancy of the building,  
143 unless remitted by the Director of Public Works due to weather related  
144 factors.  
145
- 146 (4) All mechanical equipment, electrical equipment, and communication  
147 equipment shall be screened in accordance with the Florissant Zoning  
148 Code.  
149
- 150 (5) The exterior design of the buildings shall be constructed in accordance  
151 with the renderings as approved by the Florissant Planning and Zoning  
152 Commission and attached hereto.  
153
- 154 (6) All other requirements of the Florissant Municipal Code and other  
155 ordinances of the city shall be complied with unless otherwise allowed  
156 by this ordinance.  
157  
158

#### 159 **7. FINAL SITE DEVELOPMENT PLAN**

160 A final site development plan shall be submitted to the Building  
161 Commissioner to review for compliance with the applicable "B-5"  
162 Planned Commercial Development ordinance prior to recording. Any  
163 variations from the ordinance approved by the City Council and/or the  
164 conceptual plans attached to such ordinance shall be processed in  
165 accordance with the procedure established in the Florissant Zoning Code.  
166

#### 167 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

168 Any changes to the approved plans attached hereto must be reviewed by the  
169 Building Commissioner. The Building Commissioner must make a determination  
170 as to the extent of the changes per the following procedure:  
171

- 172 1. The property owner or designate representative shall submit in writing a  
173 request for an amendment to the approved plans. The building  
174 commissioner shall review the plans for consistency with the purpose and  
175 content of the proposal as originally or previously advertised for public  
176 hearing and shall make an advisory determination.
- 177 2. If the building commissioner determines that the requested amendment is  
178 not consistent in purpose and content with the nature of the purpose as  
179 originally proposed or previously advertised for the public hearing, then  
180 an amendment to the special use permit shall be required and a review  
181 and recommendation by the planning and zoning commission shall be  
182 required and a new public hearing shall be required before the City  
183 Council.

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3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

9. **VERIFICATION PRIOR TO OCCUPANCY PERMIT**

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. **GENERAL DEVELOPMENT CONDITIONS.**

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. **PROJECT COMPLETION.**

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 6 months of start of construction.

(End of suggested ordinance content 8/27/14)

**620 CHARBONIER**

**ORDINANCES - #5877, #6655 & #7719**

INTRODUCED BY COUNCILMAN SCHNEIDER  
August 26, 1996

BILL NO. 6740

ORDINANCE NO. 5877

AN ORDINANCE AMENDING APPENDIX B OF THE FLORISSANT CITY CODE, THE ZONING ORDINANCE, AS AMENDED, BY ADDING THERETO THE PROPERTY HEREINAFTER DESCRIBED AND KNOWN AS 620 CHARBONIER AS A B-5 PLANNED COMMERCIAL DISTRICT DEVELOPMENT, UNDER THE ORDINANCES OF THE CITY OF FLORISSANT.

---

WHEREAS, Appendix B of the Florissant City Code, known as the Zoning Ordinance of the City Code of the City of Florissant, as set out in Ordinance No. 1625, as amended, provides for the establishment of a B-5 Planned Commercial District; and

WHEREAS, an application has been filed by Harry E. Behlmann for the rezoning and expansion of the existing development as a B-5 Planned Commercial District, which tract is presently zoned as B-3 Extensive Commercial District; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that such rezoning and expansion of the existing development as a B-5 Planned Commercial District be approved by the Florissant City Council under certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 12th day of August, 1996 was duly published and such hearing was duly held and concluded; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the rezoning of the property hereinafter described as a B-5 Planned Commercial District would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Zoning Code of the City of Florissant as heretofore amended, is hereby further amended, with respect to certain property hereinafter zoned as a B-3 Extensive Commercial District, to establish a B-5 Planned Commercial District, for the location and development of a planned commercial development, on the following described property:

Lot 1 of Behlmann West Subdivision, being a resubdivision of a tract of land in U.S. Survey 170 of St. Ferdinand Common Fields as recorded in St. Louis County Records of Missouri and part of Lot "C" of Oppeau Subdivision as recorded in Plat Book 194 Page 40 of the St. Louis County Records, located in Township 47 North, Range 6 East of the 5th Principal Meridian, City of Florissant, St. Louis County, Missouri and being described as follows:

Beginning at a cross on the west right of way line of Charbonier Road 41.63' west of the centerline State Highway Stationing 1 + 26.78 of Charbonier Road as conveyed to the State of Missouri by Deed Book 5864 Page 276 and to St. Louis County, Missouri by Deed Book 8017 Page 1587 of the St. Louis County Records; Thence along said right of way south 44 degrees 16 minutes 51 seconds E. 45.11' to a railroad spike; Thence S. 52 degrees 10 minutes 36 seconds E. 37.63' to a cross being 48.51' west of said centerline stationing 2 + 09.98; Thence leaving said right of way line along the north line of property conveyed to T. Manson Pegram by Deed Book 2902 Page 470 of the St. Louis County Records, S. 38 degrees 27 minutes 38 seconds W. 121.33' to an iron rod; Thence along said north line S. 38 degrees 27 minutes 38 seconds W. 40.00' to an iron pipe; Thence N. 52 degrees 06 minutes 48 seconds W. 79.29' to an iron pipe on the north line of Lot "C" of said Oppeau Subdivision; Thence along the north line of said Lot "C" N. 37 degrees 40 minutes 04 seconds E. 39.00' to an iron rod; Thence N. 52 degrees 42 minutes 14 seconds W. 0.95' to a point on the south line of property conveyed to Florissant Presbyterian Church by Deed Book 3428 Page 449 of the St. Louis County Records; Thence along said south line N. 37 degrees 45 minutes 00 seconds E. 128.44' to the point of beginning and containing 13,212 square feet more or less. Commonly known as 620 Charbonier Road.

Section 2: The authority and approval embodied in this ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans dated 5/28/96 heretofore filed with the Planning & Zoning Commission of the City of Florissant and having received a recommended approval by said Planning & Zoning Commission to the Florissant City Council, a copy of which is attached hereto as "Exhibit A", , adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance subject to the following conditions:

1) Permitted Use. The uses permitted in the B-5 Planned Commercial District shall be limited to an ice cream shop and sign shop.

2) Floor Area, Height and Building Requirements. The existing building area on the site is 1,199 square feet and the floor area of the building addition is 540 square feet resulting in a total gross floor area of 1,730 square feet. The maximum height of the building addition shall be 15 feet from grade, plus or minus, to match the existing building.

3) Performance Standards. Uses within the B-5 Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance.

4) Plan Submittal Requirements. Within ninety (90) days of the effective date of this ordinance, and prior to issuance of any building or occupancy permit, the petitioner shall submit the Final Site Development Plan to the Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance. Where due cause is shown by the developer, this time interval may be extended by the Planning and Zoning Commission.

5) Final Site Development Plan Criteria. The above Final Site Development Plan shall include the following:

- a) Location and size, including height of all buildings and structures, landscaping and general use of the building.
- b) Gross square footage of the building.
- c) Existing and proposed roadways, drives and sidewalks on and adjacent to the property in question.
- d) Location and size of parking areas and internal drives.
- e) Building and parking setbacks.
- f) Existing curb cut locations.
- g) Existing and proposed contours at intervals of not more than two (2) feet.
- h) Preliminary stormwater and sanitary sewer facilities.
- i) Identification of all applicable cross-access and cross-parking agreements.

6) Final Site Development Plan Criteria. The above Final Site Development Plan shall adhere to the following specified design criteria:

a) Structure Setbacks.

The setbacks shall be as approved by the Planning and Zoning Commission.

b) Parking, Loading and Internal Drive Setbacks.

(1). Parking stalls, internal drives and roadways shall be located in accordance with the preliminary site plan attached hereto as Exhibit "A" dated 5/28/96 or as subsequently approved by the Planning and Zoning Commission.

c) Minimum Parking/Loading Space Requirements.

(1) Parking regulations shall be as required by Section 17 of the Florissant Zoning Ordinance,

except as otherwise varied herein. A total of 16 full size parking spaces, including one (1) handicapped parking space, shall be provided.

d) Road Improvements, Access and Sidewalks.

(1) Access to the property shall be substantially as shown on the preliminary site plan attached hereto as Exhibit "A".

e) Sign Requirements.

Signs shall be located in accordance with the preliminary site plan attached hereto as Exhibit "A" dated 5/28/96 and shall be in accordance with the drawings submitted to the Planning and Zoning Commission or as subsequently approved by the Planning and Zoning Commission.

f) Landscaping and Fencing.

1) Landscaping shall be installed generally in accordance with the preliminary site development plan attached hereto as Exhibit "A" and dated 5/28/96. Variations in such required landscaping may be approved by the Planning and Zoning Commission.

2) A six (6) foot high cedar fence shall extend from the existing structure to the new trash enclosure as shown on the preliminary site development plan attached hereto as Exhibit "A" and dated 5/28/96.

3) Landscaping and fencing shall be maintained in good condition and shall be subject to review by the Director of Public Works. In the event that such landscaping and/or fencing is not maintained in accordance herewith and with directives of the Director of Public Works of maintenance thereof, renewal of the business license for the property may be refused until, or conditioned on, correction of the maintenance problems, as determined by the Director of Public Works.

g) Stormwater.

Stormwater and drainage facilities shall comply with the standards and requirements of the Metropolitan St. Louis Sewer District.

h) Miscellaneous Design Criteria.

1) All applicable parking, circulation, sidewalks and all other site design features shall comply with the 1993 BOCA Code.

- 2) The minimum yard requirements shall be in accordance with the plans submitted to the Public Works Department dated 5/28/96.
- 3) The building addition shall be constructed of painted brick masonry to match the existing building.
- 4) Unless, and except to the extent, otherwise provided herein, the Final Site Development Plan shall comply and be in accordance with all ordinances of the City of Florissant.

#### 7. Verification prior to Building Permits.

(1) Within sixty (60) days of approval of the Final Site Development Plan by the Planning & Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

(2) Two (2) copies of such recorded Final Site Development Plan, showing book, page, and recording date, shall be filed with the Director of Public Works.

(3) Prior to issuance of foundation or building permits, all approvals which may be required from the Metropolitan St. Louis, Sewer District and other appropriate organizations must be received by the Department of Public Works.

#### 8. General Development Conditions.

(1) No outdoor loudspeakers shall be installed on the site.

(2) That all off-street parking shall be in accordance with the drawing attached hereto as Exhibit "A" dated 5/28/96.

(3) That all signs shall meet the requirements of the Florissant Sign Ordinance.

(4) The exhaust fan for the building addition shall be mounted on the roof.

(5) There shall be no storage of equipment or supplies outside of the building.

(6) There shall be no working on vehicles outside of the building.

(7) The hours of operation of the sign company shall be 8:00 a.m. to 5:00 p.m. Monday through Saturday.

(8) The ice cream shop may offer outdoor seating, carry-out and drive-thru service and the said drive-thru service may be operated each year from October 15th to April 15th.

(9) There shall be two (2) temporary directional signs installed when said drive-thru is in operation.



(10) Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with the ordinances of the City of Florissant.

(11) The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning and Zoning Commission and all of the ordinances of the City of Florissant.

9. Project Completion.

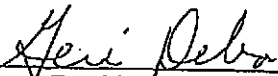
Construction shall start within six (6) months of the issuance of the building permits, and completion of the planned commercial development, in accordance with the approved Final Site Development Plan, shall be effected within four (4) months after the start of said construction.

Section 3: The application and preliminary plans are returned to the Planning and Zoning Commission for consideration of a Final Site Development Plan, pursuant to Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance.

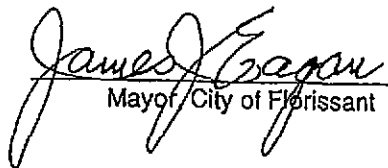
Section 4: Failure to develop the said Planned Commercial District in accordance with the above described procedures and restrictions shall be cause for reversion of the zoning of the said property back to B-3 in accordance with Section 14.5, subsection 13 of the Florissant Zoning Ordinance.

Section 5: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 26th day of August, 1996.

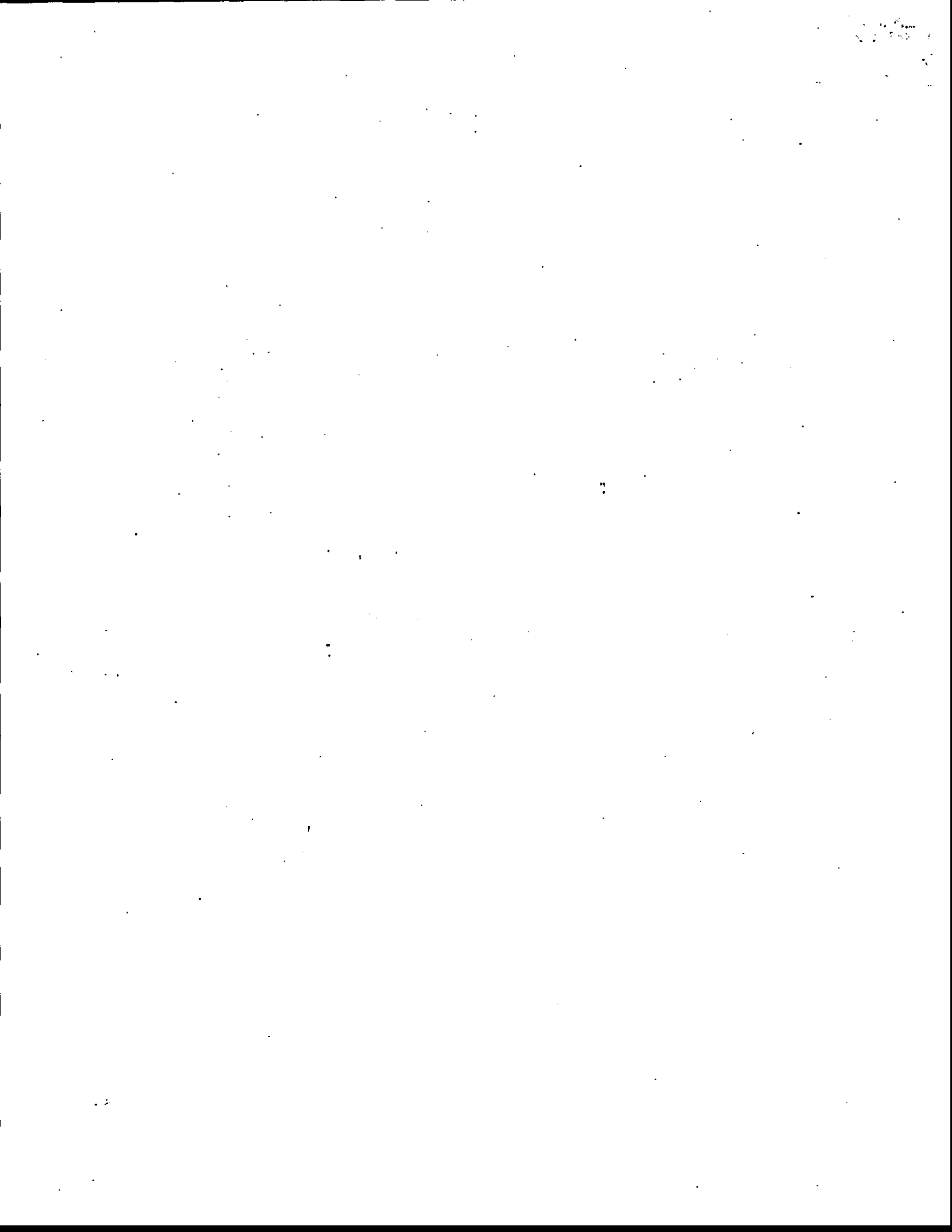
  
\_\_\_\_\_  
President of the Council  
City of Florissant

Approved this 27 day of August, 1996.

  
\_\_\_\_\_  
Mayor City of Florissant

ATTEST:  
  
\_\_\_\_\_  
City Clerk





INTRODUCED BY COUNCILMAN SCHNEIDER  
FEBRUARY 25, 2002

BILL NO. 7554

ORDINANCE NO. 6655

AN ORDINANCE AMENDING ORDINANCE NO. 5877 GRANTED TO HARRY E. BEHLMANN TO ALLOW FOR A CHANGE IN THE PERMITTED USE AT THE PROPERTY KNOWN AND NUMBERED AS 620 CHARBONIER.

WHEREAS, an application has been filed by Harry E. Behlmann for an amendment to Ordinance No. 5877 to allow for a change in the permitted use at 620 Charbonier Road; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that such amendment be approved; and

WHEREAS, due notice of a public hearing on said application to be held on the 11th day of February, 2002 at 8:00 P.M. was duly published, held and concluded ; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the amendment to Ordinance No. 5877 to allow for a change in the permitted use would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

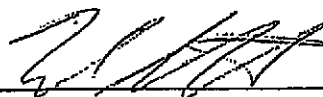
Section 1: Ordinance No. 5877 heretofore granted to Harry E. Behlmann for a B-5 Planned Commercial District Development is hereby amended to delete Section 2, subsection 1, in its entirety to hereafter read as follows:

- 1) Permitted Use. The uses permitted in the B-5 Planned Commercial District shall be limited to uses as permitted without a Special Use Permit within a B-3 District. No other uses shall be authorized unless fully approved by amendment of this ordinance.

Section 2: Except as herein amended Ordinance No. 5877 shall remain in full force and effect.

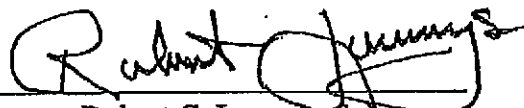
Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 25th day of February, 2002.



Mark Schmidt  
President of the Council  
City of Florissant

Approved this 27th day of February, 2002.



Robert G. Lowery, Sr.  
Mayor, City of Florissant

ATTEST:



Chris McCormick, City Clerk

1 INTRODUCED BY COUNCILMAN SCHNEIDER  
2 JULY 26' 2010

3  
4 BILL NO. 8638

ORDINANCE NO. 7719

5  
6

7 AN ORDINANCE AMENDING ORDINANCE NO. 5877, AS AMENDED  
8 BY ORDINANCE NO. 6655, WHICH ESTABLISHED A B-5 PLANNED  
9 COMMERCIAL DISTRICT ON PROPERTY LOCATED AT 620  
10 CHARBONIER ROAD TO ALLOW FOR AN ADDITION TO THE  
11 EXISTING BUILDING.

12  
13

14 WHEREAS, Ordinance 5877 rezoned the property known and numbered as 620  
15 Charbonier Road from a B-3 to a B-5 Planned Commercial District; and

16 WHEREAS, Ordinance 6655 amended Ordinance 5877 to change the permitted use on  
17 the property; and

18 WHEREAS, the applicant, Harry Behlmann, seeks to amend the B-5 Planned  
19 Commercial District by constructing a 450 foot addition to the existing building; and

20 WHEREAS, on July 6, 2010, the Planning and Zoning Commission of the City of  
21 Florissant recommended to the City Council that Ordinance No. 5877, as amended by Ordinance  
22 No. 6655, should not be amended to allow for an addition to the existing building; and

23 WHEREAS, due and lawful notice of a public hearing on said proposed change was duly  
24 published, held and concluded on the 26<sup>th</sup> of July, 2010 by the Council of the City of Florissant;  
25 and

26 WHEREAS, the Council, following said public hearing, and after due and careful  
27 deliberation, has concluded that it is in the best interest of the public health, safety and welfare of  
28 the City of Florissant to amend Ordinance No. 5877, as amended by Ordinance No. 6655, to  
29 allow the construction of an addition to the existing building; and

30

31 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
32 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

33


34 Section 1: Ordinance No. 5877, as amended by Ordinance No. 6655, approving a B-5  
35 Planned Commercial District Development is hereby amended to allow for a 450 foot addition to  
36 the existing building, per plans attached hereto and made a part hereof as if fully set out herein,

37 provided that addition is constructed with a brick base of at least 3 feet on all sides of the  
38 structure.

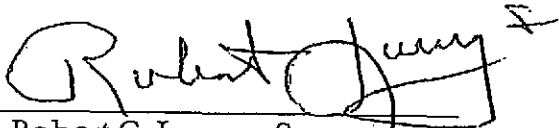
39  
40 Section 2: Except as herein amended Ordinance No. 5877 as amended by Ordinance No.  
41 6655 shall remain in full force and effect, copies of which are attached hereto and incorporated  
42 by reference herein.

43 Section 3: This ordinance shall become in full force and effect immediately upon its  
44 passage and approval.

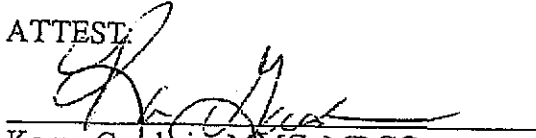
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48 Adopted this 9<sup>th</sup> day of August, 2010.

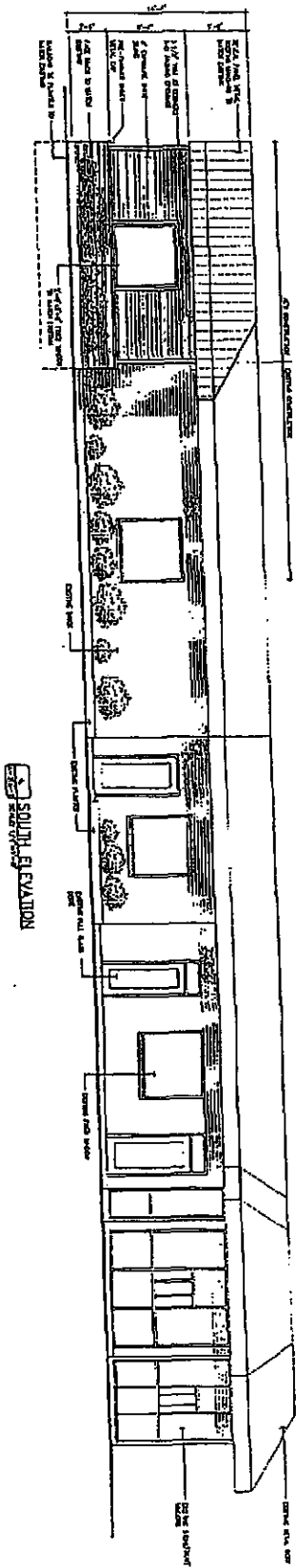
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52 \_\_\_\_\_  
53 Keith English  
54 President of the Council

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56 Approved this 12<sup>th</sup> day of August, 2010.

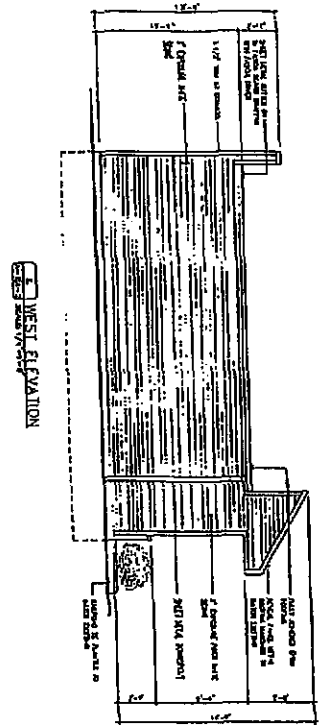
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62 Robert G. Lowery, Sr.  
63 Mayor, City of Florissant

64 ATTEST

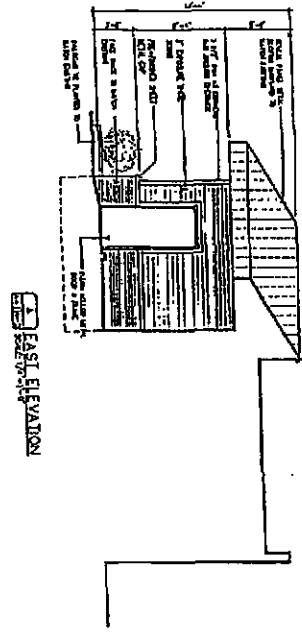
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67 Karen Goodwin, MMC, MRCC  
68 City Clerk



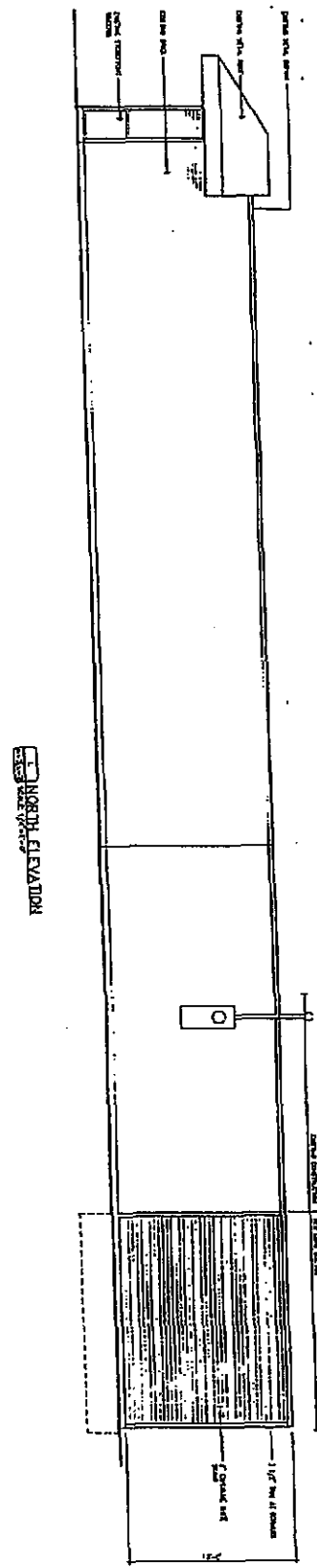
**SOUTH ELEVATION**



**WEST ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**

A-2

**ADDITION TO EXISTING FACILITY**  
 OWNER: HARRY BEHLMANN  
 LOCATED: 520 CHARBONER RD.  
 FLORISSANT, MO 63031

**GRUBBS & ASSOCIATES**  
 ARCHITECTS  
 101 Olive Street - St. Louis, MO 63101 - (314) 621-1400

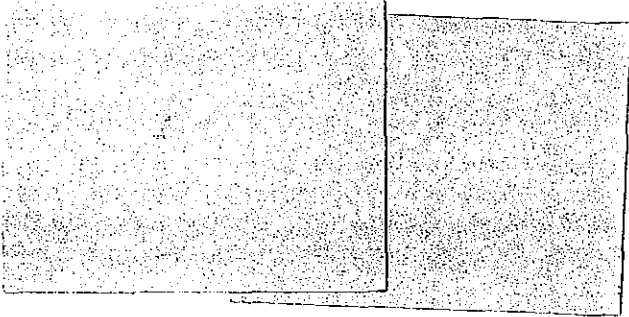




**365 N. HIGHWAY 67**

**ORDINANCES - #7550 & #7630**

1 INTRODUCED BY COUNCILMAN SCHNEIDER  
2 SEPTEMBER 29, 2008



3  
4  
5 BILL NO. 8461

ORDINANCE NO. 7550

6  
7 AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO GLEN  
8 TRAVERS D/B/A PREMIER TRUCK TOPS TO ALLOW FOR THE  
9 DISPLAY AND STORAGE OF UNLICENSED VEHICLES FOR THE  
10 PROPERTY LOCATED AT 365 N. HWY 67.

11  
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of a used  
14 car dealership; and

15 WHEREAS, an application has been filed by Glen Travers d/b/a Premier Truck Tops to  
16 allow for the display and storage of unlicensed vehicles for the property located at 365 N.  
17 Highway 67; and

18 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their  
19 meeting of September 2nd, 2008 has recommended that the said Special Use Permit be approved;  
20 and

21 WHEREAS, due notice of a public hearing on said application to be held on the 29<sup>th</sup> day  
22 of September 2008 at 8:00 P.M. by the Council of the City of Florissant was duly published, held  
23 and concluded; and

24 WHEREAS, the Council, following said public hearing, and after due and careful  
25 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided  
26 would be in the best interest of the City of Florissant.

27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

29  
30 Section 1: A Special Use Permit is hereby granted to Glen Travers d/b/a Premier Truck  
31 Tops to allow for the display and storage of unlicensed vehicles for the property located at 365 N.  
32 Highway 67 with the following stipulations:

- 33 1. The number of cars located in front of the facility shall be limited to four.  
34 2. The storage of vehicles at the rear of the property be limited to three rows  
35 or a maximum of thirty-five and that there be no elevated ramps used at  
36 this location.

37 Section 2: Said Permit herein authorized shall remain in full force and effect and subject  
38 to all of the ordinances of the City of Florissant.

39 Section 3: When the named permittee discontinues the operation of said business, the  
40 Special Use Permit herein granted shall no longer be in force and effect.

41 Section 4: This ordinance shall become in force and effect immediately upon its passage  
42 and approval.

43

44 Adopted this 13 day of October, 2008.

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Tom Schneider  
President of the Council  
City of Florissant

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53 Approved this 10 day of October, 2008.

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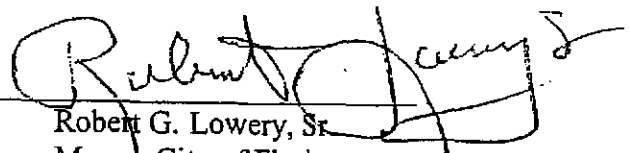
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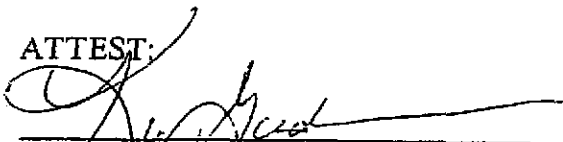
  
Robert G. Lowery, Sr.  
Mayor, City of Florissant

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61 ATTEST:

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Karen Goodwin, MMCA/MRCC  
City Clerk

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1 INTRODUCED BY COUNCILMAN SCHNEIDER  
2 AUGUST 24, 2009

3  
4 BILL NO. 8544

ORDINANCE NO. 7630

5  
6  
7 **AN ORDINANCE AMENDING SPECIAL USE PERMIT NO. 7550**  
8 **GRANTED TO GLEN TRAVERS D/B/A PREMIER TRUCK TOPS TO**  
9 **ALLOW FOR THE SALE OF PRE-OWNED VEHICLES FOR THE**  
10 **PROPERTY LOCATED AT 365 N. HWY 67.**

11  
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and  
14 operation of an auto dealer; and

15 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to  
16 Glen Travers d/b/a Premier Truck Tops for the display and storage of unlicensed vehicles on the  
17 property described in Ordinance No. 7550; and

18 WHEREAS, an application has been filed by Glen Travers d/b/a Premier Truck Tops for  
19 an amendment to the said Special Use Permit heretofore granted under Ordinance No. 7550 to  
20 authorize the addition of certain conditions; and

21 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their  
22 meeting of July 20, 2009 has recommended that the said Special Use Permit be amended; and

23 WHEREAS, due notice of a public hearing on said application to be held on the 24th day  
24 of August, 2009 at 8:00 P.M. by the Council of the City of Florissant was duly published, held  
25 and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful  
27 consideration, has concluded that the granting of an amendment to the Special Use Permits  
28 authorized by Ordinance No. 7550, as hereinafter provided would be in the best interest of the  
29 City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32  
33 Section 1: The Special Use Permit heretofore granted to Glen Travers d/b/a Premier  
34 Truck Tops under Ordinance No. 7550 is hereby amended by allowing the sale of pre-  
35 owned autos with the following stipulations:

- 36 1. The vinyl trash enclosure is to be replaced with brick as depicted on the  
37 plans dated 7/10/09.

- 1           2.     Five parking spaces on the west side of the building be designated as
- 2                     customer/employee parking in order to meet the total code requirements of
- 3                     13.
- 4           3.     The five parking spaces designated "customer/employee" parking be
- 5                     marked and identified as such.
- 6           4.     The light indicated on the southwest side of the parking lot is to be moved
- 7                     to a northeast location.
- 8           5.     No ramps for display of vehicles are allowed.

9

10           Section 2: Said Special Permit shall be conditioned on and shall remain in full force and

11 effect so long as the conditions set out in Ordinance . 7550, as now amended, are adhered to.

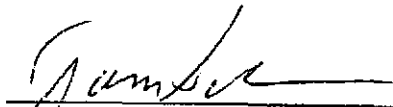
12           Section 3: This ordinance shall become in force and effect immediately upon its passage

13 and approval.

14           Adopted this 28 day of Sept, 2009.

15

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17 

18 \_\_\_\_\_

19 Tom Schneider

20 President of the Council


21 City of Florissant

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23           Approved this 2nd day of Oct, 2009.

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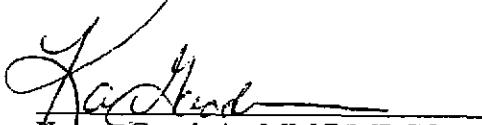
27 \_\_\_\_\_

28 Robert G. Lowery, Sr.

29 Mayor, City of Florissant

30

31 ATTEST;

32 

33 \_\_\_\_\_

34 Karen Goodwin, MMC/MRCC

35 City Clerk

36





**225 N. HIGHWAY 67**

**ORDINANCES - #6166, #7536, #7631 & #7941**

INTRODUCED BY COUNCILMAN SCHNEIDER  
October 12, 1998

BILL NO. 7045 (AS AMENDED)

ORDINANCE NO. 6166

AN ORDINANCE AMENDING APPENDIX B OF THE FLORISSANT CITY CODE, THE ZONING ORDINANCE, AS AMENDED, BY ADDING THERETO THE FOLLOWING DESCRIBED PROPERTY OWNED BY MISSION HILLS DEVELOPMENT CO. INC., AND KNOWN AS 225-227 N. HWY. 67, AS A B-5 PLANNED COMMERCIAL DISTRICT DEVELOPMENT.

WHEREAS, Appendix B of the Florissant City Code, known as the Zoning Ordinance of the City Code of the City of Florissant, as set out in Ordinance No. 1625, as amended, provides for the establishment of a B-5 Planned Commercial District; and

WHEREAS, an application has been filed by Mission Hills Development Co. Inc. for rezoning and redevelopment as a B-5 Planned Commercial District, of a tract of land hereinafter described, which tract of land is presently zoned as a B-3 District; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that such rezoning and redevelopment as a B-5 Planned Commercial District be approved by the Florissant City Council subject to certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 8th day of August, 1998 was published and such hearing was duly opened and concluded on such date; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the rezoning of the property hereinafter described as a B-5 Planned Commercial District would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Zoning Code of the City of Florissant, as heretofore amended, is hereby further amended, with respect to certain property heretofore zoned as B-3 District, to establish a B-5 Planned Commercial District, for the location and redevelopment of a planned commercial development at 225-227 N. Hwy. 67

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the redevelopment and plan for the B-5 Planned Commercial District be carried out in

accordance with the preliminary plans filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised and depicted on the Preliminary Development Plan attached hereto and made a part hereof and marked Exhibit "A", subject to the following conditions:

**1. PERMITTED USES**

The use permitted in the B-5 Planned Commercial District shall be limited to:

- a. an auto sales facility housing offices and an area for minor mechanical repairs and detailing of cars to be performed exclusively within the building.

**2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

- a. The new auto sales facility shall be of masonry brick with a total gross floor area of 2,400 square feet and a maximum height of nineteen (19) feet as depicted on Exhibit "A". The existing building shall be removed following completion of construction of the new facility.

**3. PERFORMANCE STANDARDS**

Uses within the B-5 Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance.

**4. PLAN SUBMITTAL REQUIREMENTS**

Within twelve months of the effective date of this ordinance, and prior to issuance of any building or occupancy permit, the petitioner shall submit the Final Site Development Plan to the Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance. Where due cause is shown by the developer, this time interval may be extended by the Planning & Zoning Commission.

**5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA**

The above Final Site Development Plan shall include the following :

- a. Location and size, including height of all building and structure, landscaping and general use of the building.
- b. Gross square footage of building.
- c. Existing and proposed roadways, drives, curbcuts and sidewalks on and adjacent to the property in question.
- d. Location and size of parking areas and internal drives.
- e. Building and parking setbacks.
- f. Curb cut locations.
- g. Existing and proposed contours at intervals of not more than two (2) feet.
- h. Preliminary stormwater and sanitary sewer facilities.

accordance with the preliminary plans filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised and depicted on the Preliminary Development Plan attached hereto and made a part hereof and marked Exhibit "A", subject to the following conditions:

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The use permitted in the B-5 Planned Commercial District shall be limited to:

- a. an auto sales facility housing offices and an area for minor mechanical repairs and detailing of cars to be performed exclusively within the building.

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- d. Location and size of parking areas and internal drives.
- e. Building and parking setbacks.
- f. Curb cut locations.
- g. Existing and proposed contours at intervals of not more than two (2) feet.
- h. Preliminary stormwater and sanitary sewer facilities.

- i. Any and all items required by the flood plain development permit.

## 6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

### a. Structure Setbacks.

No building or structure, excluding retaining walls, light standards, fences, and authorized freestanding business signs and identification signs authorized by this ordinance shall be located within forty (40) feet of the right-of-way of North Hwy. 67. The setbacks shall be as approved by the Planning and Zoning Commission.

### b. Parking, Loading and Internal Drives Setbacks.

1. All off street parking and loading space, consisting of nine (9) parking spaces, including one (1) handicapped parking space shall be provided for as depicted on page "SDP-1" of the Preliminary Development Plan attached hereto and marked Exhibit "A", or as otherwise hereinafter authorized by the Planning and Zoning Commission.
2. All of the setbacks shall be approved by the Planning and Zoning Commission.

### c. Minimum Parking/Loading Space Requirements.

Parking requirements shall be as required by Section 17 of the Florissant Zoning Ordinance, including employee and customer parking spaces, as depicted on Exhibit "A", which includes one (1) handicapped parking space.

### d. Lighting Requirements.

Location of all lighting standards shall consist of five (5) light standards in front and three (3) light standards in the rear with all light standards being a maximum of twenty-four (24) feet in height, as set forth in the Lighting Plan attached hereto and marked Exhibit "B", or as otherwise authorized by Planning and Zoning.

### e. Sign Requirements.

There shall be one (1) freestanding sign as shown in Exhibit "A" and all other signage shall be in accordance with the code of ordinances of the City of Florissant.

### f. Landscaping.

Landscaping shall be provided on the site in accordance with the Preliminary Development Plan submitted and approved by the Planning and Zoning Commission and all landscaping shall be of the size shown, a copy of which is attached hereto and incorporated by reference herein as Exhibit "A". Such landscaping shall be in sufficient quantity to meet the minimum requirements as set forth in Section 17, (9), of the Florissant Zoning Ordinance.

### g. Miscellaneous Design Criteria.

1. All applicable parking, circulation, sidewalks and all other site design features shall comply with the 1993 BOCA Code.

2. All rooftop mechanical equipment shall be screened with a three (3) feet high wood slat screen in accordance with Exhibit "A" as approved by the Planning and Zoning Commission.
3. The trash container shall be enclosed with a wood slat screen being six (6") feet in height in accordance with Exhibit "A".
4. Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.

7. VERIFICATION PRIOR TO FINAL SITE DEVELOPMENT PLAN APPROVAL

Prior to the approval of the Final Site Development Plan, the petitioner shall:

a. Stormwater.

Submit to the Planning & Zoning Commission a preliminary engineering plan showing that adequate handling of the stormwater drainage of the site is provided and has been approved by the Metropolitan Sewer District and is in accordance with accepted engineering standards.

b. Access and Curb Cuts.

Provide written verification of the requirements of, and approval by, the Missouri Highway and Transportation Department of the location of proposed curb cuts, and the access points and sidewalks.

c. Layout Plan.

A layout plan shall be submitted, reviewed and approved by the Public Works Department prior to the commencement of any and all pavement marking. The layout plan shall include proper striping and signing of fire lanes. Fire lanes shall be established by separate ordinance after approval by the Fire District and Director of Public Works, pursuant to Section 15-9, 15-311 and 15-505 of the Florissant City Code.

d. Flood Plan Development Permit.

A Flood Plan Development Permit shall be obtained prior to any site work.

8. RECORDING

Within sixty (60) days of approval of the Final Site Development Plan by the Planning & Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

9. VERIFICATION PRIOR TO BUILDING PERMITS

Subsequent to approval of the Final Site Development Plan and prior to the issuance of any building permit, the following verifications shall be provided:

a. Sanitary Sewers.

Written verification of sanitary sewer plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

2. All rooftop mechanical equipment shall be screened with a three (3) feet high wood slat screen in accordance with Exhibit "A" as approved by the Planning and Zoning Commission.
3. The trash container shall be enclosed with a wood slat screen being six (6') feet in height in accordance with Exhibit "A".
4. Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.

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**a. Stormwater.**

Submit to the Planning & Zoning Commission a preliminary engineering plan showing that adequate handling of the stormwater drainage of the site is provided and has been approved by the Metropolitan Sewer District and is in accordance with accepted engineering standards.

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**c. Layout Plan.**

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**a. Sanitary Sewers.**

Written verification of sanitary sewer plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

**b. Stormwater Sewers.**

Written verification of stormwater plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

**c. Landscaping/Screening Bonds or Escrows.**

If the estimated cost of new landscaping and/or screening indicated on or forming part of the Final Site Development Plan, as required by the Planning & Zoning Commission, exceeds an estimated cost of one thousand dollars (\$1000.00), as determined by the landscape nursery, a bond or escrow shall be furnished so as to be a sufficient amount to guarantee the installation of said landscaping and/or screening.

**d. Water facilities.**

Water facilities shall be approved by the Water Department of the City of Florissant.

**e. Street Improvement/Parking/Curbing Signs/Pavement Marking/Sidewalks/Traffic Signals, Bond or Escrows.**

The petitioner shall furnish a two (2) year bond or escrow, sufficient in amount, as determined by the Director of Public Works, to guarantee the street improvements, if necessary, parking lot pavement, curbing, sidewalks, signs and pavement markings, lighting and fire lanes.

**f. Filing a Recorded Site Development Plan.**

Two (2) copies of such recorded Final Site Development Plan, showing book, page, and recording date, shall be filed with the director of public works.

**g. Notification of the department of public works.**

Prior to the issuance of foundation or building permits, all approvals from the Metropolitan St. Louis Sewer District, the Missouri Highway and Transportation Department and other appropriate organizations must be received by the department of public works.

**10. GENERAL DEVELOPMENT CONDITIONS.**

a. Adequate surfaced temporary off-street parking for construction employees shall be provided.

b. The watershed and site development shall be in accordance with the Flood Plain Development Permit.

c. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.

d. The department of public works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.



11. PROJECT COMPLETION.

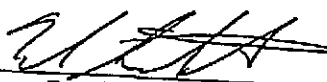
Construction shall commence within sixty (60) days of the issuance of permits and completion of the development, in accordance with the approved Development Plan, shall be effected within six (6) months from the issuance of the permits.

Section 3: The application and preliminary plans are returned to the Planning & Zoning Commission for consideration of a Final Site Development Plan, pursuant to Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance.

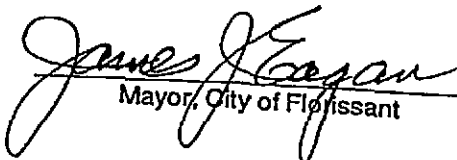
Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for revision of the zoning of said property back to a B-3 District, in accordance with Section 14.5, subsection 13 of the Florissant Zoning Ordinance.

Section 5: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 12th day of October, 1998.

  
\_\_\_\_\_  
President of the Council  
City of Florissant

Approved this 13 day of October, 1998.

  
\_\_\_\_\_  
Mayor, City of Florissant

ATTEST:

  
\_\_\_\_\_  
City Clerk

11. PROJECT COMPLETION.

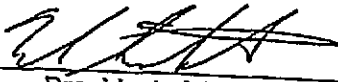
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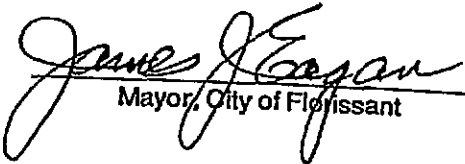
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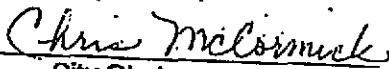
Adopted this 12th day of October, 1998.

  
\_\_\_\_\_  
President of the Council  
City of Florissant

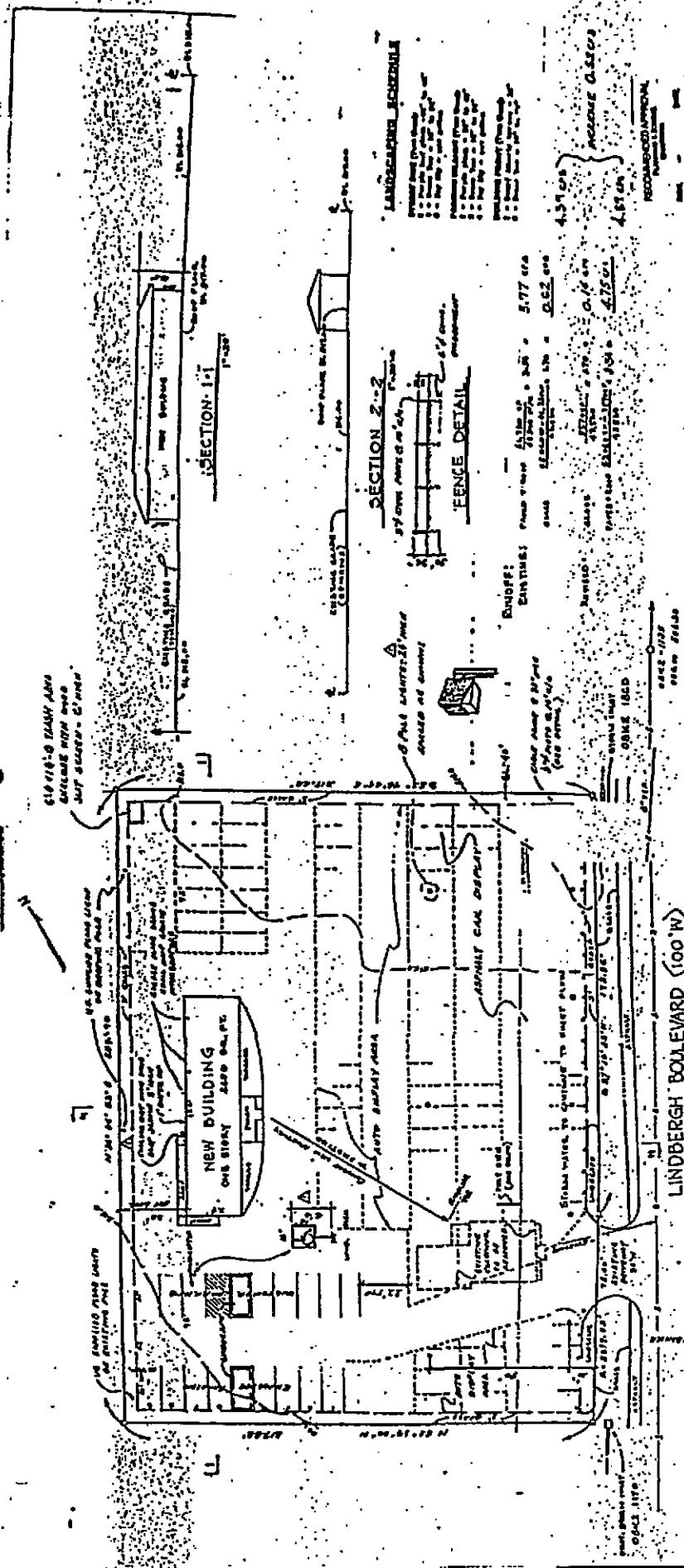
Approved this 13 day of October, 1998.

  
\_\_\_\_\_  
Mayor, City of Florissant

ATTEST:

  
\_\_\_\_\_  
City Clerk





**SITE PLAN**

**G M T Auto Sales**

100 North, 100 West of  
Lincoln, PA 15001

**KITTING WELSCH ASSOC.**

100 North, 100 West of  
Lincoln, PA 15001

**PATERSON INC.**

100 North, 100 West of  
Lincoln, PA 15001



**REVISIONS**

NO.	DESCRIPTION
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**CODE DATA**

Bidding Code Received

Use Group B Amusement 72 (See schedule)

Construction Type (See schedule)

Aluminum (See schedule)

Company (See schedule)

Date prepared (See schedule)

Preparation (See schedule)

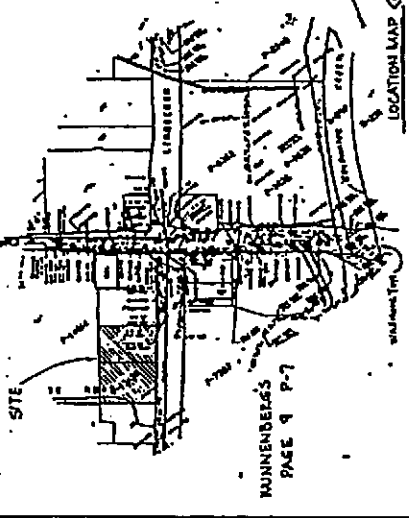
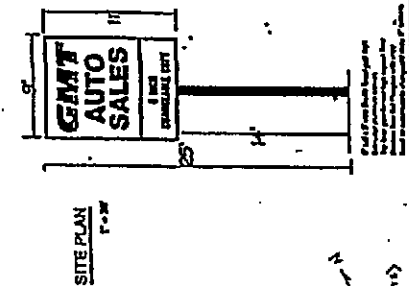
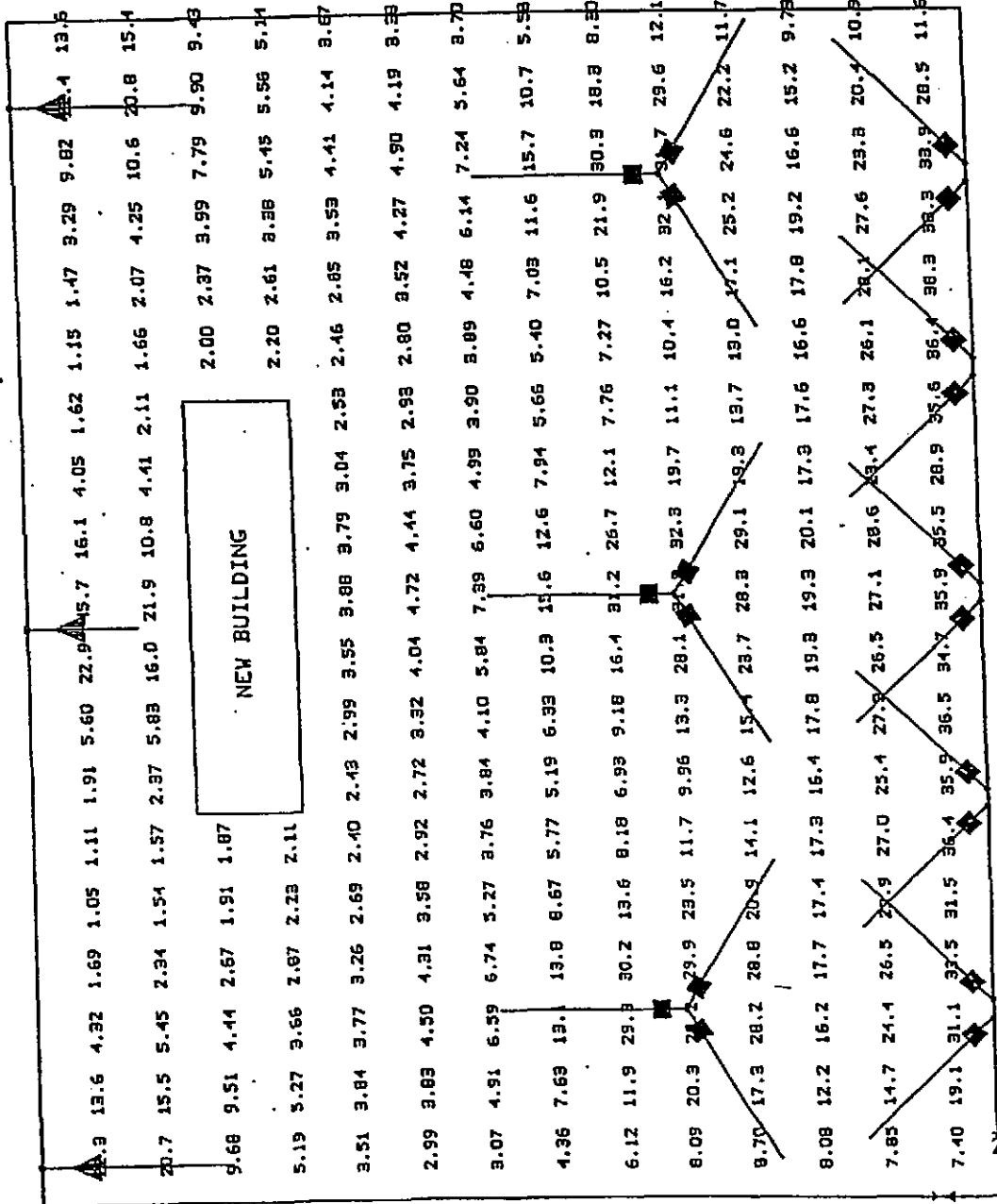


Exhibit 'A'



NEW BUILDING

ALL FIXTURES ARE MOUNTED @ 24 FEET

PLANE : HOR

POINT SPACING LEFT-TO-RIGHT = 15 ft  
 POINT SPACING TOP-TO-BOTTOM = 15 ft  
 LOWER LEFTHAND CORNER OF PLANE:  
 X = 135 Y = 8 Z = 0  
 UPPER RIGHTHAND CORNER OF PLANE:  
 X = 141 Y = 214 Z = 0  
 LIGHT METER IS NORMAL TO PLANE

AVERAGE fc = 13.11  
 MAXIMUM fc = 45.7  
 MINIMUM fc = 1.05  
 AVERAGE/MINIMUM = 12.49  
 MAXIMUM/MINIMUM = 43.52  
 TOTAL NUMBER OF POINTS = 252

ROZYCKI LIGHTING GROUP

Project: SENSEMAN PLACE  
 FLORISSANT, MO

Client: S.C. ELECTRIC

Scale: Project No:

Date: 08-14-1998 Drawing:

RECOMMENDED APPROVAL  
 PLANNING & ZONING  
 CHAIRMAN

DATE:

SIGN: Stephen W. Munster 9-3-99

Exhibit "B"

CANT AUTO SALES

1 INTRODUCED BY COUNCILMAN SCHNEIDER  
2 AUGUST 11, 2008

3  
4 SUBTITUTE BILL NO. 8448

ORDINANCE NO. 7536

5  
6  
7 **AN ORDINANCE AMENDING B-5 ORDINANCE NO. 6166 FOR GMT**  
8 **AUTO TO ALLOW FOR AN ADDITION TO THE EXISTING BUILDING**  
9 **FOR THE PROPERTY LOCATED AT 225 N. HIGHWAY 67.**  
10

11  
12 WHEREAS, the Planning and Zoning Commission of the City of Florissant has  
13 recommended to the City Council at their meeting of July 21, 2008 that Ordinance No. 6166 be  
14 amended to allow for a 1,328 square foot addition to the existing building; and

15 WHEREAS, due and lawful notice of a public hearing on said proposed change was duly  
16 published, held and concluded on 11<sup>th</sup> of August, 2008 by the Council of the City of Florissant;  
17 and

18 WHEREAS, the Council, following said public hearing, and after due and careful  
19 deliberation, has concluded that the amendment of Ordinance No. 6166, as hereinafter set forth,  
20 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

21  
22 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
23 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
24

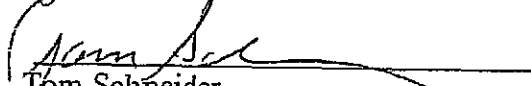
25 Section 1: Ordinance No. 6166 heretofore granted to GMT Auto for a B-5 Planned  
26 Commercial District Development is hereby amended to allow for a 1,328 square foot addition to  
27 the existing building per plans attached hereto and made a part hereof as if fully set out herein  
28 with the following stipulations:  
29

- 30 1. The addition shall be oriented as shown on the site plan marked C-1  
31 dated 6/3/08.
- 32 2. The addition shall match the existing building in height and setback  
33 and shall be clay-fired brick to match the existing building.
- 34 3. the B-5 ordinance shall reflect that a portion of the addition will be used  
35 for the installation of truck accessories and that the application was  
36 amended from 2,400 square feet to 3,728 square feet making the  
37 addition 1,328 square feet.
- 38 4. Ballards are to be installed at the corners of the garage doors to protect  
39 the building from cars entering and exiting.  
40

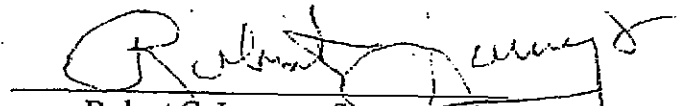
41 Section 2: Except as herein amended Ordinance No. 6166 shall remain in full force  
42 and effect.

43 Section 3: This ordinance shall become in full force and effect immediately upon its  
44 passage and approval.

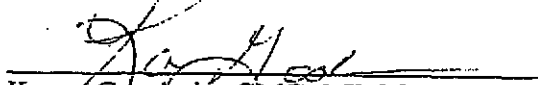
45  
46 Adopted this 25 day of Nov, 2008.

47  
48   
49 Tom Schneider  
50 President of the Council

51  
52 Approved this 2 day of Sept, 2008.

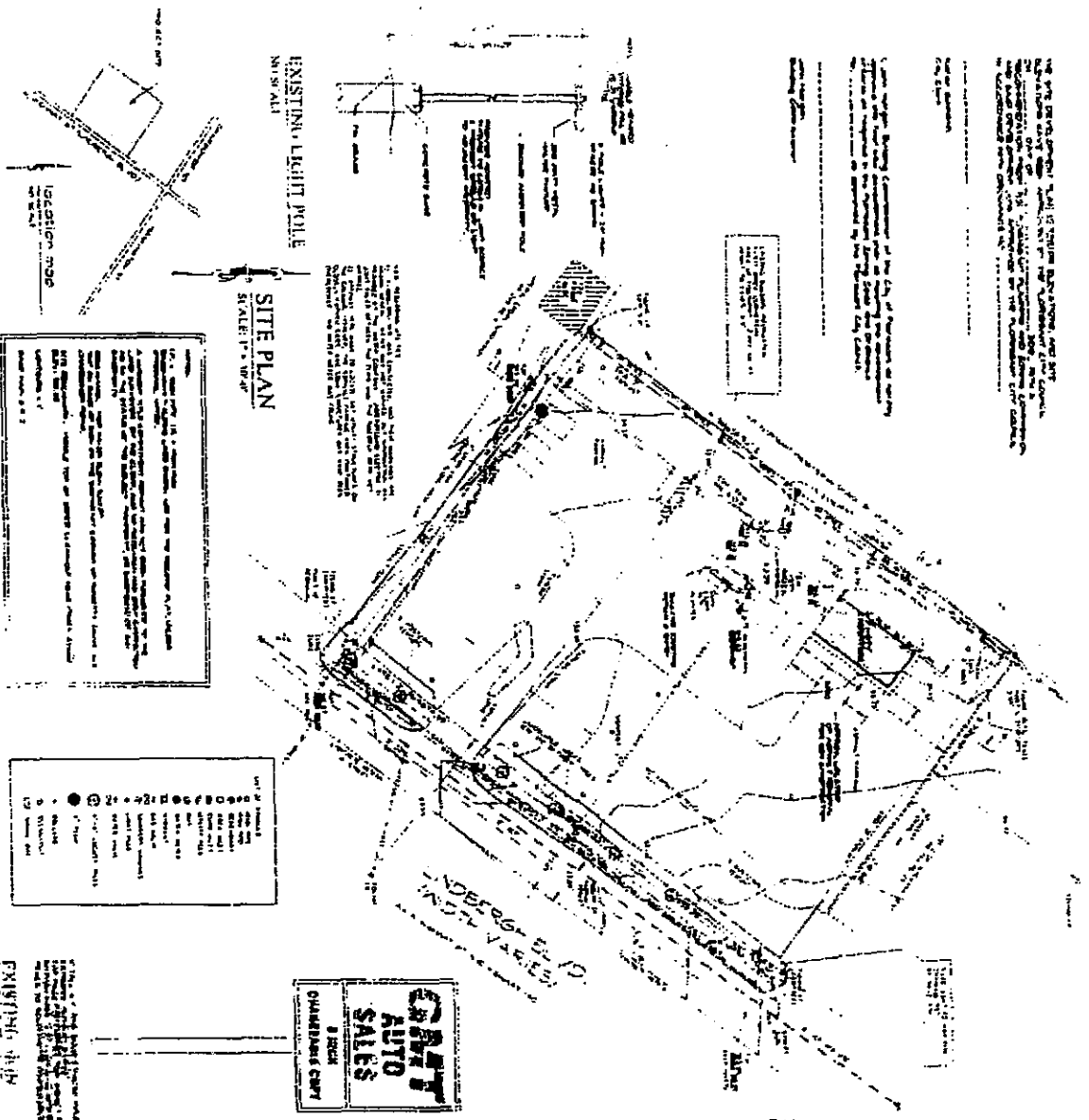
53  
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56 Robert G. Lowery, Sr.  
57 Mayor, City of Florissant

58  
59 ATTEST:

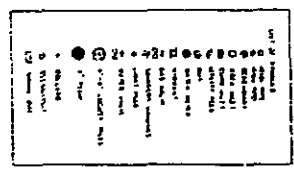
60   
61  
62 Karen Goodwin, CMC, MRCC  
63 City Clerk

# PRELIMINARY PHASED DEVELOPMENT PLAN

PHASE 1 DEVELOPMENT PLAN  
 1.00 ACRES OF LAND  
 2.00 ACRES OF LAND  
 3.00 ACRES OF LAND

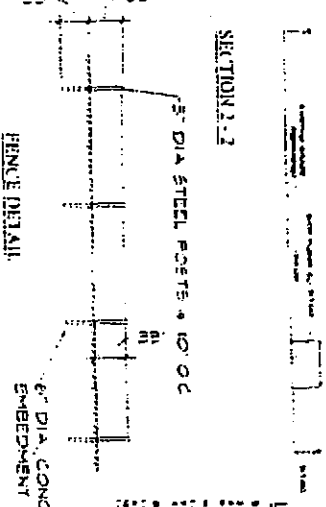


**EXISTING LIGHT POLE**  
 1.00 ACRES OF LAND  
 2.00 ACRES OF LAND  
 3.00 ACRES OF LAND



**EXISTING LIGHT POLE**  
 1.00 ACRES OF LAND  
 2.00 ACRES OF LAND  
 3.00 ACRES OF LAND

**GOAT AUTO SALES**  
 1.00 ACRES OF LAND  
 2.00 ACRES OF LAND  
 3.00 ACRES OF LAND



**LANDSCAPE SCHEDULE:**  
 1.00 ACRES OF LAND  
 2.00 ACRES OF LAND  
 3.00 ACRES OF LAND

**RUNDY (ORIGINAL)**

EXISTING	3\"/>
PROPOSED	3\"/>

**CODE DATA**

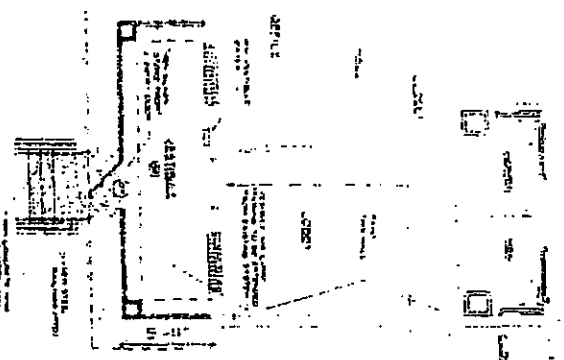
BUILDING CODE:	IBC / 2009
USE GROUP:	B AUTOMOTIVE SALES, P-2 MOTOR VEHICLE REPAIRS
CONSTRUCTION TYPE:	V-2B (WOOD FRAME IN BRICK JOIST)
AUTOMOBILES:	AREA: 4000 SF. ACTUAL: 3750 SF.
OCCUPANCY LOAD:	BUSINESS/RESIDENTIAL: 100 SF PERSON • 35 PERSONS
EXIT WIDTHS:	2.00 - 3.00 FEET HAVE BEEN PROVIDED
FIRE SEPARATION:	EXTERIOR WALLS (HEIGHTS THAN 30') 0 HOUR

1000-1000-1000

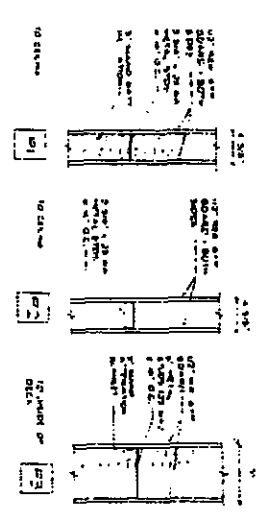


EXISTING BUILDING

PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



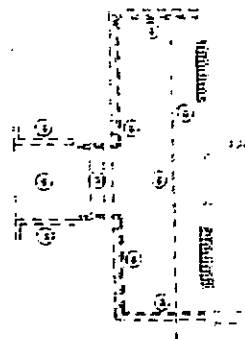
PARTITION TYPES  
SCALE: 1/8" = 1'-0"



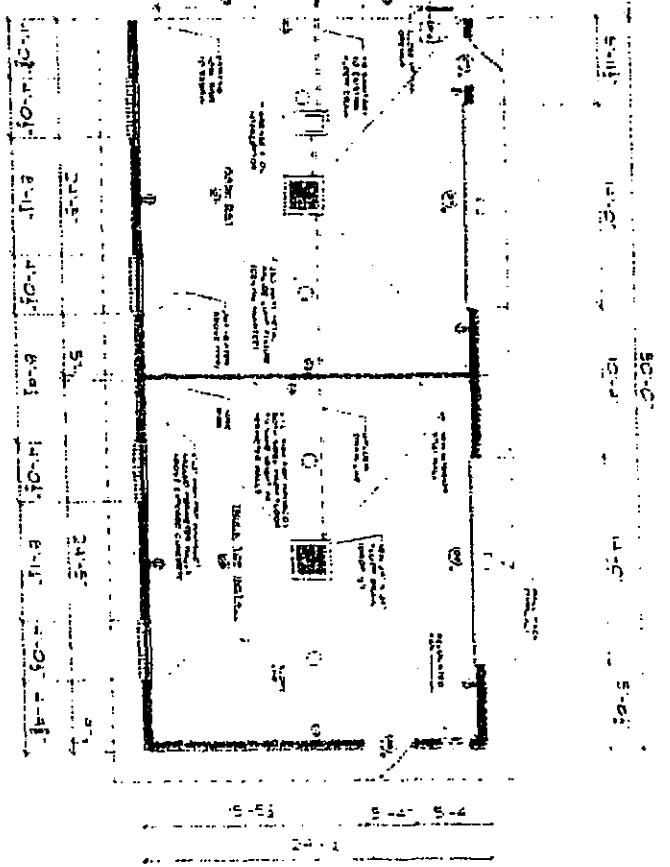
DEMOLITION NOTES:

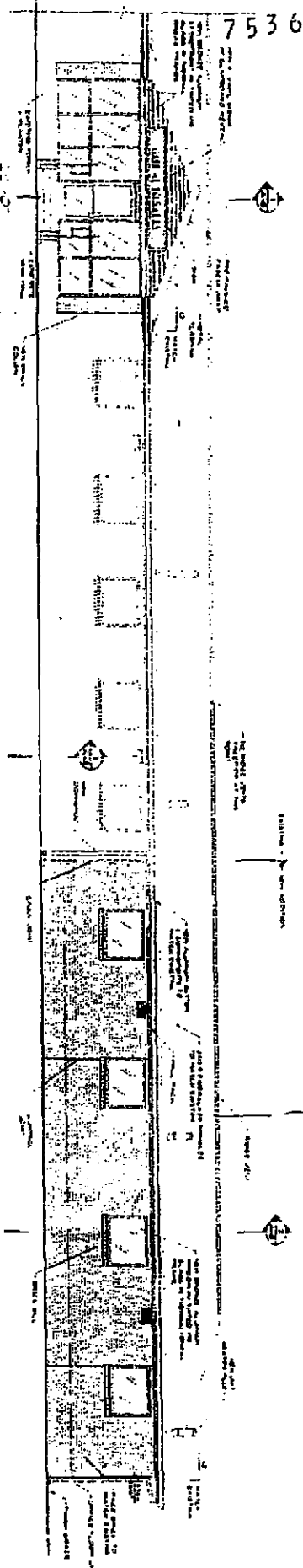
- 1. Demolish all existing partitions in the office area.
- 2. Demolish all existing partitions in the reception area.
- 3. Demolish all existing partitions in the conference room.
- 4. Demolish all existing partitions in the restrooms.
- 5. Demolish all existing partitions in the storage area.
- 6. Demolish all existing partitions in the utility area.
- 7. Demolish all existing partitions in the mechanical room.
- 8. Demolish all existing partitions in the elevator shaft.
- 9. Demolish all existing partitions in the stairwell.
- 10. Demolish all existing partitions in the exterior walls.
- 11. Demolish all existing partitions in the roof structure.
- 12. Demolish all existing partitions in the foundation.
- 13. Demolish all existing partitions in the site work.
- 14. Demolish all existing partitions in the landscaping.
- 15. Demolish all existing partitions in the site improvements.
- 16. Demolish all existing partitions in the site access.
- 17. Demolish all existing partitions in the site security.
- 18. Demolish all existing partitions in the site safety.
- 19. Demolish all existing partitions in the site health.
- 20. Demolish all existing partitions in the site environment.

PORCH DEMO PLAN  
SCALE: 1/4" = 1'-0"

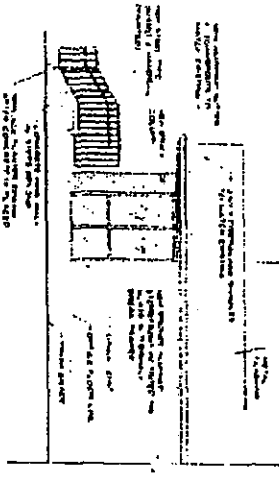


OFFICE/DETAIL BAY DEMO PLAN  
SCALE: 1/4" = 1'-0"



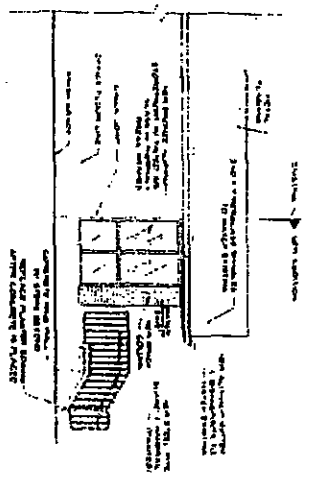
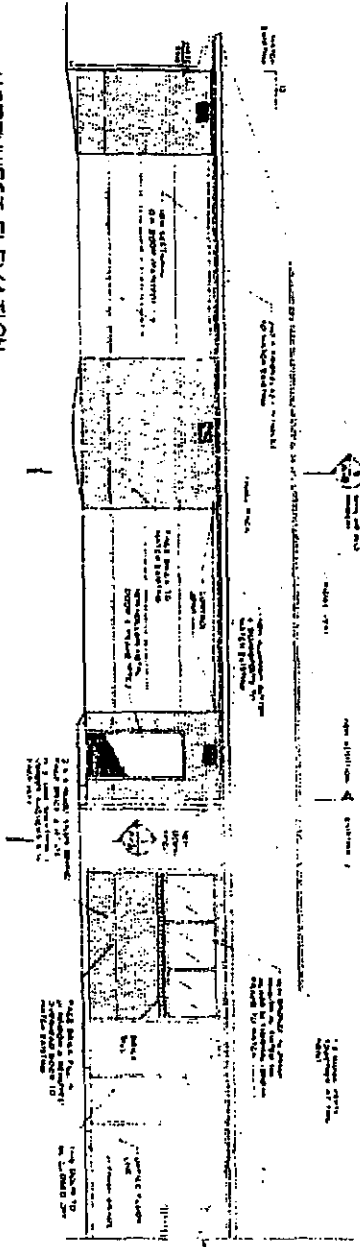


SOUTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"

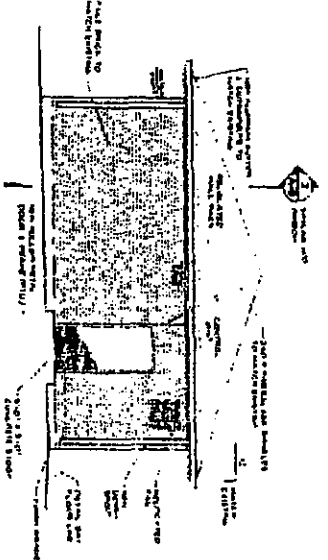


NORTHEAST VESTIBULE ELEVATION  
SCALE: 1/4" = 1'-0"

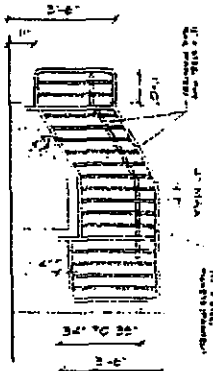
NORTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTHWEST VESTIBULE ELEVATION  
SCALE: 1/4" = 1'-0"

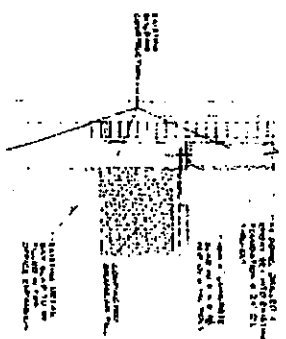


NORTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"



RAIL DIMENSIONS  
SCALE: 1/2" = 1'-0"

DETAIL OF OFFICE SLAB  
SCALE: 1/4" = 1'-0"



1 INTRODUCED BY COUNCILMAN SCHNEIDER  
2 AUGUST 24, 2009

3  
4 BILL NO. 8545

ORDINANCE NO.

7631

5  
6  
7 AN ORDINANCE AMENDING B-5 ORDINANCE NO. 6166 AS  
8 AMENDED BY ORDINANCE NO. 7536 FOR GMT AUTO TO ALLOW  
9 FOR THE SALE OF VEHICLES FROM ADJACENT PROPERTY 365 N.  
10 HWY 67 FOR THE PROPERTY LOCATED AT 225 N. HIGHWAY 67.  
11

12  
13 WHEREAS, the Planning and Zoning Commission of the City of Florissant has  
14 recommended to the City Council at their meeting of July 2, 2009 that Ordinance No. 6166 as  
15 amended by 7536, be amended to allow for the sale of vehicles from adjacent property 365 N.  
16 Hwy 67 for the property located at 225 N. Hwy 67; and

17 WHEREAS, due and lawful notice of a public hearing on said proposed change was duly  
18 published, held and concluded on 24<sup>th</sup> of August, 2009 by the Council of the City of Florissant;  
19 and

20 WHEREAS, the Council, following said public hearing, and after due and careful  
21 deliberation, has concluded that the amendment of Ordinance No. 6166 as amended by 7536, as  
22 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City  
23 of Florissant; and  
24

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
27

28 Section 1: Ordinance No. 6166 as amended by 7536, heretofore granted to GMT Auto  
29 for a B-5 Planned Commercial District Development is hereby amended to allow for sale of  
30 vehicles from adjacent property 365 N. Hwy 67 for the property located at 225 N. Hwy 67  
31

32 Section 2: Except as herein amended Ordinance No. 6166 as amended by 7536, shall  
33 remain in full force and effect.  
34

35 Section 3: This ordinance shall become in full force and effect immediately upon its  
36 passage and approval.

1 INTRODUCED BY COUNCILMAN EAGAN  
2 JANUARY 14, 2013

3  
4 BILL NO. 8890

ORDINANCE NO. 7941

5  
6  
7 AN ORDINANCE AMENDING B-5 ORDINANCE NO. 6166 AS  
8 AMENDED, FOR MISSION HILLS DEVELOPMENT CO. D/B/A GMT  
9 AUTO SALES TO ALLOW FOR FACE CHANGE INCLUDING AN  
10 ELECTRONIC MESSAGING BOARD ON AN EXISTING POLE FOR  
11 THE PROPERTY LOCATED AT 225 N. HWY 67.  
12

13  
14 WHEREAS, the Planning and Zoning Commission of the City of Florissant has  
15 recommended to the City Council at their meeting of November 19, 2012 that Ordinance No.  
16 6166 as amended by ordinance nos. 7536 & 7657 be amended to allow for a face change  
17 including an electronic messaging board on an existing pole; and

18 WHEREAS, due and lawful notice of a public hearing no. 13-01-005 on said proposed  
19 change was duly published, held and concluded on 14<sup>th</sup> of January, 2013 by the Council of the  
20 City of Florissant; and

21 WHEREAS, the Council, following said public hearing, and after due and careful  
22 deliberation, has concluded that the amendment of Ordinance No. 6166 as amended by  
23 Ordinance Nos. 7536 and 7657, as hereinafter set forth, to be in the best interest of the public  
24 health, safety and welfare of the City of Florissant; and

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
27

28  
29 Section 1: Ordinance No. 6166 as amended by ordinance nos. 7536 & 7657 heretofore  
30 granted to Mission Hills Development Co. d/b/a GMT Auto Sales for a B-5 Planned  
31 Commercial District Development is hereby amended to allow for a face change including an  
32 electronic messaging board to an existing pole sign for the property located at 225 N. Hwy 67.

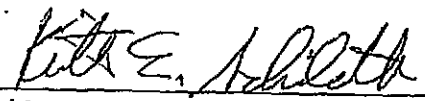
33  
34 Section 2: Except as herein amended Ordinance No. 6166 as amended shall remain in full  
35 force and effect.

36 Section 3: This ordinance shall become in full force and effect immediately upon its  
37 passage and approval.

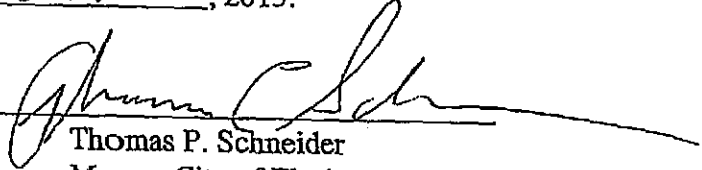
38

39 Adopted this 14 day of January, 2013.


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Keith Schildroth  
President of the Council

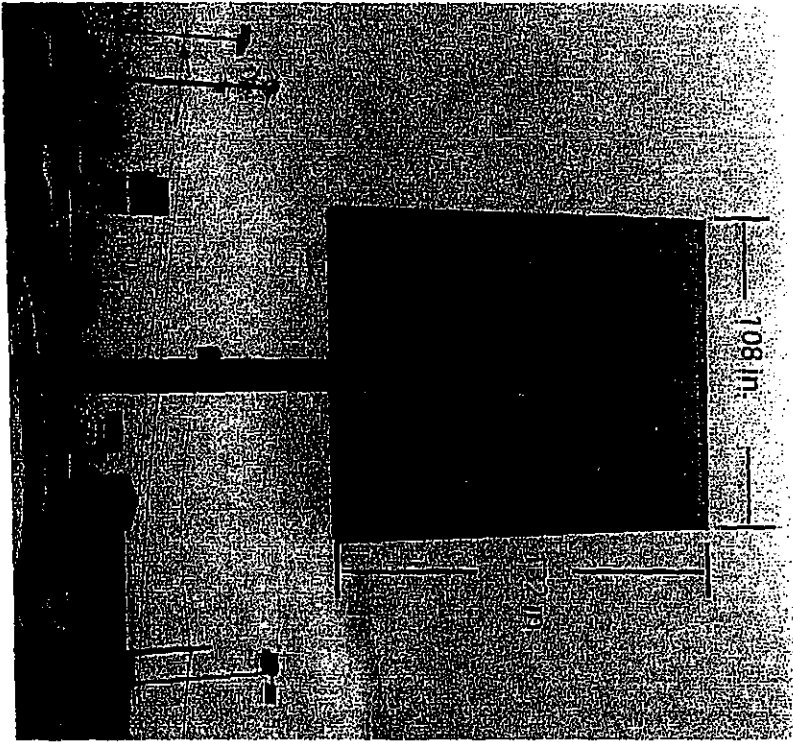
Approved this 14 day of JAN, 2013.

  
Thomas P. Schneider  
Mayor, City of Florissant

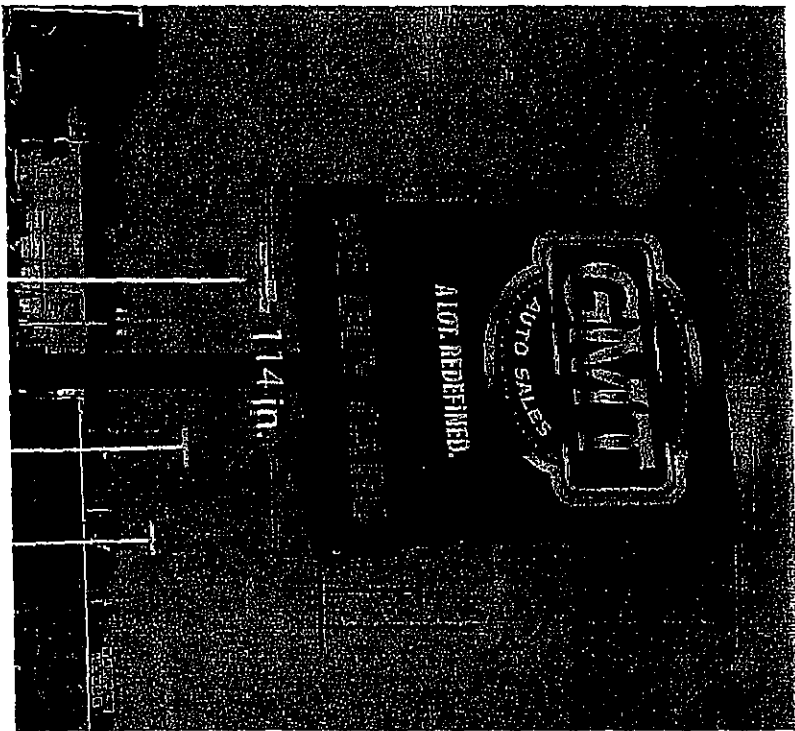
ATTEST:

  
Karen Goodwin, MMC/MRCC  
City Clerk

Prior

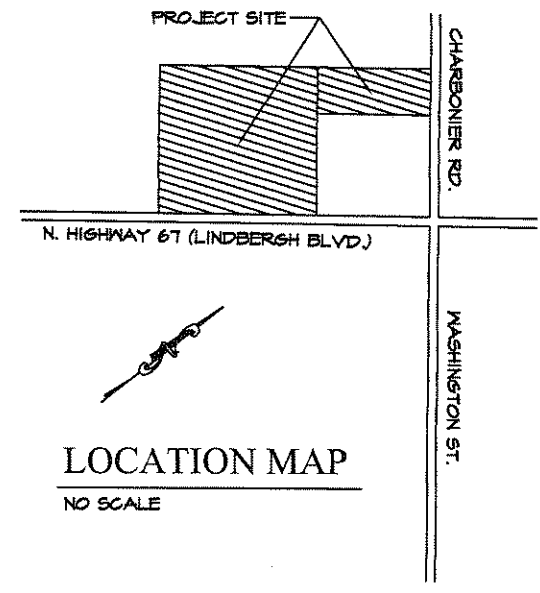
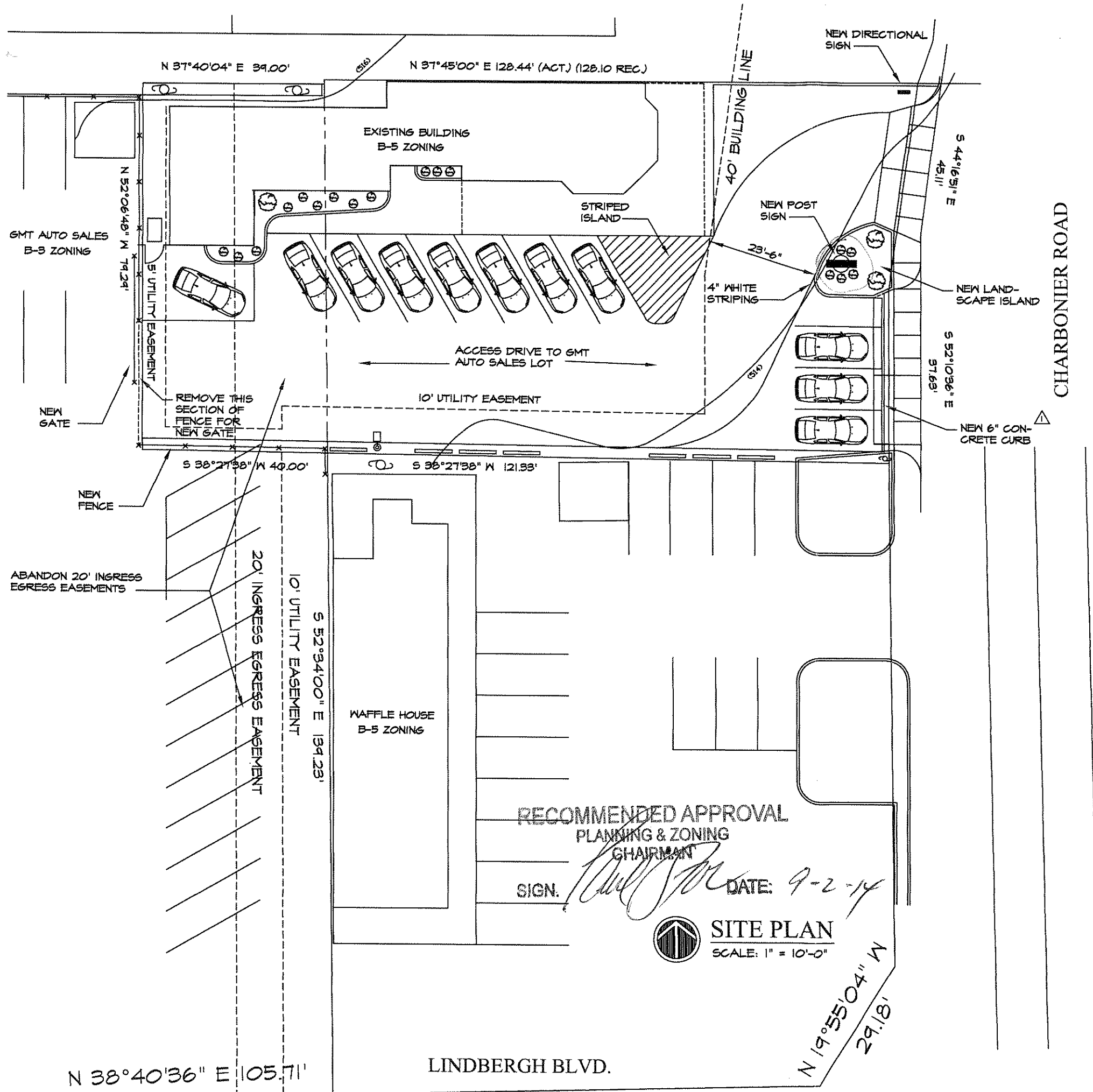


Current-  
Face Change + Messaging Board

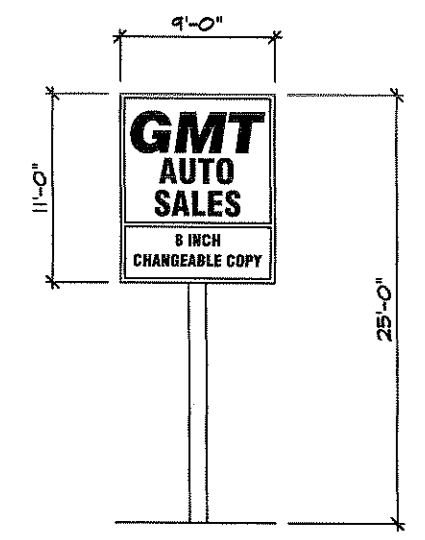


26 in.

GMT Auto Sales  
225 N. Highway 67

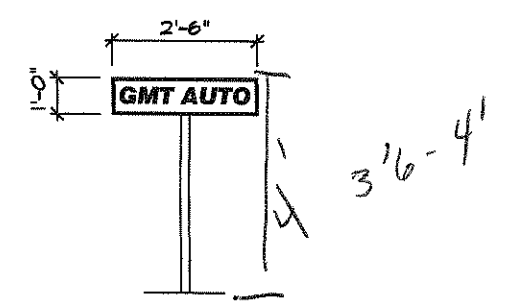


LOCATION MAP  
NO SCALE



11' TALL X 9' WIDE DOUBLE FACED POLE SIGN  
EXTRUDED ALUMINUM CABINET  
TOP FACE PAN-FORMED HIGH IMPACT FACE  
BOTTOM FACE FLAT PLEXIGLAS WITH COPY  
TRACK TO ACCOMADATE CHANGEABLE COPY 8" LETTERS

PROPOSED POST SIGN  
NO SCALE



PROPOSED DIRECTIONAL SIGN  
NO SCALE

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN. *[Signature]* DATE: 9-2-14

SITE PLAN  
SCALE: 1" = 10'-0"

no. date description	
1	07/21/14
CHANGED FROM APPROVAL TO CONCRETE CURB	
revisions	
DALE ARCHITECTURAL SERVICES, LLC 743 Saint Mary's Road Villa Ridge, Mo. 63089 314-517-5101 joedale@shcglobal.net	
a proposed lot access & signage plan for:	
<b>GMT AUTO SALES</b>	
620 CHARBONIER ROAD FLORISSANT, MISSOURI 63031	
project number	
file name	charbap-1
date	07/21/14
sheet no.	of
SP-1	





1 INTRODUCED BY COUNCILWOMAN PAGANO  
2 SEPTEMBER 8, 2014

3  
4 BILL NO. 9027

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE**  
7 **PERMIT NO. 2027 AS AMENDED TO ALLOW FOR REMODELING**  
8 **FOR THE PROPERTY LOCATED AT 4595 WASHINGTON.**  
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
11 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and  
12 operation of a restaurant; and

13 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to  
14 Jack in the Box Restaurant for the location and operation of a restaurant on the property  
15 described in Ordinance No. 2027 and known as 4595 Washington; and

16 WHEREAS, Ordinance No. 2027 has been amended by Ordinance No's 2689, 3616 and  
17 4045; and

18 WHEREAS, an application has been filed by Jack-in-the-Box Restaurant for an  
19 amendment to the said Special Use Permit heretofore granted under Ordinance No. 2027 as  
20 amended to authorize the addition of certain conditions; and

21 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their  
22 meeting of August 18, 2014 has recommended that the said Special Use Permit be amended; and

23 WHEREAS, due notice of public hearing no. 14-09-021 on said application to be held on  
24 the 8th day of September, 2014 at 7:30 pm. by the Council of the City of Florissant was duly  
25 published, held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful  
27 consideration, has concluded that the granting of an amendment to the Special Use Permit  
28 authorized by Ordinance No. 2027 as amended, as hereinafter provided would be in the best  
29 interest of the City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32  
33 Section 1: The Special Use Permit heretofore granted to Jack-in-the-Box Restaurants  
34 under Ordinance No. 2027 as amended is hereby amended to allow for remodeling according to  
35 the attached drawings TS1.0, C10, C2.0, A1.0, A2.0 and A2.1, all as prepared by Frontenac  
36 Engineering and dated June 6, 2014 and subject to the following stipulations:

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1. *General Development Conditions.*

Unless, and except to the extent, otherwise specifically provided in Ord. 2027, development shall be effected only in accordance with all ordinances of the City of Florissant.

2. *Project Completion.*

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan with 180 days of start of construction.

3. Landscape materials to meet the current Landscape Ordinance.

Section 2: Said Special Permit shall be conditioned on and shall remain in full force and effect so long as the conditions set out in Ordinance No. 5508 as amended by Ordinance No. 5812 and now further amended, are adhered to.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
Joseph Eagan  
President of the Council  
City of Florissant

Approved this \_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
Thomas P. Schneider  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **PUBLIC HEARING NOTICE**



**In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, Mo. in Council Chambers, 955 rue St. Francois on Monday, September 8, 2014 at 7:30 P.M. on the following proposition:**

**To authorize a Special Use Permit to Jack-in-the-Box Restaurant to amend Special Use Permit #2027 (as amended by Ord. Nos. 2689, 3616, and 4045) to allow for remodeling in an B-3 Zoning District for the property located at 4595 Washington (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.**

**CITY OF FLORISSANT, Karen Goodwin, City Clerk MMC.**

# Jack-In-The-Box - Store #4006 Remodel Special Use Permit Submission 4595 Washington Florissant, MO 63031 June 6, 2014



9330 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2014 Jack in the Box, Inc.  
 All rights reserved. Jack in the Box, the Jack in the Box logo, and the Jack in the Box character are trademarks of Jack in the Box, Inc. All other trademarks are the property of their respective owners.

RELEASE: June 6, 2014  
 P.M. UPDATES  
 SUBMITTAL DATE:  
 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 NO: \_\_\_\_\_  
 CONSTRUCTION: \_\_\_\_\_

REVISIONS:  
 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_  
 5. \_\_\_\_\_

DATE: \_\_\_\_\_  
 TIME: \_\_\_\_\_  
 BY: \_\_\_\_\_

PROJECT NO: \_\_\_\_\_  
 SHEET NO: \_\_\_\_\_

FRONTIAC ENGINEERING GROUP  
 CIVIL / STRUCTURAL / LANDSCAPING  
 2725 SUTHERLAND  
 ST. LOUIS, MISSOURI 63103  
 PHONE: 314.644.2222 FAX: 314.644.8465  
 WWW.FRONTIACENGINEERING.COM

SHEET INFORMATION  
 SHEET NO: 3-20  
 JOB #: 4526  
 ADDRESS:  
 4595 Washington  
 Florissant, MO 63031  
 DRAWN BY: BEG  
 PROJECT #: 140494  
 SCALE: N/A

## SHEET INDEX

SHEET	TITLE / SHEET
3-20	TITLE SHEET
3-21	CONSTRUCTION DOCUMENTS
3-22	SITE SURVEY
3-23	EXTERIOR ELEVATIONS
3-24	EXTERIOR ELEVATIONS
3-25	EXTERIOR ELEVATIONS
3-26	EXTERIOR ELEVATIONS
3-27	EXTERIOR ELEVATIONS
3-28	EXTERIOR ELEVATIONS
3-29	EXTERIOR ELEVATIONS
3-30	EXTERIOR ELEVATIONS
3-31	EXTERIOR ELEVATIONS
3-32	EXTERIOR ELEVATIONS
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3-43	EXTERIOR ELEVATIONS
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3-48	EXTERIOR ELEVATIONS
3-49	EXTERIOR ELEVATIONS
3-50	EXTERIOR ELEVATIONS

TITLE SHEET  
 TS1.0



8330 BARBARA AVENUE  
SAN DIEGO, CA 92123  
© 2014 Jack in the Box Inc.

THIS DOCUMENT IS THE PROPERTY OF JACK IN THE BOX INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JACK IN THE BOX INC.

DATE: June 8, 2014

RELEASE: June 8, 2014

P.M. URBAN

DATE: 1/1/14

DATE: 2/1/14

DATE: 3/1/14

DATE: 4/1/14

DATE: 5/1/14

DATE: 6/1/14

DATE: 7/1/14

DATE: 8/1/14

DATE: 9/1/14

DATE: 10/1/14

DATE: 11/1/14

DATE: 12/1/14

DATE: 1/1/15

DATE: 2/1/15

DATE: 3/1/15

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**in the box**  
 3320 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2014 Jack in the Box Inc.

Jack in the Box is a registered trademark of Jack in the Box Inc. All other trademarks are the property of their respective owners. This document is the property of Jack in the Box Inc. and is to be used only for the project and location specified. It is not to be reproduced, distributed, or used for any other purpose without the written consent of Jack in the Box Inc.

DATE: June 6, 2014

RELEASE: June 6, 2014

P.M. UPGRADES

SUBMITTAL DATE:

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CONSTRUCTION

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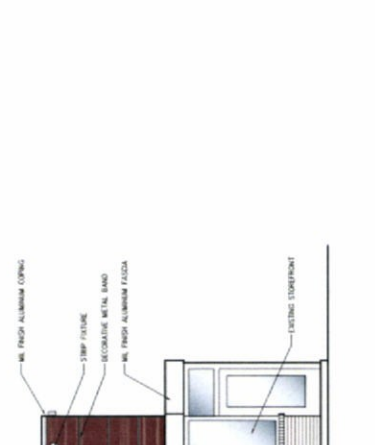
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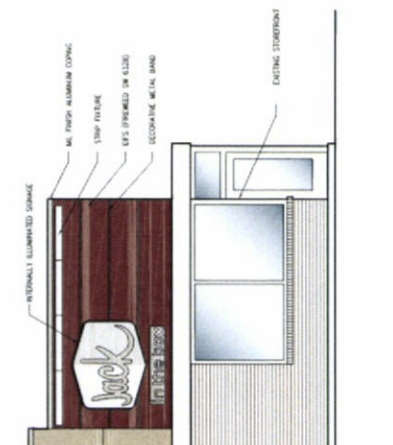
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1 FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"



FRONTPAGE ENGINEERING GROUP  
 CIVIL / STRUCTURAL / LANDSCAPING  
 2725 SUTTON BLVD  
 ST. LOUIS, MISSOURI 63104  
 PHONE: 314-644-2274 FAX: 314-644-9045  
 www.frontpageengineering.com

SITE INFORMATION

DATE: 3-20

JOB # 4506

ADDRESS:

4595 Washington

Portland, MO 63231

DRAWN BY: SCS, B, PWT

PROJECT #: 142454

SCALE: 1/4" = 1'-0"

EXTERIOR  
 ELEVATIONS  
 A2.0



**in the box**  
 5330 BAIRD AVE  
 SAN DIEGO, CA 92123  
 © 2014 Jack in the Box Inc.

3130 BAIRD AVE  
 SAN DIEGO, CA 92123  
 © 2014 Jack in the Box Inc.

RELEASE: June 6, 2014

P.M. UPGRADES

SUBMITTAL DATE:

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CONSTRUCTION

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DATE: June 6, 2014

NO. 1956: 3-20

JOB # 4056

ADDRESS: 4585 Resendiz

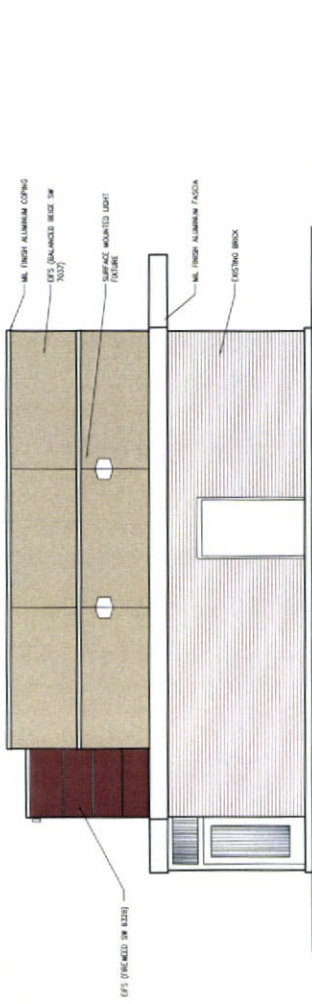
Fontana, CA 92331

OWNER: SBC & RMT

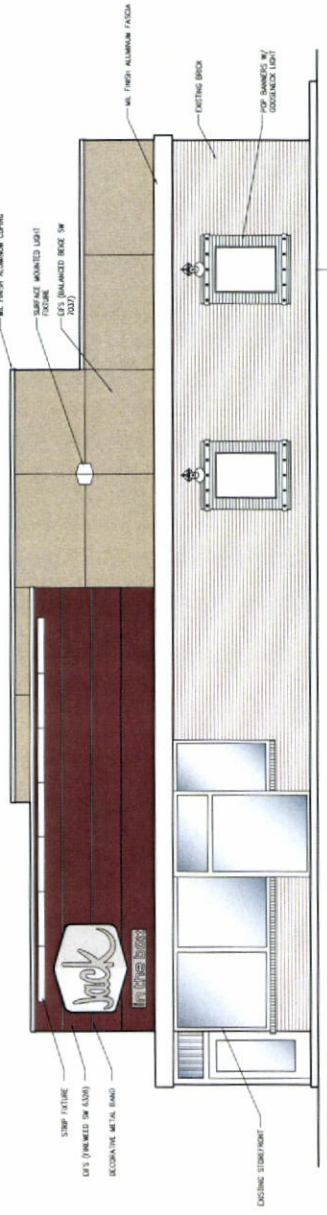
PROJECT #: 145484

SCALE: 1/4"=1'-0"

EXTERIOR ELEVATIONS  
**A2.1**



1 REAR ELEVATION  
 SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"

DATE: June 6, 2014

NO. 1956: 3-20

JOB # 4056

ADDRESS: 4585 Resendiz

Fontana, CA 92331

OWNER: SBC & RMT

PROJECT #: 145484

SCALE: 1/4"=1'-0"

EXTERIOR ELEVATIONS  
**A2.1**



FRONTPAGE ENGINEERING GROUP  
 CIVIL / STRUCTURAL / LAND SURVEYING  
 2725 SUTHERLAND  
 ST. LOUIS, MISSOURI 63103  
 PHONE: 314.622.9100 FAX: 314.622.9086  
 WWW.FRONTPAGEENGINEERING.COM



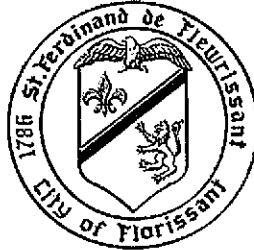






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**MEMORANDUM**



**CITY OF FLORISSANT**

To: Planning and Zoning Commissioners Date: July 25, 2014

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. P.E.-  
Director of Public Works  
Applicant  
File

Subject: **4595 Washington (Jack-In-The-Box)** - Request approval of a remodeling  
in a 'B-5' Zoning District.

**STAFF REPORT**  
**CASE NUMBER PZ-080414-1**

**I. PROJECT DESCRIPTION:**

This is a request for recommended approval to amend a Special Use to allow a remodeling in a 'B-5' Zoning District.

**II. EXISTING SITE CONDITIONS:**

The existing property at 4595 Washington is owned by Henry Klein. The existing space is a 1987 s.f. It has been in operation since 1973 and currently has applied for permit for exterior alterations. A pole sign was approved by the Commission in 1981 with subsequent amendments to it as the name of the business changed over the years to 'Jack' and 'Monterey Jacks', and back again.

**III. SURROUNDING PROPERTIES:**

The adjacent property to the North is 4585 Washington in an 'B-5' District. The adjacent property to the East is 1475 Dunn Road also in a 'B-5' District which is Uncle Bob's Storage.

40 **IV. STAFF ANALYSIS:**

41  
42 The application is accompanied by professional plans with proposed changes. Staff has  
43 included one color picture of the property and has the following review comments:  
44

45 C1.0

46 1. Existing sign is shown in the photo, no proposed change.

47 C2.0

48 2. Site plan shows an 8'-4" addition in the rear within the circular drive through  
49 landscaped area.

50 A1.0

51 3. Floor plan indicates the addition is for additional storage and remains relatively  
52 unchanged otherwise.

53 A2.0

54 4. Color elevations show the following replacements of the existing mansard roof:

55 a. New signage.

56 b. New aluminum coping (top trim)

57 c. New surface mounted lighting.

58 d. New aluminum fascia.

59 e. New EIFS with decorative metal trim.

60 f. Side Elevations show 'pop banners' which are actually wall signs.

61 A3.0

62 g. Rear elevation shows repeat of existing brick.

63 h. The flat canopy is shown to be covered with new mill finish aluminum.  
64

65 **V. MASONRY ORD. ANALYSIS**

66 This proposal freshens the exterior with a new look and shiny aluminum trim.  
67

68 The proposal proposes removal of the existing building's 'mansard roof' which serves as  
69 a screen to rooftop equipment and proposes to replace this area with metal clad and EIFS  
70 parapet walls. How is this affected by the masonry ordinance regulations?  
71

72 A mansard is deemed to be a roof. The Commission has previously reviewed, at 2678 N.  
73 Highway 67 (Dairy Queen), that a parapet wall is a part of the roof system. The current  
74 masonry code has no specific definition for these building parts. The existing flat canopy  
75 at Jack-In-The-Box is a clear dividing line between the existing brick wall and the  
76 roofline in this case.  
77

78 ~~The existing masonry is currently painted and there are no proposed changes to its color~~  
79 ~~on the plans.~~  
80

81 Given that materials other than masonry can be considered when part of a Special Permit  
82 or 'B-5', it is possible to view this proposal as code compliant with regard to the masonry  
83 ordinance since it proposes no change to the existing masonry.  
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**VI. STAFF RECOMMENDATIONS:**

1. There is an existing Special Use that is affected by the proposed changes. The existing ordinances are attached for drive thru and sign, Ord's. No's. 2027, and amendments 2689, 3616 and 4045.
  
2. Staff recommends the number of landscape materials meet the current landscape ordinance.

(end report)

**July 25, 2014 Suggested Motion to Amend a Special Use: 4595 Washington (Jack-In-The-Box):**

1. I move to recommend approval to amend a Special Use, Ordinance Ord's. No. 2027, as amended by Ord's. 2689, 3616 and 4045 to allow for a remodeling, according to the proposal prepared by the petitioner as described related documents presented and according to the attached drawings TS1.0, C1.0, C2.0, A1.0, A2.0 and A2.1, all as prepared by Frontenac Engineering and dated June 6, 2014. Approval is subject to the regulations of these ordinances, and the following additional requirements:

**1. GENERAL DEVELOPMENT CONDITIONS.**

- a. Unless, and except to the extent, otherwise specifically provided in Ordinance 2027, development shall be effected only in accordance with all ordinances of the City of Florissant.

**2. PROJECT COMPLETION.**

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 180 days of start of construction.

(End of suggested motion 7/25/14)

---

**RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN**

SIGN. *James J. Hessel II* DATE: 8/15/14

AN ORDINANCE AUTHORIZING THE ISSUANCE OF  
A SPECIAL PERMIT FOR THE LOCATION OF A  
DRIVE-IN RESTAURANT ON PROPERTY HEREIN--  
AFTER DESCRIBED

4595  
Washington

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant to permit the location and operation of a drive-in restaurant, by special permit after public hearing; and

WHEREAS, John T. Prindable, as agent for Foodmaker, Inc., Division of Ralston Purina Co. has filed an application for a special permit for a drive-in restaurant to be located at the northeast corner of Dunn Road and Washington Street; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that said special permit be granted, subject to certain conditions; and

WHEREAS, due notice of public hearing on said application to be held on September 23, 1968, at 8:00 P. M. by the Council of the City of Florissant was duly published; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the issuance of said special permit as hereinafter provided would be in the public interest of the City of Florissant;

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A special permit is hereby granted to Foodmaker, Inc. Division of Ralston Purina Co., to construct and operate a drive-in restaurant known as "Jack In The Box" restaurant at the northeast corner of Dunn Road and Washington Street, said premises more particularly described as follows:

A parcel of land being a part of Lot 11 of Arkus Place according to plat thereof recorded in Plat Book 20, Page 142 of the St. Louis County records and part of Block 115

of St. Ferdinand Commons, St. Louis County, Missouri,  
being more particularly described as follows:

Commencing at the intersection of the North line of U. S. Highway By-pass 66, 100 ft wide, with the North-east line of Washington Street (formerly Old Florissant Road, 40 ft. wide); thence South  $82^{\circ} 22' 40''$  East a distance of 78.18 ft. to the New Right-of-Way intersection, being the true point of beginning; thence North  $54^{\circ} 08' 00''$  West a distance of 86.45 feet along the New Right-of-Way of Washington Street to an old iron pipe; thence North  $36^{\circ} 38' 00''$  West a distance of 110 feet along the New Right-of-Way Washington Street to a point; thence North  $53^{\circ} 22' 00''$  East a distance of 119 ft. to a point; thence South  $86^{\circ} 38' 00''$  East a distance of 29 ft. to a point; thence parallel to Washington Street South  $36^{\circ} 38' 00''$  East a distance of 72.03 ft. to a point; thence South  $0^{\circ} 44' 40''$  West a distance of 154.42 ft. to a point in the North line of U. S. Highway By-pass 66; thence North  $82^{\circ} 22' 40''$  West a distance of 29.98 ft. to the point of beginning, containing 22,333.43 sq. ft. or 0.513 acres more or less.

Section 2: Said special permit shall be conditioned on and shall become and remain in force and effect only under the following terms and provisions:

a. Applicant shall widen the pavement of Dunn Road and Washington Street adjacent to the above described property, and including that portion of Washington Street to the west of the above described property extending 514.20 feet west of the intersection with Dunn Road, so that there shall be a pavement of 30 feet between the center line of Washington Street and the said property and so that there shall be an additional 12 feet of pavement on Dunn Road. Detailed improvement plans for said widening shall be approved by the Director of Public Works.

b. There shall be not more than one driveway on the Dunn Road frontage of the above described property and there shall be not more than three driveways on the Washington Street side of the 2.138 acre parcel, of which the above described property is a portion and which is owned by permittee. The legal description of said 2.138 acre parcel is attached hereto. The location of said driveways and their

directional usage shall be in conformity with the recommendations of the St. Louis County Division of Traffic, or as same may be modified by the Florissant Planning and Zoning Commission. Detailed improvement plans, including directional signs, shall be approved by the Director of Public Works.

c. Left turn movement into the driveway on Dunn Road shall be prohibited and the said driveway on Dunn Road shall be so constructed as to prohibit such movement. Appropriate signs prohibiting said movement shall be installed and maintained at all times.

d. Applicant shall construct and maintain a sidewalk along the entire street frontage.

e. Applicant shall install and maintain landscaping on the said property and including the entire 2.138 parcel, in accordance with the requirements of the Planning and Zoning Commission.

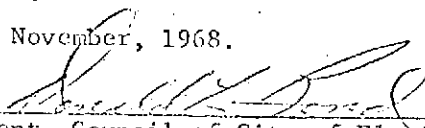
f. There shall be no more than 15 parking spaces and no carhop service shall be provided.

g. Permittee shall be obligated to prevent any loitering about the premises and, on order of the Chief of Police, shall provide security personnel for the maintenance of proper decorum on the premises.

h. Said premises shall be maintained in a clean and orderly condition at all times and free and clear of litter. All trash and storage containers shall be located at the rear of the property and shall be screened in accordance with the requirements of the Planning and Zoning Commission.

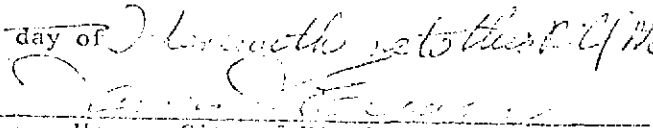
Section 3. This ordinance shall be in effect upon its passage and approval as provided by law.

Adopted this 25th day of November, 1968.

  
\_\_\_\_\_  
President, Council of City of Florissant

Approved this \_\_\_\_\_ day of \_\_\_\_\_ 1968

ATTEST:

  
\_\_\_\_\_  
Mayor, City of Florissant

ENACTED 12-16-68 NOTWITHSTANDING VETO BY MAYOR

INTRODUCED BY COUNCILMAN BOND

BILL NO. 3095

ORDINANCE NO. 2689

4595 Washing

AN ORDINANCE AUTHORIZING AMENDMENT OF THE SPECIAL PERMIT ISSUED TO FOODMAKER, INC. UNDER ORDINANCE 2027 THE ORDINANCE OF THE CITY OF FLORISSANT DATED NOVEMBER 25, 1968, TO ALLOW FOR THE REMODELING OF THE EXISTING FACILITIES ON PROPERTY HEREINAFTER DESCRIBED LOCATED WITHIN THE CITY OF FLORISSANT.

WHEREAS, Foodmaker Inc., has been authorized by special permit granted under Ordinance 2027 and dated November 25, 1968, to locate and operate a restaurant and allied facilities on a site hereinafter described; and

WHEREAS, the said Foodmaker, Inc., has applied to the City of Florissant for an amendment to the said special permit to allow the construction and reconstruction of the present facilities on the property hereinafter more particularly described; and

WHEREAS, said application was referred to the Planning & Zoning Commission of the City of Florissant and said Commission has recommended approval of said application; and

WHEREAS, pursuant to notice duly published, a public hearing on said application was held before the Council of the City of Florissant on the 11th day of December, 1972; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration has concluded that the issuance of the amendment to the special permit would be in the public interests of the City of Florissant;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The special permit heretofore issued to Foodmaker, Inc., under Ordinance 2027, dated 11/25/68 is hereby amended to allow the remodeling of the existing facilities located on the following described property and subject to the following described restrictions:

Commencing at the intersection of the North line of U.S. Highway By-pass 66, 100 ft. wide, with the Northeast line of Washington Street (formerly Old Florissant Road, 40 ft. wide); thence South 82° 22' 40" East a distance of 78.18 feet to the New Right-Of-Way intersection, being the true point of beginning; thence North 54° 08' 00" West a distance of 86.45 feet along the New Right-of-Way of Washington Street to an old iron pipe; thence North 36° 38' 00" West a distance of 110 feet along the New Right-of-Way Washington Street to a point; thence North 53° 22' 00" East a distance of 119 feet to a point; thence South 86° 38' 00" East a distance of 29 feet to a point; thence parallel to Washington Street South 36° 38' 00" East a distance of 72.03 feet to a point; thence South 0° 44' 40" West a distance of 154.42 feet to a point in the North line of U.S. Highway By-pass 66; thence North 82° 22' 40" West a distance of 29.98 feet to the point of beginning, containing 22,333.43 sq. ft. or 0.513 acres more or less.



BILL NO. 3095

ORDINANCE NO. 2689

Page 2

Subject to:

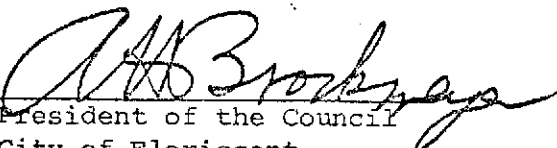
1. Adhering to all the plans and specifications as presented and approved by the Planning & Zoning Commission.
2. Providing the outside of the building has brick facing.

Section 2: The special permit heretofore granted under Ordinance 2027 as amended is hereby reaffirmed.

Section 3: This special permit and amendments thereto as herein approved are subject to all the terms and conditions of the previous ordinance 2027.

Section 4: This ordinance shall be in effect from and after its adoption and approval as provided by law.

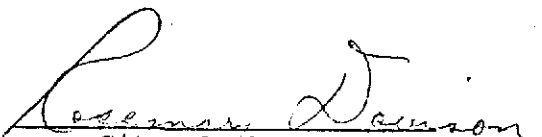
Adopted this 22nd day of January 1973.

  
President of the Council  
City of Florissant

Approved this \_\_\_\_\_ day of \_\_\_\_\_ 1973.

RETURNED UNSIGNED  
Mayor, City of Florissant

ATTEST:

  
City Clerk

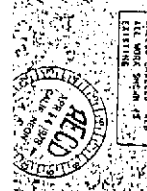
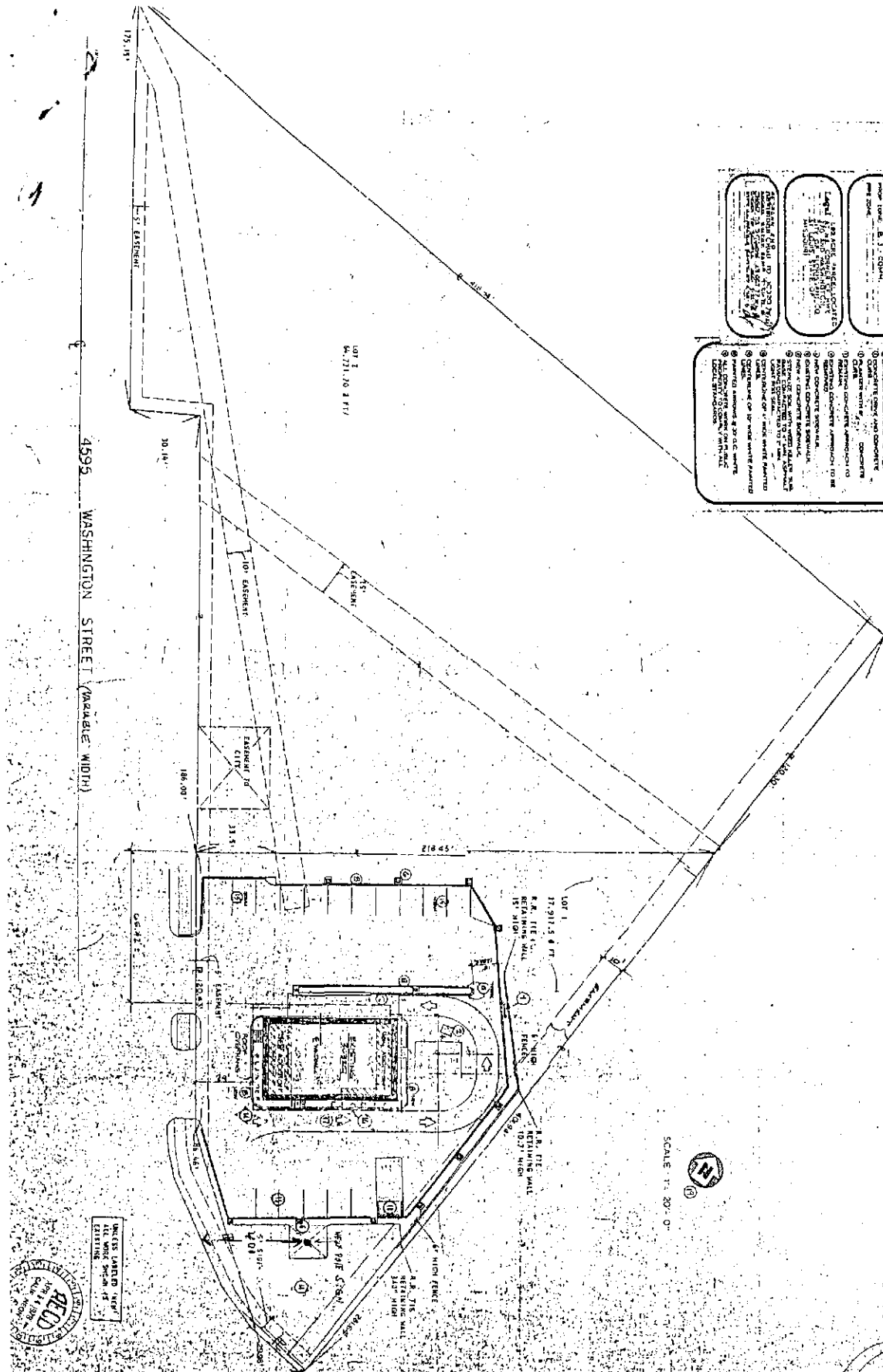
**General Conditions**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FLORISSANT, MISSOURI, AND THE STATE OF MISSOURI.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FLORISSANT, MISSOURI, AND THE STATE OF MISSOURI.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FLORISSANT, MISSOURI, AND THE STATE OF MISSOURI.

- Site Plan Notes**
- 1. SEE PLAN FOR LOCATION OF STRUCTURE.
  - 2. SEE PLAN FOR LOCATION OF STRUCTURE.
  - 3. SEE PLAN FOR LOCATION OF STRUCTURE.
  - 4. SEE PLAN FOR LOCATION OF STRUCTURE.
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LOCATION: 2801 AC067 WASHINGTON & DUNN, DECK, ORIGINAL DATE: 8/29/72, LAST REVISION: A, JET 72  
 FLORISSANT, MISSOURI, MO  
**Foodmaker, Inc. Jack-in-the-Box**  
 P.O. BOX 783, SAN DIEGO, CALIF. 92112 DONALD B. GRASER, ARCHITECT

pl

INTRODUCED BY BOND  
September 25, 1978

BILL NO. 4208

ORDINANCE NO. 3616

AN ORDINANCE TO AMEND ORDINANCE NO. 2027, HERETOFORE GRANTING A SPECIAL PERMIT FOR THE OPERATION OF A JACK IN THE BOX RESTAURANT, SO AS TO ALLOW FOR THE REMODELING OF THE EXISTING STRUCTURE.

4595 Washington

WHEREAS, an application has been filed by Foodmaker, Inc. to amend the special permit heretofore granted to them by Ordinance No. 2027 so as to allow for the remodeling of the existing building on the property therein more particularly described; and

WHEREAS, the Council of the City of Florissant can by special permit authorize the remodeling of the existing restaurant building; and

WHEREAS, the Planning & Zoning Commission of the City of Florissant has recommended that the said special permit be amended so as to allow for the remodeling of the existing structure; and

WHEREAS, due notice of a public hearing to be held on the 10th day of July of 1978, at 8:00 PM in the City Hall, 955 Rue St. Francois, Florissant, Mo., by the Council of the City of Florissant, was duly published; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the special permit heretofore granted on the property described in Ordinance No. 2027 shall be amended so as to allow for the remodeling of the existing structure.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Ordinance No. 2027, granting a special permit to Foodmaker, Inc., is hereby amended so as to allow the said Foodmaker, Inc. to remodel the existing building located on the premises as described in Ordinance No. 2027.

Jonny

BILL NO. 4208


ORDINANCE NO. 3616

Section 2: This amendment to the special permit authorizing the remodeling of the said structure shall be in accordance with the plans and specifications filed with the Planning & Zoning Commission, and site plan attached dated 10-9-78).

Section 3: Ordinance No. 2027, except as herein amended, is hereby reaffirmed in its entirety.

Section 4: This ordinance shall be in force and effect <sup>immediately</sup> upon its passage and approval as provided by law.

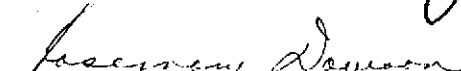
Adopted this 9th day of October, 1978.

  
\_\_\_\_\_  
President of the Council  
City of Florissant

Approved this 9th day of October, 1978.

  
\_\_\_\_\_  
Mayor, City of Florissant

ATTEST:

  
\_\_\_\_\_  
City Clerk

BILL NO. 4208

ORDINANCE NO. 3616

Section 2: This amendment to the special permit authorizing the remodeling of the said structure shall be in accordance with the plans and specifications filed with the Planning & Zoning Commission, and site plan attached dated 10-9-78).

Section 3: Ordinance No. 2027, except as herein amended, is hereby reaffirmed in its entirety.

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Adopted this 9th day of October, 1978.

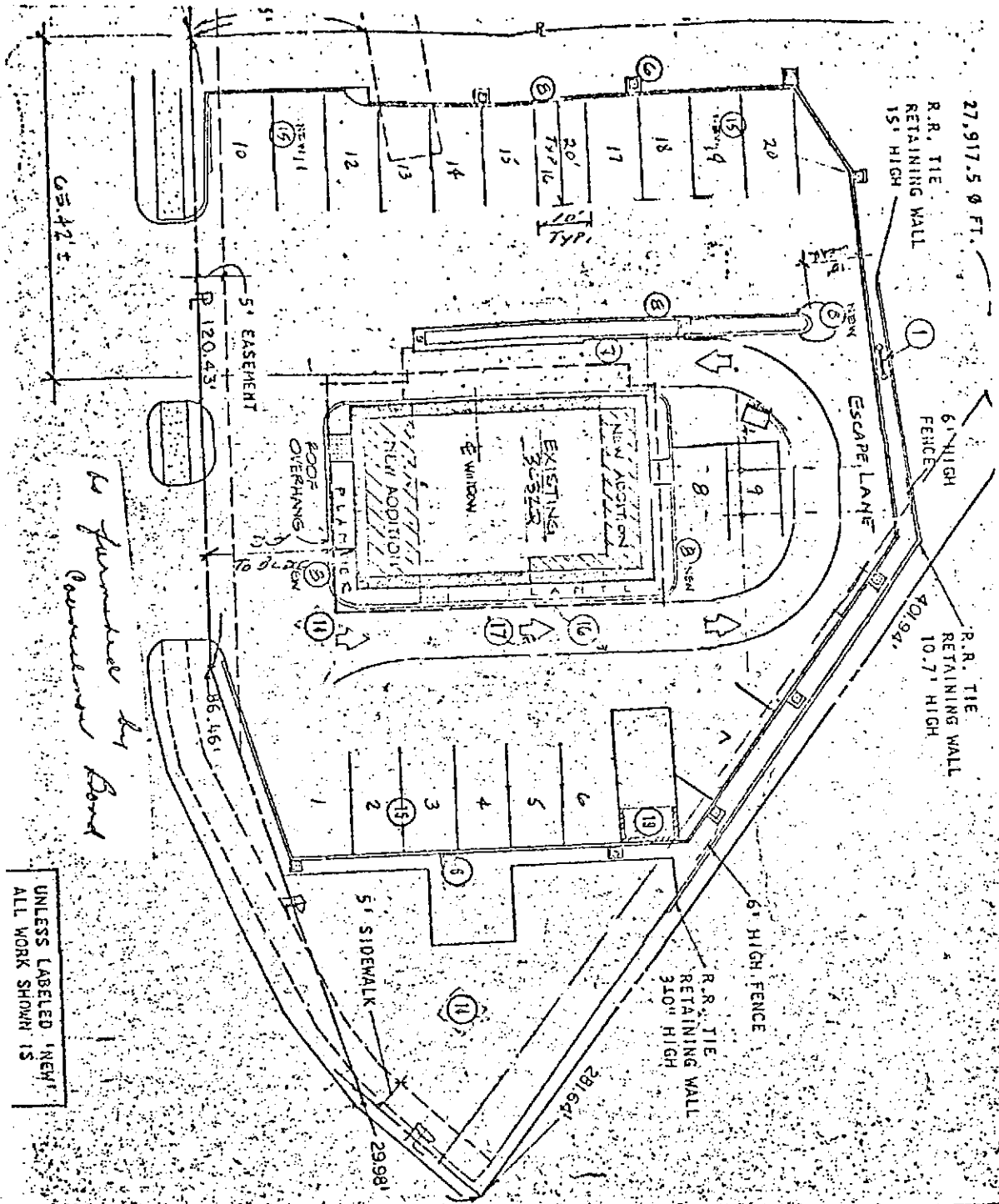
Robert W. McLaughlin  
President of the Council  
City of Florissant

Approved this 9th day of October, 1978.

James Keagan  
Mayor, City of Florissant

ATTEST:

Frances Dawson  
City Clerk



LOCATION: 28-01-4006 WASHINGTON & DUNN - DELK  
 FLORISSANT KOWAL

**Foodmaker, Inc.**  
 P.O. BOX 783, SAN DIEGO, CALIF. 92112

*RB*  
 Oct 9, 1970

INTRODUCED BY COUNCILMAN BOND  
November 9, 1981

BILL NO. 4702

ORDINANCE NO. 4045

AN ORDINANCE TO AMEND THE SPECIAL PERMIT GRANTED TO FOODMAKER, INC. (JACK-IN-THE-BOX) UNDER ORDINANCE NO. 2027 TO ALLOW FOR THE ERECTION OF A POLE SIGN ON THE PROPERTY AT 4595 WASHINGTON STREET.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by special permit, after public hearing thereon, to permit the location of a ground or pole sign which does not comply with the requirements of the ordinances of the City of Florissant upon certain findings; and

WHEREAS, an application has been filed by Foodmaker, Inc. (Jack-In-The-Box) for the location and maintenance of a pole sign on the property hereinafter described; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that said amendment to the special permit be granted; and

WHEREAS, the Council of the City of Florissant held a public hearing on said application on the 12th day of October, 1981 at 8:00 P.M. in the Council Chambers of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the issuance of an amendment to the special permit to Foodmaker, Inc. (Jack-In-The-Box) for the location of a pole sign does alleviate a hardship and is not simply for the convenience of the applicant; that said sign is consistent with good planning practices; that the same can be maintained in a manner that is visibly compatible with the use of the property in the surrounding area and that said location is not within the historic district.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The special permit heretofore granted to Foodmaker, Inc. (Jack-In-The-Box) is hereby amended to allow for the erection of a pole sign on the property known as 4595 Washington Street, in accordance with the plans and specifications and drawing attached hereto and made a part hereof as if fully set out herein.

Section 2: Except as herein amended, the said special permit heretofore granted under Ordinance No. 2027 shall remain in force and effect in accordance with all of the provisions and conditions therein set out.

Section 3: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 23rd day of November, 1981.

James D. Schroeder  
President of the Council  
City of Florissant

Approved this 23 day of November, 1981.

James J. Eagan  
Mayor, City of Florissant

ATTEST:

Carol A. Dauterive  
City Clerk





**PRODUCTS**  
 120 WILSON STREET, PLAZA SAN DIEGO, CALIFORNIA 92103  
 TELEPHONE (714) 581-1111

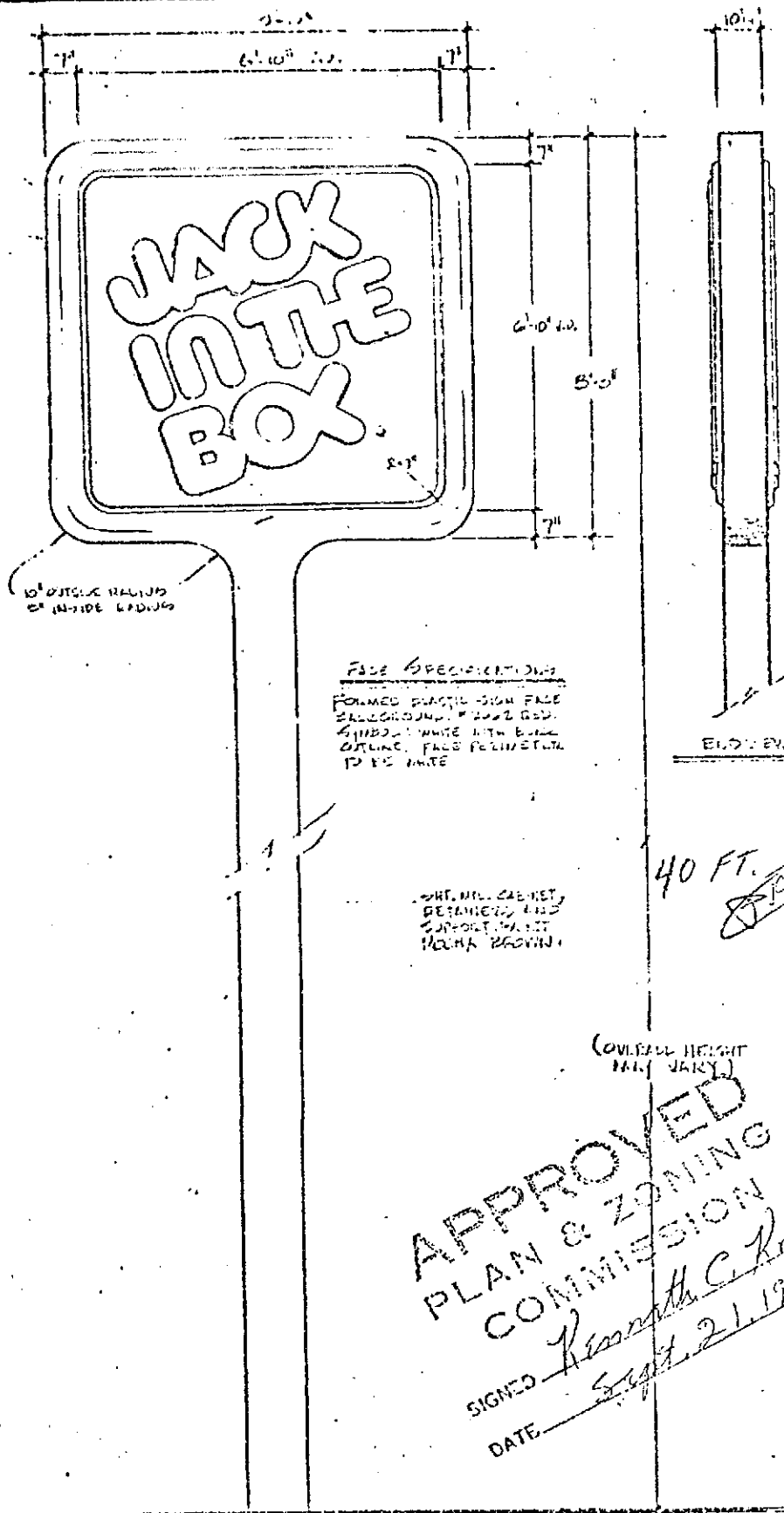
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 CHECKED BY: \_\_\_\_\_

**6.0' x 6.0'**

LOCATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

THIS DRAWING IS THE PROPERTY OF GP PRODUCTS. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GP PRODUCTS.

DATE: \_\_\_\_\_  
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FACE SPECIFICATIONS:  
 FORMED PLASTIC SIGN FACE  
 BACKGROUND: 100% RED  
 SYMBOLS: WHITE WITH BLACK  
 OUTLINE. FACE PERIMETER  
 TO BE WHITE

SHR. MTL. CABINET,  
 DETACHABLE AND  
 SUPPORT MOUNT  
 MOUNT BRACKETS

40 FT. 12/1/81

(OVERALL HEIGHT MAY VARY)  
**APPROVED**  
 PLAN & ZONING  
 COMMISSION  
 SIGNED: Kenneth C. Keller  
 DATE: Sept. 21, 1981

ALL STEEL A158-A-325  
 ALL PIPE A158-A-330  
 FAB. ITC - 652

D/F: \_\_\_\_\_  
 SCALE: 1/8" = 1'-0"

INTRODUCED BY COUNCILMAN BOND  
August 26, 1985

BILL NO. 5289

ORDINANCE NO. 4564

AN ORDINANCE AMENDING ORDINANCE NO. 4045  
PREVIOUSLY GRANTED TO FOODMAKER, INC. FOR  
THE ERECTION OF A POLE SIGN ON THE PROP-  
ERTY AT 4595 WASHINGTON STREET TO ALLOW A  
CHANGE IN THE FACE OF SAID POLE SIGN.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by special permit, after public hearing thereon, to permit the location of a ground or pole sign which does not comply with the requirements of the ordinances of the City of Florissant upon certain findings; and

WHEREAS, the Florissant City Council has previously issued to Foodmaker, Inc. a special permit for the location and maintenance of a pole sign on the property known as 4595 Washington Street; and

WHEREAS, Foodmaker, Inc. has applied to the City of Florissant for an amendment to said special permit so as to authorize a change in the face of said pole sign; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that Ordinance No. 4045 be amended so as to allow the change in face of said sign; and

WHEREAS, due notice of a public hearing on said application to be held on the 12th day of August, 1985 at 8:00 P.M. by the Council of the City of Florissant was duly published and held; and

WHEREAS, said public hearing was duly and properly held by the Council of the City of Florissant at the time and place provided in said notice, and all comments and statements made by those present concerning the proposed amendment were duly heard and considered by the Council; and

WHEREAS, the Council of the City of Florissant, after due and careful consideration, has concluded that the amending of the said special permit as hereinafter set forth would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Special Permit heretofore granted to Foodmaker, Inc. for the erection of a pole sign under Ordinance No. 4045 is hereby amended so as to allow a change in the face of the

said pole sign in accordance with the drawing attached hereto and made a part hereof as if fully set out herein.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 23rd day of September, 1985.

Robert H. Sanetti  
President of the Council  
City of Florissant

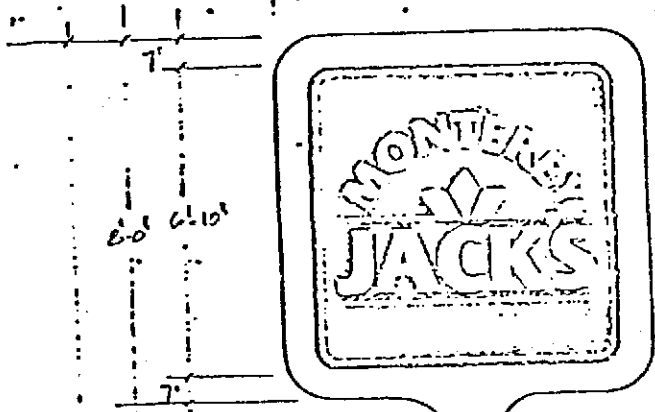
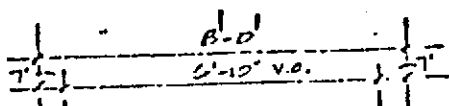
Approved this 24 day of September, 1985.

James Keagan  
Mayor, City of Florissant

ATTEST:

Carol A. Duntchev  
City Clerk

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED  
 ALL CORNERS TO BE ROUNDED UNLESS OTHERWISE NOTED  
 ALL MATERIALS TO BE OF THE HIGHEST QUALITY AVAILABLE  
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE  
 NATIONAL ELECTRICAL CODE AND THE NATIONAL MECHANICAL CODE  
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE  
 NATIONAL ELECTRICAL CODE AND THE NATIONAL MECHANICAL CODE



Sign Specifications:

- \*Sheet Metal Cabinet and retainers paint royal blue.
- \*Display Face of formed plastic. Background to be royal blue with white copy and outline. Detail lines to be yellow and red.

**EPD PRODUCTS**  
 4514 WASHINGTON STREET, SAN DIEGO, CALIFORNIA 92116  
 (619) 451-7311

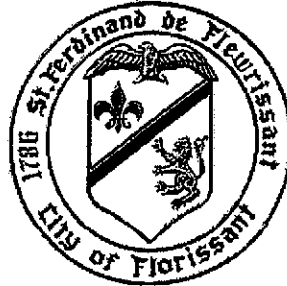
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ALL STEEL ASTM A 53  
 ALL PIPE ASTM A 53 (S)  
 ERS. LIC. # 212

*Handwritten note:* 1/2" INTERIOR ILLUMINATION BY LED LIGHTING  
 SEE: 100' x 100' x 100'

SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION



City Of Florissant – Public Works  
314-839-7648

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN. *James J. Havel II*

DATE: *8/15/14*

PLANNING & ZONING ACTION

Council Ward 7 Zoning B-3

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

SPECIAL PERMIT FOR Renovations to Existing Building Currently Under an Existing Special Use Permit  
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant.

AMEND SPECIAL PERMIT # 2027 TO ALLOW FOR Building Renovations  
ordinance # Statement of what the amendment is for.

LOCATION 4595 Washington St  
Address of property.

1) Comes Now Missouri Jack, LLC  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) leasehold interest  
State legal interest in the property. (i.e., owner of property, lease.  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) can comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, List in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and / or site plans (preliminary and / or final), plan approval for sign, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

Kelly Kuhlmann

PRINT NAME

SIGNATURE



FOR Missouri Jack, LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that (indicate one of the following):

- ( ) I (we) have a legal interest in the herein above described property.
- ( ) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in below, and provide address and telephone number

SIGNATURE \_\_\_\_\_

ADDRESS \_\_\_\_\_

STREET

CITY

STATE

ZIP CODE

TELEPHONE NUMBER \_\_\_\_\_

BUSINESS

I (we) the petitioner (s) do hereby appoint \_\_\_\_\_ as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

\_\_\_\_\_  
Petitioner or authorized agent's signature

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council.

IF DESCRIPTIONS OF PLATS OR SURVEYS ARE INCORRECT, OR IF THE PETITION FORM IS NOT CORRECTLY AND COMPLETELY FILLED OUT, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS AND WILL HAVE TO BE RE-SUBMITTED.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:  
Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation  (limited liability company)

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Missouri Jack, LLC (Kelly Kuhlmann)
- (2) Telephone numbers (636) 697-7315
- (3) Business address 13768 Shoreline Drive, Earth City, MO 63045
- (4) State of Incorporation & a photocopy of incorporation papers Missouri (articles attached)
- (5) Date of Incorporation April 29, 2011
- (6) Missouri Corporate Number 201111982298
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated Jack in the Box
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a strip center, give the dimensions of your space under square footage and do not give landscaping information.

Name Missouri Jack, LLC  
Address 4595 Washington St  
Property Owner Henry Klein  
Location of property Corner of Washington St. and Dunn Rd.  
Dimensions of property Triangular Lot w/Sides 236 LF, 218 LF, 282 LF  
Property is presently zoned B-3 Requests Rezoning To B-3  
Proposed Use of Property Restaurant with Drive Thru  
Type of Sign Pole Mounted Height 25'+/-  
Type of Construction Building Renovations Number Of Stories 1  
Square Footage of Building 2085 SqFt Number of Curb Cuts 2  
Number of Parking Spaces 18 Sidewalk Length 750 LF  
Landscaping: No. of Trees 8 Inside Fenced Area Diameter all 6"  
No. of Shrubs 53 Size 1' - 4' Dia  
Fence: Type wood, metal, metal Length 150 LF, 38LF, 50 LF Height 6 ft, 6 ft, 4ft

**PLEASE SUBMIT THE FOLLOWING:**

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting and trash enclosure.
5. If Special Permit is for a sign show location of sign on plot plan.



**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.**

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection.**

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

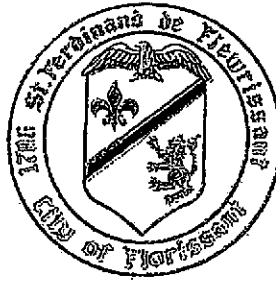
\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
**Building Commissioner or Staff Signature**

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works  
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 4595 Washington St

Property Owners Name: Henry Klein Phone #: 501-333-2200

Property Owners Address: 565 Bellevue Ave, Suite 701, Oakland Ca. 9610

Business Owners Name: Missouri Jack, LLC Phone #: 636-697-73145

Business Owners Address: 13768 Shoreline Drive, Earth City, Mo 63045

DBA (Doing Business As) \_\_\_\_\_

Authorized Agents Name: Kelly Kuhlmann CO. Name: Missouri Jack, LLC  
(Authorized Agent to Appear Before The Commission)

Agents Address: 13768 Shoreline Drive, Earth City, Mo 63045 Phone #: 636-697-73145

Request Approval for building renovations

State complete request (print or type only). \_\_\_\_\_

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Kelly B Kuhlmann  
Applicant's Signature \_\_\_\_\_ Date 7-21-14

Received by: CT Receipt # 58079 OFFICE USE ONLY Amount Paid: 125 Date: 7/21/14

STAFF REMARKS: \_\_\_\_\_

DATE APPLICATION REVIEWED: \_\_\_\_\_ COMMISSION ACTION TAKEN:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION \_\_\_\_\_

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN. James J. Howard II DATE: 8/18/14

1 INTRODUCED BY COUNCILMAN EAGAN  
2 SEPTEMBER 8, 2014

3  
4

5 BILL NO. 9029

ORDINANCE NO.

6  
7

8 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$325,000**  
9 **FROM THE PARK IMPROVEMENT FUND TO ACCOUNT NO. 0961**  
10 **“CAPITAL ADDITIONS” FOR THE REPLACEMENT OF THE**  
11 **BALL FIELD LIGHTS AND LIGHT POLES ON FIELD #1 AND #2 IN**  
12 **ST. FERDINAND PARK.**

13

14 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS  
15 COUNTY, MISSOURI, AS FOLLOWS:

16

17 Section 1: There is hereby appropriated and set apart from the Park Improvement Fund  
18 of the City of Florissant the sum of \$325,000 to Budget Account No. 0961 “Capital Additions”  
19 for the replacement of the ball field lights and light poles on Field #1 and #2 in St. Ferdinand  
20 Park.

21 Section 2: This ordinance shall become in force and effect immediately upon its  
22 passage and approval.

23

24 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2014.

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ATTEST:

\_\_\_\_\_  
Karen Goodwin, MMC/MRCC  
City Clerk

\_\_\_\_\_  
Joseph Eagan  
President of the Council  
City of Florissant

\_\_\_\_\_  
Thomas P. Schneider.  
Mayor, City of Florissant

# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

<sup>29</sup>  
Date: August 27, 2014

Mayor's Approval:  


Agenda Date Requested: September 8, 2014

Description of request: Appropriate \$325,000 from the Park Improvement Fund to Account #0961 - Capital Additions for the replacement of the ballfield lights and light poles on Field #1 and Field #2 at St. Ferdinand Park. See attached memo for explanation.

Department: Parks and Recreation

Recommending Board or Commission:

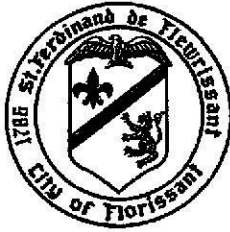
<b>Type of request:</b>	<b>Ordinances</b>	<b>X</b>	<b>Other</b>	<b>X</b>
	Appropriation	XX	Liquor License	
	Transfer		Hotel License	
	Zoning Amendment		Special Presentations	
	Amendment		Resolution	
	Special Use Transfer		Proclamation	
	Special Use		Subdivision	
	Budget Amendment			

Public Hearing needed: Yes / No      NO      3 readings? : Yes / No      NO



<b>Back up materials attached:</b>		<b>Back up materials needed:</b>	
Minutes		Minutes	
Maps		Maps	
Memo	XX	Memo	
Draft Ord.		Draft Ord.	

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

**For City Clerk Use Only:**  
Introduced by: \_\_\_\_\_  
PH Speaker: \_\_\_\_\_



**City of Florissant**  
**Engineering Division**  
**Interoffice Memorandum**

**Memo To:** Mayor Thomas P. Schneider   
**Through:** Louis B. Jearls, Jr., P.E.   
Director of Public Works  
**From:** Tim Barrett, P.E., City Engineer  
**Subject:** St. Ferdinand Park Ball Field Light Replacement – Phase 2

**Date:** August 29, 2014  
**Copy:** Todd Schmidt,  
Director of Parks & Recreation

Mayor,

Todd Schmidt previously provided a memo to you, dated August 27, 2014, which includes an appropriation request for the second phase of the ball field light replacement at St. Ferdinand. This memo is attached. You brought up two questions regarding the appropriation amount and the purpose of this memo is to address those questions.

***Question 1: Why is the appropriation amount \$25,000 more than the Phase 1 appropriation of \$300,000.***


The reason this amount is higher is because there is a greater distance that conduit and wiring needs to be installed to reach the fields 1 & 2 in comparison to Phase 1 (fields 5 & 6). Our budgetary estimate is \$292,000. We added a 10 percent contingency to the estimate and rounded up to the nearest \$5,000 increment.

***Question 2: The contract awarded for Phase 1 was well below the appropriation amount of \$300,000. Why does this request not reflect the lower contract price obtained in Phase 1?***

The Phase 1 contract was awarded at \$205,850. Bid results ranged up to \$263,990. The budgetary estimate was \$271,000 plus a 10 percent contingency which brought the Phase 1 appropriation request to \$300,000. Bids may vary significantly due to many factors including, contractor availability, the season of the year, supplier pricing variability, perceived competitiveness, etc. Additionally, there is no guarantee that we will have the same bidders as Phase 1. Lastly, we always hope to retain some contingency funds for unforeseen issues; therefore, we feel it is appropriate to stick with our budgetary estimate with the added contingency to ensure timely delivery of this project.

Please let me know if you would like to discuss this further.

Thank you,

  
Timothy J. Barrett, P.E.  
City Engineer

Enclosure

*Memo from Todd Schmidt, dated August 27, 2014*

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**CITY OF FLORISSANT  
PARKS AND RECREATION DEPARTMENT  
Memorandum**


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**Date:** August 27, 2014

**To:** The Florissant City Council  **cc:** Karen Goodwin  
Tim Barrett

**Thru:** Mayor Thomas P. Schneider

**From:** Todd Schmidt, Director of Parks and Recreation  8/27/14

**Subject:** St. Ferdinand Park Ball Field Light Replacement - Phase 2

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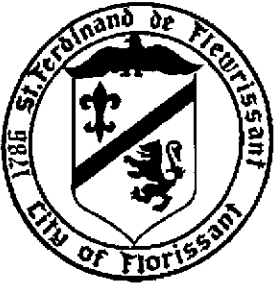
I am pleased to report that Phase 1 of the "St. Ferdinand Park Ball Field Light Replacement" project is on the verge of being completed, not only on time but also within budget.

Consequently, with the completion of Phase 1 (Fields 5 and 6) fast approaching, we will soon be in a position to move forward on Phase 2 (Fields 1 and 2) of the project.

We have obtained a cost estimate for this next phase of the project. Similar to Phase 1, the scope of work for Phase 2 will include everything necessary to install new athletic lighting on Fields 1 and 2 that will meet the 30/20 infield/outfield foot-candle standard. This includes pole installation, foundation and backfill, wiring, fixture aiming, bored conduit installation and any work required on the electrical panel and any service necessary to achieve and maintain the lighting standard. Demolition and removal of existing poles and light fixtures will also be included.

Therefore, I am respectfully requesting the appropriation of \$325,000 from the Park Improvement Fund to Account #0961 - Capital Additions. The Finance Department has indicated there are sufficient funds to cover the cost of this next phase of the project.

Please advise if additional information is required. Thank you for your consideration.



**Florissant,  
Missouri**

Honorable  
Robert G. Lowery, Sr.  
MAYOR

CITY HALL  
955 Rue St. Francois  
Florissant, MO 63031  
314 / 921-5700  
Fax: 314 / 921-7111  
TDD: 314 / 839-5142

POLICE DEPARTMENT  
1700 North Highway 67  
Florissant MO 63033  
314 / 831-7000  
Fax: 314 / 830-6045

PARKS DEPARTMENT  
#1 James J. Eagan Dr.  
Florissant, MO 63033  
314 / 921-4466  
Fax: 314 / 839-7672

MUNICIPAL COURT  
1055 Rue St. Francois  
Florissant, MO 63031  
314 / 921-3322  
Fax: 314 / 839-7663

[www.florissantmo.com](http://www.florissantmo.com)



THE UNDERSIGNED HEREBY ACKNOWLEDGES RECEIPT OF A COPY  
OF ORDINANCE NO. Pre Existing WHICH AUTHORIZED  
A SPECIAL PERMIT:

TO: CUT RATE ENTERPRISES LLC  
PACKAGE  
FOR: Liquor Store

AND AGREE TO THE TERMS AND CONDITIONS LISTED IN SAID  
ORDINANCE AND TO ANY ADDITIONAL TERMS AND CONDITIONS  
THAT THE COUNCIL SHALL DEEM APPROPRIATE.

CUT RATE ENTERPRISES LLC  
DBA CUT RATE LIQUORS

PRINT - NAME OF APPLICANT

[Signature]

SIGNATURE OF APPLICANT

*at Council  
9/18/14  
W  
ALPHA*

**TRANSFER OF SPECIAL PERMIT**

AUTHORIZED BY ORDINANCE NUMBER (S) Pre Existing

FROM K&H ASSOCIATES INC  
TO CUT RATE ENTERPRISES LLC DBA CUT RATE LIQUORS  
FOR TRANSFER AN EXISTING NON-CONFORMING SPECIAL USE  
ADDRESS 2162-64 N. WATERFORD  
Ward 9 Zoning \_\_\_\_\_ Date Filed \_\_\_\_\_ Accepted By [Signature]

**TRANSFER OF SPECIAL USE PERMIT PETITION**

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now CUT RATE ENTERPRISES LLC DBA CUT RATE LIQUORS and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 2162-64 N. WATERFORD in the City of Florissant, Missouri. Legal interest: () Lease or ( ) Simple Title  
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE [Signature]  
Individual's Name

FOR: CUT RATE ENTERPRISES, LLC  
Company, Corporation, Partnership



4. I (we) hereby certify that (indicate **one only**):

(  ) I (we) have a legal interest in the above described property.

(  ) I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE Jerome Brun

ADDRESS 2162-64 N. WATERFORD

Telephone No. 314-255-7148 Email address \_\_\_\_\_

I (we) the petitioner(s) do hereby appoint \_\_\_\_\_ as my (our) duly authorized agent to represent me (us) in regard to this petition.

Jerome Brun  
PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of owner to Transfer Special Permit Petition.

Dr B Kramer  
SIGNATURE OF OWNER

**Information sheet to be attached to all requests for Transfer of Special Permit**

Type of Operation: (Select One)

Individual

Partnership

Corporation

LLC

**INDIVIDUAL:**

Name & address \_\_\_\_\_

Telephone number & email address \_\_\_\_\_

Business name/address/phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**PARTNERSHIP:**

Name & address of partner (s) \_\_\_\_\_

Telephone number(s) and email address (s) \_\_\_\_\_

Business name/ address /phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**CORPORATION OR LLC:**

Name & address of all corporate officers JIMMIE BROWN, 4624 BETLMAN  
ESTATES LANE, FERRISSANT, MO 67034

Telephone numbers & email addresses 314-255-7148

Business name/address/phone SPIT RATE ENTERPRISES, LLC  
4624 BETLMAN ESTATE LANE

Photocopy of Corporation/LLC Articles and Certificate FERRISSANT, MO 67034 314-255-7148

Date of incorporation/LLC 6/16/14

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

## Bain, Brad

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**From:** Karen Goodwin <kgoodwin@florissantmo.com>  
**Sent:** 09/05/2014 10:56 AM  
**To:** Bain, Brad  
**Subject:** Special use Transfer Paperwork - Cut Rate Liquor  
**Attachments:** Special Use Transfer Application.pdf

Hello Brad,

I have spoken to both Druce and Mr. Brown about the requirement to transfer the Special Use Permit for Cut Rate.

There is actually no existing Special Use Permit because the regulations have changed and a package liquor store now requires a special use permit. So instead of asking Mr. Brown to start the process from the beginning, we are allowing him to "Transfer an existing Non-conforming Special Use".

I have attached the paperwork required for the transfer. This item will not be able to make Monday's agenda so the earliest I can get it on will be the 22<sup>nd</sup> of September.

Please call or email if you have any questions.

Karen

Karen Goodwin MMC/MRCC  
City Clerk  
City of Florissant  
314-839-7630

# State of Missouri



Jason Kander  
Secretary of State

## CERTIFICATE OF ORGANIZATION

WHEREAS,

*CUT RATE ENTERPRISES LLC*  
*LC1409581*

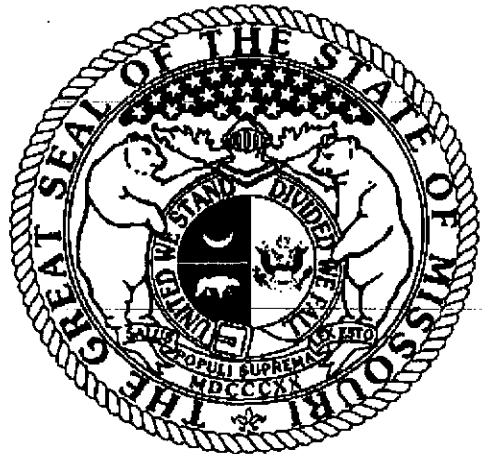
filed its Articles of Organization with this office on the June 16, 2014, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, JASON KANDER, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the June 16, 2014, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this June 16, 2014.

A handwritten signature in cursive script that reads "Jason Kander".

Secretary of State





State of Missouri  
Jason Kander, Secretary of State

File Number: 201416780262  
LC1409581  
Date Filed: 06/16/2014  
Jason Kander  
Secretary of State

## Articles of Organization

1. The name of the limited liability company is:

**CUT RATE ENTERPRISES LLC**

2. The purpose(s) for which the limited liability company is organized:

**The transaction of any lawful business for which a limited liability company may be organized under the Missouri Limited Liability Company Act, Chapter 347 RSMo.**

3. The name and address of the limited liability company's registered agent in Missouri is:

**Bradley Bain**  
*Name*

**655 N HWY 67, Florissant MO 63031**  
*Address*

4. The management of the limited liability company is:  Manager  Member

5. The duration (period of existence) for this limited liability company is:

**Perpetual**

6. The name(s) and street address(es) of each organizer:

**BRADLEY C BAIN, 655 N HWY 67, FLORISSANT MO 63031**

**In Affirmation thereof, the facts stated above are true and correct:**

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

**BRADLEY C BAIN**  
*(Organizer Name)*



**EIN Assistant**

Your Progress:    1. Identify    2. Authenticate    3. Addresses    4. Details    5. EIN Confirmation

**Congratulations! The EIN has been successfully assigned.**

EIN Assigned: **47-1104200**

Legal Name: **CUT RATE ENTERPRISES LLC**

**Help Topics**

**?** [Can the EIN be used before the confirmation letter is received?](#)

The confirmation letter will be mailed to the applicant. This letter will be the applicant's official IRS notice and will contain important information regarding the EIN. Allow up to 4 weeks for the letter to arrive by mail.

**We strongly recommend you print this page for your records.**

Click "Continue" to get additional information about using the new EIN.

**Continue >>**



Introduced by Council as a Whole  
September 22, 2014

## **RESOLUTION**

NO. 974

### **RESOLUTION OF THE CITY OF FLORISSANT SUPPORTING A GRANT APPLICATION TO REPLACE THE TENNIS COURTS AT TOWER COURT PARK.**

WHEREAS, the City Council deems it necessary to improve a public park to serve its citizens as well as those in the metropolitan area.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT MISSOURI AS FOLLOWS:

1. An application be made to the Municipal Parks Grant Program in the County of St. Louis for a grant-in-aid for some or all the costs of the project, reimbursable by the Commission upon completion by the City.
2. That a project proposal be prepared and submitted to the Municipal Parks Grant Commission.
3. The City Council hereby authorizes Mayor Thomas P. Schneider to sign and execute the necessary documents for forwarding the project proposal application and later execute an agreement for a grant-in-aid from the Municipal Parks Grant Commission.
4. If a grant is awarded the City of Florissant will enter into an agreement or contract with the Commission regarding said grant.

PASSED AND RESOLVED THIS 22<sup>nd</sup> DAY OF SEPTEMBER, 2014.

---

Joseph Eagan  
President of the Council  
City of Florissant

ATTEST:

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Karen Goodwin, MMC/MRCC  
City Clerk



# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

Date: 9-4-14

Mayor's Approval:

Agenda Date Requested:

22-Sep-14

Description of request: A council resolution supporting the submittal of a park grant to St. Louis County Municipal league to replace the tennis courts at Tower Court Park

Department: Parks & Recreation

Recommending Board or C Park Board

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	X
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Y/N

Y/N

Public Hearing needed: Yes / No

3 readings? : Yes / No

Back up materials attached:

Back up materials needed:

Minutes

Minutes

Maps

Maps

Memo

Memo

Draft Ord.

Draft Ord.

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: \_\_\_\_\_

PH Speaker: \_\_\_\_\_

1 INTRODUCED BY COUNCILMAN HERNANDEZ  
2 SEPTEMBER 22, 2014

3  
4 BILL NO. 9030

ORDINANCE NO.

5  
6  
7 **REQUEST FOR THE TRANSFER OF AN EXISTING, NON-**  
8 **CONFORMING SPECIAL USE PERMIT FROM DRUCE KRAMER**  
9 **D/B/A CUT RATE LIQUOR TO CUT RATE LIQUOR ENTERPRISES,**  
10 **LLC D/B/A CUT RATE LIQUOR FOR THE OPERATION OF A**  
11 **PACKAGE LIQUOR STORE LOCATED AT 2162-64 N. WATERFORD.**  
12

13 WHEREAS, Pursuant to section 405.125 “B-3 Extensive Commercial District” Section K  
14 “Special Permits”, subsection 31, “package liquor stores” are allowed as a Special Use Permit;  
15 and

16 WHEREAS, Cut Rate Liquor was in existence prior to the adoption of this ordinance, so it  
17 is a legal non-conforming use; and

18 WHEREAS, an application has been filed by Jimmie Brown d/b/a Cut Rate  
19 Enterprises LLC to transfer the existing legal non-conforming use, which would convert such use  
20 to a Special Use; and

21 WHEREAS, the City Council of the City of Florissant determined at its meeting on  
22 September 22, 2014 that the business will be operated in strict accordance with the operation of  
23 Cut Rate Liquor; and

24 WHEREAS, Jimmie Brown d/b/a Cut Rate Enterprises LLC. accepts the terms and  
25 conditions and understands that the business shall be operated in substantially identical fashion  
26 as it was operated under the name of Cut Rate Liquor.

27  
28 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
29 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

30  
31  
32 Section 1: The existing legal non-conforming use is herein transferred as a Special Use  
33 Permit from Druce Kramer d/b/a Cut Rate Liquor to Jimmie Brown d/b/a Cut Rate Enterprises  
34 LLC. as now required by Section 405.125 (K)(31) is hereby transferred.

35 Section 2: The Special Use Permit herein authorized shall terminate if the restaurant  
36 ceases operation for a period of more than ninety (90) days or when the named permittee ceases  
37 to be the owner and operator of the said restaurant operation.

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Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
Joseph Eagan  
President of the Council  
City of Florissant

Approved this \_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
Thomas P. Schneider  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MMC/MRCC  
City Clerk

IN THE CIRCUIT COURT OF THE COUNTY OF ST. LOUIS  
STATE OF MISSOURI

M  
090814

Case No. 12SL-CC01723

NOTICE OF CLASS ACTION SETTLEMENT AND APPROVAL HEARING

**TO: City of Florissant**  
**Attn: Randal J McDaniel, Finance Director**  
**955 Rue St Francois Street**  
**Florissant, MO 63031**

CITY OF O'FALLON, MISSOURI;  
CITY OF TROY, MISSOURI; and  
CITY OF ORRICK, MISSOURI;

On behalf of themselves and all  
others similarly situated,

Plaintiffs,

v.

CENTURYLINK, INC.; CENTURYTEL  
OF MISSOURI, LLC d/b/a  
CENTURYLINK; CENTURYTEL LONG  
DISTANCE, LLC  
d/b/a CENTURYLINK LONG  
DISTANCE; EMBARQ MISSOURI,  
INC.; et al.,

Defendants.

This notice explains the settlement of a class action lawsuit concerning revenues subject to business license taxes that municipalities impose on CenturyLink, Inc., CenturyTel of Missouri, LLC, CenturyTel Long Distance, LLC, Embarq Missouri, Inc., Spectra Communications Group, LLC, Embarq Communications, Inc., and CenturyLink Communications, LLC (f/k/a Qwest Communications Corporation, and f/k/a Qwest Communications Company, LLC), and related entities ("Defendants" or "CenturyLink"). The settlement has been preliminarily approved by the Court and provides for the payment of back taxes and future taxes to these municipalities.

PLEASE TAKE NOTICE THAT on December 12, 2014 in Division 43 of the Circuit Court of the County of St. Louis, at 1:30 p.m., a hearing shall be conducted to determine whether to grant final approval to the settlement, consider any timely objections to the settlement, and rule on the fee and expense application submitted by attorneys for the plaintiffs.

No payment of back taxes by Defendants will be made available to municipalities under the settlement agreement until after the settlement has become final and non-appealable.

Read this notice carefully. You may be entitled to share in the settlement proceeds of this lawsuit. Your rights to a monetary award may be affected.

**1. What is this lawsuit about?**

Plaintiffs contend that CenturyLink did not pay taxes on certain gross receipts derived from Carrier Access (whether alleged to be interstate or intrastate), End User Common Line surcharges ("EUCL"), private line services (whether alleged to be interstate or intrastate), long-distance toll services (whether alleged to be interstate or intrastate), federal and state universal service fee

surcharges (“FUSF” and “SUSF”), and other revenues upon which Business License Taxes have not been paid by Defendants at various times, and for interest and/or penalties thereon. Defendants have denied and continue to deny any and all liability with respect to the allegations raised against them in the various lawsuits involving the applicability of Plaintiffs’ and other Municipalities’ respective Business License Tax ordinances to Defendants’ products and services.

Based on the information available to both sides, and the risks involved in trial, attorneys for the class have concluded that the proposed settlement is fair, reasonable, adequate, and that it serves the best interests of class members.

## **2. Who are the parties in this class action?**

The named Plaintiffs in this class action are the City of O’Fallon, Missouri, City of Troy, Missouri and City of Orrick, Missouri. Plaintiffs filed this lawsuit as a class action to assert their own individual claims and to represent a class of municipalities with similar claims.

The Defendants, subsidiaries, and affiliates included in the settlement include CenturyLink, Inc., CenturyTel of Missouri, LLC, CenturyTel Long Distance, LLC, Embarq Missouri, Inc., Spectra Communications Group, LLC, Embarq Communications, Inc., and CenturyLink Communications, LLC (f/k/a Qwest Communications Corporation, and f/k/a Qwest Communications Company, LLC).

## **3. What compensation or benefits will the settlement provide?**

The settlement, if it is finally approved by the Court, provides for the payment of back taxes and future taxes as described in more detail below. In addition, to the extent Defendants have paid any taxes under protest and have initiated any tax protest actions against you, those protest actions will be dismissed and the protested taxes released unconditionally to you.

- a. Payment of Back Taxes. The Settlement specifies a back tax payment with respect to each municipality, and your back tax payment is shown below. The payment was determined as follows:

A	B	C	D	E	F	G	H	I	J	K	L	M	
\$8.49M	Amt. of attorneys' fees approved by the Court	A - B	BLT or franchise fee rate	Class member's non-Qwest underpayment from 2010 through 2012 (calculated as the greater of (i) gross receipts as stated on sales tax returns times 1.08 to correct for understated bundled interstate long distance times the class member's tax rate or (ii) 1.3 times actual BLT payments). Both (i) and (ii) are adjusted to assess taxes on BLT collections from customers.	Class member's non-Qwest BLT payments	Class member's estimated non-Qwest underpayments for 2013 and half of 2014, extrapolated from 2010-2012 sales tax figures times 1.08 to correct for understated bundled interstate long distance times the class member's tax rate, net of any non-Qwest BLT payments	Class member's Qwest underpayment from 2010 through 2012 (calculated as the greater of (i) gross receipts as reported on sales tax returns (or as recalculated from adjusted sales tax returns) times the class member's tax rate or (ii) actual BLT payments). Both (i) and (ii) are adjusted to assess taxes on BLT collections from customers.	Class member's Qwest BLT payments	Class member's estimated Qwest underpayments for 2013 and half of 2014, extrapolated from 2013 sales tax figures times the class member's tax rate, net of any Qwest BLT payments.	D minus E (but not less than zero) plus F plus G minus H (but not less than zero) plus I. This is the estimated total back taxes owed.	J divided by the total of all class member's Js. This is each class member's percentage share of the total of all estimated back taxes owed.	C times K. This is the Back Tax Payment. As provided in the Settlement Agreement, this amount is subject to adjustment depending on approved claims.	An estimate of the sum that will be released/paid to each city. The amounts from January 1, 2013 through June 30, 2014 are derived from protest payments reported by Defendants. The amount from July 1 until the end of 2014 is estimated based on the reported protest payments.

The amount of the Back Tax Payment for you pursuant to the Settlement is estimated to be: **\$1,543.48**. Because the formula for calculating the Back Tax Payment depends on the calculation of each Class Member's Business License Tax payment and other factors, it is possible that a municipality's share of the amount to be distributed pursuant to the Settlement may change if, *inter alia*, Defendants approve an adjustment to the calculations pursuant to a Class Member's appeal to Defendants under Section IV.H. of the Settlement Agreement, or otherwise. Also, if a municipality is not paid its Back Tax Payment because the municipality fails to submit a valid required claim form, or a municipality's claim is rejected, pursuant to the Settlement, the amount of that municipality's Back Tax Payment shall be redistributed pro rata among Class Members that have timely and validly submitted a claim form.

b. Payment of Future Taxes.

*Defendants Providing Local Service*

With respect to Defendants providing local or other non-long distance services, the Business License Tax code or ordinance of each Class Member shall be interpreted to apply to: (i)

revenues upon which such Defendant already pays a Business License Tax to that Class Member without protest; **PLUS** (ii) revenues from any additional services that are subject to Missouri's state sales tax on "telecommunications service" as that term is used in § 144.010.1(14), as restricted by § 144.030.1 RSMo; **PLUS** (iii) revenues as described in section (ii) above from any retail customer which would otherwise be subject to the Missouri state sales tax but for an exemption for such customer from the state sales tax (e.g., not-for-profits under § 144.030.2(19) RSMo). Services subject to the Business License Tax shall include, but not be limited to, FUSF, SUSF, intraLATA toll service, EUCL, and intrastate private line. Services subject to the Business License Tax shall not include, inter alia, Carrier Access, Revenues Derived From Interstate Services (although such Defendants agree to pay the Business License Tax on revenues from intraLATA interstate telephone service), voice messaging services, and Customer Premises Equipment. Defendants acknowledge that each will include receipts from Business License Tax surcharges in the Business License Tax base.

#### *Defendants Providing Long Distance Service*

With respect to Defendants providing long distance service, the Business License Tax code or ordinance of each Class Member shall be interpreted to apply to: (i) revenues upon which such Defendant already pays a Business License Tax to that Class Member without protest; **PLUS** (ii) revenues from services that are subject to Missouri's state sales tax on "telecommunications service" as that term is used in § 144.010.1(14) as restricted by § 144.030.1 RSMo; **PLUS** (iii) revenues as described in section (i) above from any retail customer which would otherwise be subject to the Missouri state sales tax but for an exemption for such customer from the state sales tax (e.g., not-for-profits under § 144.030.2(20) RSMo). Services subject to the Business License Tax shall include, but not be limited to, intrastate long-distance telephone services. Services subject to the Business License Tax shall not include, inter alia, interstate long-distance telephone services. Defendants acknowledge that, henceforth, each will include receipts from Business License Tax surcharges in the Business License Tax base.

#### *Bundled and Packaged Telephone Services*

In the event Defendants, individually or collectively, receive revenues from bundled or packaged telephone services, whether intrastate or interstate, and such telephone services are not separately accounted for on an end-user's bill, Defendant(s) shall pay future Business License Taxes on such bundled and packaged telephone services consistent with 12 Mo. CSR 10-3.188(7) or any successor regulation.

**IF YOU ARE A MEMBER OF THE CLASS RECEIVING THIS NOTICE AND DO NOT FILE A CLAIM FORM, YOU WILL NOT BE ENTITLED TO RECEIVE ANY PAYMENT FOR BACK TAXES THAT ARE THE SUBJECT OF THIS LAWSUIT.**

#### **4. Are you a member of this class?**

This notice has been sent to you because you may be a member of a group of municipalities (a class) for whom a settlement with CenturyLink has been reached. The class consists of all Municipalities in the State of Missouri that, on or before August 22, 2014, have imposed a Business License Tax and in which Defendants or any of them derived gross receipts from the provision of telephone, exchange telephone, public utility, or telecommunications services, or related services. Excluded from the class are the City of Aurora, Missouri, the City of Cameron, Missouri, the City of Harrisonville, Missouri, the City of Oak

Grove, Missouri, and the City of Wentzville, Missouri (collectively, the "Aurora Plaintiffs") and the City of Jefferson, Missouri.

If the Back Tax Payment amount for you shown in Section 3 above is zero (0), it signifies that according to records available to CenturyLink and Class Counsel you either do not have a gross receipts Business License Tax or CenturyLink has not done business with your municipality during the time period indicated in Exhibit E to the Settlement Agreement. If you disagree with this, you can submit an explanation for the basis of your disagreement along with your claim form as described in Section 6(b) below.

#### **5. What do you have to do to receive payment for Back Taxes from the Settlement?**

In order to receive payment for back taxes from the Settlement, your duly authorized representative must timely submit the attached claim form, duly executed, providing:

(1) the name, address and telephone number of your duly authorized representative(s), to whom all inquiries regarding the claim form and your Business License Tax may be directed;

(2) a certified copy of an ordinance enacted by you accepting and binding you to all terms and provisions of the Settlement Agreement, or (i) if you can bind yourself to the Settlement Agreement without enacting an ordinance and choose to do so instead of enacting an ordinance, some other acknowledgement binding you to the terms of the Settlement Agreement if the agreement is approved by the Court, or (ii) if your Back Tax Payment is \$499.99 or less, the attached claim form;

(3) a certified copy (or, if your Back Tax Payment is \$499.99 or less, a legible copy) of the ordinances or municipal code provisions imposing the Business License Tax pursuant to which you believe you are entitled to a Back Tax Payment; and

(4) the name and address to which your back tax payment shall be made and mailed by CenturyLink. If you choose to acknowledge that you are bound by the Settlement Agreement without enacting an ordinance, then you will need to provide an opinion of counsel, addressed to CenturyLink, that you are bound by the Settlement Agreement.

**The deadline for filing a claim is 60 days from the date of this Notice. Any claim that is postmarked after this date will be rejected and you will not be entitled to back tax class relief.**

#### **6. What are your options?**

If you are a member of the class and have received this notice, you will have the following options:

- File a claim if you meet the criteria set out in Section 5 above.
- Do nothing, thereby foregoing the possibility of receiving any back tax relief.
- Stay in the class and file an objection if you disagree with any part of the settlement or the request for attorneys' fees or expenses.
- Exclude yourself from the class, which means you will not participate in any of the financial benefits from the proposed settlement will not be bound by the release made or judgment



entered in connection with the settlement, and will not be permitted to object to any part of the settlement.

The following sections explain the consequences of pursuing each option:

**a. What happens if you file a claim?**

If you are a class member and you complete and mail the enclosed claim form, and if the form is approved by CenturyLink, you will receive the payments described above once the settlement has become final. Additionally, if your claim form is approved, any tax protest actions brought by CenturyLink against you shall, upon final approval of the settlement, be dismissed and such protested amounts released to you. **Please note:** because the formula for calculating your back tax payment depends on the calculation of each class member's Business License Tax payment and other factors, it is possible that your share of the amount to be distributed pursuant to the settlement may change if, *inter alia*, the Defendants approve an adjustment to the calculations pursuant to a class member's appeal to Defendants.

Any Business License Tax payments made by CenturyLink between August 22, 2014 and the entry of the Order and Judgment of Dismissal approving this settlement, to the extent identified by CenturyLink with such payment as an interim payment, shall be deemed to be made under protest and each class member must hold any such payments in a segregated account until final approval of this settlement at which point, if you have filed an approved claim form, all of these payments will be released to you. CenturyLink will also dismiss any protest actions filed with respect to these payments.

Unless you file a Request for Exclusion (see Section 6(e) below), you will be prohibited from bringing a lawsuit against Defendants based on or related to any of the claims asserted by the Plaintiffs.

If you file a claim form, you agree to retain Class Counsel to act as your attorneys, at no additional cost to you other than as provided for in the Settlement Agreement, to resolve any dispute that arises in connection with the litigation and settlement, until 30 days after the Effective Date of Settlement.

**b. What happens if you disagree with the amount of the Back Tax Payment?**

Under the terms of the settlement, a municipality that disagrees with the Back Tax Payment amount may submit a detailed explanation as to why it believes the Back Tax Payment was incorrectly calculated with its claim form. In the event CenturyLink disagrees with the municipality's contention, CenturyLink is obligated to meet and confer in good faith with Class Counsel and representatives of the municipality in question in an effort to resolve the issue. If after such consultation, the municipality and CenturyLink cannot agree on the Back Tax Payment, the Back Tax Payment specified in this Notice shall be the amount the municipality is entitled to receive pursuant to the Settlement. If the municipality does not agree with the amount of the Back Tax Payment, it may either opt out of the Settlement as set forth in Section 6(e) of this Notice, or nonetheless accept the amount of the Back Tax Payment as calculated by CenturyLink. The opt-out deadline shall be extended for such municipality for a period of 30 days to resolve disputes related solely to the amount of the Back Tax Payment. If the parties are unable to resolve a disagreement as to the amount of the Back Tax Payment after the consultation set forth above, such disagreement shall not be subject to other challenge or appeal.

**c. What happens if you do not file a claim?**

Under the terms of the settlement, if you do not file a claim form, you will not receive any payment of back taxes. Assuming the Court approves the settlement, and you do not file a claim or submit a request for exclusion, you nevertheless will be prohibited from bringing or joining any lawsuit against Defendants based on or related to any of the claims asserted by the Plaintiffs.

**d. How do I file an objection?**

You must state your objection in writing and file it with the Court postmarked no later than October 27, 2014. The objection should be addressed to the Honorable Joseph S. Dueker, St. Louis County Circuit Court, Division 43, 7900 Carondelet, Clayton, Missouri 63105, and marked to indicate "objections to proposed settlement in *City of O'Fallon, Missouri v. CenturyLink*, Case No. 12SL-CC01723.

**You must simultaneously mail your objection to Class Counsel:**

John W. Hoffman  
Douglas R. Sprong  
Korein Tillery, LLC  
505 N. 7<sup>th</sup> Street, Suite 3600  
St. Louis, MO 63101

John F. Mulligan, Jr.  
101 South Hanley, Suite 1280  
Clayton, MO 63105

Howard Paperner  
9322 Manchester Road  
St. Louis, MO 63119

**and to CenturyLink's attorneys:**

Steven J. Perfremment  
Bryan Cave, LLP  
1700 Lincoln Street, Suite 4100  
Denver, CO 80203

Mark B. Leadlove  
Bryan Cave, LLP  
211 N. Broadway, Suite 3600  
St. Louis, MO 63102

Stephen R. Clark  
Adam S. Hochschild  
Clark & Sauer, LLC  
7733 Forsyth Blvd., Suite 625  
St. Louis, MO 63105

Included in any such objection must be a statement of the basis of your objection and a declaration stating that you are a member of the class described in Section 4 above. If you do not properly file and serve an objection by the required date, any objection you have to the settlement will be waived and you forever shall be foreclosed from making any objection to the fairness or adequacy of the proposed settlement, the payment of attorneys' fees and expenses, or the Order and Judgment of Dismissal.

**c. How do I exclude myself from the settlement class?**

You can exclude yourself from the class, which means you will not participate in any aspect of the settlement and you may pursue your own claims, if any, at your own expense against the Defendants. Any Municipality that desires to be excluded from the Settlement Class, and therefore not be bound by the terms of the Settlement Agreement, must mail a timely and valid written Request for Exclusion bearing a United States postmark no later than October 20, 2014 to:

Clark & Sauer, LLC  
Attn: **O'Fallon Settlement Administrator**  
7733 Forsyth Blvd., Suite 625  
St. Louis, MO 63105

**You must simultaneously mail your objection to Class Counsel:**

John W. Hoffman  
Douglas R. Sprong  
Korein Tillery, LLC  
505 N. 7<sup>th</sup> Street, Suite 3600  
St. Louis, MO 63101

John F. Mulligan, Jr.  
101 South Hanley, Suite 1280  
Clayton, MO 63105

Howard Paperner  
9322 Manchester Road  
St. Louis, MO 63119

**and to CenturyLink's attorneys:**

Steven J. Perfrement  
Bryan Cave, LLP  
1700 Lincoln Street, Suite 4100  
Denver, CO 80203

Mark B. Leadlove  
Bryan Cave, LLP  
211 N. Broadway, Suite 3600  
St. Louis, MO 63102

Stephen R. Clark  
Adam S. Hochschild

Clark & Sauer, LLC  
7733 Forsyth Blvd., Suite 625  
St. Louis, MO 63105

In order to be valid, a Request for Exclusion must: (1) be signed personally by the duly authorized representative of the Municipality; (2) be timely mailed to the designated address; (3) clearly request exclusion from the Settlement Class; and (4) contain the name, address, and telephone number of the duly authorized representative of the Municipality.

**Any Municipality that elects to be excluded shall not be entitled to receive any of the benefits of the Settlement, shall not be bound by the release of any claims pursuant to the Settlement Agreement, and shall not be entitled to object to the Settlement or appear at the Final Fairness Hearing.**

**7. When will the Court conduct the Final Fairness Hearing?**

A Final Fairness Hearing shall be held before this Court at 1:30 p.m. on December 12, 2014, in Division 43 of the Circuit Court for St. Louis County, State of Missouri, to address: (a) whether the proposed Settlement should be finally approved as fair, reasonable and adequate; (b) whether a final Order and Judgment of Dismissal should be entered; (c) whether Class Counsel's attorneys' fees and expense application should be approved; (d) objections, if any, to the Settlement; and (e) any other matters the Court deems appropriate.

Although the hearing will be open to the public, you will not be permitted to speak in opposition to the issues above at the hearing unless you have filed a timely objection to the settlement, or to the attorneys' fees and expenses in the manner described above. If you have filed a timely objection, you may appear personally or with your own counsel and be heard at the hearing.

**8. How much money will the attorneys be paid and who will pay it?**

The attorneys for the plaintiffs and the class will submit to the Court for approval a request for attorneys' fees and expenses estimated to be \$2,826,083, to be paid by Defendants.

CenturyLink has agreed not to oppose an award of fees and expenses in the amount set forth in this Notice. The Court will determine the amount of any fees and expenses awarded to Class Counsel. The amount of back tax money that any individual class member may receive will not be reduced by the amount of any fees or expenses awarded to counsel or the number of claim forms submitted.

**9. Assignment to the Missouri Municipal League or St. Louis County Municipal League**

The settlement allows you to assign a portion of your Back Tax Payment, not to exceed five percent (5%) of the "subtotal" amount shown in Section 3 above, to the Missouri Municipal League or the St. Louis County Municipal League (if you are located within St. Louis County). If you wish to make such an assignment, you may check the applicable box on the Claim Form. Additionally, the ordinance or other action that you take making the settlement enforceable against you must specifically authorize the making of the assignment. **The amount of Back Tax Payment that you receive will be reduced by the amount of the assignment.**

**10. Where can you get additional information?**

This notice provides only a summary of matters regarding the lawsuit. The documents, settlement agreement, and orders in the lawsuit provide greater detail and may clarify matters that are described only in general or summary terms in this Notice. Copies of the settlement agreement, other documents, court orders and other information related to the lawsuit may be examined at <http://www.mocities.com>.

You may also examine the settlement agreement, court orders and other papers filed in the lawsuit at the Office of the Clerk of the Circuit Court of St. Louis County, 7900 Carondelet Ave., Clayton, Missouri 63105, during regular business hours. If you wish, you may seek the advice and guidance of outside attorneys, at your own expense.

If you wish to communicate with or obtain information from attorneys for the class, you may do so by letter to the addresses listed below. You should direct such inquiries concerning a claim or other matter described in this Notice to Class Counsel:

John W. Hoffman  
Douglas R. Sprong  
Korein Tillery, LLC  
505 N. 7<sup>th</sup> Street, Suite 3600  
St. Louis, MO 63101

John F. Mulligan, Jr.  
101 South Hanley, Suite 1280  
Clayton, MO 63105

Howard Paperner  
9322 Manchester Road  
St. Louis, MO 63119

**Please do not contact the Court, Counsel for CenturyLink, or any CenturyLink representative for information.**

Dated: September 5, 2014

By order of the Circuit Court of St. Louis County,  
State of Missouri, Honorable Judge Joseph S. Dueker

1 INTRODUCED BY COUNCILMAN EAGAN  
2 SEPTEMBER 22, 2014

3  
4 BILL NO. 9031

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING AN AMENDMENT FOR BURGER**  
7 **KING TO B-5 ORDINANCE NO. 5307 (AS AMENDED) TO ALLOW**  
8 **FOR THE REMODEL OF AN EXISTING BUSINESS LOCATED AT**  
9 **8411 N. LINDBERGH WITH SIGN CHANGES.**

10  
11 WHEREAS, the Planning and Zoning Commission of the City of Florissant has  
12 recommended to the City Council at their meeting of September 2, 2014 that Ordinance No.  
13 5307 as amended by Ordinance no. 5384 be amended to allow renovations to the existing  
14 building for the property located at 8411 N. Lindbergh; and

15 WHEREAS, due and lawful notice of a public hearing no. 14-09-024 of proposed  
16 change was duly published, held and concluded on the 22<sup>nd</sup> day of September, 2014 by the  
17 Council of the City of Florissant; and

18 WHEREAS, the Council, following said public hearing, and after due and careful  
19 deliberation, has concluded that the amendment of Ordinance No. 5307 as amended, as  
20 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City  
21 of Florissant; and

22  
23 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
24 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

25  
26 Section 1: B-5 ordinance #5307 as amended by #5384 is hereby amended to allow for a  
27 remodeling according to a proposal prepared by the petitioner as described in related to the  
28 documents presented and the attached drawings, A.00, A0.1, A1.0, A2.0 & A4.0, A4.1, A4.2,  
29 A9.0, A9.1 all as prepared by Zwick & Gandt Architecture Inc. and dated 7/18/2014. Approval is  
30 subject to regulations to these ordinances and the following requirements that the existing  
31 masonry shall not be painted.

32 1.General development conditions,

33 a.Unless and except to the extent, otherwise specifically provided in Ordinance 5307,  
34 development shall be effected only in accordance with all ordinances of the City of Florissant

35 2.Project Completion,

36 Construction shall start within 90 days of the issuance of building permits for the  
37 project and shall be developed in accordance of the approved final development plan within 180  
38 days of start of construction.

39 Section 2: Except as herein amended Ordinance No. 5307 shall remain in full force and  
40 effect.

41 Section 3: This ordinance shall become in full force and effect immediately upon its  
42 passage and approval.

43  
44 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

45  
46  
47 \_\_\_\_\_  
48 Joseph Eagan  
49 President of the Council

50  
51 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

52  
53  
54 \_\_\_\_\_  
55 Thomas P. Schneider  
56 Mayor, City of Florissant

57  
58 ATTEST:

59  
60 \_\_\_\_\_  
61 Karen Goodwin, MMC/MRCC  
62 City Clerk

1 INTRODUCTION BY COUNCIL AS A WHOLE  
2 SEPTEMBER 22, 2014

3  
4 BILL NO. 9032

ORDINANCE NO.

5 AN ORDINANCE APPROVING A SETTLEMENT AGREEMENT WITH  
6 CENTURYLINK, INC; CENTURYTEL OF MISSOURI, LLC D/B/A  
7 CENTURYLINK; CENTURYTEL LONG DISTANCE, LLC D/B/A  
8 CENTURYLINK LONG DISTANCE; EMBARQ MISSOURI, INC. AND  
9 THE CITY OF FLORISSANT, MISSOURI

10 WHEREAS, the City of Florissant, Missouri a putative class member in a lawsuit to recover  
11 unpaid Business License Taxes (as defined in the Settlement Agreement described below), which  
12 lawsuit is styled O’Fallon Missouri, *et al.*, v. *Centurylink, Inc., et al.*; No. 12SL-CC01723, and is  
13 pending in the Circuit Court of St. Louis County, Missouri (the “Lawsuit”); and

14 WHEREAS, the Plaintiff and Defendants (as defined in the Settlement Agreement) wish to  
15 avoid the expense and uncertainty of continued litigation and desire to settle their dispute(s) without  
16 further litigation; and

17 WHEREAS, a settlement agreement settling the Lawsuit was signed by the named plaintiffs  
18 (as class representatives) and Defendants and was filed with and preliminarily approved by the Circuit  
19 Court of St. Louis County. (the “Settlement Agreement”); and

20 WHEREAS, the Plaintiff and Defendants have conducted an investigation and evaluation  
21 of the facts and the law relating to the claims in the Lawsuit and believe that the Settlement  
22 Agreement is fair, reasonable, adequate and in the best interest of all the parties; and

23 WHEREAS, pursuant to the Settlement Agreement, the City has received a Notice of Class  
24 Action Settlement and Approval Hearing, incorporated herein by reference, and a Municipal Tax  
25 Settlement Claim Form, incorporated herein by reference, which identify the Total Back Taxes as  
26 defined in the Settlement Agreement) that will be paid and released to the City pursuant to the  
27 Settlement Agreement after the Settlement Agreement becomes Final (as defined in the Settlement  
28 Agreement); and

29 NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
30 CITY OF FLORISSANT, MISSOURI AS FOLLOWS:

31 Section One. The City of Florissant, Missouri hereby approves, accepts,  
32 and adopts all terms and provisions of the Settlement Agreement as a binding and enforceable  
33 agreement between the City of Florissant, Missouri and Centurylink, Inc., Centurytel of Missouri,  
34 LLC, Centurytel Long Distance, LLC, Embarq Missouri, Inc. Spectrum Communications Group LLC,  
35 Embarq Communications, Inc. and Centurylink Communications, LLC (“CenturyLink”) and as if the  
36 City of Florissant, Missouri was an original signatory thereto.

37  
38 Section Two. The City of Florissant, Missouri further approves the Back Tax Payment of  
39 \$1,543.48 as shown on the Centurylink Landline Municipal Tax Settlement Claim Form, along with  
40 the other relief provided in the Settlement Agreement, as adequate consideration for the release of  
41 claims by the City of Florissant, Missouri against Centurylink as provided for in the Settlement



42 Agreement.

43

44 **Section Three** The City of Florissant, Missouri, reserves the right to conclude settlement  
45 agreements with other wireless telecommunications service providers in the Lawsuit depending upon  
46 the circumstances of each case.

47 **Section Four.** This Ordinance shall be in full force and effect after passage and approval as  
48 required by law.

49

50 **Section Five .** The provisions of this ordinance are severable.

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54 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2014.

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63 Approved this \_\_\_\_ day of \_\_\_\_\_, 2014.

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74 \_\_\_\_\_  
Karen Goodwin, MMC\MRCC

75 City Clerk

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77

\_\_\_\_\_  
Joseph Eagan  
President of the Council  
City of Florissant

\_\_\_\_\_  
Thomas P. Schneider  
Mayor, City of Florissant

1 INTRODUCED BY COUNCILMAN EAGAN  
2 SEPTEMBER 22, 2014

3  
4 BILL NO. 9033

ORDINANCE NO.

5  
6 **ORDINANCE APPROVING AN APPROPRIATION OF A TOTAL OF**  
7 **\$99,200 FROM THE GENERAL REVENUE FUND, \$80,000 TO**  
8 **ACCOUNT NO. 4910 "SALARIES – POLICE" AND \$19,200 TO**  
9 **ACCOUNT NO 4913 "BENEFITS – POLICE" TO FUND ADDITIONAL**  
10 **OVERTIME FOR THE POLICE DEPARTMENT.**

11  
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS  
13 COUNTY, MISSOURI, AS FOLLOWS:

14  
15 Section 1: There is hereby authorized approving an appropriation of a total of  
16 \$99,200 from the General Revenue Fund, \$80,000 to account no. 4910 "Salaries – Police" and  
17 \$19,200 to account no 4913 "Benefits – Police" to fund additional overtime for the Police  
18 Department.

19 Section 2: This ordinance shall become in force and effect immediately upon its  
20 passage and approval.

21  
22 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

23  
24  
25  
26 \_\_\_\_\_  
27 Joseph Eagan  
28 President of the Council  
29 City of Florissant

30 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

31  
32  
33  
34 \_\_\_\_\_  
35 Thomas P. Schneider  
36 Mayor, City of Florissant

37 ATTEST:

38  
39 \_\_\_\_\_  
40 Karen Goodwin, MMC/MRCC  
41 City Clerk  
42

# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

Date: 9/18/14

Mayor's Approval:

Agenda Date Requested:

09/22/2014

Description of request:

Ordinance approving an appropriation of a total of \$99,200 from the General Revenue Fund, \$80,000 to account no. 4910 "Salaries – Police" and \$19,200 to account no 4913 "Benefits – Police" to fund additional overtime for the Police Department

Department: Police Departement

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation	x	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: Yes / No

3 readings? : Yes / No

Back up materials attached:

Back up materials needed:

Minutes		Minutes	
Maps		Maps	
Memo	x	Memo	
Draft Ord.		Draft Ord.	

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: Edgar

PH Speaker: N/A

# FLORISSANT POLICE DEPARTMENT

## MEMORANDUM

**Date:** 09-18-2014

**To:** Mayor Thomas Schneider

**From:** Chief Timothy Lowery

**Subject:** Overtime Funding Request

OK  9-18-14

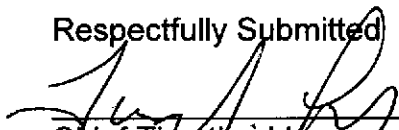
Sir;

The Police Department overtime funds are predicted to be insufficient for the remainder of the 2014 fiscal year. At the time the budget was presented for FY 2014 the Police Department was not certain if it would receive grants for overtime patrols such as Hazardous Moving Violations, DWI Enforcement, and other Programs. The Department did receive these grants and is reimbursed from the state after the overtime is worked. The Department has currently worked \$18,000 in grant money. It is anticipated the Department will spend another \$12,000 in these programs for a total of 30,000 for FY14 which the City of Florissant will be reimbursed into the General Revenue fund.

The incident that occurred in the City of Ferguson has also placed a strain on the Departments overtime funds. Currently the Department has \$25,000 in overtime cost related to the Incident in Ferguson. It is anticipated the Department could spend at least another \$25,000 if not more when the Verdict is released.

Therefore I am requesting \$80,000 for salary plus \$19,200 for employee benefits to be placed in the overtime fund for the Police Department.

Respectfully Submitted

  
\_\_\_\_\_  
Chief Timothy J Lowery  
Florissant Police Department

CC to Council  
9/18/14  
KS  
Abuela